

## AGENDA

PLANNING COMMISSION  
MONROE COUNTY  
January 29, 2014  
10:00 A.M.

MURRAY E. NELSON GOVERNMENT  
AND CULTURAL CENTER  
102050 Overseas Highway  
Key Largo, FL 33037

### CALL TO ORDER

### PLEDGE OF ALLEGIANCE

### ROLL CALL

### COMMISSION:

William Wiatt, Chairman  
Jeb Hale  
Elizabeth Lustberg  
Ron Miller  
Denise Werling

### STAFF:

Townsley Schwab, Senior Director of Planning and Environmental Resources  
Susan Grimsley, Ass't County Attorney  
John Wolfe, Planning Commission Counsel  
Mayte Santamaria, Assistant Director of Planning and Environmental Resources  
Joe Haberman, Planning & Development Review Manager  
Mitch Harvey, Comp Plan Manager  
Mike Roberts, Sr. Administrator, Environmental Resources  
Rey Ortiz, Planning & Biological Plans Examiner Supervisor  
Emily Schemper, Sr. Planner  
Barbara Bauman, Planner  
Matt Coyle, Planner  
Gail Creech, Planning Commission Coordinator

### COUNTY RESOLUTION 131-92 APPELLANT TO PROVIDE RECORD FOR APPEAL

### - SUBMISSION OF PROPERTY POSTING AFFIDAVITS AND PHOTOGRAPHS

### - SWEARING OF COUNTY STAFF

### CHANGES TO THE AGENDA

### - APPROVAL OF MINUTES

### - MEETING

New Item:

1. Paradise Point Senior Housing (Proposed), 2 North Blackwater Lane, Key Largo, Mile Marker 105.5: A request for a minor conditional use permit allowing the development of an institutional residential use, involving 46 deed-restricted affordable housing units (in the form of rooms), 1 commercial apartment and accessory uses/structures. The subject property is described as a parcel of land in Section 1, Township 61, Range 39, Monroe County, Florida, having real estate number 00084260.000100 (part).

(File 2013-118)

[2013-118 SR PC 01.29.14.PDF](#)

[2013-118 FILE.PDF](#)

[2013-118 LOU 10.11.13.PDF](#)

[2013-118 Traffic Study Recvd 01.07.14.PDF](#)

[2013-118 Traffic Study Review.pdf](#)

[2013-118 Level I Traffic Study Recvd 10.10.13.PDF](#)

[2013-118 Traffic Study Recvd 12.26.13.PDF](#)

[2013-118 COMBINED Objections.PDF](#)

[2013-118 COMBINED Plans Recvd 10.10.13.pdf](#)

[2013-118 Boundary Survey.pdf](#)

[2013-118 COMBINED Plans Recvd 12.23.13.PDF](#)

[2013-118 Addtl Info Recvd 1.24.14.PDF](#)

~~2. AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING CHAPTER 118 ENVIRONMENTAL PROTECTION, CREATING SECTION 118-13 PROVIDING FOR COORDINATION WITH THE UNITED STATES FISH AND WILDLIFE SERVICE FOR FLOODPLAIN DEVELOPMENT PERMIT APPLICATIONS FOR PARCELS LOCATED IN SPECIES FOCUS AREAS OF SPECIES NOT INCLUDED IN THE PERMIT REFERRAL PROCESS; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR TRANSMITTAL TO THE STATE LAND PLANNING AGENCY AND THE SECRETARY OF STATE; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE.~~

(File 2013-149)

TO BE RESCHEDULED AT A LATER DATE

[2013-149 SR PC 01.29.14.PDF](#)

[2013-149 Draft Ordinance.PDF](#)

3. AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING MONROE COUNTY CODE SECTION 101-1, DEFINITIONS, AMENDING SECTION 130-124, HOME OCCUPATION SPECIAL USE PERMIT, REVISING THE PROVISIONS TO ADDRESS MOBILE BUSINESSES THAT ARE BASED OR OPERATED FROM RESIDENCES, REVISING THE POSTING REQUIREMENTS FOR HOME OCCUPATION SPECIAL USE PERMIT APPLICATIONS, PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR TRANSMITTAL TO THE STATE LAND PLANNING AGENCY AND THE SECRETARY OF STATE; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE.

(File 2014-001) Continued to 02.26.14

[2014-001 SR PC 01.29.14.PDF](#)

Pursuant to Section 286.0105 Florida Statutes and Monroe County Resolution 131-1992, if a person decides to appeal any decision of the Planning Commission, he or she shall provide a transcript of the hearing before the Planning Commission, prepared by a certified court reporter at the appellant's expense. For such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

ADA ASSISTANCE: If you are a person with a disability who needs special accommodations in order to participate in this proceeding, please contact the County Administrator's Office, by phoning (305) 292-4441, between the hours of 8:30 a.m. - 5:00 p.m., no later than five (5) calendar days prior to the scheduled meeting; if you are hearing or voice impaired, call "711".

-  
BOARD DISCUSSION

-  
GROWTH MANAGEMENT COMMENTS

-  
RESOLUTIONS FOR SIGNATURE

ADJOURNMENT

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**Item #1 Paradise Point Senior Housing  
Staff Report**

**MEMORANDUM**

**MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT**

To: Monroe County Planning Commission  
From: Matthew Coyle, Senior Planner *MC*  
Michael Roberts, Senior Administrator of Environmental Resources  
Date: January 17, 2014  
Subject: *Request for a Minor Conditional Use Permit allowing the development of an institutional residential use, involving 46 deed-restricted affordable housing units (in the form of rooms), 1 commercial apartment and accessory uses/structures at 2 North Blackwater Lane, Key Largo, having Real Estate #00084260.000100 (File #2013-118)*

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**Meeting: January 29, 2014**

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1  
2 I REQUEST

3  
4 The applicant is requesting approval of a minor conditional use permit allowing the  
5 development of an institutional residential use, involving 46 deed-restricted affordable  
6 housing units (in the form of rooms), 1 commercial apartment and accessory uses/structures.  
7 All of the units will be contained in a single structure and will have common facilities.  
8



31 Subject Property with Land Use District Overlaid (Aerial dated 2012)

1 Note: Minor conditional use permits are normally decided upon by the Director of Planning  
2 & Environmental Resources following a review by the Development Review Committee at a  
3 public meeting. After notification of this application was sent to surrounding property  
4 owners, several members of the community expressed interest and concern with the project  
5 and requested a public hearing. To address these concerns in a public forum, in accordance  
6 with MCC §110-69(e), staff and the applicant mutually agreed to have a public hearing of the  
7 application by the Planning Commission.  
8

9 Location:

10 Address: 2 North Blackwater Lane, Key Largo, approximate mile marker 105.5, (Florida  
11 Bay side of US 1)  
12

13 Legal Description: A parcel of land in Section 1, Township 61, Range 39, Monroe  
14 County, Florida  
15

16 Real Estate (RE) Number: 00084260.000100 (part)  
17

18 Note: The remaining portion of RE 00084260.00100, which is developed with a light  
19 industrial development, is not subject to this application. It is assumed that after any  
20 approval, the developer will have a new, independent real estate number assigned to  
21 boundary of the subject property.  
22  
23

24 Applicant:

25 Property Owner: 2 Blackwater LLC  
26

27 Agent: Joel Reed, RC3World, Inc.  
28

29 Developer: Gorman & Company, Inc.  
30  
31

32 II RELEVANT PRIOR COUNTY ACTIONS:  
33

34 In 2005, the Code Compliance Department opened case #CE0500112 for land clearing  
35 carried out on the property without the benefit of a permit. To resolve this case, the property  
36 owner applied for and was issued Building Permit #053-6527 for after-the-fact land clearing.  
37 On December 14, 2005, the Special Magistrate found the property owner in violation of the  
38 Monroe County Code and ordered compliance with the code by January 19, 2006 and a fine  
39 in the amount of \$100 for administrative recovery for prosecution and investigation.  
40 Building Permit #053-6527 was issued on January 6, 2006. The fine was paid on January 19,  
41 2006 and the property was re-inspected. The case was found to be in compliance and was  
42 closed on January 26, 2006.  
43

44 In 2008, the Code Compliance Department opened case #CE8020008 for placing fill on the  
45 property without the benefit of a permit. In addition, the case involves the establishment of  
46 light industrial use in unpermitted areas of the property, including outdoor storage of  
47 containers, a dumpster, construction equipment, trash and debris. In 2008, Building Permit  
48 #083-0528 was issued for the temporary storage of fill on the property, a building permit has  
49 not been issued for any permanent fill. This case remains open.  
50

51 On September 24, 2013, this minor conditional use permit application was reviewed by the  
52 Development Review Committee.

1 On October 11, 2013 a letter of understanding concerning the proposal was issued to the  
2 applicant.

3  
4 On November 18, 2013, the applicant and staff held a community meeting in Key Largo to  
5 discuss the project with interested members of the community.  
6

7 **III BACKGROUND INFORMATION:**  
8

- 9 A. Size of Site: 113,437 SF (2.604 acres of area) (based on proposed site plan)
- 10 B. Land Use District: Urban Commercial (UC)
- 11 C. Future Land Use Map (FLUM) Designation: Mixed Use/Commercial (MC)
- 12 D. Tier Designation: Tier III
- 13 E. Flood Zone: Part AE – EL 9 and part X
- 14 F. Existing Use: Light industrial
- 15 G. Existing Vegetation / Habitat: The site is mostly scarified with some hammock and  
16 mangroves on the northern portion of the property.
- 17 H. Community Character of Immediate Vicinity: Commercial retail, light industrial, single  
18 family residential, institutional and native areas  
19

20 **IV REVIEW OF APPLICATION:**  
21

22 MCC §110-67 provides the standards which are applicable to all conditional uses.  
23

- 24 A. *The conditional use is consistent with the purposes, goals, objectives and standards of the*  
25 *comprehensive plan and the land development regulations:*  
26

27 The proposed use is consistent with the purposes, goals, objectives and standards of the  
28 comprehensive plan and the land development regulations.  
29

30 Policies from the Monroe County Year 2010 Comprehensive Plan that directly pertain to  
31 the proposed use include:  
32

33 Policy 101.2.4: Monroe County shall allocate at least 20 percent of residential  
34 (non-transient) growth to affordable housing units as part of the Permit Allocation  
35 System. Any portion of the 20 percent allocation not used for affordable housing  
36 shall be retained and be made available for affordable housing from ROGO year  
37 to ROGO year. Affordable housing eligible for this separate allocation shall meet  
38 the criteria specified in Policy 601.1.7, but shall not be subject to the competitive  
39 Residential Permit Allocation and Point System in Policy 101.5.4. The parcel  
40 proposed for affordable housing shall not be located within an area designated as  
41 Tier I as set forth under Goal 105 or within a Tier III Special Protection Area as  
42 set forth in Policy 205.1.1.  
43

44 Policy 101.4.5: The principal purpose of the Mixed Use/ Commercial land use  
45 category is to provide for the establishment of commercial land use (zoning)  
46 districts where various types of commercial retail and office may be permitted at

1 intensities which are consistent with the community character and the natural  
2 environment. Employee housing and commercial apartments are also permitted.  
3 In addition, Mixed Use/Commercial land use districts are to establish and  
4 conserve areas of mixed uses, which may include maritime industry, light  
5 industrial uses, commercial fishing, transient and permanent residential,  
6 institutional, public, and commercial retail uses.

7  
8 Policy 601.1.7: All affordable housing projects which receive development  
9 benefits from Monroe County, including but not limited to affordable housing  
10 points in the Permit Allocation System and donations of land, shall be required to  
11 maintain the project as affordable on a long-term basis pursuant to deed  
12 restrictions or other mechanisms specified in the Land Development Regulations,  
13 and administered by Monroe County or the Monroe County Housing Authority.  
14 For the purposes of developing such Land Development Regulations, the  
15 following guidelines shall apply: "Moderate Income" is the amount which  
16 represents 120 percent of the median annual household income for Monroe  
17 County. "Low Income" is the amount which represents 80 percent of the median  
18 annual household income for Monroe County. "Very Low Income" is the amount  
19 which represents 50 percent of the median annual household income for Monroe  
20 County. "Cost-burdened" describes a household which pays a monthly rent or  
21 monthly mortgage payment, including taxes and insurance that exceeds 30  
22 percent of the median annual household income for Monroe County.

23  
24 Policy 601.4.2: By January 4, 1997, Monroe County shall adopt Land  
25 Development Regulations which include locational criteria for the establishment  
26 of housing for the elderly and institutional housing such as proximity to health  
27 care facilities and services, accessibility to public transportation and proximity  
28 to facilities providing essential goods and services as well as compatibility with  
29 adjacent land uses.

30  
31 Policy 601.4.3: The County shall identify and evaluate alternative strategies to  
32 expand subsidized housing programs for elderly in Monroe County through  
33 coordination with the Monroe County Housing Authority, and encourage their  
34 development by private, community-based non-profit, or public entities, as well  
35 as public/private partnerships.

36  
37 Policy 1301.5.5: The Growth Management Division shall work with the County  
38 Housing Authority to encourage development of elderly and institutional  
39 housing and identify funding sources for community-based non-profit  
40 organizations to provide affordable housing for low-income residents.

41  
42 Approved strategies and action items from the Key Largo Livable CommuniKeys  
43 Master Plan that directly pertain to the proposed use include:

44  
45 Strategy 4.2: Enable and promote the creation of affordable and workforce  
46 housing.

1 B. *The conditional use is consistent with the community character of the immediate vicinity:*

2  
3 The community character of the immediate vicinity is a mix of uses including light  
4 industrial, commercial retail, institutional and single-family residential. Two light  
5 industrial storage/warehouse buildings are located on a portion of the larger subject  
6 parcel that is not a part of this application. Winn-Dixie is located on a contiguous parcel  
7 to the east. Saint Justin Martyr Church, a large church complex, is located on a  
8 contiguous parcel to the north/northeast. Single-family residential neighborhoods are  
9 located to the south, southwest and west of the property (Paradise Point Cove and  
10 Stillwright Point). Located between existing nonresidential and residential uses, the  
11 proposed institutional residential use would be consistent with the mix of existing uses in  
12 the immediate vicinity.

13  
14 The new building would be separated from existing single-family residences by North  
15 Blackwater Lane to the south and a large vegetated area to the west, as well as by new  
16 vegetated bufferyards along these property lines. Further, it is proposed to have a  
17 footprint of 14,560 SF, which is consistent with the sizes of other nonresidential  
18 buildings in the surrounding community. The Winn Dixie building has a significantly  
19 larger footprint and is located just to the east of the proposed building. The table below  
20 shows other buildings within a half mile of the subject property that have a comparable or  
21 larger footprint.

22

Building	Approximate Location	Approximate Footprint
Light industrial building	2 N Blackwater Ln	1,690 SF
Light industrial building	2 N Blackwater Ln	4,340 SF
Winn Dixie	US 1, East of property	35,000 SF
Key Largo School (main building)	0.4 miles South on US 1	44,000 SF
Key Largo School (out building)	0.4 miles South on US 1	18,000 SF
Key Largo School (out building)	0.4 miles South on US 1	15,000 SF
Saint Justin Martyr Church	0.2 miles North on US 1	15,000 SF
Key Largo Shopping Center	0.5 miles North on US 1	18,000 SF

23  
24 C. *The design of the proposed development minimizes adverse effects, including visual*  
25 *impacts, on adjacent properties:*

26  
27 The proposed three-story residential building would be set back over 400 feet from the  
28 southern property line along North Blackwater Lane and nearest residential subdivision.  
29 The proposed location is directly west of the existing Winn-Dixie building, which would  
30 minimize the visual impact from US 1. In addition, the proposed location is  
31 north/northwest of the existing light industrial buildings located the greater property,  
32 which would minimize the visual impact from parts of North Blackwater Lane.

33  
34 The proposed building design includes architectural features that provide visual interest  
35 and break up the mass of the structure. Further, the proposed architectural style is similar  
36 and consistent in design, materials, and colors with many other existing buildings in the  
37 Key Largo community.

1 Concerning landscaping, as part of the development, it shall be required that native trees  
2 and landscaping elements be planted throughout the site. Staff shall request a condition  
3 that all required vegetation shall be of a type native to the Florida Keys.  
4

5 Therefore, the proposed development minimizes adverse effects, including visual  
6 impacts, on adjacent properties.  
7

8 *D. The proposed use will have an adverse impact on the value of surrounding properties:*  
9

10 The new institutional residential development will be more compatible with the  
11 surrounding properties than the existing nonconforming light industrial use. Further, the  
12 proposed development will be built to current codes, including stormwater management  
13 and landscaping. Therefore, it is not anticipated that the proposed development will have  
14 an adverse impact on the value of the surrounding properties.  
15

16 *E. The adequacy of public facilities and services:*  
17

18 1. Roadways:  
19

20 Localized Impacts & Access Management: Access to and from the development  
21 shall be approved by the Public Works Division. (See Section I -23)  
22

23 Level of Service (LOS): According to the Level I Traffic Study conducted by a  
24 licensed traffic engineer the proposed development is anticipated to generate 163  
25 daily trips. The study also found US1 Segments #21 through #24 have adequate  
26 reserve capacity to accommodate the projected trips and the US 1 and North  
27 Blackwater Lane Operational Analysis results indicate an adequate LOS B.  
28 Monroe County's traffic consultant reviewed the traffic study and agreed with the  
29 findings (see attached Level 1 Traffic Impact Study – Review).  
30

31 2. Stormwater: A preliminary drainage plan was submitted with the application that  
32 depicts stormwater retention areas, however no cross-sectional data was provided  
33 and the calculation tables do not depict the volume of treatment provided. A  
34 surface water management plan will be required as a part of any development.  
35

36 3. Sewer: The applicant shall coordinate with Key Largo Wastewater Treatment  
37 District to determine compliance with all applicable regulations. (See Section I -  
38 11)  
39

40 4. Water: The applicant shall coordinate with the Florida Keys Aqueduct Authority  
41 with all applicable regulations.  
42

43 5. Refuse Disposal: The applicant shall coordinate with Monroe County Solid Waste  
44 Management to determine compliance with all applicable regulations.  
45



1 should be established at discrete nodes along US 1 and should be designed so as to  
2 serve the needs of both residents and visitors.

3  
4 4. Permitted Uses (§130-98, §130-93): *In compliance following receipt of required*  
5 *minor conditional use permit.*

6  
7 The proposed development consists of a total of 47 deed-restricted affordable housing  
8 units, composed of 46 institutional residential units and one commercial apartment  
9 unit.

10  
11 As defined in MCC §101-1, *institutional-residential use* means a place of permanent  
12 or temporary residence where unrelated persons reside in a commercial setting with  
13 centralized heating, recreational and health care facilities, such as group homes,  
14 convents, foster care facilities, hospitals, nursing or convalescent homes and life  
15 care/elderly housing. The proposed 46 institutional residential units would be a place  
16 of permanent residence for senior/elderly individuals in a commercial setting with  
17 centralized heating and recreational and health care facilities (in the form of common  
18 rooms available for recreational and health care activities).

19  
20 Pursuant to MCC §130-97, in the UC district, institutional residential uses involving  
21 20 or more dwelling units or rooms may be permitted with a minor conditional use  
22 permit, provided that a) The use is compatible with land use established in the  
23 immediate vicinity of the parcel proposed for development; b) Access to US 1 is by  
24 way of: 1) an existing curb cut; 2) a signalized intersection; or 3) a curb cut that is  
25 separated from any other curb cut on the same side of US 1 by at least 400’.

26  
27 As defined in MCC §101-1, *commercial apartment* means an attached or detached  
28 residential dwelling unit located on the same parcel of land as a nonresidential use  
29 that is intended to serve as permanent housing for the owner or employees of that  
30 nonresidential use. The proposed commercial apartment is for an employee, who may  
31 or may not be elderly, to manage the development and property on-site.

32  
33 Pursuant to MCC §130-97, in the UC district, commercial apartments may be  
34 permitted by right.

35  
36 5. Residential Density and Maximum Floor Area Ratio (§130-157, §130-162 & §130-  
37 164): *In compliance.*

38  
39 According to the site plan, the subject portion of the parcel is 113,437 SF (2.604  
40 acres). The site plan indicates that the wetlands in the northeast portion of the  
41 property are 3,000 SF and the Monroe County GIS Habitat Layer shows they are  
42 approximately 4,000 SF. Wetlands are not considered upland and cannot be used for  
43 land use intensity purposes. The more restrictive 4,000 SF wetland measurement was  
44 used to calculate density leaving an upland portion of 109,437 SF (2.51 acres).  
45 Pursuant to MCC §130-157, the following residential densities apply:  
46  
47

Land Use District	Maximum Net Density	Land Area	Maximum Allowed	Proposed Amount	Potential Used
UC (Institutional Residential)	24 rooms / buildable acre*	2.51 acres (2.00 buildable)	48 rooms	46 units	95.8%
UC (Commercial Apartment)	12 dwelling units/ buildable acre*	2.51 acres (2.00 buildable)	24 units	1 unit	4.2%
Cumulative Total					100%

\* The land area totals contained in the preceding table are based on the most recent site plan. The applicant is in the process of negotiating a purchase of part of the greater property, and the exact property line that would divide the parcel is not final. Staff shall request a condition that the two parcels are separated out with different real estate numbers and that the boundaries remain consistent with those shown on the Architectural Site Plan by Gorman & Company dated December 13, 2013.

If all of the rooms are deed-restricted as affordable housing, pursuant to MCC §130-161(a)(2), the maximum net residential density allowed per district and by MCC §130-161 shall not require transferable development rights (TDRs) for affordable housing.

6. Required Open Space (§118-9, §118-12, §130-157, §130-162 & §130-164): *In compliance.*

In the UC district, there is a required open space ratio of at least 0.20 or 20 percent. In total, the property consists of 109,437 SF of upland area. Therefore, at least 21,887 SF total land area must remain open space. The site plan indicates that there would be 68,990 SF of total open space.

7. Minimum Yards (§130-186): *In compliance.*

The required non-shoreline setbacks in the UC district are as follows: Front yard – 15’; Rear yard – 10’; and Side yard – 10’/15’ (where 10’ is required for one side and 15’ is the minimum combined total of both sides).

The property has a front yard requirement of 15’ along the right-of-way of North Blackwater Lane to the south, a side yard requirement of 10’ along the western property line, a side yard requirement of 5’ along the eastern property line and a rear yard setback of 10’ to the north. All proposed new structures are in compliance with the required minimum setbacks.

8. Maximum Height (§130-187): *Compliance to be determined.*

Submitted plans show that the building would be 33’ in height, as measured from the crown of road (11’).

1 *Height* is defined as "the vertical distance between grade and the highest part of any  
2 structure, including mechanical equipment, but excluding chimneys; spires and/or  
3 steeples on structures used for institutional and/or public uses only; radio and/or  
4 television antenna, flagpoles; solar apparatus; utility poles and/or transmission  
5 towers; and certain antenna supporting structures with attached antenna and/or  
6 collocations as permitted in chapter 146. *Grade* means the highest natural elevation of  
7 the ground surface, prior to construction, next to the proposed walls of a structure, or  
8 the crown or curb of the nearest road directly adjacent to the structure, whichever is  
9 higher.

10  
11 If the building is 33' in height, as appropriately measured from grade, then it would  
12 be in compliance with the 35' maximum height requirement. However, a survey is  
13 required to confirm the existing grade, which in this case is the elevation of the crown  
14 or curb of the segment of North Blackwater Lane adjacent to the property.

15  
16 9. Surface Water Management Criteria (§114-3): *Compliance to be determined.*

17  
18 The site plan depicts stormwater retention areas and includes drainage calculations  
19 for pre and post development water quantities. While the site plan depicts stormwater  
20 retention areas, no cross-sectional data was provided and the calculation tables do not  
21 depict the volume of treatment provided. Further, the submitted calculations include  
22 the entire greater parcel (3.4 acres) and are not limited to the proposed development  
23 area of the parcel (2.0 upland acres). If the stormwater management areas are  
24 intended to treat the entire 3.4 acre parcel, approximately 12,284 cubic feet (0.28 acre  
25 feet) of treatment area must be provided.

26  
27 Pursuant to MCC §114-3(g) it is the responsibility of the applicant to include in the  
28 stormwater management plan for the development sufficient information for the  
29 planning director to evaluate the environmental and stormwater discharge  
30 characteristics of the affected areas, the potential and predicted impacts of the  
31 proposed activity on community waters, and the effectiveness and acceptability of  
32 those measures proposed by the applicant for reducing adverse impacts. The  
33 stormwater management plan shall contain maps, charts, graphs, tables, photographs,  
34 narrative descriptions, calculations, explanations, and citations to supporting  
35 references, and any additional information deemed necessary by the planning  
36 director. The stormwater management plan must be sealed by an engineer registered  
37 in the state with experience in stormwater management and drainage design.

38  
39 Note: Kevin Wilson, Monroe County Public Works & Engineering, provided a  
40 memorandum regarding the stormwater management on September 13, 2013.

41  
42 10. Wastewater Treatment Criteria (§114-5): *Compliance to be determined by the Key  
43 Largo Wastewater Treatment District prior to the issuance of a building permit.*

44  
45 11. Fencing (§114-20): *Not applicable.*  
46

1 Fencing is not being reviewed as part of this application. Any new fencing shall be  
2 reviewed independently for compliance as an accessory structure/use under a building  
3 permit application.  
4

- 5 12. Floodplain Management (§122-1 – §122-6): *Compliance to be determined upon*  
6 *submittal to Building Department*  
7

8 The site is designated within a flood zone on the Federal Emergency Management  
9 Agency (FEMA) flood insurance rate maps. All new structures must be built to  
10 floodplain management standards that meet those for flood protection.  
11

- 12 13. Energy Conservation Standards (§114-45): *Full compliance to be determined upon*  
13 *building permit application review.*  
14

15 The development proposal includes the following required energy conservation  
16 measures: reduced coverage by asphalt, concrete, rock and similar substances in  
17 streets, parking lots and other areas to reduce local air temperatures and reflected light  
18 and heat; the installation of native plants in required landscaping, which will reduce  
19 the requirements for water and maintenance; the installation of shade trees, which  
20 will provide shade for parking areas; and the provision of structural shading.  
21

22 Not enough information was provided to determine if the development proposal  
23 includes the following required energy conservation measures: use of energy-  
24 efficient feature in window design; use of operable windows and ceiling fans;  
25 installation of energy-efficient appliances and equipment; prohibition of deed  
26 restrictions or covenants that would prevent or unnecessarily hamper energy  
27 conservation efforts; installation of energy-efficient lighting for streets, parking areas,  
28 recreation areas, and other interior and exterior public areas; and orientation of  
29 structures, as possible, to reduce solar heat gain by walls and to use the natural  
30 cooling effects of the wind.  
31

- 32 14. Potable Water Conservation Standards (§114-46): *Full compliance to be determined*  
33 *upon building permit application review.*  
34

- 35 15. Environmental Design Criteria and Mitigation Standards (§118-6, §118-7 & §118-8):  
36 *Full compliance to be determined upon building permit application review.*  
37

38 The development area is predominately scarified, but it does contain some native  
39 habitat. The site plan submitted does not indicate if any native trees or plants will be  
40 removed.  
41

- 42 16. Wetland Setback and Open Space Requirements (§118-4(g)): *In compliance.*  
43

44 In accordance with MCC §118-10(4)g.2., properties classified as scarified adjacent to  
45 wetlands, the setback may be reduced to 25', without regard to buildable area, if the  
46 entire setback area:

- i. Is planted and maintained in native vegetation meeting the standards of a class “D” bufferyard or a bufferyard providing similar protection (MCC §114-128) with the exception that understory trees may be substituted for canopy trees;
- ii. Contains a site-suitable stormwater management plan approved by the county biologist; and
- iii. Is placed under conservation easement.

The site plan submitted with the application depicts a 25’ setback from the wetland and further indicates that the existing hammock area will be preserved. The existing hammock will count toward the buffer requirements, however supplemental planting is required to meet the class “D” bufferyard standard.

17. Required Parking (§114-67): *In compliance.*

The Land Development Code does not provide a specific parking standard for senior housing. Pursuant to MCC §114-67(d), if a specific use is not listed the parking space requirements shall be based on the most current edition of the Institute of Transportation Engineer’s (ITE) Parking Generation Manual. The ITE manual requires 1 parking space per dwelling unit for Senior Adult Housing – Attached (Land Use: 252). However, a one parking space per dwelling unit is insufficient for a project intended for active senior citizens, who may be coupled in an individual room. Therefore, the multifamily residential development parking standard is more appropriate:

<i>Specific Use</i>	<i>Multiplier</i>	<i>Proposed</i>	<i>Required Spaces</i>
Multifamily residential developments	2 spaces/1 bedroom unit	47 dwelling units (1 bedroom each)	94 spaces

Similar concerns were voiced by some members of the community. Following the community meeting, the applicant revised the site plan to meet the off-street parking requirements for multifamily residential developments. In addition, the applicant also submitted a parking demand study conducted by a licensed traffic engineer. According to the study the parking survey confirmed the ITE Parking Rate guideline of one parking space per unit but also found that the municipalities where the sites were located had implemented parking requirements that exceeded the ITE guidelines.

The site plan shows 5 of the parking spaces as ADA accessible. If there are 76 to 100 total parking spaces in a lot, at least four accessible parking spaces are required.

All regular parking spaces, with the exception of parallel, must be at least 8’6” in width by 18’ in length. ADA accessible parking spaces must be at least 12’ in width with an access aisle of 5’ in width. Further, each required parking space shall have direct and unrestricted access to an aisle that is 24’ wide.

1 18. Required Loading and Unloading Spaces (§114-69): *Not applicable.*

2  
3 19. Required Landscaping (§114-100): *In compliance.*

4  
5 Since the parking area is to contain six or more spaces and is within a UC district, a  
6 class “C” landscaping standard is required. The class “C” requirement for 94  
7 proposed parking spaces is 1,684 SF of planting area with 7 canopy trees and 19  
8 shrubs. The site plan shows parking lot landscaping and includes tabular data that is  
9 in compliance with §114-100. However, staff shall request a condition that all canopy  
10 trees be a minimum of 3” DBH and a minimum of 12’ in height.

11  
12 20. Required Bufferyards (§114-124 – §114-130): *In compliance.*

13  
14 There is a class “B” land use district bufferyard requirement along the UC/NA district  
15 boundary line along the western property line. The applicant submitted landscape  
16 plans that indicate a 20’ wide class “B” bufferyard that depicts 1.2 canopy trees, 0.4  
17 understory trees and 64 shrubs per 100’ for the southern half of the property line  
18 (235’) and a class “D” bufferyard that includes 6.6 canopy trees, 3.3 understory trees  
19 and 28 shrubs per 100’.

20  
21 There is a class “D” land use district bufferyard requirement along the UC/IS district  
22 boundary line along the southern property line. A class “D” bufferyard that is 20’  
23 wide must include 6.6 canopy trees, 3.3 understory trees and 28 shrubs per 100’. The  
24 landscape plan meets the required standard.

25  
26 The above referenced landscape plan includes additional landscaping that exceeds the  
27 requirements of MCC §114-128. However, staff shall request a condition that all  
28 canopy trees be a minimum of 3” DBH and a minimum of 12’ in height.

29  
30 21. Outdoor Lighting (§114-159 – §114-162): *Full compliance to be determined upon*  
31 *building permit application review.*

32  
33 The proposed outdoor lighting is not being reviewed as part of this application. Any  
34 outdoor lighting shall be reviewed independently for compliance as an accessory  
35 structure/use under a building permit application.

36  
37 22. Signs (§142-1 – §142-7): *Full compliance to be determined upon building permit*  
38 *application review.*

39  
40 Signage is not being reviewed as part of this application. Any signage shall be  
41 reviewed independently for compliance as an accessory structure/use under a building  
42 permit application.

1 23. Access Standards (§114-195 – §114-201): *In compliance.*

2  
3 There is one existing access drive to/from the site via North Blackwater Lane. The  
4 applicant is proposing to subdivide the parcel into two parcels. However, if the parcel  
5 is subdivided, the two reconfigured parcels would have a limited amount of frontage  
6 along North Blackwater Lane and two independent drives could not be designed in  
7 accordance with access drive separation standards. The site plan shows a shared  
8 access drive for both parcels from North Blackwater Lane. An access connection  
9 permit will likely be required from the Public Works Division for the reconfigured  
10 access drive.

11  
12 Note: Judy Clarke, Monroe County Public Works & Engineering, provided a  
13 memorandum regarding the access on September 16, 2013.

14  
15 24. Chapter 533, Florida Statutes: *Full compliance to be determined upon building permit*  
16 *application review.*

17  
18 All standards and requirements of the American with Disabilities Act (ADA) must be  
19 met.

20  
21 25. Other Issues:

22  
23 • Community involvement:

24  
25 On November 18, 2013, the applicant and staff held a community meeting in Key  
26 Largo to discuss the project with interested members of the community. Attendees  
27 raised several concerns regarding the proposed project. Notable concerns included the  
28 following:

- 29  
30  
31  
32  
33  
34  
35  
36  
37
- Traffic impact on North Blackwater Lane
  - Traffic impact on the North Blackwater Lane / US 1 intersection
  - Proposed amount of off-street parking
  - Visual impact of the proposed building
  - Previous land clearing
  - Previous introduction of fill on the site
  - Residency requirements

38  
39 • Subdivision of the Parcel Identified as RE #0084260.000100:

40  
41 The developer is pursuing an agreement to purchase a portion (2.6 acres) of the parcel  
42 currently identified as having RE #0084260.000100. The remaining land area (0.9  
43 acres) will remain under ownership of 2 Blackwater LLC and the existing light  
44 industrial/office use would continue in this remaining area. Pursuant to MCC §110-  
45 96(f) no plat approval will be required for the division of this land into two parcels.  
46 As the developments would be developed independent of one another and not share a  
common theme, staff shall request a condition on any approval that the each of the

1 two development areas be delineated as separate parcels with unique real estate  
2 numbers by the Monroe County Property Appraiser's Office.

3  
4 • Traffic impact:

5  
6 Members of the community, as well as staff, are concerned about how additional  
7 traffic associated with the development would affect the safety and level of service of  
8 North Blackwater Lane. Many residents of the residential subdivisions accessed via  
9 the roadway are specifically concerned about traffic impact at the intersection of  
10 North Blackwater Lane and US 1. Although not generally required by Code, to fully  
11 understand the traffic impact, following the community meeting, staff requested a  
12 detailed Traffic Study by a licensed traffic engineer. The applicant submitted a Level  
13 I Traffic Study that included an analysis of turning movements at the intersection of  
14 North Blackwater Lane and US 1. According to the study, the proposed development  
15 is anticipated to generate 163 daily trips. The study also found US 1 Segments #21  
16 through 24 have adequate reserve capacity to accommodate the projected trips and the  
17 US 1 and North Blackwater Lane Operational Analysis results indicate an adequate  
18 LOS B. Monroe County's Traffic consultant reviewed the study and concurred with  
19 the findings.

20  
21 • Parking:

22  
23 Members of the community are concerned about the proposed amount of off-street  
24 parking. The general consensus was that an insufficient amount of off-street parking  
25 would result in occupants and visitors of the proposed development parking along the  
26 right-of-way of North Blackwater Lane, further compounding impacts to the road.  
27 Following the community meeting, staff requested the applicant submit a revised site  
28 plan showing 2 parking spaces per room/unit which is consistent with the County's  
29 requirement for multifamily residential developments. The site plan now includes 94  
30 parking spaces, two spaces for each of the 47 proposed units.

31  
32 • Visual impact of building:

33  
34 Members of the community are concerned about the visual impact of the proposed  
35 building. Staff has requested the applicant use architectural features that provide  
36 visual interest and break up the mass of the structure. Further, staff requested the  
37 design be consistent with other buildings in the Key Largo Community. The applicant  
38 submitted general building plans and renderings of a building that has many  
39 characteristics of a typical Monroe County building, including a stucco finish,  
40 balconies, and metal roof.

41  
42 • Previous clearing:

43  
44 Members of the community are concerned about the previous loss of vegetation on  
45 the site. Staff investigated this issue and a building permit was issued in 2006 for the  
46 land clearing. As part of this application, the developer will be required to plant

1 numerous canopy trees, understory trees, and shrubs in order to meet the landscaping  
2 requirements. While this vegetation may not have the same overall canopy cover as in  
3 the past, the total number of trees may be greater than existed previously. Further,  
4 staff is requesting a condition to any approval that 100 percent native vegetation to  
5 the Florida Keys be used for the required landscaping. The standard compliance  
6 percentage is 70 percent. Many of the previously existing trees that were cleared were  
7 not native.

8  
9 The landscape plan shows 45 new canopy trees (Gumbo Limbo, Seagrape, Pigeon  
10 Plum and Mahogany) 18 new understory trees (Sweet Acacia) and 125 shrubs  
11 (Buttonwood). The applicant will also protect and maintain the existing hammock and  
12 mangrove area on the northern part of the property.

13  
14 Staff shall also request a condition that all canopy trees be a minimum of 3” DBH and  
15 a minimum of 12’ in height.

16  
17 • Previous introduction of fill on the site:

18  
19 Members of the community are concerned with the previous introduction of unlawful  
20 fill on the site. The Code Compliance Department has an open case (#CE8020008)  
21 for placing fill on the subject property without the benefit of a permit. This case  
22 remains open and the County is seeking compliance. Any approvals for site work on  
23 the subject property will need to address this issue and remedy if required.

24  
25 • Residency concerns:

26  
27 Members of the community are concerned that the proximity of the affordable  
28 housing / senior to Miami-Dade County would result in many of the affordable  
29 housing units being occupied by individuals from outside Monroe County. Staff is  
30 investigating the legality of requesting a Monroe County residency requirement for  
31 occupants. If such a requirement is not legal, staff shall request that the developer not  
32 advertise unit availability outside of Monroe County and show preference to eligible  
33 Monroe County residents.

34  
35 • Access drive requirements:

36  
37 The site plan includes a 35’ wide driveway connection to/from North Blackwater  
38 Lane. The maximum width for an access driveway is 24’. An access permit from the  
39 Monroe County Public Works Division will likely be required for the reconfigured  
40 access drive. If the shared access driveway needs to be wider than 24’ to  
41 accommodate larger trucks, the applicant must provide the Public Works Department  
42 with modeling that shows the larger width is needed.

43  
44 The site plan shows secondary access drive to an existing private drive on the  
45 privately owned parcel to the east. This access drive would allow direct vehicular and  
46 pedestrian access to Winn Dixie. Although staff supports this connectivity, the

1 County cannot approve such a driveway connection between two private properties  
2 unless appropriate documentation (i.e. an easement) is provided showing the  
3 agreement between the private property owners.  
4

5 **V RECOMMENDED ACTION:**  
6

7 Staff recommends approval with the following conditions:  
8

- 9 A. Prior to the issuance of any Development Order approving the minor conditional use  
10 permit, in order to determine compliance with the maximum height provisions set  
11 forth in MCC §130-187, the applicant shall submit a survey providing the elevation of  
12 the crown or curb of the segment of North Blackwater Lane that is adjacent to the  
13 subject property.  
14
- 15 B. Prior to the issuance of any Development Order approving the minor conditional use  
16 permit, in order to determine compliance with the surface water management  
17 provisions set forth in MCC §114-3, the applicant shall submit a stormwater  
18 management plan meeting the requirements of MCC §114-3. If it is the intent to  
19 provide treatment for the entire parcel currently identified by real estate  
20 #00084260.000100, the management plan must include the legal documentation  
21 required in MCC §114-3(e)(3)b.  
22
- 23 C. Prior to the issuance of any Development Order approving the minor conditional use  
24 permit, the applicant shall a) submit a revised site plan showing a 24' access  
25 driveway connection to/from North Blackwater Lane or b) provide acceptable  
26 modeling supporting a 35' driveway connection to/from North Blackwater Lane,  
27 which must be approved by the Public Works Division. The Public Works Division  
28 shall review all proposed work within public rights-of-way and the Division  
29 maintains the right to request revisions as it carries out its review of any access permit  
30 application.  
31
- 32 D. Prior to the issuance of any Building Permit associated with the minor conditional use  
33 permit, the property owner shall have the subject area of the greater parcel currently  
34 identified by real estate #00084260.000100 separated out and assigned a new  
35 independent real estate # by the Monroe County Property Appraiser. The boundaries  
36 of the new parcel shall be consistent with the subject area as shown on the  
37 Architectural Site Plan by Gorman & Company dated December 13, 2013.  
38
- 39 E. Prior to the issuance of any Building Permit associated with the minor conditional use  
40 permit, the property owner shall have addressed the code compliance issue related to  
41 possible unlawful fill on the subject area of the parcel to the satisfaction of the  
42 Planning & Environmental Resources Director and Code Compliance Director.  
43
- 44 F. Prior to the issuance of any Building Permit for the parking area, the property owner  
45 shall provide the Planning & Environmental Resources Department with a copy of a  
46 properly executed access agreement between the property owner of the subject parcel,

1 currently identified as real estate #00084260.000100, and the property owner of the  
2 "Winn Dixie" parcel, currently identified as real estate #00084260.000300, allowing  
3 traffic associated with the proposed development, including vehicles providing fire  
4 rescue and life safety, to use the private service drive located behind the Winn-Dixie.  
5 If such an access agreement cannot be obtained, the site plan must be revised to meet  
6 life safety and fire prevention regulations without the private service drive, which  
7 may require an amendment or deviation to the minor conditional use permit approval.  
8

- 9 G. Prior to the issuance of the Certificate of Occupancy for the building, all required  
10 landscaping shall be formally approved by a Building Permit, planted and pass a final  
11 inspection by the County Biologist or his or her designee. In addition to the  
12 customary landscaping requirements: a) all required canopy trees shall be a minimum  
13 of 3" DBH and a minimum of 12' in height and b) all required vegetation shall be of a  
14 type native to the Florida Keys.  
15
- 16 H. The scope of work has not been reviewed for compliance with Florida Building Code.  
17 Prior to the issuance of Building Permits, proposed development and structures shall  
18 be found in compliance by the Monroe County Building Department, Floodplain  
19 Administrator, and the Office of the Fire Marshal.  
20
- 21 I. The proposed architectural style and design of the buildings, as illustrated in the  
22 proposed floor plans, building elevations and renderings included in the application,  
23 have been reviewed and conceptually approved by this minor conditional use permit.  
24 Any modifications shall be reviewed by the Planning & Environmental Resources for  
25 consistency with this approval. Any minor modification of consistent design shall be  
26 approved administratively as a minor deviation by the Senior Director of Planning &  
27 Environmental Resources. Any substantial modification or any modification that does  
28 not utilize consistent design, as determined by the Senior Director of Planning &  
29 Environmental Resources, shall be approved as a major deviation following a review  
30 by the Planning Commission.  
31
- 32 J. The 46 institutional residential rooms may only be inhabited by occupants that are  
33 elderly and meet the affordable housing criteria of the underlying affordable housing  
34 allocation type.  
35
- 36 K. The commercial apartment must have an inhabitant that is an employee of the  
37 development and works primarily on the subject property. In addition, the occupant  
38 shall meet the affordable housing criteria of the underlying affordable housing  
39 allocation type.  
40
- 41 L. The 46 institutional residential rooms shall be the primary residence of the occupants.  
42  
43  
44  
45  
46

1 VI PLANS REVIEWED:

2

- 3 a. Architectural Site Plan by Gorman & Company dated December 13, 2013  
4 b. Floor Plans by Gorman & Company dated December 13, 2013  
5 c. Landscape Plan by Gorman & Company dated December 13, 2013  
6 d. Preliminary Drainage Plan by Gorman & Company dated December 13, 2013  
7 e. Elevations by Gorman & Company dated December 13, 2013  
8 f. Boundary Survey by Zurwelle-Whittaker, Inc. dated August 30, 2013

**File #:** **2013-118**

**Owner's Name:** **2 Blackwater, LLC.**

**Applicant:** **Paradise Point Senior Housing**

**Agent:** **Joel C. Reed**

**Type of Application:** **Minor Conditional Use**

**Key:** **Key Largo**

**RE:** **00084260-000100**

**Additional Information added to File 2013-118**

## Schwab-Townsley

---

**From:** Joel Reed <joelreed5@yahoo.com>  
**Sent:** Sunday, November 10, 2013 7:51 AM  
**To:** Schwab-Townsley  
**Cc:** Coyle-Matt; Haberman-Joe; Creech-Gail; Williams-Steve; Hana Eskra  
**Subject:** Re: 2 Blackwater (Paridice Point Sr. Housing)

Yes we agree to the hearing.

Sincerely,

Joel Reed

On Nov 8, 2013, at 3:55 PM, Schwab-Townsley <[Schwab-Townsley@MonroeCounty-FL.Gov](mailto:Schwab-Townsley@MonroeCounty-FL.Gov)> wrote:

Joel,

As we discussed several weeks ago, we are setting a planning commission public hearing on your request for a Minor Conditional Use Permit allowing the development of an institutional residential use, involving 47 deed-restricted affordable housing units (in the form of rooms) and accessory uses/structures on a parcel of land at 2 Blackwater Lane, Key Largo, having Real Estate #0084260.00100 (File #2013-118) in accordance with Section 102-185 of the MCC. Please acknowledge your mutual consent and agreement to my request for the public hearing.

Thanks,  
Townsley

## Creech-Gail

---

**From:** Haberman-Joe  
**Sent:** Thursday, September 12, 2013 3:00 PM  
**To:** Creech-Gail  
**Cc:** Coyle-Matt  
**Subject:** FW: Elevations Gorman  
**Attachments:** Paradise Point Renderings and Elevations 2013.09.12 (2).pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged



Gail, please place these in the minor conditional use file for Blackwater.

**Joseph E. Haberman, AICP**  
**Planning & Development Review Manager**  
Monroe County | Planning & Environmental Resources Department  
2798 Overseas Highway | Suite 400 | Marathon, Florida 33050  
(305)289-2532

---

**From:** Joel Reed [<mailto:joelreed5@yahoo.com>]  
**Sent:** Thursday, September 12, 2013 2:30 PM  
**To:** Coyle-Matt  
**Cc:** Patrick Patrello; [heskra@gormanusa.com](mailto:heskra@gormanusa.com); Haberman-Joe  
**Subject:** Re: Elevations Gorman

Matt,

The Floor plans were in your last packet with the site plan. Attached are the elevations.

Joel

---

**From:** Haberman-Joe <[Haberman-Joe@monroecounty-fl.gov](mailto:Haberman-Joe@monroecounty-fl.gov)>  
**To:** 'Joel Reed' <[joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)>  
**Cc:** Patrick Patrello <[ppatrello@gormanusa.com](mailto:ppatrello@gormanusa.com)>; "[heskra@gormanusa.com](mailto:heskra@gormanusa.com)" <[heskra@gormanusa.com](mailto:heskra@gormanusa.com)>; Coyle-Matt <[Coyle-Matt@MonroeCounty-FL.Gov](mailto:Coyle-Matt@MonroeCounty-FL.Gov)>  
**Sent:** Tuesday, September 10, 2013 4:57 PM  
**Subject:** RE: Site Plan Gorman

Thank you sir. I have assigned this project to Matt Coyle, and he will begin preparing the staff report shortly.

**Joseph E. Haberman, AICP**  
**Planning & Development Review Manager**  
Monroe County | Planning & Environmental Resources Department  
2798 Overseas Highway | Suite 400 | Marathon, Florida 33050  
(305)289-2532

---

**From:** Joel Reed [<mailto:joelreed5@yahoo.com>]  
**Sent:** Tuesday, September 10, 2013 4:54 PM  
**To:** Haberman-Joe

Cc: Patrick Patrello; [heskra@gormanusa.com](mailto:heskra@gormanusa.com)

Subject: Site Plan Gorman

Joe,

Please find the attached site plan for the minor conditional use application. We should have the floor plans and elevations complete by tomorrow.

Joel



RECEIVED  
SEP 12 2013  
MONROE CO. PLANNING DEPT



**2 N. BLACKWATER PRELIMINARY SITE PLAN APPROVAL**  
**RENDERED PERSPECTIVE**

9/12/2013

RECEIVED

SEP 12 2013

MONROE CO. PLANNING DEPT



**2 N. BLACKWATER PRELIMINARY SITE PLAN APPROVAL**  
**NORTH ELEVATION**

9/12/2013  
1/16" = 1'-0"

RECEIVED

SEP 12 2013

MONROE CO. PLANNING DEPT



**2 N. BLACKWATER PRELIMINARY SITE PLAN APPROVAL**  
**EAST ELEVATION**

9/12/2013  
1/16" = 1'-0"

RECEIVED

SEP 12 2013

MONROE CO. PLANNING DEPT



**2 N. BLACKWATER PRELIMINARY SITE PLAN APPROVAL**  
**SOUTH ELEVATION**

9/12/2013  
1/16" = 1'-0"

RECEIVED

SEP 12 2013

MONROE CO. PLANNING DEPT



**2 N. BLACKWATER PRELIMINARY SITE PLAN APPROVAL**  
**WEST ELEVATION**

9/12/2013  
1/16" = 1'-0"

## Creech-Gail

---

**From:** Haberman-Joe  
**Sent:** Thursday, September 12, 2013 3:45 PM  
**To:** Creech-Gail  
**Subject:** FW: Site Plan Gorman  
**Attachments:** MM 105 Preliminary Site Plan Submittal 09.10.13 (1).pdf

Joseph E. Haberman, AICP  
Planning & Development Review Manager  
Monroe County | Planning & Environmental Resources Department  
2798 Overseas Highway | Suite 400 | Marathon, Florida 33050  
(305)289-2532



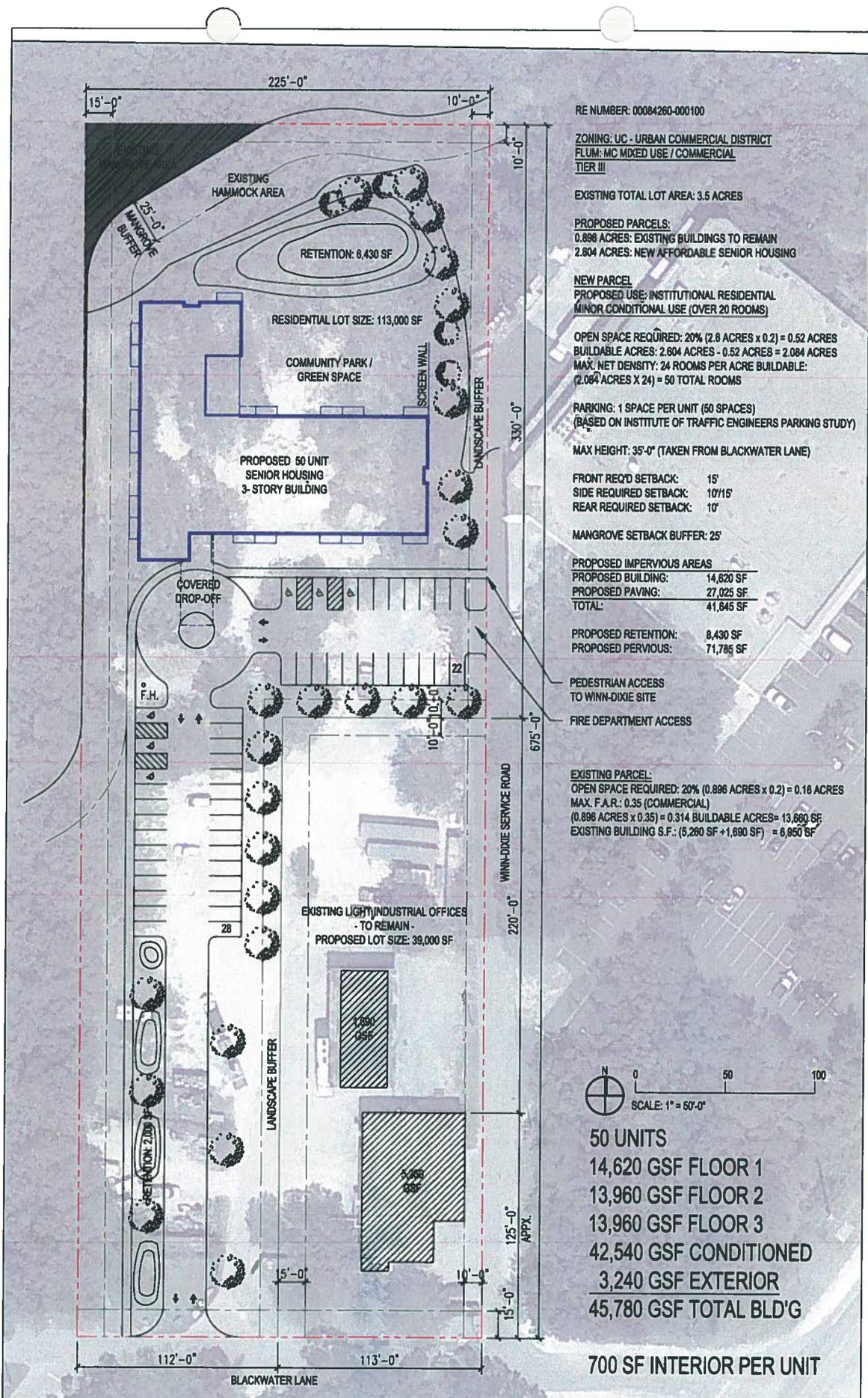
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**From:** Joel Reed [<mailto:joelreed5@yahoo.com>]  
**Sent:** Tuesday, September 10, 2013 4:54 PM  
**To:** Haberman-Joe  
**Cc:** Patrick Patrello; [heskra@gormanusa.com](mailto:heskra@gormanusa.com)  
**Subject:** Site Plan Gorman

Joe,

Please find the attached site plan for the minor conditional use application. We should have the floor plans and elevations complete by tomorrow.

Joel



RE NUMBER: 00084260-000100

ZONING: UC - URBAN COMMERCIAL DISTRICT  
 FLUM: MC MIXED USE / COMMERCIAL  
 TIER III

EXISTING TOTAL LOT AREA: 3.5 ACRES

PROPOSED PARCELS:  
 0.886 ACRES: EXISTING BUILDINGS TO REMAIN  
 2.604 ACRES: NEW AFFORDABLE SENIOR HOUSING

NEW PARCEL  
 PROPOSED USE: INSTITUTIONAL RESIDENTIAL  
 MINOR CONDITIONAL USE (OVER 20 ROOMS)

OPEN SPACE REQUIRED: 20% (2.6 ACRES x 0.2) = 0.52 ACRES  
 BUILDABLE ACRES: 2.604 ACRES - 0.52 ACRES = 2.084 ACRES  
 MAX. NET DENSITY: 24 ROOMS PER ACRE BUILDABLE:  
 (2.084 ACRES X 24) = 50 TOTAL ROOMS

PARKING: 1 SPACE PER UNIT (50 SPACES)  
 (BASED ON INSTITUTE OF TRAFFIC ENGINEERS PARKING STUDY)

MAX HEIGHT: 35'-0" (TAKEN FROM BLACKWATER LANE)

FRONT REQ'D SETBACK: 15'  
 SIDE REQUIRED SETBACK: 10'/15'  
 REAR REQUIRED SETBACK: 10'

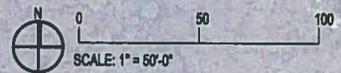
MANGROVE SETBACK BUFFER: 25'

PROPOSED IMPERVIOUS AREAS	
PROPOSED BUILDING:	14,620 SF
PROPOSED PAVING:	27,025 SF
TOTAL:	41,645 SF

PROPOSED RETENTION: 8,430 SF  
 PROPOSED PERVIOUS: 71,785 SF

PEDESTRIAN ACCESS TO WINN-DIXIE SITE  
 FIRE DEPARTMENT ACCESS

EXISTING PARCEL:  
 OPEN SPACE REQUIRED: 20% (0.886 ACRES x 0.2) = 0.18 ACRES  
 MAX. F.A.R.: 0.35 (COMMERCIAL)  
 (0.886 ACRES x 0.35) = 0.314 BUILDABLE ACRES = 13,680 SF  
 EXISTING BUILDING S.F.: (5,280 SF + 1,690 SF) = 6,950 SF

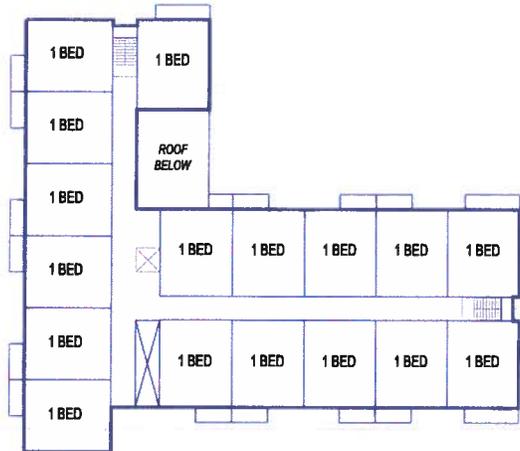


50 UNITS  
 14,620 GSF FLOOR 1  
 13,960 GSF FLOOR 2  
 13,960 GSF FLOOR 3  
 42,540 GSF CONDITIONED  
 3,240 GSF EXTERIOR  
 45,780 GSF TOTAL BLD'G

700 SF INTERIOR PER UNIT

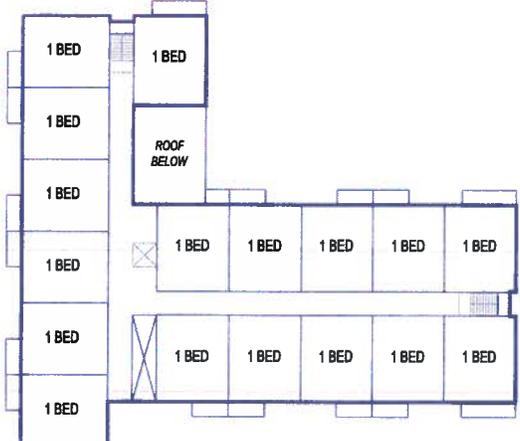


2 Blackwater Lane, Key Largo, Florida  
 Preliminary Site Plan Approval - 9/10/2013



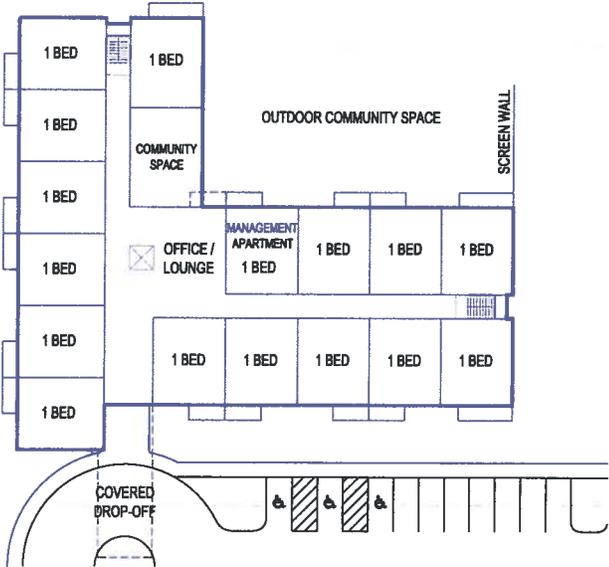
13,960 GSF

THIRD FLOOR  
SCALE: 1" = 40'



13,960 GSF

SECOND FLOOR  
SCALE: 1" = 40'

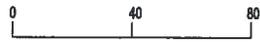


14,620 GSF

FIRST FLOOR  
SCALE: 1" = 40'



SCHMATIC FLOOR PLANS



# County of Monroe Growth Management Division

## Planning & Environmental Resources

### Department

2798 Overseas Highway, Suite 410

Marathon, FL 33050

Voice: (305) 289-2500

FAX: (305) 289-2536



## Board of County Commissioners

Mayor David Rice, Dist. 4

Mayor Pro Kim Wigington Tem Dist. 1

Heather Carruthers, Dist. 3

George Neugent, Dist. 2

Sylvia J. Murphy, Dist. 5

*We strive to be caring, professional and fair*

Date: 9.09.13

Time: \_\_\_\_\_

Dear Applicant:

This is to acknowledge submittal of your application for Minor Conditional Use

Type of application

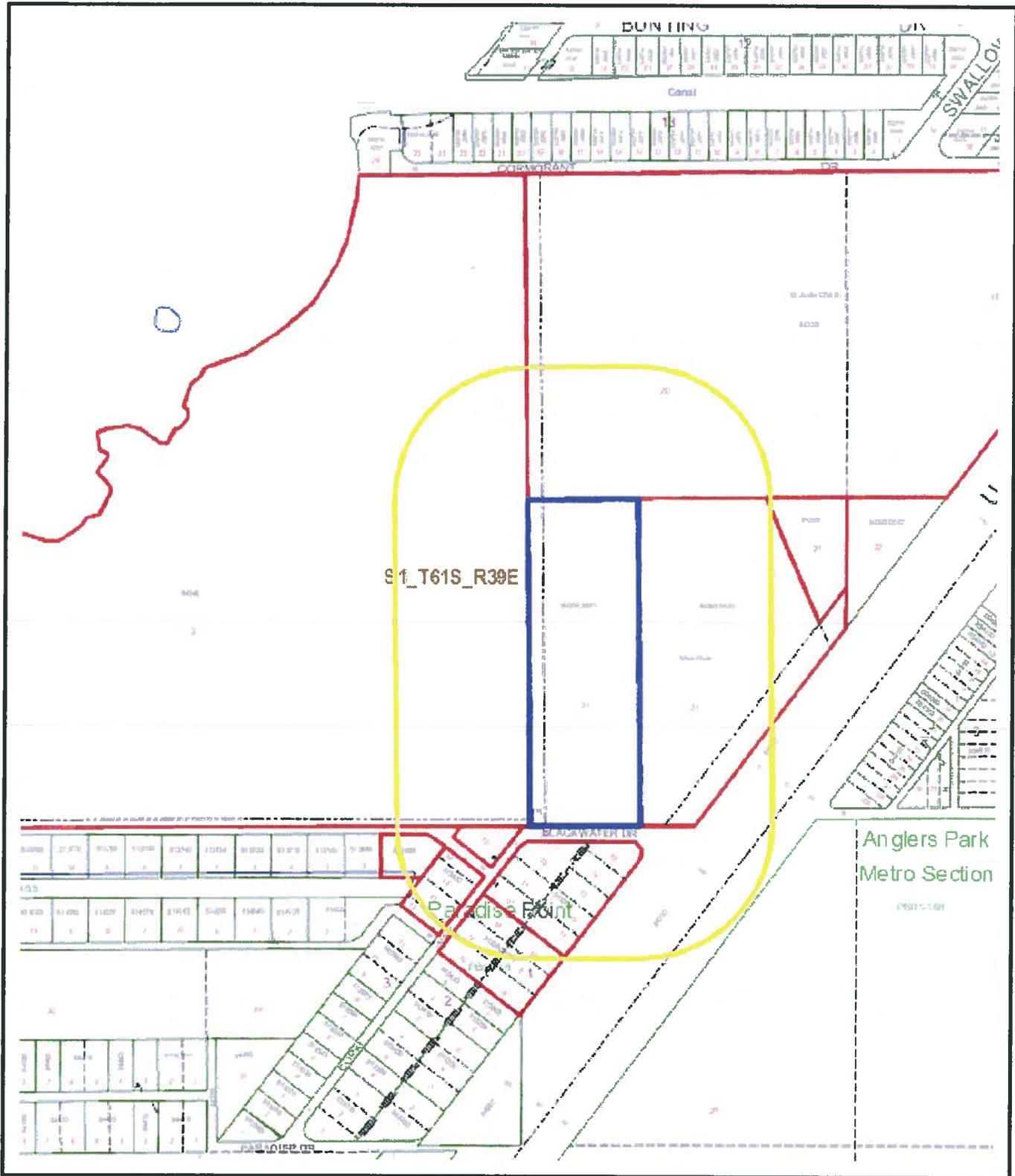
Paradise Point Senior Housing  
aka 2 Blackwater, LLC/Gorman & Co., Inc.

to the Monroe County Planning Department.

Project / Name

Thank you.

Planning Staff



# Monroe County, Florida

## MCPA GIS Public Portal

Printed: Sep 09, 2013

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



2 BLACKWATER LLC  
2 N BLACKWATER LN  
KEY LARGO, FL 33037

CONFIDENTIAL DATA F.S. 119.07

FERGUSON ROBERT L  
1911 TILLMAN LN  
PENSACOLA, FL 32526

RUPINSKI WAYNE A  
350 WEBER TER  
PORT CHARLOTTE, FL 33952-8352

BUFFETT PENELOPE  
11 CORAL WAY  
KEY LARGO, FL 33037-2939

CORENBLUM IDA MAE REV LIVING  
TRUST 5/2/79  
134 THORNTON DR  
WEST PALM BEACH, FL 33418

ISLAND PLAZA L.C  
PO BOX 402427  
MIAMI BEACH, FL 33140-0427

TIITF/REC & PARKS  
JOHN PENNEKAMP CORAL REEF 3900  
COMMONWEALTH BLVD  
TALLAHASSEE, FL 32399-3000

CARROLL COLEMAN F BISHOP  
% ARCHDIOCESE OF MIAMI 9401  
BISCAYNE BLVD  
MIAMI SHORES, FL 33138

EUROPEAN MOTORWERK AUTOHAUS  
INC  
105230 OVERSEAS HWY  
KEY LARGO, FL 33037-3017

MARTINEZ EDDIE ANDRES AND MARIA  
DEL CARMEN  
1140 W 50TH ST STE 307  
HIALEAH, FL 33012-3411

**End of Additional File 2013-118**

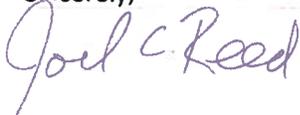
September 8, 2013

Monroe County  
Planning & Environmental Resources  
Attn: Mr. Townsley Schwab, Senior Director  
2798 Overseas Hwy.  
Suite 400  
Marathon, FL 33050

Mr. Schwab,

Please find the enclosed application for a Minor Conditional Use Application permit for Gorman & Company, Inc. to develop a fifty (50) unit senior housing development at 2 N. Blackwater Lane, Key Largo, FL 33037 at approximate MM 105. If you have any questions or concerns please do not hesitate to contact me at 786.708.9247 or [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com).

Sincerely,



Joel C. Reed, AICP

**RC3WORLD INC**  
**Land Use Planning & Consulting**  
Phone: 678.708.9247  
Address: 411 Ridgewood Rd NE  
Atlanta, GA 30307  
Email: [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)

**Project Name & Location**

PARADISE POINT SENIOR HOUSING  
2 N. Blackwater Lane  
Key Largo, FL 33037

**Project Description**

Minor Conditional Use

**Owner/Applicant**

2Blackwater LLC/Gorman & Company Inc.

**Date:**

9/9/2013

**Agent**

(JOEL C. REED)

RC3WORLD INC  
Land Use Planning & Consulting  
Phone: 678.708.9247  
Address: 411 Ridgewood Rd NE  
Atlanta, GA 30307  
Email: [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)

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19. Agent Authorization Letter
20. Vegetation Survey – N/A
21. Construction Phasing Plan – N/A
22. Additional Submittals – N/A

### **Attachments**

- Attachment 1 Survey – (3 Originals) - PENDING  
Attachment 2 Site Plan, Floor Plans & Elevations - PENDING  
Attachment 3 Landscape Plan & Conceptual Drainage - PENDING

APPLICATION  
**MONROE COUNTY**  
**PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT**



RECEIVED

SEP - 9 2013

MONROE CO. PLANNING DEPT

**Request for a Minor Conditional Use Permit**

**An application must be deemed complete and in compliance with the Monroe County Code by the staff prior to the item being scheduled for review**

Major Conditional Use Permit Application Fee: \$8,484.00

*In addition to the application fee, the following fees also apply:*

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Traffic Study Review: \$5,000.00

**Date of Submittal:**    09    /    08    /    2013  
                                   Month    Day    Year

**Applicant/Agent Authorized to Act for the Property Owner:**

RC3WORLD INC. on behalf of Gorman & Company, Inc.	JOEL C. REED
Applicant (Name of Person, Business or Organization)	Name of Person Submitting this Application
411 RIDGEWOOD ROAD NE, ATLANTA GA 30307	
Mailing Address (Street, City, State and Zip Code)	
678.708.9247	JOELREED5@YAHOO.COM
Daytime Phone	Email Address

**Property Owner:**

2 BLACKWATER LLC	CASEY SCHEU
(Name/Entity)	Contact Person
2 N. BLACKWATER LANE, KEY LARGO, FL 33037	
Mailing Address (Street, City, State and Zip Code)	
305.451.4722	CASEY@APE.COM
Daytime Phone	Email Address

**Legal Description of Property:**

(If in metes and bounds, attach legal description on separate sheet)

1-61-39 ISLAND OF KEY LARGO PT LOT 21 (WLY 225 FT NW RE)	Subdivision	KEY LARGO
Block	Lot	Key
00084260-000100	1092916	
Real Estate (RE) Number	Alternate Key Number	
2 N. BLACKWATER LANE, KEY LARGO FL 33037	105	
Street Address (Street, City, State, Zip Code)	Approximate Mile Marker	

**APPLICATION**

**Land Use District Designation of Property:** URBAN COMMERCIAL (UC)

**Present Land Use of Property:** VACANT

**Proposed Land Use of Property:** INSTITUTIONAL - SENIOR HOUSING

**Total Area of Property:** ~2.5 ACRES

**Total Upland Area within Property:** ~2.5 ACRES

**If non-residential or commercial floor area is proposed, please provide:**

0 Total number of non-residential buildings

0 Total non-residential floor area in square feet

**If residential dwelling units are proposed, please provide:**

1 Total number of residential buildings

0 Total number of permanent, market-rate units

50 Total number of permanent, affordable units

0 Total number of transient units (hotel, recreational vehicle and/or campground)

**Has a previous application been submitted for this site within the past two years?** Yes \_\_\_ No X

**All of the following must be submitted in order to have a complete application submittal:**  
(Please check as you attach each required item to the application)

- 001  Completed application form
- 002  ~~NA~~ Correct fee (check or money order to Monroe County Planning & Environmental Resources)
- 003  Proof of ownership (i.e. Warranty Deed)
- 004  Current property record card(s) from the Monroe County Property Appraiser
- 005  Photograph(s) of site from adjacent roadway
- 006  Written description of project
- 007  Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 6 sets (at a minimum, survey should include elevations; all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage; and total acreage by habitat)
- 008  Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect– 6 sets (drawn to a scale of 1:10 or 1:20). At a minimum, the site plan should include the following:
  - Date, north point and graphic scale
  - Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
  - All attributes from the boundary survey
  - Future Land Use Map (FLUM) designation(s) of the site
  - Land Use (Zoning) District designation(s) of site
  - Tier designation(s) of the site
  - Flood zones pursuant to the Flood Insurance Rate Map

## APPLICATION

- Setback lines as required by the Land Development Code
- Locations and dimensions of all existing and proposed structures, including all paved areas and clear site triangles
- Size and type of buffer yards and parking lot landscaping areas, including the species and number of plants (*unless a separate landscape plan showing such is submitted*)
- Extent and area of wetlands, open space preservation areas and conservation easements
- Delineation of habitat types to demonstrate buildable area on the site, including any heritage trees identified and any potential species that may use the site (certified by an approved biologist and based on the most current professionally-recognized mapping by the U.S. Fish and Wildlife Service) (*unless a separate landscape plan showing such is submitted*)
- Location of fire hydrants or fire wells
- The location of public utilities, including location of the closest available water supply system or collection lines and the closest available wastewater collection system or collection lines (with wastewater system provider) or on-site system proposed to meet required County and State of Florida wastewater treatment standards
- A table providing the total land area of the site, the total buildable area of the site, the type and square footage of all nonresidential land uses, the type and number of all residential dwelling units, the amounts of impervious and pervious areas, and calculations for land use intensity, open space ratio, and off-street parking

009  Landscape Plan by a Florida registered landscape architect – 6 sets (may be shown on the site plan; however, if a separate plan, drawn to a scale of 1:10 or 1:20). At a minimum, the landscaping plan should include the following:

- Date, north point and graphic scale
- Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
- Locations and dimensions of all existing and proposed structures, including all paved areas
- Open space preservation areas
- Existing natural features
- Size and type of buffer yards including the species, size and number of plants
- Parking lot landscaping including the species, size and number of plants
- Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced
- Transplantation plan (if required)

010  Stormwater/ Surface Water Management Plan – 6 sets (including existing and proposed topography, all drainage structures, retention areas, drainage swales and existing and proposed permeable and impermeable areas)

011  Building Floor Plans for all proposed structures and for any existing structures to be redeveloped – 6 sets (drawn at an appropriate standard architectural scale)

012  Building Elevations for all proposed structures and for any existing structures to be modified – 6 sets (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure)

013  Traffic Study, prepared by a licensed traffic engineer

014  Transportation fee of \$5,000 to cover the cost of experts hired by the Growth Management Division to review the traffic study (any unused funds deposited will be returned upon permit approval)

015  Construction Management Plan, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging)

016  Typed name and address mailing labels of all property owners within a 300 foot radius of the property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 300 foot radius, each unit owner must be included

APPLICATION

017  Radius report from Monroe County Property Appraiser supporting the required labels

018  Proof of Coordination are required from the following:

- Florida Keys Aqueduct Authority (FKAA)
- Florida Keys Electric Cooperative (FKEC) or Keys Energy Services
- Monroe County Office of the Fire Marshal
- Monroe County Solid Waste Management
- Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day Key Largo Waste Water Treatment District (KLWTD)

If applicable, the following must be submitted in order to have a complete application submittal:

019  Notarized Agent Authorization

020  Vegetation Survey or Habitat Evaluation Index NOTE: N/A - SCARAFIED SITE

021  Construction Phasing Plan NOTE: N/A - Single Phase Development

022  Additional Proof of Coordination may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:

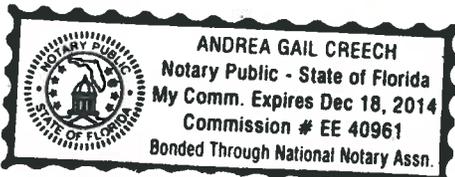
- Key West Resort Utilities
- Key Largo Wastewater Treatment District (KLWTD) SEE ABOVE
- South Florida Water Management District (SFWMD) N/A - Not greater than 10 acres or 2 acres impervious
- Florida Department of Transportation (FDOT) N/A
- Florida Department of Environmental Protection (FDEP) N/A
- Florida Department of State, Division of Historic Resources N/A
- Florida Game and Freshwater Fish Commission (FGFFC) N/A
- U.S. Army Corps of Engineers (ACOE) N/A
- U.S. Fish and Wildlife Service (USFW) N/A

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

\* \* \* \* \*  
I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: Paul C Reed Date: 9/9/2013

Sworn before me this 9th day of September, 2013



Andrea Gail Creech  
Notary Public  
My Commission Expires

Please send the complete application package to the Monroe County Planning & Environmental Resources Department, Marathon Government Center, 2798 Overseas Highway, Suite 400, Marathon, FL 33050.

**002- CORRECT FEE**

N/A – APPLICATION FEES ARE NOT APPLICABLE TO AFFORDABLE PROJECTS.



9/9/2013  
(Date)

I hereby authorize Joel C. Reed be listed as authorized agent  
(Name of Agent)

Gorman & Company, Inc. & Paradise Point Senior Housing, LLC  
for \_\_\_\_\_ for the application submittal for  
(Name of Property Owner(s) the Applicant(s))

Property described as Lot: \_\_\_\_\_, Block \_\_\_\_\_,  
1-61-39 ISLAND OF KEY LARGO PT  
Subdivision: LOT 21 (WLY 225 FT NW RR), Key (island): Largo  
and Real Estate number: 00084260-000100

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated.

The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Authorization is needed from each owner of the subject property. Therefore, one or more authorization forms must be submitted with the application if there are multiple owners.

[Signature]  
Property Owner(s) Signature  
By: Paradise Point Senior Housing, LLC  
By: Gorman Employee Group Paradise Point, LLC, Managing Member  
By: Gorman & Company, Inc., Manager  
By: Gary J. Gorman, President  
Printed Name of Owner(s)

NOTARY:  
STATE OF ~~FLORIDA~~ WISCONSIN  
COUNTY OF ~~MONROE~~ DANE

The foregoing instrument was acknowledged before me this 9<sup>th</sup> day of September, 2013.  
Gary J. Gorman is  personally known \_\_\_\_\_ produced identification

( \_\_\_\_\_ Type of Identification), did / did not take an oath.

Nicole A. Solheim  
Notary  
Nicole A. Solheim exp 4/22/2017



**2013 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT**

DOCUMENT# L04000005096

**Entity Name:** 2 BLACKWATER, LLC

**Current Principal Place of Business:**

2 NORTH BLACKWATER LANE  
KEY LARGO, FL 33037

**Current Mailing Address:**

2 NORTH BLACKWATER LANE  
KEY LARGO, FL 33037 US

**FEI Number:** 20-0657496

**Certificate of Status Desired:** No

**Name and Address of Current Registered Agent:**

SCHEU, CASEY CPRES.  
2 NORTH BLACKWATER LANE  
KEY LARGO, FL 33037 US

*The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.*

**SIGNATURE:**

\_\_\_\_\_  
Electronic Signature of Registered Agent

\_\_\_\_\_  
Date

**Manager/Member Detail Detail :**

Title            SEC  
Name            SCHEU, BARBARA GSEC.  
Address        2 N BLACKWATER LANE  
City-State-Zip: KEY LARGO FL 33037

Title            VP  
Name            SCHEU, CASEY C  
Address        2 NORTH BLACKWATER LANE  
City-State-Zip: KEY LARGO FL 33037

Title            PRESIDENT  
Name            SCHEU, BARBARA G  
Address        2 NORTH BLACKWATER LANE  
City-State-Zip: KEY LARGO FL 33037

Title            VP  
Name            SCHEU, IAN E PHD  
Address        2 NORTH BLACKWATER LANE  
City-State-Zip: KEY LARGO FL 33037

*I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 608, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.*

**SIGNATURE:** BARBARA G SCHEU

**PRES**

**04/23/2013**

\_\_\_\_\_  
Electronic Signature of Signing Manager/Member Detail

\_\_\_\_\_  
Date

**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

The offices of the Property Appraiser will be closed Monday, September 2nd in observance of Labor Day. Website tested on IE8, IE9, & Firefox. Requires Adobe Flash 10.3 or higher

**Property Record Card -**  
**Maps are now launching the new map application version.**

Alternate Key: 1092916 Parcel ID: 00084260-000100

**Ownership Details**

**Mailing Address:**  
2 BLACKWATER LLC  
2 N BLACKWATER LN  
KEY LARGO, FL 33037

**Property Details**

**PC Code:** 48 - WAREHOUSING (PC/LIST)  
**Millage Group:** 500K  
**Affordable Housing:** No  
**Section-Township-Range:** 01-61-39  
**Property Location:** 2 N BLACKWATER LN KEY LARGO  
**Legal Description:** 1-61-39 ISLAND OF KEY LARGO PT LOT 21 (WLY 225 FT NW R R) OR574-732 OR671-249 OR822-1536 OR860-1034E OR963-1452 OR1246-2013/14 OR1246-2015/16 OR1320-1893 OR1411-1355/56 OR1983-544/47(CW)

**Click Map Image to open interactive viewer**



### Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	0	0	2.44 AC
000X - ENVIRONMENTALLY SENS	0	0	1.06 AC

### Building Summary

Number of Buildings: 2  
 Number of Commercial Buildings: 2

**Total Living Area:** 6950  
**Year Built:** 1976

### Building 1 Details

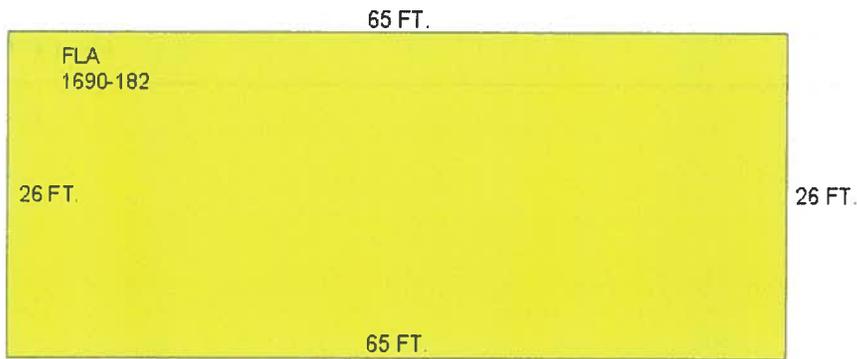
<b>Building Type</b>	<b>Condition A</b>	<b>Quality Grade</b> 350
<b>Effective Age</b> 22	<b>Perimeter</b> 182	<b>Depreciation %</b> 26
<b>Year Built</b> 1981	<b>Special Arch</b> 0	<b>Grnd Floor Area</b> 1,690
<b>Functional Obs</b> 0	<b>Economic Obs</b> 0	

**Inclusions:**

<b>Roof Type</b>	<b>Roof Cover</b>	<b>Foundation</b>
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

**Extra Features:**

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1981					1,690

**Interior Finish:**

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	6554	WAREHOUSE/MARINA D	80	N	N
	6555	OFF BLDG MUL STY-D	20	N	Y

**Exterior Wall:**

Interior Finish Nbr	Type	Area %
1819	C.B.S.	100

**Building 2 Details**

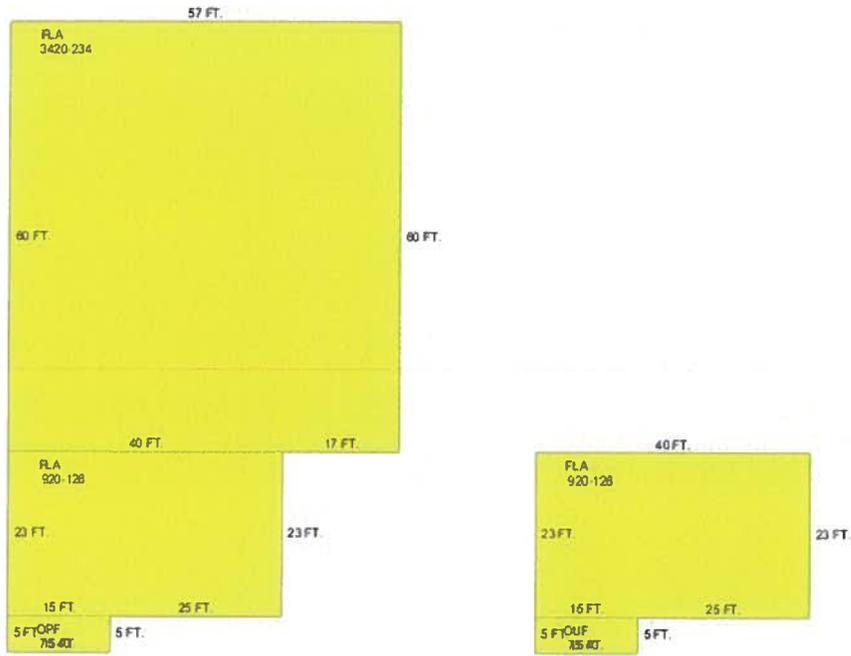
<b>Building Type</b>	<b>Condition A</b>	<b>Quality Grade</b> 350
<b>Effective Age</b> 22	<b>Perimeter</b> 486	<b>Depreciation %</b> 26
<b>Year Built</b> 1976	<b>Special Arch</b> 0	<b>Grnd Floor Area</b> 5,260
<b>Functional Obs</b> 0	<b>Economic Obs</b> 0	

**Inclusions:**

<b>Roof Type</b>	<b>Roof Cover</b>	<b>Foundation</b>
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

**Extra Features:**

<b>2 Fix Bath</b> 0	<b>Vacuum</b> 0
<b>3 Fix Bath</b> 0	<b>Garbage Disposal</b> 0
<b>4 Fix Bath</b> 0	<b>Compactor</b> 0
<b>5 Fix Bath</b> 0	<b>Security</b> 0
<b>6 Fix Bath</b> 0	<b>Intercom</b> 0
<b>7 Fix Bath</b> 0	<b>Fireplaces</b> 0
<b>Extra Fix</b> 6	<b>Dishwasher</b> 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1975					3,420
2	FLA		1	1975					920
3	OFF		1	1975					75
4	OUF		1	1975					75
5	FLA		1	1975					920

**Interior Finish:**

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	6556	WAREHOUSE/MARINA D	100	N	N
	6557	OFF BLDG-1 STY-D	100	N	Y
	6558	OPF	100	N	N
	6559	OUF	100	N	N
	6560	OFFICE BLD-1 STORY	100	N	Y

**Exterior Wall:**

Interior Finish Nbr	Type	Area %
1820	C.B.S.	100

**Misc Improvement Details**

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	AP2:ASPHALT PAVING	5,746 SF	0	0	1975	1976	2	25
2	CL2:CH LINK FENCE	4,164 SF	694	6	1975	1976	1	30
3	CL2:CH LINK FENCE	900 SF	150	6	1992	1993	1	30
4	FN2:FENCES	342 SF	57	6	1984	1985	3	30
5	PT3:PATIO	150 SF	0	0	1975	1976	2	50
6	CL2:CH LINK FENCE	3,900 SF	650	6	2005	2006	3	30

## Appraiser Notes

2004 7-28 SF OK PER GIS. CW

## Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	04302882	06/29/2004		1		EXT/INT PAINTING
	04302617	08/12/2004	01/01/2005	1		INT/EXT REMODEL
	05301001	03/01/2005	11/30/2005	1		FENCE

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	475,265	16,104	366,106	609,821	609,821	0	609,821
2012	475,265	16,356	366,106	609,821	609,821	0	609,821
2011	494,532	16,608	366,106	592,098	592,098	0	592,098
2010	494,532	16,990	366,106	657,887	657,887	0	657,887
2009	610,078	17,305	488,106	822,359	822,359	0	822,359
2008	610,078	17,604	610,106	913,732	913,732	0	913,732
2007	437,882	16,217	207,506	913,732	913,732	0	913,732
2006	437,882	16,482	207,506	661,870	661,870	0	661,870
2005	459,506	9,567	207,506	676,579	676,579	0	676,579
2004	349,654	9,634	207,506	566,794	566,794	0	566,794
2003	349,654	9,714	199,016	558,384	558,384	0	558,384
2002	349,654	9,857	199,016	558,527	558,527	0	558,527
2001	284,702	10,026	179,126	473,854	473,854	0	473,854
2000	323,512	5,263	139,346	468,121	468,121	0	468,121
1999	323,512	5,314	139,346	468,172	468,172	0	468,172

1998	263,625	5,371	139,346	408,342	408,342	0	408,342
1997	263,625	5,431	139,346	408,402	408,402	0	408,402
1996	186,087	5,482	99,566	291,135	291,135	0	291,135
1995	186,087	5,539	99,566	291,192	291,192	0	291,192
1994	82,596	5,238	99,566	187,400	187,400	0	187,400
1993	182,010	5,941	149,291	337,242	337,242	0	337,242
1992	182,010	5,941	149,291	337,242	337,242	0	337,242
1991	182,010	5,941	149,291	337,242	337,242	0	337,242
1990	182,010	5,941	149,291	337,242	337,242	0	337,242
1989	182,010	5,941	149,291	337,242	337,242	0	337,242
1988	175,194	5,941	149,291	330,426	330,426	0	330,426
1987	170,268	5,941	149,523	325,732	325,732	0	325,732
1986	171,231	5,941	140,000	317,172	317,172	0	317,172
1985	178,124	5,941	101,150	285,215	285,215	0	285,215
1984	185,422	5,941	53,906	245,269	245,269	0	245,269
1983	185,422	5,941	53,906	245,269	245,269	0	245,269
1982	168,905	5,941	53,906	228,752	228,752	0	228,752

## Parcel Sales History

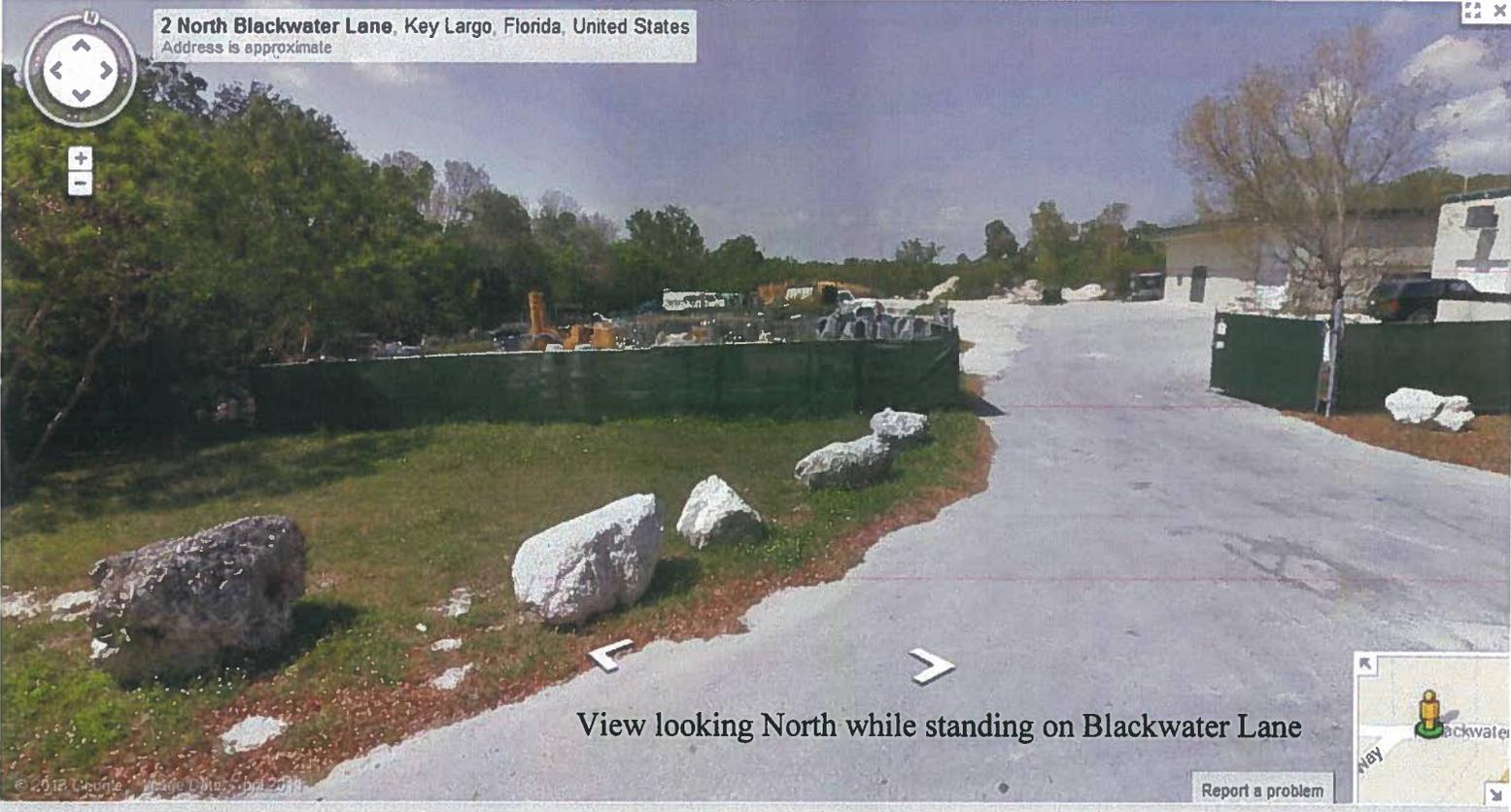
NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
3/2/2004	1983 / 0544	850,000	WD *****	Q ****
7/1/1996	1411 / 1355	575,000	WD *****	Q ****
8/1/1994	1320 / 1893	380,000	WD *****	Q ****
2/1/1993	1246 / 2013	220,000	WD *****	U ****
1/1/1986	963 / 1452	375,000	WD *****	Q ****
12/1/1980	822 / 1536	225,000	WD *****	Q ****

This page has been visited 8,237 times.

Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176

2 North Blackwater Lane, Key Largo, Florida, United States  
Address is approximate



View looking North while standing on Blackwater Lane

## **006- WRITTEN DESCRIPTION OF PROJECT**

Gorman is proposing to develop at site at approximately MM105 in the Key Largo with fifty (50) senior affordable units. Senior housing provides housing choice at all stages of life for residents. Life long communities are essential in that they allow community members to age in place.

The site is located at 2 N. Blackwater Lane at ~MM 105 in Key Largo, FL. The site is approximately 3.5 acres and is partially developed. A portion of the site is developed with two building: 1690 and 5260 square feet occupied by light industrial use. The remainder of the land is undeveloped scarified land. Gorman proposals to purchase approximately 2.5 of the 3.5 acre parcel of land and parcel off the 2.5 acres to be used for the senior housing development. It is anticipated that construction would begin in June of 2014 and take one year to complete.

The deveopment will consist of 50 senior housing units that will be affordable to those earning up to 80% of the area median income for Monroe County. These units are for active seniors and will provide an opportunity for residents to age in place. The units will be 1 bedroom units contained in a single structure and will have common facilities as well as outdoor recreation areas as well. The units are for active seniors and the facility is not designed as an Assisted Living Facility (ALF) or Senior Building. However, the building will have ammenities and features that cater to those agining as well as an onsite manager.

Gorman utilizes Low Income Housing Tax Credits (LIHTC) to develop and manage affordable housing projects throughout the United States and has two (2) projects located in the Floriday Keys. Gorman was selected by Monroe County to develop the Bluewater site at approximately MM 92 in Tavernier with 36 affordable housing units which has been completed. Gorman is currently in the process of developing thirty-six (36) affordable housing units in Islamorada at the "Wet Net" property.

In 2005 and 2007, the Board of County Commissioners authorized the Housing & Community Devepoment Department to advertise a Request for Qualifications (RFQ) for contractors to build workforce rental units on four (4) Monroe County owned parcels. A Request for Proposals (RFP) was issued and approved housing develelpment service providers on September 5, 2007. Gorman & Company, Inc. was selected as an approved developer and selected to construct workforce housing on the the Bluwater site located at approximately MM 92 in Tavernier, RE # 00488730.000000.

**007-014 ITEMS**

007 – BOUNDARY SURVEY – PENDING

008 – SITE PLAN – PENDING

009- LANDSCAPE PLAN - PENDING

010- STORMWATER/SURFACE MANAGEMENT PLAN – PENDING

011- BUILDING FLOOR PLANS – PENDING

012 – BUILDING ELEVATIONS - PENDING

013 – TRAFFIC STUDY – PENDING, DEPENDS ON LEVEL REQUIRED

014- TRANSPORTATION FEE – N/A

## **015 - CONSTRUCTION MANAGEMENT AND PHASING PLAN**

This project was designed to be built at one time and therefore there is no phasing plan being submitted. The project will begin with the clearing of any debris on the site followed by rough grading of the overall site and placement of drives and parking. Trenching and any placement of underground utilities as needed will take place and will include: sewer, water, electrical transmission, phone and cable. Vertical elevation will commence followed by final grading, hardscapes and landscaping. Best management practices for stormwater management will be used at time of construction in order to protect near shore waters and to prevent stormwater runoff.

• 2 BLACKWATER LLC  
2 N BLACKWATER LN  
KEY LARGO FL, 33037

• FERGUSON ROBERT L  
1911 TILLMAN LN  
PENSACOLA FL, 32526

• CARROLL COLEMAN F BISHOP  
% ARCHDIOCESE OF MIAMI  
9401 BISCAYNE BLVD  
MIAMI SHORES FL, 33138

• MARTINEZ EDDIE ANDRES AND MARIA  
DEL CARMEN  
1140 W 50TH ST STE 307  
HIALEAH FL, 33012-3411

• TIITF/REC & PARKS  
JOHN PENNEKAMP CORAL REEF  
3900 COMMONWEALTH BLVD  
TALLAHASSEE FL, 32399-3000

• ISLAND PLAZA L.C  
PO BOX 402427  
MIAMI BEACH FL, 33140-0427

• CONFIDENTIAL DATA F.S. 119.07  
,

• RUPINSKI WAYNE A  
350 WEBER TER  
PORT CHARLOTTE FL, 33952-8352

• BUFFETT PENELOPE  
11 CORAL WAY  
KEY LARGO FL, 33037-2939

• EUROPEAN MOTORWERK AUTOHAUS  
INC  
105230 OVERSEAS HWY  
KEY LARGO FL, 33037-3017

• CORENBLUM IDA MAE REV LIVING  
TRUST 5/2/79

134 THORNTON DR  
WEST PALM BEACH FL, 33418

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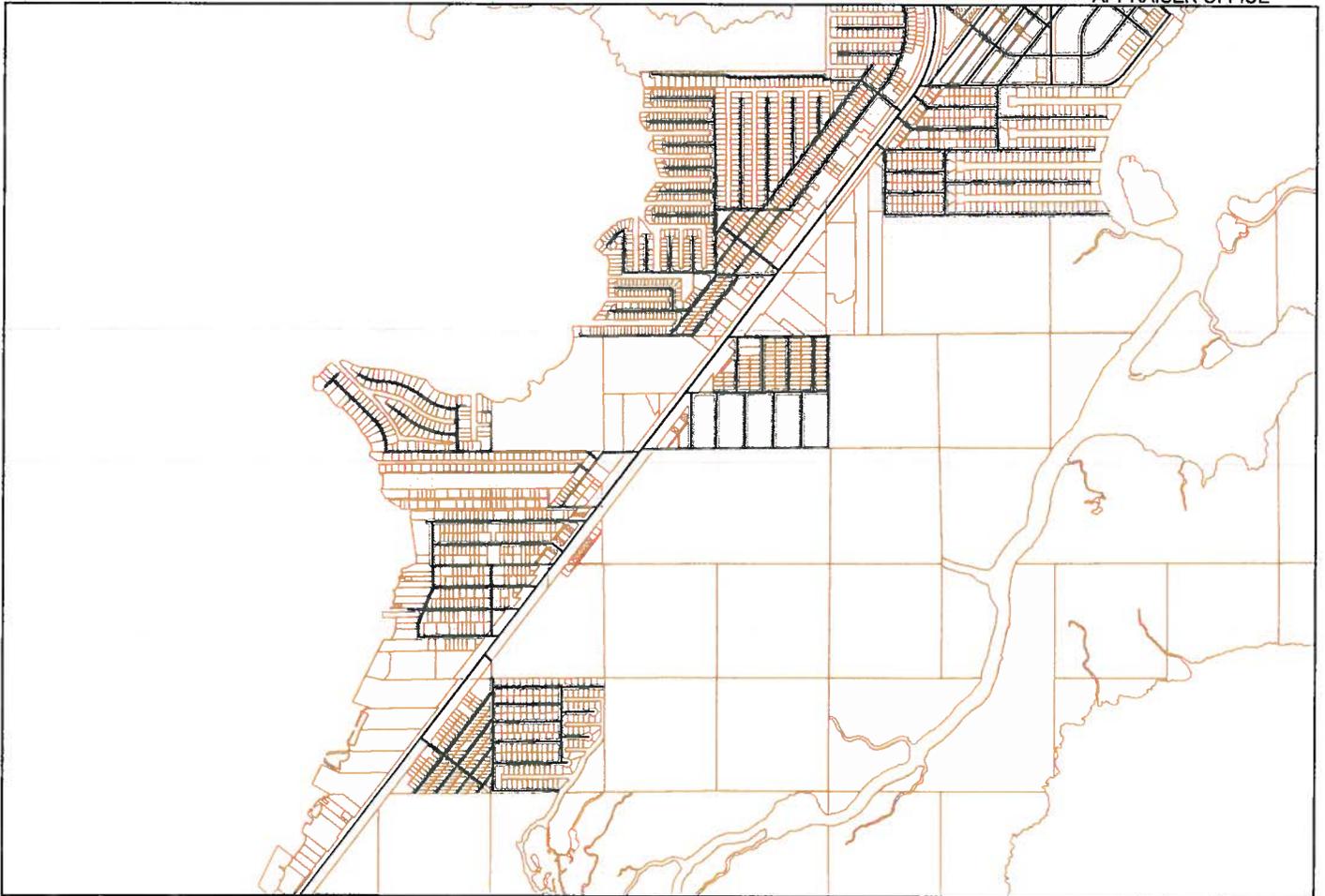
,

,

**300' Buffer RE 00084260-000100**

MCPA GIS Public Portal

MONROE COUNTY PROPERTY  
APPRAISER OFFICE



THIS PROPERTY LOCATION MAP HAS BEEN COMPILED FOR INTERNAL OFFICE USE AS AN AID IN THE PREPARATION OF THE MONROE COUNTY TAX ROLL. IT IS NOT A SURVEY AND THE OWNERSHIP INFORMATION DEPICTED THEREON SHOULD NOT BE RELIED UPON FOR TITLE PURPOSES. NEITHER MONROE COUNTY NOR THE OFFICE OF THE PROPERTY APPRAISER ASSUMES RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS.

1:20,664

Date: 9/8/2013

**RC3WORLD INC**  
**Land Use Planning & Consulting**  
Phone: 678.708.9247  
Address: 411 Ridgewood Rd NE  
Atlanta, GA 30307  
Email: [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)

September 8, 2013

Florida Keys Aqueduct Authority  
Post Office Box 1239  
1100 Kennedy Drive  
Key West, Florida, 33041-1239

*Sent Via Email:* [mwalterson@fkaa.com](mailto:mwalterson@fkaa.com)

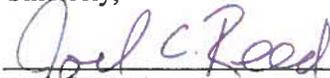
Ms. Walterson:

We are writing to request a letter of coordination from your office in reference to the below described site. The site is currently 3.5 acres and contains a light industrial use. We are proposing to parcel off approximately 2.5 acres for a Senior Housing Development of 50 1- bedroom units.

<p><b>Description of Property:</b> 1-61-39 ISLAND OF KEY LARGO PT LOT 21 (WLY 225 FT NW RR)</p> <p><b>Real Estate Number:</b> 00084260-000100</p> <p><b>AK Number:</b> 1092916</p> <p><b>Owner of Record:</b> 2 Blackwater LLC</p> <p><b>Physical Location:</b> 2 N. Blackwater Lane Key Largo, FL 33037 Approximate MM 105</p> <p><b>Site Size:</b> +/- 3.5 Acres for the entire Site. Proposing to parcel off +/- 2.5 Acres</p>	
---	---

We are requesting a letter of coordination from your office with regards to water availability. I thank you in advance for your time and attention to this matter, if you have any questions or concerns please contact me at the listed address and telephone numbers.

Sincerely,

  
Joel C. Reed, AICP

Attachments: Preliminary Site Plan

**RC3WORLD INC**  
**Land Use Planning & Consulting**  
Phone: 678.708.9247  
Address: 411 Ridgewood Rd NE  
Atlanta, GA 30307  
Email: [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)

September 8, 2013

Key Largo Wastewater Treatment District  
Attn: Ms. Bilyeu  
P.O. Box 491  
98880 Overseas Hwy Physical  
Key Largo, FL 33030  
Phone: 305 451 4019 , ext 200

*Sent Via Email:* [carieb@klwtd.com](mailto:carieb@klwtd.com)

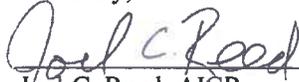
Ms. Bilyeu:

We are writing to request a letter of coordination from your office in reference to the below described site. The site is currently 3.5 acres and contains a light industrial use. We are proposing to parcel off approximately 2.5 acres for a Senior Housing Development of 50 1- bedroom units.

<p><b>Description of Property:</b> 1-61-39 ISLAND OF KEY LARGO PT LOT 21 (WLY 225 FT NW RR)</p> <p><b>Real Estate Number:</b> 00084260-000100</p> <p><b>AK Number:</b> 1092916</p> <p><b>Owner of Record:</b> 2 Blackwater LLC</p> <p><b>Physical Location:</b> 2 N. Blackwater Lane Key Largo, FL 33037 Approximate MM 105</p> <p><b>Site Size:</b> +/- 3.5 Acres for the entire Site. Proposing to parcel off +/- 2.5 Acres</p>	
---	---

We are requesting a letter of coordination from your office with regards to waste water availability. I thank you in advance for your time and attention to this matter, if you have any questions or concerns please contact me at the listed address and telephone numbers.

Sincerely,



Joel C. Reed, AICP

Attachments: Preliminary Site Plan

**RC3WORLD INC**  
**Land Use Planning & Consulting**  
Phone: 678.708.9247  
Address: 411 Ridgewood Rd NE  
Atlanta, GA 30307  
Email: [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)

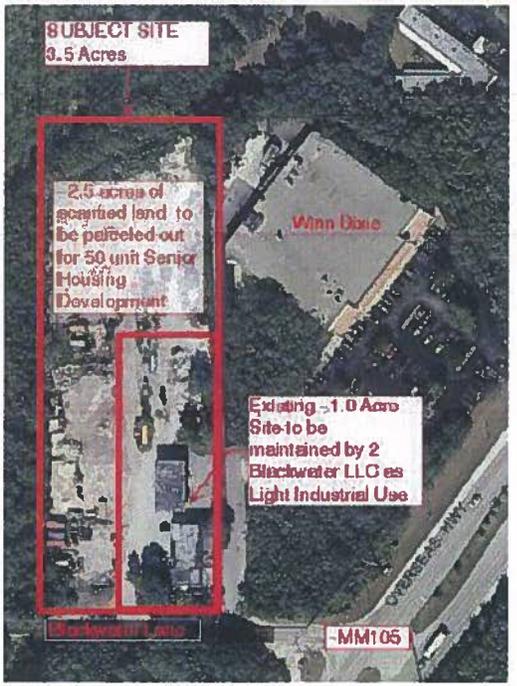
September 8, 2013

Florida Keys Electric Cooperative Association, Inc. (FKEC)  
Attn: Mr. Keith Kropf  
PO Box 3000  
Tavernier, FL 33000  
Phone: 305 852 2431

*Sent Via Email:* [keith.kropf@fkec.com](mailto:keith.kropf@fkec.com)

Mr. Kropf:

We are writing to request a letter of coordination from your office in reference to the below described site. The site is currently 3.5 acres and contains a light industrial use. We are proposing to parcel off approximately 2.5 acres for a Senior Housing Development of 50 1- bedroom units.

<p><b>Description of Property:</b> 1-61-39 ISLAND OF KEY LARGO PT LOT 21 (WLY 225 FT NW RR)</p> <p><b>Real Estate Number:</b> 00084260-000100</p> <p><b>AK Number:</b> 1092916</p> <p><b>Owner of Record:</b> 2 Blackwater LLC</p> <p><b>Physical Location:</b> 2 N. Blackwater Lane Key Largo, FL 33037 Approximate MM 105</p> <p><b>Site Size:</b> +/- 3.5 Acres for the entire Site. Proposing to parcel off +/- 2.5 Acres</p>	
---	---

We are requesting a letter of coordination from your department with regards to electrical capacity. I thank you in advance for your time and attention to this matter, if you have any questions or concerns please contact me at the listed address and telephone numbers.

Sincerely,

  
Joel C. Reed, AICP

Attachments: Preliminary Site Plan

**RC3WORLD INC**  
**Land Use Planning & Consulting**  
Phone: 678.708.9247  
Address: 411 Ridgewood Rd NE  
Atlanta, GA 30307  
Email: [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)

September 8, 2013

County of Monroe  
Office of Fire Marshal  
Attn: Mr. Cavalney  
490 3rd Street  
Marathon, FL 33050

*Sent Via Email:* [cavalney-steve@monroecounty-fl.gov](mailto:cavalney-steve@monroecounty-fl.gov)

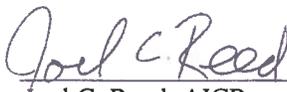
Mr. Cavalney:

We are writing to request a letter of coordination from your office in reference to the below described site. The site is currently 3.5 acres and contains a light industrial use. We are proposing to parcel off approximately 2.5 acres for a Senior Housing Development of 50 1- bedroom units.

<p><b>Description of Property:</b> 1-61-39 ISLAND OF KEY LARGO PT LOT 21 (WLY 225 FT NW RR)</p> <p><b>Real Estate Number:</b> 00084260-000100</p> <p><b>AK Number:</b> 1092916</p> <p><b>Owner of Record:</b> 2 Blackwater LLC</p> <p><b>Physical Location:</b> 2 N. Blackwater Lane Key Largo, FL 33037 Approximate MM 105</p> <p><b>Site Size:</b> +/- 3.5 Acres for the entire Site. Proposing to parcel off +/- 2.5 Acres</p>	
---	---

We are requesting a letter of coordination from your department. I thank you in advance for your time and attention to this matter, if you have any questions or concerns please contact me at the listed address and telephone numbers.

Sincerely,



Joel C. Reed, AICP

Attachments: Preliminary Site Plan

**RC3WORLD INC**  
**Land Use Planning & Consulting**  
Phone: 678.708.9247  
Address: 411 Ridgewood Rd NE  
Atlanta, GA 30307  
Email: [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)

September 8, 2013

County of Monroe  
Solid Waste Management  
Attn: Ms. Rosa Washington  
1100 Simonton Street  
Suite 2-284  
Key West, FL 33040

*Sent Via Email:* [washington-rosa@monroecounty-fl.gov](mailto:washington-rosa@monroecounty-fl.gov)

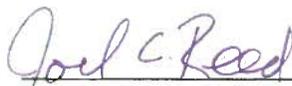
Ms. Washington,

We are writing to request a letter of coordination from your office in reference to the below described site. The site is currently 3.5 acres and contains a light industrial use. We are proposing to parcel off approximately 2.5 acres for a Senior Housing Development of 50 1- bedroom units.

<p><b>Description of Property:</b> 1-61-39 ISLAND OF KEY LARGO PT LOT 21 (WLY 225 FT NW RR)</p> <p><b>Real Estate Number:</b> 00084260-000100</p> <p><b>AK Number:</b> 1092916</p> <p><b>Owner of Record:</b> 2 Blackwater LLC</p> <p><b>Physical Location:</b> 2 N. Blackwater Lane Key Largo, FL 33037 Approximate MM 105</p> <p><b>Site Size:</b> +/- 3.5 Acres for the entire Site. Proposing to parcel off +/- 2.5 Acres</p>	
---	---

We are requesting a letter of coordination from your department. I thank you in advance for your time and attention to this matter, if you have any questions or concerns please contact me at the listed address and telephone numbers.

Sincerely,



Joel C. Reed, AICP

Attachments: Preliminary Site Plan

**RC3WORLD INC**  
**Land Use Planning & Consulting**  
Phone: 678.708.9247  
Address: 411 Ridgewood Rd NE  
Atlanta, GA 30307  
Email: [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)

## ADDRESS LIST

Florida Keys Aqueduct Authority  
Attn: Ms. Walterson  
Post Office Box 1239  
1100 Kennedy Drive (Physical)  
Key West, Florida, 33041-1239  
Attn Marnie Walterson email: [mwalterson@fkaa.com](mailto:mwalterson@fkaa.com)

Key Largo Wastewater Treatment District  
Attn: Ms. Bilyeu  
P.O. Box 491  
98880 Overseas Hwy (Physical)  
Key Largo, FL 33033  
Email: [carieb@klwtd.com](mailto:carieb@klwtd.com)  
Attn: Ms. Carie Bilyeu (Customer Service Representative)  
Phone: 305 451 4019 , ext 200

State of Florida Department of Health  
Murray (Physical) (Government Center)  
Attn: Ms. Holinbaugh  
102050 Overseas Hwy.  
Key Largo, FL 33033  
Email: [AmyHolinbaugh@doh.state.fl.us](mailto:AmyHolinbaugh@doh.state.fl.us)  
Attn: Amy Holinbaugh, (Env. Specialist)  
Phone: (305)853-1903

Florida Keys Electric Cooperative  
Association, Inc. (FKEC)  
Attn: Mr. Keith Kropf  
PO Box 300  
Tavernier, FL 33000  
Email: [keith.kropf@fkec.com](mailto:keith.kropf@fkec.com)  
Phone: 305 852 2431

Keys Energy Services  
Attn: Kevin Hawthorne  
P.O. Box 100  
Key West, FL 33041-100  
Email: [kevin.hawthorne@keysenergy.com](mailto:kevin.hawthorne@keysenergy.com)  
Phone: 295-1018

County of Monroe  
Office of Fire Marshal  
Attn: Captain Steven Cavalney  
490 3rd Street  
Marathon, FL 33050  
Email: [cavalney-steve@monroecounty-fl.gov](mailto:cavalney-steve@monroecounty-fl.gov)

**RC3WORLD INC**  
**Land Use Planning & Consulting**  
Phone: 678.708.9247  
Address: 411 Ridgewood Rd NE  
Atlanta, GA 30307  
Email: [joelreed5@yahoo.com](mailto:joelreed5@yahoo.com)

County of Monroe  
Solid Waste Management  
Attn: Ms. Rosa Washington  
1100 Simonton Street  
Suite 2-284  
Key West, FL 33040  
Email: [washington-rosa@monroecounty-fl.gov](mailto:washington-rosa@monroecounty-fl.gov)

South Florida Water Management District  
Environmental Resource Regulation Department  
P.O. Box 24180  
West Palm Beach, FL 33411-4180

Florida Department of Environmental Protection  
South District Branch Office  
Attn: Mr. Bruce Frank  
2090 Overseas Highway, Suite 221  
Marathon, FL 33050  
Frank, Bruce [Bruce.Franck@dep.state.fl.us](mailto:Bruce.Franck@dep.state.fl.us)

Florida Department of Transportation  
District 1 Permits Office  
Attn: Ms. Jemaire  
1000 S.W. 111 Avenue, Room 20  
Miami, FL 33125-5800  
Jemaire, Kerri [jemairek@transfieldservices.com](mailto:jemairek@transfieldservices.com)

FL Dept. of State, Div Historical Resources  
Bureau of Historic Preservation  
Attn: Laura Kammerer C/O Katherine Peterson  
500 S. Bronough Street  
Tallahassee, FL 32399-0250  
[www.flheritage.com](http://www.flheritage.com)  
Phone: 850-245-3333  
Fax: 850-245-4343  
Email: [kdpeterson@dos.state.fl.us](mailto:kdpeterson@dos.state.fl.us)

Fish & Wildlife Service  
South Florida Ecological Services Office  
Attn: Mr. Hobgood  
1339 20<sup>th</sup> Street  
Vero Beach, FL 32900  
Email: [Winston.Hobgood@fws.gov](mailto:Winston.Hobgood@fws.gov)

Indicates Letter of Coordination not Sent

9/9/2013  
D

I hereby authorize Joel G. Reed to be listed as authorized agent  
A

for Gorman & Company, Inc. for the application submittal for  
A

Property described as Lot: Block  
1-61-39 ISLAND OF KEY LARGO PT

Subdivision: Lot 21 (WLY 21 St NW RR) Key Island Largo

and Real state number: 00084260-000100

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated.

The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Authorization is needed from each owner of the subject property. Therefore, one or more authorization forms must be submitted with the application if there are multiple owners.

Signature of Agent  
S

Name: Joel G. Reed, VP  
A

TAR  
STATE FLORIDA  
T R

T

9/9/2013  
D

I hereby authorize Joel C. Reed to be listed as authorized agent  
A

for 2 Blackwater LLC for the application submittal for  
A

Property described as Lot: Block  
1-61-39 ISLAND OF KEY LARGO PT

Subdivision: Lot 21 (WLY) 213 FT NW 1/4 Key Island Largo

and Real Estate number: 00084260-0001-00

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated.

The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Authorization is needed from each owner of the subject property. Therefore, one or more authorization forms must be submitted with the application if there are multiple owners.

Notary Public  
S

Key West, FL  
Notary Public

TAR  
STATE OF FLORIDA  
TO ROE

T

# County of Monroe

## Growth Management Division

### Planning & Environmental Resources

#### Department

2798 Overseas Highway, Suite 410  
Marathon, FL 33050  
Voice: (305) 289-2500  
FAX: (305) 289-2536



### Board of County Commissioners

Mayor George Neugent, Dist. 2  
Mayor Pro Tem, Heather Carruthers, Dist. 3  
Danny L. Kolhage, Dist. 1  
David Rice, Dist. 4  
Sylvia J. Murphy, Dist. 5

October 11, 2013

RC3World Inc.  
Attn: Joel Reed  
411 Ridgewood Road NE  
Atlanta, GA 30307

**SUBJECT: LETTER OF UNDERSTANDING CONCERNING A PROPOSED DEVELOPMENT OF AN INSTITUTIONAL RESIDENTIAL USE, TO BE LOCATED AT 2 BLACKWATER LANE, KEY LARGO, HAVING REAL ESTATE NUMBER 00084260.000100**

Mr. Reed,

Pursuant to §110-3 of the Monroe County Code (MCC), this document shall constitute a Letter of Understanding (LOU). On August 30, 2013, a Pre-Application Conference regarding the above-referenced property was held at the office of the Monroe County Planning & Environmental Resources Department in Marathon. Attendees of the meeting included Joel Reed, Hana Eskra, and Patrick Patrello (hereafter referred to as "the Applicant") and Matt Coyle, Planner, Joseph Haberman, Planning & Development Review Manager, and Michael Roberts, Senior Administrator of Environmental Resources (hereafter referred to as "Staff").

*Materials presented for review included:*

- (a) Pre-Application Conference Request Form;
- (b) Monroe County Property Record Card;
- (c) Monroe County Land Use District Map and Future Land Use Map;
- (d) Proposed Site Plan by unknown and not dated (not sealed).

### **I. APPLICANT PROPOSAL**

The Applicant is proposing the development of an institutional residential use, involving 50 deed-restricted affordable housing units. All of the units will be contained in a single structure and will have certain common facilities.



Subject Property with Land Use Districts Overlaid (Aerial dated 2012)

## II. SUBJECT PROPERTY DESCRIPTION

1. The subject property is located at 2 Blackwater Lane in Key Largo, at approximate mile marker 105.5 on the Gulf of Mexico side of the Overseas Highway.
2. The subject property is comprised of a part of one parcel, currently assessed under real estate (RE) #00084260.000100. The parcel is described as Section 1, Township 61 South, Range 39 East, Key Largo, Monroe County, Florida. (Note: Gorman & Company, Inc. is pursuing an agreement to purchase a portion, approx. 2.6 acres, of the parcel with real estate #00084260.000100)
3. According to the preliminary site plan submitted with the application, the subject property consists of approximately 113,000 SF of land area. All calculations included in this letter are based on this figure. A sealed survey shall be required at the time of application submittal for any development approval for new development adversely affecting open space or land use intensity. If the amount of upland provided on the sealed boundary survey differs, then calculations provided in this letter are subject to change.

## III. RELEVANT PRIOR COUNTY ACTIONS

In 2005, the Code Compliance Department opened case #CE0500112 for land clearing without the benefit of a permit. To resolve this case, Building Permit #053-6527 was issued in 2006 for after-the-fact land clearing.

In 2008, the Code Compliance Department opened case #CE8020008 for placing fill on the subject property without the benefit of a permit. Aside from the fill, the open case involves

the light industrial use in unpermitted areas of the property including outdoor storage of containers, a dumpster, construction equipment, trash and debris. County staff has met with the property owner several times and permits have been opened to remedy the situation. The property owner has told staff the fill has been removed but has not submitted an elevation certificate as proof yet.

All code violations shall be resolved prior to building permit issuance.

Staff found a number of building permits for RE# 00084260.000100; however, all the permits were associated with development on the portion of the site that will remain under ownership of 2 Blackwater LLC, and will not be a part of the proposed development.

#### IV. REVIEW

The following regulations directly affect the proposal; however, please note that there may be other regulations not referred to nor described in this letter, which may govern development.

1. The subject property is currently within an Urban Commercial (UC) Land Use (Zoning) District and the Mixed Use/Commercial (MC) Future Land Use Map (FLUM) category.

The purpose of MC FLUM is provided in Policy 101.4.5 and the maximum residential densities for MC FLUM are provided in Policy 101.4.21.

*Policy 101.4.5 The principal purpose of the Mixed Use/ Commercial land use category is to provide for the establishment of commercial land use (zoning) districts where various types of commercial retail and office may be permitted at intensities which are consistent with the community character and the natural environment. Employee housing and commercial apartments are also permitted. In addition, Mixed Use/Commercial land use districts are to establish and conserve areas of mixed uses, which may include maritime industry, light industrial uses, commercial fishing, transient and permanent residential, institutional, public, and commercial retail uses...*

#### *Policy 101.4.22*

Future Land Use Densities and Intensities			
Future Land Use Category And Corresponding Zoning	Allocated Density <sup>(b)</sup> (per acre)	Maximum Net Density <sup>(a)(b)(i)</sup> (per buildable acre)	Maximum Intensity (floor area ratio)
Mixed Use/Commercial (MC) <sup>(g) (i)</sup> (SC, UC, DR, RV, MU and MI zoning)	1-6 du 5-15 rooms/spaces 1 du (MI zoning)	2 -18 du 10-25 rooms/spaces 2 du (MI zoning)	0.10-0.45 (SC, UC, DR, RV, and MU zoning)  0.30-0.60 (MI zoning)

2. The subject property has a tier designation of Tier III.

3. This application shall require 50 affordable housing ROGO allocations. The Applicant should request a reservation of 50 allocations from the BOCC pursuant to Monroe County Code Section 132-24(b)(2). Pursuant to MCC §138-19 a residential dwelling unit means a dwelling unit as defined in section 101-1, and expressly includes the following other terms also specifically defined in section 101-1: rooms, hotel or motel, campground spaces, mobile homes, transient residential units, institutional residential units (except hospital rooms) and live-aboard vessels. Note: institutional residential use is defined in section 101-1.

As of the date of this staff report, the County has 243 affordable housing ROGO allocations available for reservation. In unincorporated Monroe County, excluding the Big Pine/No Name Key ROGO subarea, there are a) 168 very low income, low income and median income allocations and b) 75 moderate income allocations.

4. As shown on the proposed site plan, the Applicant is proposing to develop the subject property with an institutional residential use, involving 50 deed-restricted affordable housing units.

Pursuant to MCC §130-97, in the UC district, institutional residential uses involving 20 or more dwelling units or rooms may be permitted with a minor conditional use permit, provided that a) The use is compatible with land use established in the immediate vicinity of the parcel proposed for development; b) Access to US 1 is by way of: 1) an existing curb cut; 2) a signalized intersection; or 3) a curb cut that is separated from any other curb cut on the same side of US 1 by at least 400'.

5. Minor conditional use permit applications are approved, approved with conditions or denied by the planning director following a public meeting of the Development Review Committee.

Pursuant to MCC §110-67, when considering applications for a minor conditional use permit, the planning director shall consider the extent to which 1) the conditional use is consistent with the purposes, goals, objectives and standards of the Comprehensive Plan and the MCC; 2) the conditional use is consistent with the community character of the immediate vicinity of the parcel proposed for development; 3) the design of the proposed development minimizes adverse effects, including visual impacts, or the proposed use on adjacent properties; 4) the proposed use will have an adverse effect on the value of surrounding properties; 5) the adequacy of public facilities and services, including, but not limited to, roadways, park facilities, police and fire protection, hospital and Medicare services, disaster preparedness program, drainage systems, refuse disposal, water and sewers, judged according to standards from and specifically modified by the public facilities capital improvements adopted in the annual report required by the Land Development Code; 6) the applicant for conditional use approval has the financial and technical capacity to complete the development as proposed and has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development; 7) the development will adversely affect a known archaeological, historical or cultural resource; 8) public access to public beaches and other waterfront areas is preserved as a part of the proposed

development; and 9) the proposed use complies with all additional standards imposed on it by the particular provision of the Land Development Code authorizing such use and by all other applicable requirements of the MCC.

6. The Applicant is proposing one dwelling unit which would be for an employee of the institution comprising the 50 deed-restricted affordable housing units. This individual shall also be required to meet the affordable housing requirements, but this one unit would not be considered an institutional residential use. The managers dwelling unit would be a commercial apartment which may be permitted by right in the UC district.
7. Pursuant to MCC §101-1, allocated density means the number of dwelling units or rooms allocated per gross acre of land by the plan and the maximum net density means the maximum density permitted to be developed per unit of land on the net buildable area of a site, as measured in dwelling units or rooms per acre.
8. Maximum residential densities are provided in MCC §130-157 and 130-162. In the UC district, the following applies:

<i>Land Use</i>	<i>Allocated Density</i>	<i>Size of Site</i>	<i>Maximum Allowed</i>	<i>Proposed Amount</i>	<i>Potential Used</i>
Institutional Residential*	15 rooms/acre**	2.60 acres	39 rooms	49 rooms	125%
Commercial Apartment	6 dwelling units/acre**	2.60 acres	15 dwelling units	1 dwelling unit	6%

<i>Land Use District</i>	<i>Maximum Net Density</i>	<i>Size of Land Use District on Site</i>	<i>Maximum Allowed</i>	<i>Proposed Amount</i>	<i>Potential Used</i>
Institutional Residential*	24 rooms/buildable acre**	2.60 acres (2.08 buildable)	49 rooms	49 rooms	100%
Commercial Apartment	12 dwelling units/buildable acre**	2.60 acres (2.08 buildable)	24 dwelling units	1 dwelling unit	4%

\* Pursuant to MCC §138-19 Institutional Residential units are expressly included under the definition of Residential Dwelling Unit. In the above table, institutional residential use is calculated based on the rooms/acre for allocated density or rooms/buildable acre for maximum net density.

\*\* The land area totals contained in the preceding tables may not be accurate. The applicant is in the process of negotiating a purchase of part of the greater property, and the exact property line that would divide the parcel is not final. Depending on the new property line's precise location, the property's total acreage may increase or decrease thus affecting the total number of rooms permitted. Further, there are wetlands in the northeast corner of the site which may or may not have been included in the applicant's 2.604 acreage total. If this area was included, it is not considered upland and cannot be used for land use intensity purposes. This issue shall be addressed prior to issuance of any minor conditional use permit.

If all of the rooms are deed-restricted as affordable housing, pursuant to MCC §130-161(a)(2), the maximum net residential density allowed per district and by MCC §130-

161 shall not require transferable development rights (TDRs) for affordable housing. Therefore, the developer can use the maximum net density allowances and is not restricted to the lesser allocated density allowances.

Staff could not confirm if the proposed new development would be in compliance as the proposed site plan was not provided to scale and the property's total acreage is not finalized.

9. In the UC district, there is a required open space ratio of at least 0.20 or 20 percent.

In the UC district, there is a required open space ratio of at least 0.20 or 20 percent. In total, the property consists of approximately 113,000 SF of upland area. Therefore, at least 22,600 SF total land area must remain open space. The site plan indicates that there would be 71,785 SF of total open space.

Staff could not confirm if the proposed new development would be in compliance as the proposed site plan was not provided to scale.

10. The required non-shoreline setbacks in the UC district are as follows: Front yard – 15'; Rear yard – 10'; and Side yard – 10'/15' (where 10' is required for one side and 15' is the minimum combined total of both sides).

Staff could not confirm if the proposed new development would be in compliance as the proposed site plan was not provided to scale.

11. The property has wetlands in the northwest corner. In accordance with MCC §118-4(g)(2), properties classified as scarified adjacent to wetlands, the setback may be reduced to 25', without regard to buildable area, if the entire setback area: (i) Is planted and maintained in native vegetation meeting the standards of a class "D" bufferyard or a bufferyard providing similar protection (§ 114-128 Bufferyard standards) with the exception that understory trees may be substituted for canopy trees; (ii) contains a site-suitable stormwater management plan approved by the county biologist; and (iii) is placed under conservation easement. The site plan submitted with the application depicts a 25' setback from the wetland and further indicates that the existing hammock area will be preserved. The existing hammock will count toward the buffer requirements, however supplemental planting may be required to meet the class "D" bufferyard standard.

12. Pursuant to MCC §114-67 (d) , if the institutional residential use is determined to meet the definition of 'Senior Adult Housing-Attached' in the Institute of Transportation Engineer's Parking Generation Manual then the development would be subject to the following off-street parking requirements:

<i>Specific Use</i>	<i>Multiplier</i>	<i>Proposed</i>	<i>Required Spaces</i>
Institutional Residential*	1 space/ 1 bedroom dwelling unit	49 dwelling units (1 bedroom each)	49 spaces
Multifamily residential developments	2 spaces / 1 bedroom dwelling unit	1 dwelling unit (1 bedroom each)	2 spaces

- \* If a specific use does not fall within one of the categories in MCC §114-67(c), then the parking space requirements shall be based on the most current edition of the Institute of Transportation Engineer's Parking Generation Manual, or other appropriate documentation authorized by the planning director.

Pursuant to MCC §114-67 (c), if the institutional residential use is determined to be consistent with multifamily residential development then the development would be subject to the following off-street parking requirements:

<i>Specific Use</i>	<i>Multiplier</i>	<i>Proposed</i>	<i>Required Spaces</i>
Multifamily residential developments	2 spaces / 1 bedroom dwelling unit	50 dwelling unit (1 bedroom each)	100 spaces

According to the proposed site plan, 50 off-street parking spaces would be provided. Staff could not confirm if the proposed new development would be in compliance with required off-street parking.

If there are 76 to 100 total parking spaces in a lot, at least four accessible parking spaces are required. Such spaces shall be designed and marked for exclusive use of those individuals who have a severe physical disability and have permanent or temporary mobility problems who have been issued either a disabled parking permit or a license plate. In addition, parking access aisles must be part of an accessible route to the building entrance. The access aisle shall be striped diagonally to designate it as a no-parking zone. Curb ramps must be located outside of the disabled parking spaces and access aisles.

All regular parking spaces, with the exception of parallel, must be at least 8'-6" in width by 18' in length. Parallel parking spaces must be 8'-6" in width by 25' in length. Handicap-accessible parking spaces must be at least 12' in width with an access aisle of 5' in width. Further, each required parking space shall have direct and unrestricted access to an aisle of the following minimum width:

<i>Parking Pattern</i>	<i>One Way Aisle Width</i>	<i>Two Way Aisle Width</i>
0 degrees	12'	24'
30/45 degrees	15'	24'
60 degrees	18'	24'
75 degrees	22'	24'
90 degrees	24'	24'

13. Since the parking area is to contain six or more spaces and is within a UC district, a class "C" landscaping standard is required. Class "C" landscaping is described/illustrated in MCC §114-100. The site plan submitted shows parking lot landscaping but it is not detailed enough to determine compliance.
14. A land use district bufferyard is required along the western property line as there is a NA district. Along the UC/NA boundary line, a class "B" district boundary bufferyard is required. There is a class "D" land use district bufferyard requirement along the UC/IS district boundary line to the south of the property. A class "B" bufferyard has a minimum width of 5' and a class "D" has a minimum width of 20'. The planting requirements are

described/illustrated in MCC §114-128. The site plan submitted does not show any required bufferyards.

15. Although the site is scarified, there are clearing limits for new development. On Tier III parcels: 40 percent of upland native vegetation or 3,000 SF, whichever is greater, may be cleared; however, the maximum amount of clearing shall be no more than 7,500 SF of upland native vegetative area. Mitigation will be required for qualifying native vegetation removed for development. The number, species and sizes of plants to be mitigated shall be identified in an existing conditions report prepared and submitted by the Applicant and approved by the County Biologist.
16. A stormwater management plan shall be required as a part of any permit application that involves modifications to the site. This plan shall detail pre and post development water flow and storage on site with supporting calculations. Pursuant to MCC §114-3(e), water management areas shall be legally reserved to and maintained by the operational entity and be dedicated on the plat, deed restriction, or easements. Any change in the use of the property must comply with this regulation and any other requirements of the Comprehensive Plan and the Land Development Code. Stormwater management areas shall be connected to a public road or other location from which operation and maintenance means of access are legally and physically available to the operational entity, in accordance with county land development regulations governing subdivision of land. As provided in MCC §114-3 (g), it is the responsibility of the applicant to provide a stormwater management plan for the development that contains sufficient information for the planning director to evaluate the environmental and stormwater discharge characteristics of the affected areas, the potential and predicted impacts of the proposed activity on community waters, and the effectiveness and acceptability of those measures proposed by the applicant for reducing adverse impacts. The stormwater management plan shall contain maps, charts, graphs, tables, photographs, narrative descriptions, calculations, explanations, and citations to supporting references, and any additional information deemed necessary by the planning director. The stormwater management plan must be sealed by an engineer registered in the state with experience in stormwater management and drainage design.

The site plan submitted with the application depicts stormwater retention areas and a table stating that 8,430 SF of retention is provided. Staff estimates the disturbed area of the parcel at 89,690 SF with 17,325 SF of natural area. Based on these estimates, 7,444 cubic feet of retention is required for the site. A stormwater management plan was not submitted with the letter of understanding application.

17. No structure or building shall be developed that exceeds a maximum height of 35'. Height is defined as "the vertical distance between grade and the highest part of any structure, including mechanical equipment, but excluding chimneys; spires and/or steeples on structures used for institutional and/or public uses only; radio and/or television antenna, flagpoles; solar apparatus; utility poles and/or transmission towers; and certain antenna supporting structures with attached antenna and/or collocations as permitted in chapter 146. Grade means the highest natural elevation of the ground surface, prior to construction, next

to the proposed walls of a structure, or the crown or curb of the nearest road directly adjacent to the structure, whichever is higher.

Submitted elevation plan show the buildings at 35' in height; however, plans do not indicate the building height relative to existing grade or crown of the road. Staff could not confirm if the proposed new development would be in compliance as the elevations were not provided at a workable scale.

18. The property currently has only one access point from Blackwater Lane. The proposed division of the property into two parcels will result in the access point being completely on one property. The narrow shape of the property may make it difficult for two access points to the property from Blackwater Lane. The applicant needs to provide confirmation that the existing access driveway will be removed and show how the second parcel will be accessed.
19. A traffic study was not submitted. The projected trip generation and level of service of US 1 directly affect whether or not the redevelopment may be permitted or prohibited. The County's traffic consultant shall review the traffic impact analysis as part of a conditional use permit application to determine to what extent the redevelopment will affect the level of service along US 1. According to the 2013 US 1 Arterial Travel Time and Delay Study, Segment 23 of US 1 had an "A" level of service.

## **V. OTHER ISSUES CONCERNING THE PROPOSAL**

1. Any development on Key Largo shall be consistent with all goals, strategies and action items of the Key Largo Livable CommuniKeys Plan. A copy of this plan will be provided upon request.
2. Gorman & Company, Inc. is pursuing an agreement to purchase a portion (2.6 acres) of the parcel currently identified as having RE #0084260.000100. The remaining land area (0.9 acres) will remain under ownership of 2 Blackwater LLC and the existing light industrial/office use would continue in this area. Pursuant to MCC §110-96(f) no plat approval will be required for the division of this land into two parcels.
3. Prior to the issuance of any building permit, if such review is required, all proposed development shall be found in compliance by the Monroe County Building Department and the Monroe County Office of the Fire Marshal. Staff recommends that the Applicant coordinate with these offices prior to application submittal. The Planning & Environmental Resources Department does not review for compliance with the Florida Building Code.
4. Prior to the issuance of building permits, permits from the Monroe County Public Works Division may be required for the access drives and other proposed work within public rights of way. The Division maintains the right to request revisions as it carries out its review of any access permit application. If modifications are required, it is the responsibility of the applicant to contact the Building Department/Planning & Environmental Resources

Department to determine if any additional applications are necessary to formally modify the approved site plan.

5. The site is designated within a flood zone on the Federal Emergency Management Agency (FEMA)'s flood insurance rate maps. All new structures must be built to floodplain management standards that meet those for flood protection.
6. All future development shall be required to meet all standards and requirements of the Americans with Disabilities Act (ADA).
7. Code violations shall be resolved prior to building permit issuance.

\* \* \* \* \*

Pursuant to MCC §110-3, you are entitled to rely upon the representations set forth in this letter as accurate under the regulations currently in effect. This letter does not provide any vesting to the existing regulations. If the Monroe County Code or Comprehensive Plan is amended, the project will be required to be consistent with all regulations and policies at the time of development approval. The Department acknowledges that all items required as a part of the application for development approval may not have been addressed at the meeting, and consequently reserves the right for additional comment.

You may appeal decisions made in this letter. The appeal must be filed with the County Administrator, 1100 Simonton Street, Gato Building, Key West, FL 33040, within thirty (30) calendar days from the date of this letter. In addition, please submit a copy of your application to Planning Commission Coordinator, Monroe County Planning & Environmental Resources Department, 2798 Overseas Highway, Suite 410, Marathon, FL 33050.

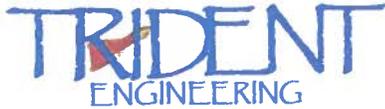
We trust that this information is of assistance. If you have any questions regarding the contents of this letter, or if we may further assist you with your project, please feel free to contact our Marathon office at (305)289-2500.

Sincerely yours,



Townsley Schwab, Senior Director of Planning & Environmental Resources

- CC: Joseph Haberman, Planning & Development Review Manager  
Mayte Santamaria, Assistant Director of Planning & Environmental Resources  
Michael Roberts, Senior Administrator of Environmental Resources  
Matthew Coyle, Planner



Item #1 Paradise Point Senior Housing  
Traffic Study **FINAL RECVD 1.07.14**

RECEIVED

JAN - 7 2014

MONROE CO. PLANNING DEPT

January 3, 2014

Mr. Joe Haberman, AICP – Planning Manager  
**MONROE COUNTY PLANNING DEPARTMENT**  
2798 Overseas Highway - Suite 410  
Marathon, Florida 33050-2227

SUBJECT: Paradise Point – Key Largo  
Traffic Impact Study

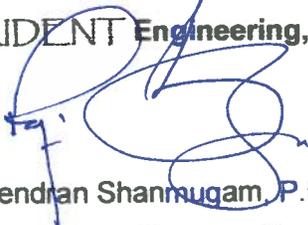
Dear Mr. Haberman:

Trident Engineering, LLC is pleased to submit the attached FINAL traffic study (3 copies – signed and sealed) on behalf of the applicant **Gorman & Company, Inc.** for the Paradise Point – Key Largo development.

We trust the information presented herewith satisfies the traffic reporting requirements for the Paradise Point development application. Please let me know if you need any further information.

Very truly yours,

TRIDENT Engineering, LLC



Rajendran Shanmugam, P.E.  
Senior Professional Engineer/President

ENCLOSURE

RECEIVED

JAN - 7 2014

MONROE CO. PLANNING DEPT

# Paradise Point

## Senior Residences

#2 Blackwater Lane (US 1 – MM 105.4)

## Traffic Study

Key Largo – Monroe County

December 2013

PROJECT # 2013-0002

Prepared by



62 Gables Blvd., Fort Lauderdale, Florida, 33326

# Paradise Point

## Senior Residences

#2 Blackwater Lane (US 1 – MM 105.4)

## Traffic Study

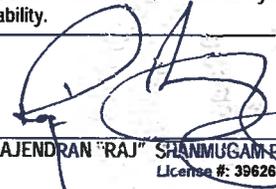
Key Largo – Monroe County

December 2013

PROJECT # 2013-0002

Prepared by

I, Rajendran Shanmugam, PE # 39626, certify that I currently hold an active Professional Engineers License in the State of Florida and am competent through education and experience to provide engineering services in the Civil and Traffic Engineering disciplines contained in this report. I further certify that this report was prepared by me or under my responsible charge as defined in Chapter 61G15 F.A.C. and that all statements, conclusions and recommendations made herein are true and correct to the best of my knowledge and ability.

  
RAJENDRAN "RAJ" SHANMUGAM P.E.,  
License #: 39626

**TRIDENT**  
ENGINEERING

62 Gables Blvd., Fort Lauderdale, Florida, 33326

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## 1.0 Introduction

Gorman & Company is in the process of developing a 2.6 acre parcel of vacant tract in Key Largo, Florida. Applicant is proposing 46 new Senior Residential Units (Institutional Residential) and one (1) employee housing unit to be built in the vacant parcel – a location map is included as **Exhibit 1** and a site plan prepared by Gorman & Company is included as **Exhibit 2**. Although the subject vacant parcel is part of a 3.41 acre tract that includes two buildings totaling 6,950 sq.ft. of light industrial office uses, the 2.6 acre residential portion will be deeded separately as a stand alone parcel.

According to Monroe County code, a Level 1 traffic study is required to support the development application. A Level 1 traffic study addresses the following, as a minimum:

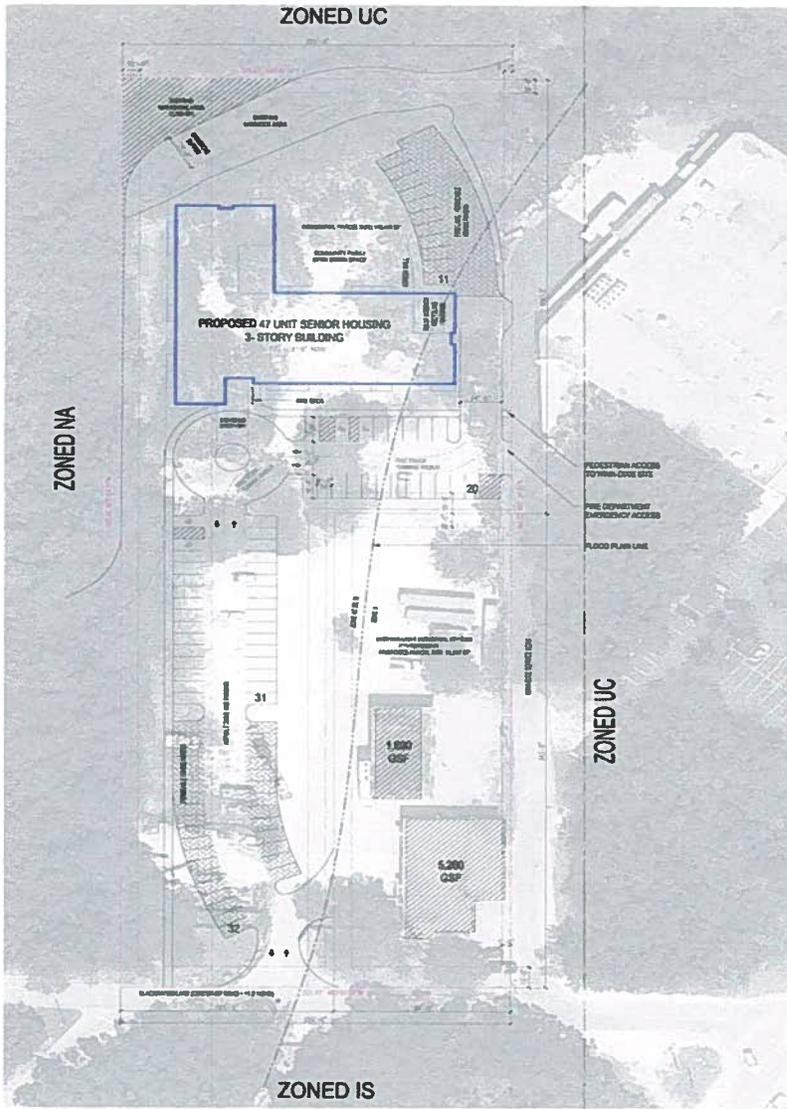
- i. Trip Generation - existing (if any) and proposed based on county approved procedures.
- ii. Directional distribution of trips based on existing trip distribution.
- iii. Trip length based on the development composition and the surrounding population centers.
- iv. An evaluation of US 1 segments impacted by project trips compared to the results from the most recent (2013) Travel Time study.

At a community meeting held on November 18, 2013 several community members were concerned over the additional traffic associated with the development and its effect on the safety and level of service of N Blackwater Lane, specifically the traffic impact at the intersection of N Blackwater Lane and Overseas Highway / US 1. To address the community concerns, the Level 1 traffic study is expanded to include the traffic operations and safety analysis of N Blackwater Lane, and its intersection with US 1.



**Exhibit 1: Project Location**

**Paradise Point Senior Residences – Key Largo  
Traffic Study**



RE NUMBER: 00084260-000100

ZONING: UC - URBAN COMMERCIAL DISTRICT  
FLUM: MC MIXED USE / COMMERCIAL  
TIER 1B

EXISTING TOTAL PARCEL AREA: 3.41 ACRES

PROPOSED PARCELS:  
0.808 ACRES: EXISTING BUILDINGS TO REMAIN  
2.604 ACRES: NEW AFFORDABLE SENIOR HOUSING

NEW PARCEL  
PROPOSED USE: INSTITUTIONAL RESIDENTIAL  
ACCESSORY USE: ONE EMPLOYEE RESIDENTIAL DWELLING UNIT  
MINOR CONDITIONAL USE (OVER 20 ROOMS)

BUILDABLE ACRES:  
2.6040 ACRES - 0.0688 ACRES (mangrove) = 2.5351 ACRES (netted)  
OPEN SPACE REQUIRED: 20% (2.5351 ACRES x 0.2) = 0.5070 ACRES  
2.5351 ACRES - 0.5070 ACRES = 2.0281 ACRES

ONE EMPLOYEE DWELLING UNIT: 12 DU/BUILDABLE ACRE MAX.  
2.0281 ACRES X 12 = 24.3372 POSSIBLE UNITS (ONE PROPOSED)  
2.0281 / 24.3372 = 0.0833 ACRES REQUIRED FOR ONE DU

2.0281 ACRES - 0.0833 ACRES = 1.9448 ACRES LEFTOVER

INSTITUTIONAL RESIDENTIAL MAX. NET DENSITY: 24 ROOMS/ACRE  
(1.9448 ACRES X 24) = 46.675 TOTAL ROOMS (46 PROPOSED)

PARKING: 2 SPACES PER UNIT = 94 SPACES (5 P.H.)

MAX HEIGHT: 35'-0" (TAKEN FROM RIDGE OF BLACKWATER LANE)

FRONT REQ'D SETBACK: 15'  
SIDE REQUIRED SETBACK: 10' / 15' COMBINED  
REAR REQUIRED SETBACK: 10'

MANGROVE SETBACK BUFFER: 25'

PROPOSED IMPERVIOUS AREAS  
PROPOSED BUILDING: 14,560 SF  
PROPOSED PAVING: 28,859 SF  
TOTAL: 44,449 SF

PROPOSED RETENTION: 8,430 SF  
PROPOSED PERVIOUS: 68,990 SF

TOTAL: 113,449 SF

EXISTING PARCEL:  
OPEN SPACE REQUIRED: 20% (0.808 ACRES x 0.2) = 0.1612 ACRES  
MAX. F.A.R.: 0.35 (COMMERCIAL)  
(0.808 ACRES x 0.35) = 0.2821 BUILDABLE ACRES = 12,288 SF  
EXISTING BUILDING S.F.: (5,250 SF + 1,690 SF) = 6,940 SF

14,560 GSF FLOOR 1  
13,120 GSF FLOOR 2  
13,120 GSF FLOOR 3  
40,800 GSF CONDITIONED  
2,780 GSF EXTERIOR  
43,580 GSF TOTAL BLD'G  
700 SF INTERIOR PER UNIT



2 Blackwater Lane, Key Largo, Florida  
Architectural Site Plan - 12/13/2013

**EXHIBIT 2: Site Plan**



## 2.0 Existing Conditions

### 2.1 Roadways

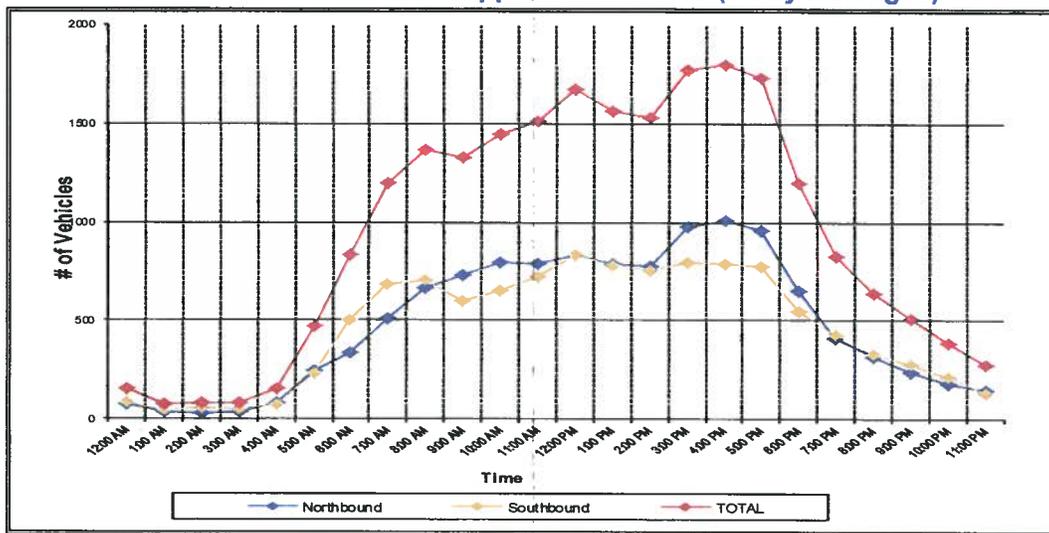
**US 1 (SR 5 / Overseas Highway)** is a principal arterial. It is a major state highway and provides the only primary access to the entire Florida Keys. Near the project site, Overseas Highway / US 1 consist of a four lane divided cross section with a wide median separator, and it forms a northeast/southwest alignment (north/south for ease of reference). The posted speed limit along Overseas Highway / US 1 in the vicinity of the study area is 45 mph.

**N Blackwater Lane** is a two lane local residential street. Like most local streets in Key Largo, N Blackwater Lane combined with another street (South Drive) is approximately ¾ mile long. It forms an east/west alignment. In addition to providing access to the proposed vacant parcel, including a couple of light industrial use buildings, and an alleyway to the Winn Dixie Plaza, it provides access to approximately 130 residential homes. The Winn Dixie plaza has its primary access through Overseas Highway / US 1. The speed limit along N Blackwater Lane is 25 miles per hour.

### 2.2 Traffic Data

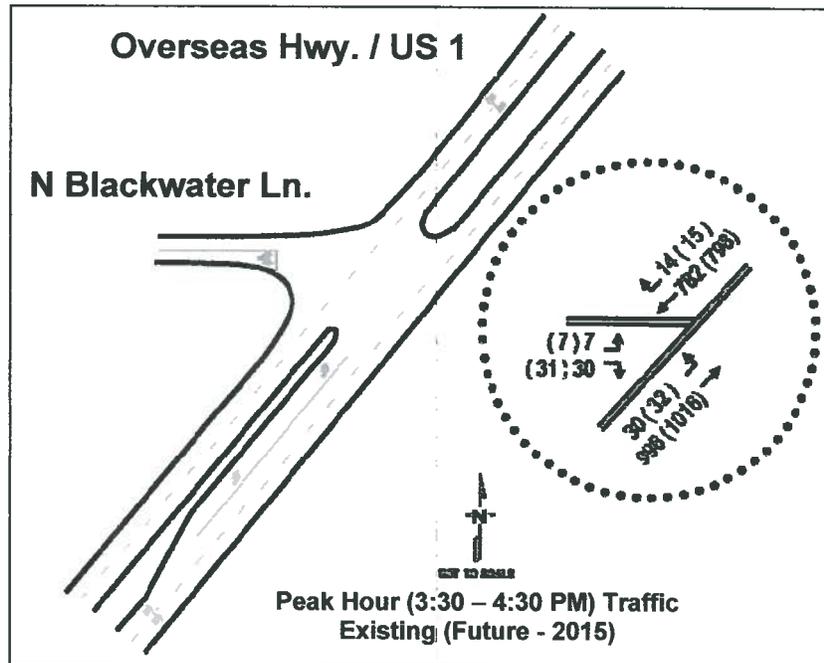
FDOT Traffic Count Station # 900200 is located approximately one mile north of the project site along US 1. Year 2012 traffic data from the count station is presented in **Appendix A** and summarized in **Exhibit 3**. Turning movement data was collected at the Overseas Highway / US 1 and N Blackwater Lane intersection on December 11, 2013 and is also included in **Appendix A**. The traffic volumes are highest during the evening peak, therefore the turning movements between the hours of 3:30 PM and 4:30 PM is selected to perform the operational analysis and is presented in **Exhibit 4**.

**EXHIBIT 3: US 1 – 24 Hour Approach Volumes (3 Day Averages)**



The Paradise Point senior residences are anticipated to be completed by year 2015. A trend analysis of historic traffic data for FDOT count station 900200 on US 1 was performed and included in **Appendix A**. The trend analysis shows a negative (-1.65%) growth along Overseas Highway / US 1 near the project location; the trend analysis presented in the 2013 US 1 Travel Time Delay Study also shows a 0% traffic growth on Overseas Highway / US 1 in the upper keys. Conservatively, a 1% annual growth of the traffic was applied to determine the future (2015) traffic at the intersection of Overseas Highway / US 1 and N Blackwater Lane, and is presented in **Exhibit 4**.

**EXHIBIT 4: Existing and Future Traffic Volumes**



### 3.0 Trip Generation and Projections

The Institute of Transportation Engineers (ITE) 9<sup>th</sup> edition of the Trip Generation Manual is used to estimate daily and peak hour trips for the project site. The ITE land use codes 252 – Senior Adult Housing (attached), and 220 – Employee Housing (apartment) are considered to be the appropriate land uses for the proposed development. The projected trips for the project site are presented in Exhibit 5.

**EXHIBIT 5: Trip Generation**

Land use	ITE Code	Variable	Daily Trips	PM Peak Hour		
				In	Out	TOTAL
<b>Proposed Development:</b>						
Senior Adult Housing	252	46 Units	158	7	6	13
Employee Housing	220	1 Unit	5	0	1	1
<b>Proposed new trips:</b>			<b>163</b>	<b>7</b>	<b>7</b>	<b>14</b>

The project trips are distributed similar to existing traffic distribution at the intersection. A summary of existing, future background (2015) and projected trips are presented in Exhibit 6. The percent of project trips compared to future background traffic (year 2015 w/o project trips) are also presented.

**EXHIBIT 6: PM Peak Hour (3:30 – 4:30 PM) Turning Movements**

APPROACH	Existing PM Pk. Hr. (3:30 to 4:30 PM)			Future Background (2015) PM Pk. Hr. (3:30 to 4:30 PM)			Project Trips PM Pk. Hr. (% of project trips compared to background traffic)			Future (2015) Total PM Pk. Hr.		
	Left (vph)	Thru (vph)	Right (vph)	Left (vph)	Thru (vph)	Right (vph)	Left (vph)	Thru (vph)	Right (vph)	Left (vph)	Thru (vph)	Right (vph)
NB - US 1	30	996	0	32	1,016	0	5 (16%)	0 (0%)	0	37	1,016	0
SB - US 1	0	782	14	0	798	15	0 (0%)	0 (0%)	2 (13%)	0	798	17
EB - N Blackwater Ln.	7	0	30	7	0	31	2 (28%)	0	5 (16%)	9	0	36

Notwithstanding the trips generated by the existing commercial uses near the project site and the trips from the Winn Dixie Plaza (through the alleyway to N Blackwater Ln.), the estimated existing trips for the 130 residential homes along N Blackwater Lane is 1,040 daily trips. The Paradise Point Senior Residences is anticipated to generate 163 daily trips. The proposed new trips are only 16% of the residential trips that theoretically exist on N Blackwater Lane. Further, the number of site trips onto N Blackwater Lane is likely to be reduced due to the internal access connection and non-motorized trips to and from the Winn Dixie Plaza.

## 4.0 Evaluation

The Overseas Highway / US 1 and N Blackwater Lane intersection operation was analyzed using the 2010 HCS version 5.6. The analysis results are included in **Appendix B** and summarized in **Exhibit 7**.

**EXHIBIT 7: PM Peak Hour Intersection Operations**

APPROACH	Existing (2013)		Future Background (2015)		Future (2015) with Project Trips	
	Left	Left & Right	Left	Left & Right	Left	Left & Right
NB - US 1	10.2 sec./veh. LOS B	NA	10.3 sec./veh. LOS B	NA	10.4 sec./veh. LOS B	NA
EB - N Blackwater Ln.	NA	13.5 sec./veh. LOS B	NA	13.8 sec./veh. LOS B	NA	14.2 sec./veh. LOS B

Overseas Highway / US 1 segment reserve capacity analysis was performed to evaluate the project traffic impact on Overseas Highway / US 1 segments by comparing the project traffic to maximum number of reserve trips on Overseas Highway / US 1 through Key Largo area (per Monroe County's Level of Service and Reserve Capacity Table). The proposed project will be located within US 1 Segment # 23 (MM 99.5 to MM 106). The residential project trips are approximately 25 miles long (per *Monroe County Traffic Report Guidelines*), therefore the average trip length is 12.5 miles along US 1.

US 1 segment #'s 21, 22, 23, and 24 are evaluated for the link analysis. The existing traffic distribution at the US 1 and N Blackwater Lane intersection is 26% - north and 74% - south. Using the same distribution, the project will add a maximum of 121 daily trips to Segment # 23. According to 2013 *Monroe County's Level of Service and Reserve Capacity* table (see **Appendix C**), the US 1 segments has excess capacity to absorb the maximum impacts generated by the Paradise Point Senior Residences project. The link analysis results are presented in **Exhibit 8**.

**EXHIBIT 8: US 1 Segments Reserve Capacity Analysis**

Total Daily Trips	Percent Primary Trips	US 1 Segment	Percent Directional Split	Percent Impact	Project Generated Daily Trips	2013 Reserve Capacity
		# 21 – Plantation (86.0 – 91.5)	74%	0%	0	4,226
		# 22 – Tavernier (91.5 – 99.5)	74%	50%	61	8,214
163	100%	# 23 – Kay Largo (99.5 – 106.0)	74% / 26%	100%	121	7,432
		# 24 – Cross (106.0 – 112.5)	26%	20%	8	6,058

Sources: Monroe County Planning Department.

## 5.0 Parking Requirements Analysis

The Monroe County Code does not specify the required number of parking spaces for a Senior Residences such as Paradise Point. County staff had requested the applicant to provide two spaces per unit, whereas the ITE Parking manual suggests one parking space per unit.

A parking study was undertaken to evaluate the parking requirements. There is only one similar site in Monroe County; the Bayshore Manor located off of College Road in Stock Island and is gated, hence gaining access to the site would be difficult. Therefore, five similar use sites in Broward County were selected to perform the evaluation. The five sites are located within two large retirement communities – Kings Point in Tamarac, and Sunrise Lakes in Sunrise. Although the three sites in Kings Point are gated, pedestrian access is not restricted, hence was able to gain access.

These retirement communities are large and spread-out; specific buildings were selected that are of similar size to the proposed project. The local municipal codes require adequate parking to be provided in the immediate vicinity of the building. The selected sites had parking delineated and specifically serve the selected buildings. The parking data collected for the five sites are presented in Exhibit 9.

**EXHIBIT 9: Parking Survey**

		SITE # 1 Sunrise Lakes Phase IV Building # 164	SITE # 2 Sunrise Lakes Phase IV Building # 217	SITE # 3 Kings Point ASHMONT Building # I	SITE # 4 Kings Point DEVON Building # A	SITE # 5 Kings Point TRENT Building # A & E
<b>Number of Units</b>		40	36	32	38	104
<b>Number of Parking Spaces</b>		58 (17 Guest)	50 (15 Guest)	49 (17 Guest)	58 (16 Guest)	149 (39 Guest)
<b>Time of Parking Survey</b>	7:00 – 7:30 AM (Weekday)	34	29	22	35	82
	7:45 – 8:15 AM (Weekday)	25	27	18	33	86
	8:30 – 9:00 AM (Weekday)	22	29	17	32	85
	5:00 – 5:30 PM (Weekday)	24	22	19	29	78
	6:30 – 7:00 PM (Weekday)	32	22	20	28	73
	7:00 – 7:30 PM (Weekday)	34	22	21	31	78
	8:30 – 9:00 PM (Weekday)	34	28	22	32	82
	2:15 – 2:45 PM (Sunday)	25	17	18	32	86
<b>Average Parking Occupancy</b>		29	25	20	32	81
<b>Maximum Parking Occupancy</b>		34	29	22	35	86
<b>Maximum Parking Usage per Unit</b>		0.85	0.81	0.69	0.92	0.83
<b>Number of Parking Spaces Available per Unit</b>		1.45	1.39	1.53	1.53	1.43

## 6.0 CONCLUSION

Based upon the results of the analysis performed for Paradise Point Senior Residences, the proposed project will not have an adverse impact on the operating characteristics of Overseas Highway / US 1, nor will it inhibit the safe flow of traffic traveling through Overseas Highway / US 1 at the intersection of N Blackwater Lane. Overseas Highway / US 1 has adequate capacity to accommodate the traffic impacts generated by the project. The HCS analysis results presented in the report is consistent with the operational conditions observed in the field – little or no delays to any of the turning movements at the intersection of US 1 and N Blackwater Lane. The estimated number of trips (approximately 1,500 per day) on N Blackwater Lane is far less than the two-lane capacity of 10,360 trips per day according to *FDOT Generalized LOS Table 1* - see **Appendix B**.

The parking surveys conducted at the surrogate sites confirm the ITE Parking Rate guideline of one space per unit. However, it is evident that the municipalities where the survey sites are located have implemented parking requirements that exceeds the ITE guidelines.

**Appendix A**  
**Traffic Data**

Site Information	
Feature	1
Road Name	OVERSEAS HWY
Site	900200
Description	SR 5/US- 900' S CR 905 @ R-164(KEY LARG O)
Section	90060000
Milepoint	32.397
AADT	<b>20400</b>
Site Type	Portable
Class Data	Yes
K Factor	9.5
D Factor	55
T Factor	13.1
<b>TRAFFIC REPORTS</b> (provided in  format)	
Monroe County	<a href="#">Annual Average Daily Traffic</a>
	<a href="#">Annual Vehicle Classification</a>
	<a href="#">Historical AADT Data</a>
	<a href="#">Synopsis 900200CL-20120327</a>
	<a href="#">Synopsis 900200CL-20120328</a>
	<a href="#">Synopsis 900200CL-20120329</a>
	<a href="#">Vehicle Class History</a>

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FLORIDA DEPARTMENT OF TRANSPORTATION  
 TRANSPORTATION STATISTICS OFFICE  
 2012 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 0200 - SR 5/US-1, 200' S CR 905 @ R-164 (KEY LARGO)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2012	20400 C	N 10500	S 9900	9.50	55.00	13.10
2011	18800 C	N 9400	S 9400	9.50	55.10	11.80
2010	21000 C	N 10500	S 10500	10.26	56.84	10.40
2009	22000 C	N 11000	S 11000	10.23	56.56	9.80
2008	20700 C	N 11000	S 9700	10.45	54.98	12.90
2007	23000 C	N 12000	S 11000	10.00	55.10	13.40
2006	24000 C	N 12500	S 11500	10.08	55.69	10.20
2005	23000 C	N 11500	S 11500	10.40	55.70	8.30
2004	22000 C	N 11000	S 11000	10.00	56.00	8.30
2003	23000 C	N 11500	S 11500	10.10	56.30	9.20
2002	37500 C	N 19000	S 18500	10.00	54.20	3.10
2001	22000 C	N 11000	S 11000	10.00	55.90	10.50
2000	35500 C	N 18000	S 17500	9.90	54.80	3.60
1999	19600 C	N 9800	S 9800	9.50	56.70	9.20
1998	20400 C	N 9900	S 10500	9.50	56.60	7.50
1997	18600 C	N 9200	S 9400	9.60	55.90	6.60

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE  
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; X = UNKNOWN  
 \*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

COUNTY: 90  
 STATION: 0200  
 DESCRIPTION: SR 5/US-1, 200' S CR 905 @ R-164 (KEY LARGO)  
 START DATE: 03/27/2012  
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL	
0000	21	14	13	10	58	21	12	12	21	66	124
0100	16	5	9	5	35	7	10	7	11	35	70
0200	13	5	11	8	37	7	10	14	15	46	83
0300	4	7	6	9	26	10	10	6	17	43	69
0400	21	14	27	34	96	8	12	18	29	67	163
0500	53	63	77	83	276	33	63	65	60	221	497
0600	90	109	80	96	375	95	119	131	156	501	876
0700	122	138	144	139	543	142	171	159	207	679	1222
0800	161	179	180	184	704	191	169	198	137	695	1399
0900	170	179	177	200	726	161	161	146	133	601	1327
1000	211	205	195	198	809	121	182	157	181	641	1450
1100	198	180	217	171	766	158	147	157	250	712	1478
1200	210	211	221	178	820	169	213	198	189	769	1589
1300	202	217	188	183	790	184	131	202	195	712	1502
1400	259	239	215	192	905	192	155	199	166	712	1617
1500	248	243	293	280	1064	217	145	187	240	789	1853
1600	283	276	296	277	1132	181	196	205	163	745	1877
1700	257	279	253	224	1013	200	221	168	156	745	1758
1800	223	202	165	65	655	156	126	134	98	514	1169
1900	101	93	81	70	345	114	108	77	103	402	747
2000	76	69	61	44	250	95	67	63	85	310	560
2100	47	45	50	42	184	52	77	60	62	251	435
2200	37	29	40	33	139	57	56	35	37	185	324
2300	33	38	34	21	126	33	30	24	36	123	249

24-HOUR TOTALS: 11874 10564 22438

PEAK VOLUME INFORMATION

	DIRECTION: N		DIRECTION: S		COMBINED	DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME		HOUR	VOLUME
A.M.	815	713	745	765	745	1424	
P.M.	1545	1135	1545	822	1545	1957	
DAILY	1545	1135	1145	830	1545	1957	

TRUCK PERCENTAGE 11.16 13.99 12.49

CLASSIFICATION SUMMARY DATABASE

DIR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
N	129	6850	3490	96	551	202	22	259	195	0	0	0	0	0	80	1325	11874
S	93	5238	3755	178	546	135	74	408	137	0	0	0	0	0	0	1478	10564

COUNTY: 90  
 STATION: 0200  
 DESCRIPTION: SR 5/US-1, 200' S CR 905 @ R-164 (KEY LARGO)  
 START DATE: 03/28/2012  
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL	
0000	20	20	11	17	68	26	12	21	17	76	144
0100	7	7	7	6	27	14	11	3	7	35	62
0200	8	8	4	3	23	6	21	14	9	50	73
0300	7	7	7	10	31	16	7	11	13	47	78
0400	9	17	18	23	67	7	19	25	19	70	137
0500	44	53	55	70	222	40	54	72	75	241	463
0600	77	85	68	87	317	100	113	133	157	503	820
0700	109	117	123	133	482	157	168	183	201	709	1191
0800	134	155	190	155	634	148	190	212	158	708	1342
0900	189	155	197	199	740	161	168	159	142	630	1370
1000	194	225	203	210	832	146	185	170	141	642	1474
1100	200	215	198	184	797	172	189	189	201	751	1548
1200	204	204	226	218	852	223	227	194	206	850	1702
1300	201	200	188	199	788	194	133	246	182	755	1543
1400	207	176	175	160	718	183	198	190	183	754	1472
1500	218	213	245	243	919	187	186	176	217	766	1685
1600	219	221	243	252	935	164	229	198	193	784	1719
1700	229	234	230	207	900	209	246	191	153	799	1699
1800	188	160	153	142	643	159	141	132	111	543	1186
1900	102	126	92	91	411	99	110	100	112	421	832
2000	90	86	68	69	313	88	75	97	74	334	647
2100	77	64	50	51	242	60	86	61	67	274	516
2200	51	55	43	43	192	47	77	46	32	202	394
2300	44	32	38	32	146	37	22	29	30	118	264
24-HOUR TOTALS:	11299					11062					22361

	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	845	696	745	751	815	1410
P.M.	1630	958	1200	850	1630	1804
DAILY	1630	958	1200	850	1630	1804

TRUCK PERCENTAGE 11.45 14.22 12.82

CLASSIFICATION SUMMARY DATABASE

DIR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
N	166	6484	3354	115	530	188	30	266	165	0	0	0	0	0	1	1294	11299
S	71	5515	3903	188	728	227	30	270	130	0	0	0	0	0	0	1573	11062

GENERATED BY SPS 5.0.29

COUNTY: 90  
 STATION: 0200  
 DESCRIPTION: SR 5/US-1, 200' S CR 905 @ R-164 (KEY LARGO)  
 START DATE: 03/29/2012  
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL	
0000	32	21	26	6	85	17	27	26	29	99	184
0100	7	8	14	11	40	14	13	11	7	45	85
0200	8	6	8	5	27	16	12	23	11	62	89
0300	7	9	9	9	34	10	9	15	14	48	82
0400	7	15	23	30	75	16	16	22	24	78	153
0500	40	52	61	73	226	33	58	62	66	219	445
0600	85	75	68	89	317	98	122	136	143	499	816
0700	89	131	133	149	502	148	173	165	190	676	1178
0800	129	151	170	205	655	165	191	186	174	716	1371
0900	171	185	187	188	731	145	146	138	132	561	1292
1000	189	191	182	187	749	154	179	158	188	679	1428
1100	180	216	201	204	801	141	205	142	229	717	1518
1200	220	198	202	220	840	194	283	206	213	896	1736
1300	181	177	200	223	781	187	234	202	252	875	1656
1400	192	170	191	151	704	179	228	176	219	802	1506
1500	236	229	232	246	943	217	215	181	223	836	1779
1600	224	261	244	236	965	212	247	184	195	838	1803
1700	256	248	242	211	957	187	224	183	201	795	1752
1800	192	181	160	135	668	144	169	124	145	582	1250
1900	143	104	115	97	459	110	128	98	105	441	900
2000	109	89	97	85	380	95	68	71	99	333	713
2100	69	70	70	63	272	53	88	87	68	296	568
2200	56	47	49	48	200	69	81	46	39	235	435
2300	57	45	32	28	162	43	32	40	28	143	305

24-HOUR TOTALS: 11573 11471 23044

	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	845	748	745	732	815	1393
P.M.	1615	997	1200	896	1545	1841
DAILY	1615	997	1145	912	1545	1841

TRUCK PERCENTAGE 11.93 16.33 14.12

CLASSIFICATION SUMMARY DATABASE

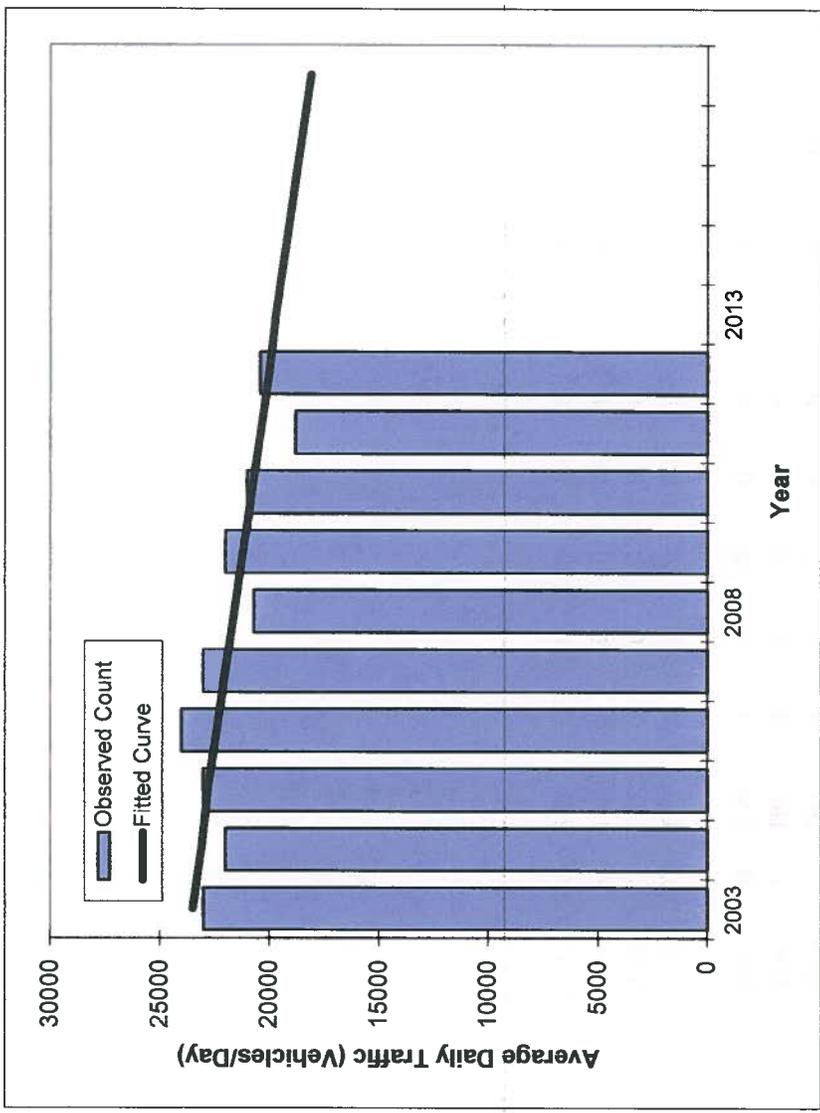
DIR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
N	165	6645	3380	111	529	202	26	308	204	0	1	0	0	0	2	1381	11573
S	102	5314	4182	189	672	234	54	518	206	0	0	0	0	0	0	1873	11471

# Traffic Trends - V2.0

## US 1, 200' S of CR 905 --

PIN# 973216-1  
 Location 1

County: Monroe (90)  
 Station #: 0200  
 Highway: US 1, 200' S of CR 905



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2003	23000	23500
2004	22000	23100
2005	23000	22800
2006	24000	22400
2007	23000	22000
2008	20700	21600
2009	22000	21200
2010	21000	20800
2011	18800	20400
2012	20400	20000
2015 Opening Year Trend		
2015	N/A	18900
2012 Mid-Year Trend		
2012	N/A	20000
2013 Design Year Trend		
2013	N/A	19700
TRANPLAN Forecasts/Trends		

\*\* Annual Trend Increase: -388  
 Trend R-squared: 56.47%  
 Trend Annual Historic Growth Rate: -1.65%  
 Trend Growth Rate (2012 to Design Year): -1.50%  
 Printed: 28-Dec-13

Straight Line Growth Option

\*Axle-Adjusted

US 1 @ N Blackwater Ln.

	SB				WB				NB				TOTAL	Hr. TOTAL			
	LEFT	THRU	RIGHT	U-TURN	LEFT	THRU	RIGHT	U-TURN	LEFT	THRU	RIGHT	U-TURN			LEFT	THRU	RIGHT
7:00	0	146	1	0	0	0	0	0	2	82	0	0	4	0	0	235	
7:15	0	144	1	0	0	0	0	0	5	103	0	0	1	0	4	258	
7:30	0	200	1	0	0	0	0	0	1	126	0	0	2	0	3	333	
7:45	0	200	1	0	0	0	0	0	3	114	0	0	0	0	5	323	1149
8:00	0	204	2	0	0	0	0	0	5	124	0	1	5	0	6	347	
8:15	0	191	2	0	0	0	0	0	6	180	0	0	2	0	7	388	
8:30	0	186	3	0	0	0	0	0	4	176	0	2	4	0	4	379	
8:45	0	124	1	0	0	0	0	0	4	170	0	0	3	0	5	307	1421
15:30	0	162	4	0	0	0	0	0	6	162	0	0	5	0	4	343	0
15:45	0	161	3	0	0	0	0	0	6	233	0	0	0	0	9	412	
16:00	0	192	1	0	0	0	0	0	7	281	0	1	1	0	6	489	
16:15	0	211	3	0	0	0	0	0	5	229	0	1	1	0	9	459	1703

**Appendix B**  
**HCS Analysis Results**  
**FDOT Generalized LOS Table-1**

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	Trident Eng			Intersection	SR 5 (US 1)/ N. Blackwater Ln			
Agency/Co.				Jurisdiction				
Date Performed	12/22/2013			Analysis Year	2013			
Analysis Time Period	3:30 PM to 4:30 PM							
Project Description Existing Conditions- PM Peak								
East/West Street: N. Blackwater Lane				North/South Street: SR 5 (US 1)				
Intersection Orientation: North-South				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	30	996			782	14		
Peak-Hour Factor, PHF	0.90	0.90	1.00	1.00	0.90	0.90		
Hourly Flow Rate, HFR (veh/h)	33	1106	0	0	868	15		
Percent Heavy Vehicles	8	-	-	0	-	-		
Median Type	Raised curb							
RT Channelized			0			0		
Lanes	1	2	0	0	2	0		
Configuration	L	T			T	TR		
Upstream Signal		0			0			
Minor Street	Eastbound			Westbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	7		30					
Peak-Hour Factor, PHF	0.90	1.00	0.90	1.00	1.00	1.00		
Hourly Flow Rate, HFR (veh/h)	7	0	33	0	0	0		
Percent Heavy Vehicles	8	0	8	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration		LR						
Delay, Queue Length, and Level of Service								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L						LR	
v (veh/h)	33						40	
C (m) (veh/h)	725						465	
v/c	0.05						0.09	
95% queue length	0.14						0.28	
Control Delay (s/veh)	10.2						13.5	
LOS	B						B	
Approach Delay (s/veh)	--	--					13.5	
Approach LOS	--	--					B	

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	Trident Eng			Intersection	SR 5 (US 1)/ N. Blackwater Ln			
Agency/Co.				Jurisdiction				
Date Performed	12/22/2013			Analysis Year	2015			
Analysis Time Period	3:30 PM to 4:30 PM							
Project Description <i>Future Conditions- PM Peak</i>								
East/West Street: <i>N. Blackwater Lane</i>				North/South Street: <i>SR 5 (US 1)</i>				
Intersection Orientation: <i>North-South</i>				Study Period (hrs): <i>0.25</i>				
Vehicle Volumes and Adjustments								
Major Street	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	34	1016			798	17		
Peak-Hour Factor, PHF	0.90	0.90	1.00	1.00	0.90	0.90		
Hourly Flow Rate, HFR (veh/h)	37	1128	0	0	886	18		
Percent Heavy Vehicles	8	--	--	0	--	--		
Median Type	Raised curb							
RT Channelized			0			0		
Lanes	1	2	0	0	2	0		
Configuration	L	T			T	TR		
Upstream Signal		0			0			
Minor Street	Eastbound			Westbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	8		33					
Peak-Hour Factor, PHF	0.90	1.00	0.90	1.00	1.00	1.00		
Hourly Flow Rate, HFR (veh/h)	8	0	36	0	0	0		
Percent Heavy Vehicles	8	0	8	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration		LR						
Delay, Queue Length, and Level of Service								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L						LR	
v (veh/h)	37						44	
C (m) (veh/h)	712						452	
v/c	0.05						0.10	
95% queue length	0.16						0.32	
Control Delay (s/veh)	10.3						13.8	
LOS	B						B	
Approach Delay (s/veh)	--	--					13.8	
Approach LOS	--	--					B	

## TWO-WAY STOP CONTROL SUMMARY

General Information		Site Information						
Analyst	Trident Eng	Intersection	SR 5 (US 1)/N. Blackwater Ln					
Agency/Co.		Jurisdiction						
Date Performed	12/22/2013	Analysis Year	2015					
Analysis Time Period	3:30 PM to 4:30 PM							
Project Description								
East/West Street: N. Blackwater Lane				North/South Street: SR 5 (US 1)				
Intersection Orientation: North-South				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	37	1016			798	17		
Peak-Hour Factor, PHF	0.90	0.90	1.00	1.00	0.90	0.90		
Hourly Flow Rate, HFR (veh/h)	41	1128	0	0	886	18		
Percent Heavy Vehicles	8	--	--	0	--	--		
Median Type	Raised curb							
RT Channelized			0			0		
Lanes	1	2	0	0	2	0		
Configuration	L	T			T	TR		
Upstream Signal		0			0			
Minor Street	Eastbound			Westbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	9		36					
Peak-Hour Factor, PHF	0.90	1.00	0.90	1.00	1.00	1.00		
Hourly Flow Rate, HFR (veh/h)	10	0	40	0	0	0		
Percent Heavy Vehicles	8	0	8	0	0	0		
Percent Grade (%)		0			0			
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration		LR						
Delay, Queue Length, and Level of Service								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L						LR	
v (veh/h)	41						50	
C (m) (veh/h)	712						440	
v/c	0.06						0.11	
95% queue length	0.18						0.38	
Control Delay (s/veh)	10.4						14.2	
LOS	B						B	
Approach Delay (s/veh)	--	--					14.2	
Approach LOS	--	--					B	

**Generalized Annual Average Daily Volumes for Florida's  
Urbanized Areas**

**TABLE 1**

12/18/12

INTERRUPTED FLOW FACILITIES						UNINTERRUPTED FLOW FACILITIES							
<b>STATE SIGNALIZED ARTERIALS</b>						<b>FREEWAYS</b>							
<b>Class I (40 mph or higher posted speed limit)</b>						<b>Core Urbanized</b>							
Lanes	Median	B	C	D	E	Lanes	B	C	D	E			
2	Undivided	*	16,800	17,700	**	4	47,400	64,000	77,900	84,600			
4	Divided	*	37,900	39,800	**	6	69,900	95,200	116,600	130,600			
6	Divided	*	58,400	59,900	**	8	92,500	126,400	154,300	176,600			
8	Divided	*	78,800	80,100	**	10	115,100	159,700	194,500	222,700			
						12	162,400	216,700	256,600	268,900			
<b>Class II (35 mph or slower posted speed limit)</b>						<b>Urbanized</b>							
Lanes	Median	B	C	D	E	Lanes	B	C	D	E			
2	Undivided	*	7,300	14,800	15,600	4	45,800	61,500	74,400	79,900			
4	Divided	*	14,500	32,400	33,800	6	68,100	93,000	111,800	123,300			
6	Divided	*	23,300	50,000	50,900	8	91,500	123,500	148,700	166,800			
8	Divided	*	32,000	67,300	68,100	10	114,800	156,000	187,100	210,300			
<b>Non-State Signalized Roadway Adjustments</b> (Alter corresponding state volumes by the indicated percent.)						<b>Freeway Adjustments</b>							
Non-State Signalized Roadways - 10%						<table border="0"> <tr> <td>Auxiliary Lanes Present in Both Directions + 20,000</td> <td>Ramp Metering + 5%</td> </tr> </table>						Auxiliary Lanes Present in Both Directions + 20,000	Ramp Metering + 5%
Auxiliary Lanes Present in Both Directions + 20,000	Ramp Metering + 5%												
<b>Median &amp; Turn Lane Adjustments</b>						<b>UNINTERRUPTED FLOW HIGHWAYS</b>							
Lanes	Median	Exclusive Left Lanes	Exclusive Right Lanes	Adjustment Factors		Lanes	Median	B	C	D	E		
2	Divided	Yes	No	+5%		2	Undivided	8,600	17,000	24,200	33,300		
2	Undivided	No	No	-20%		4	Divided	36,700	51,800	65,600	72,600		
Multi	Undivided	Yes	No	-5%		6	Divided	55,000	77,700	98,300	108,800		
Multi	Undivided	No	No	-25%									
-	-	-	Yes	+ 5%									
<b>One-Way Facility Adjustment</b> Multiply the corresponding two-directional volumes in this table by 0.6						<b>Uninterrupted Flow Highway Adjustments</b>							
						Lanes	Median	Exclusive left lanes	Adjustment factors				
						2	Divided	Yes	+5%				
						Multi	Undivided	Yes	-5%				
						Multi	Undivided	No	-25%				
<b>BICYCLE MODE<sup>2</sup></b> (Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)						<sup>1</sup> Values shown are presented as two-way annual average daily volumes for levels of service and are for the automobile/truck modes unless specifically stated. This table does not constitute a standard and should be used only for general planning applications. The computer models from which this table is derived should be used for more specific planning applications. The table and deriving computer models should not be used for corridor or intersection design, where more refined techniques exist. Calculations are based on planning applications of the Highway Capacity Manual and the Transit Capacity and Quality of Service Manual.							
<b>Paved Shoulder/Bicycle Lane Coverage</b>						<sup>2</sup> Level of service for the bicycle and pedestrian modes in this table is based on number of motorized vehicles, not number of bicyclists or pedestrians using the facility.							
		B	C	D	E	<sup>3</sup> Buses per hour shown are only for the peak hour in the single direction of the higher traffic flow.							
0-49%		*	2,900	7,600	19,700	* Cannot be achieved using table input value defaults.							
50-84%		2,100	6,700	19,700	>19,700	** Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached. For the bicycle mode, the level of service letter grade (including F) is not achievable because there is no maximum vehicle volume threshold using table input value defaults.							
85-100%		9,300	19,700	>19,700	**								
<b>PEDESTRIAN MODE<sup>2</sup></b> (Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)													
<b>Sidewalk Coverage</b>													
		B	C	D	E								
0-49%		*	*	2,800	9,500								
50-84%		*	1,600	8,700	15,800								
85-100%		3,800	10,700	17,400	>19,700								
<b>BUS MODE (Scheduled Fixed Route)<sup>3</sup></b> (Buses in peak hour in peak direction)													
<b>Sidewalk Coverage</b>													
		B	C	D	E								
0-84%		> 5	≥ 4	≥ 3	≥ 2								
85-100%		> 4	≥ 3	≥ 2	≥ 1								
						<p>Source: Florida Department of Transportation Systems Planning Office <a href="http://www.dot.state.fl.us/planning/systems/sm/los/default.shtm">www.dot.state.fl.us/planning/systems/sm/los/default.shtm</a></p>							

**Appendix C**  
**2013 US 1 Travel Time Delay Study Table**

**2013 LEVEL OF SERVICE AND RESERVE CAPACITY**

SEGMENT	LENGTH (miles)	FACILITY TYPE	POSTED SPEED		ADJ. FOR SIGNAL (mph)	ADJUSTED LOS C CRITERIA (mph)	MEDIAN TRAVEL SPEED (mph)	LOS	RESERVE SPEED (mph)	2013		2012	
			Limits (mph)	Average (mph)						MAXIMUM RESERVE VOLUME (trips)	6% ALLOCATION BELOW LOS C (trips)	MAXIMUM RESERVE VOLUME (trips)	8% ALLOCATION BELOW LOS C (trips)
1 Stock Island (4.0 - 5.0)	1.1	4-L/D	35/45/55	42.2	N/A	22.0	33.1	B	11.1	N/A	2,022	1,822	N/A
2 Boca Chica (5.0-9.0)	3.9	4-L/D	45/55	54.6	N/A	50.1	57.1	A	7.0	N/A	4,521	4,779	N/A
3 Big Coppitt (9.0-10.5)	1.5	2-L/U	45/55	46.5	N/A	42.0	46.5	B	4.5	N/A	1,118	373	N/A
4 Saddlebunch (10.5-16.5)	5.8	2-L/U	45/55	53.6	N/A	49.1	51.2	C	2.1	N/A	2,017	2,881	N/A
5 Sugarloaf (16.5-20.5)	3.9	2-L/U	45	45.0	4.4	36.1	47.4	A	11.3	N/A	7,298	1,938	N/A
6 Cudjoe (20.5-23.0)	2.5	2-L/U	45	45.0	N/A	40.5	48.0	A	7.5	N/A	3,105	1,822	N/A
7 Summerland (23.0-25.0)	2.2	2-L/U	45	45.0	N/A	40.5	44.9	B	4.4	N/A	1,603	1,530	N/A
8 Ramrod (25.0-27.5)	2.3	2-L/U	45	45.0	N/A	40.5	45.8	B	5.3	N/A	2,019	2,019	N/A
9 Torch (27.5-29.5)	2.1	2-L/U	45	45.0	N/A	40.5	47.9	A	7.4	N/A	2,573	2,400	N/A
10 Big Pine (29.5-33.0)	3.4	2-L/U	45	45.0	3.6	36.9	40.1	B	3.2	N/A	1,802	1,182	N/A
11 Bahia Honda (33.0-40.0)	7.0	2-L/U (70%) 4-L/D (30%)	45/50/55	52.4	N/A	47.9	53.7	B	5.8	N/A	6,723	6,839	N/A
12 7-Mile Bridge (40.0-47.0)	6.8	2-L/U	45/50/55	54.5	N/A	50.0	54.9	B	4.9	N/A	5,518	3,378	N/A
13 Marathon (47.0-54.0)	7.3	2-L/U (13%) 4-L/D (87%)	35/45	42.1	N/A	22.0	35.8	A	13.8	N/A	16,683	17,771	N/A
14 Grassy (54.0-60.5)	6.4	2-L/U	45/55	54.5	1.5	48.5	51.0	C	2.5	N/A	2,650	2,756	N/A
15 Duck (60.5-63.0)	2.7	2-L/U	55	55.0	N/A	50.5	47.8	D	-2.7	N/A	(1,207)	1,118	N/A
16 Long (63.0-73.0)	9.9	2-L/U	45/55	53.4	N/A	48.9	51.2	C	2.3	N/A	3,771	5,902	N/A
17 L Matecumbe (73.0-77.5)	4.5	2-L/U	55	55.0	N/A	50.5	49.9	D	-0.6	N/A	(447)	(869)	950
18 Tea Table (77.5-79.5)	2.2	2-L/U	55	55.0	N/A	50.5	47.4	E	-3.1	N/A	(1,128)	(1,785)	0
19 U Matecumbe (79.5-84.0)	4.1	2-L/U	45/55	46.4	N/A	41.9	40.2	D	-1.7	N/A	(1,154)	136	N/A
20 Windley (84.0-86.0)	1.9	2-L/U	45	45.0	N/A	40.5	41.2	C	0.7	N/A	220	252	N/A
21 Plantation (86.0-91.5)	5.8	2-L/U	45	45.0	3.6	36.9	41.3	B	4.4	N/A	4,226	4,898	N/A
22 Tavernier (91.5-99.5)	8.0	4-L/D	45/50	47.2	2.0	40.7	46.9	A	6.2	N/A	6,214	10,863	N/A
23 Key Largo (99.5-106.0)	6.8	4-L/D	45	45.0	3.2	37.3	43.9	A	6.6	N/A	7,432	11,936	N/A
24 Cross (106.0-112.5)	6.2	2-L/U	45/55	51.5	N/A	47.0	52.8	B	5.9	N/A	6,058	8,727	N/A
Overall	108.3					45.0	45.9	C	0.9		16,692		



**954.815.3265**

**[TRIDENTEngLLCRajS@gmail.com](mailto:TRIDENTEngLLCRajS@gmail.com)**

**62 Gables Blvd., Fort Lauderdale, Florida, 33326**



January 2, 2014

Ms. Patricia Smith – Transportation Planning Manager  
**MONROE COUNTY PLANNING DEPARTMENT**  
102050 Overseas Highway, Room 212  
Key Largo, FL 33037

via eMail & US Mail

**Re: Paradise Point Senior Housing – Key Largo (US 1 – MM 105.4)  
Level I Traffic Impact Study - Review**

Dear Ms. Smith:

We have reviewed the traffic impact study dated December 2013, submitted by *Trident Engineering* for the applicant *Gorman and Company, Inc.*, and received via email on December 23, 2013. Note, the latest report is an update (including January 2, 2014 updated page 6, 8, and HCS analysis) to the previously submitted report following our review comments.

- **Background data:** Applicant is proposing to build Paradise Point Senior Housing at 2 N Blackwater Lane, located on the north (bay) side of US 1 near MM 105.4 on Key Largo. The proposed development will consist of forty-six (46) new senior residential and one (1) employee housing attached dwellings/apartments on 2.6 acres of the 3.41 acres for the site. The 3.41 acre site currently includes two (2) light industrial building structures (1,890 and 5,260 gross square feet).
- **Site Plan:** A reduced size site plan is included with the traffic report. Three, two-way access driveways are proposed; one along N Blackwater Lane and two limited access driveways along the Winn Dixie alleyway.
- **Trip Generation:** The trip generation for this traffic study is based on *ITE Trip Generation Manual - 9<sup>th</sup> Edition*. The proposed 46 + 1 dwelling units are anticipated to generate 163 daily trips, of which 14 are PM peak hour trips. The calculated trip generation for the two (2) existing light industrial building structures is 48 daily trips.
- **U.S. 1 Traffic Impact and Reserve Capacity:** Reserve capacities for US 1 Segments # 21 through 24 are identified to have adequate reserve capacity to accommodate the project trips.
- **Overseas Highway (US 1/SR 5) and N Blackwater Lane Operational Analysis:** The 2010 HCS intersection capacity analysis results indicate an adequate LOS B.

We agree with the findings that the proposed development of Paradise Point Senior Housing will not degrade the LOS of surrounding roadways.

Should you have any questions, feel free to call me.

Sincerely,

**URS Corporation Southern**

  
John Arrieta, PE, PTOE  
Senior Traffic Engineer/Transportation Planner

cc: Mr. Joe Haberman  
Planning and Development Review Manager,  
Monroe County

P:\Traffic\Monroe County\2013\20 - Paradise Point TIS Review\PS\_20140102\_Paradise Point MM105.docx

Preliminary Comments:

1. Cover: correct spelling for “Kay Largo” – Key Largo.
2. Signature Page: Signature and Date are missing.
3. Page 2, second paragraph states: *Gorman & Company is in the process of developing a 2.6 acre parcel of vacant tract in Key Largo, Florida. ... According to Monroe County code, a Level 1 traffic study is required to support the development application.* However, the traffic study level is determined based on “Gross Trip Generation”. The site seems to include a second parcel for a total of 3.41 acres. Please revise trip generation to include the second parcel and determine if the Level 1 analysis is still applicable or provide justification for not including the second parcel.
4. Page 4, second paragraph: correct spelling for “Kay Largo” – Key Largo.
5. Page 4, second paragraph states: *Turning movement data was collected at the Overseas Highway / US 1 and N Blackwater Lane intersection on December 11, 2013 and is also included in **Appendix A**.* Please include the data in Appendix A.
6. Page 5, first paragraph: correct station number “0200” – 900200.
7. Page 5, first paragraph: correct spelling for “Apeeddix”, “presnted”, and “sows”.
8. Page 6, first paragraph states: *Software that supports the Institute of Transportation Engineers (ITE) 9<sup>th</sup> edition of the Trip Generation Manual is used to estimate daily and peak hour trips for the project site.* Please conduct manual calculations. Values on Exhibit 5 do not match a manual calculation review. Use the Fitted Curve Equation for Land Use 252 and Average Rate for Land Use 220. Please include a statement that Land Use 220 does not provide a directional distribution and 100% outbound is assumed, which is logical since the employee should be at the site already working.
9. Page 6, Exhibit 5: correct spelling for “TOTL”.
10. Page 6, third paragraph: correct station number “existing” – exist.
11. Page 7, second paragraph states: *The residential project trips are generally 10 miles long, therefore the average trip length is 5 miles along US 1.* Please include the basis for this assumption.
12. Page 7, third paragraph states: *Based upon a 26% / 74% (north / south) trip distribution.* Please include the basis for this assumption.
13. Page 9, first paragraph states: *The estimated number of trips (approximately 1,500 per day) on N Blackwater Lane is far less than the two-lane capacity of 14,000 trips per day according to FDOT Generalized LOS Tables.* Please note which table was used. Please include the table in Appendix B.
14. Appendix A: Please revise Trend Analysis AADT volumes for 2003, 2004, and 2005.
15. Appendix B: Please revise HCM Analysis for revised future condition volumes.

October 3, 2013



**EMAIL ONLY**

Gorman & Company, Inc.  
Attn: Ms. Hana Eskra, VP  
Paradise Point Senior Housing  
2 N. Blackwater Lane  
Key Largo, FL 33037

**RE: Paradise Point Proposed Senior Housing – Key Largo  
Level I Traffic Engineering Report**

Dear Ms. Eskra:

Per your request, RC3 World, Inc. has estimated the traffic volume to be generated by the proposed development of a Senior Housing development. The site is situated near US 1 Mile Marker 105 in Key Largo, Florida. The estimated quantity of daily trips to be generated by the proposed development warrants a level 1 traffic analysis according to the Monroe County Traffic Reporting Guidelines. The site is approximately 2.6 acres and is currently undeveloped. It is understood that you are planning to add 46 institutional residential units for seniors 65+ along with one employee housing unit to be used for an onsite manager. The remainder of the site will be used for accessory uses such as parking and open space.

The Florida Department of Transportation developed a trip generation calculation tool called TIPS (Trip generation, Internal capture, and Pass-by Software) which was used to estimate daily and peak hour trips for ITE land use codes 220 and 252. The 220 trip generation was based on the 8<sup>th</sup> generation of the ITE manual and trip generation for 252 was based on the 9<sup>th</sup> generation ITE manual.

The peak hour of the generator typically did not coincide with the peak hour of the adjacent street traffic. The A.M. peak hour of the generator typically ranged from 8:30 a.m. to 12:00 p.m. and the P.M. peak hour of the generator typically ranged from 1:00 p.m. to 6:00 p.m.

Land Use	ITE Code	Weighted Daily Trips	PM PEAK HOUR		
			IN	OUT	Total
<b>Proposed development:</b>					
46 Senior Adult Housing Units	252	160	4	3	7
1 Employee Housing Unit (Apartment)	220	8	0	N/A	1
<b>Proposed Trips</b>		<b>168</b>	<b>4</b>	<b>3</b>	<b>8</b>

According to the 2013 US 1 Arterial Travel Time and Delay Study for Monroe County Florida, the site is located in Segment 23, which has 7,432 daily reserve trips. The north/south

distribution of trips is estimated at about 30% north (towards the mainland) and 70% south (towards Tavernier). Approximately 50 new northbound daily trips will reduce the reserve volume along US 1 in Segment 24 from 6,058 to 6,008 trips. Approximately 118 new southbound daily trips will reduce the reserve capacity in Segment 23 from 7,432 to 7373 trips and in Segment 22 from 8214 to 8155 trips. The estimated eight (8) new peak hour trips will generate on average about one new trip every 30-40 minutes over a five (5) hour period and will not likely be noticed by area residents.

Access to the site is from US 1 is via the existing street Blackwater Lane. Clear zone sight triangles at the driveway's connection with Blackwater Lane will be depicted on the final site plan to be distributed with the developer's application to county staff. Any work in the Monroe County ROW must be coordinated with Monroe County Engineering Department.

All documentation for the trip generation plus copies of a general location map, an aerial of the area, the ITE trip generation and the 2013 Level of Service and Reserve Capacity table/information is attached for your reference.

Please present this information as part of your application process to Monroe County staff. If additional information is needed, please contact me at your convenience.

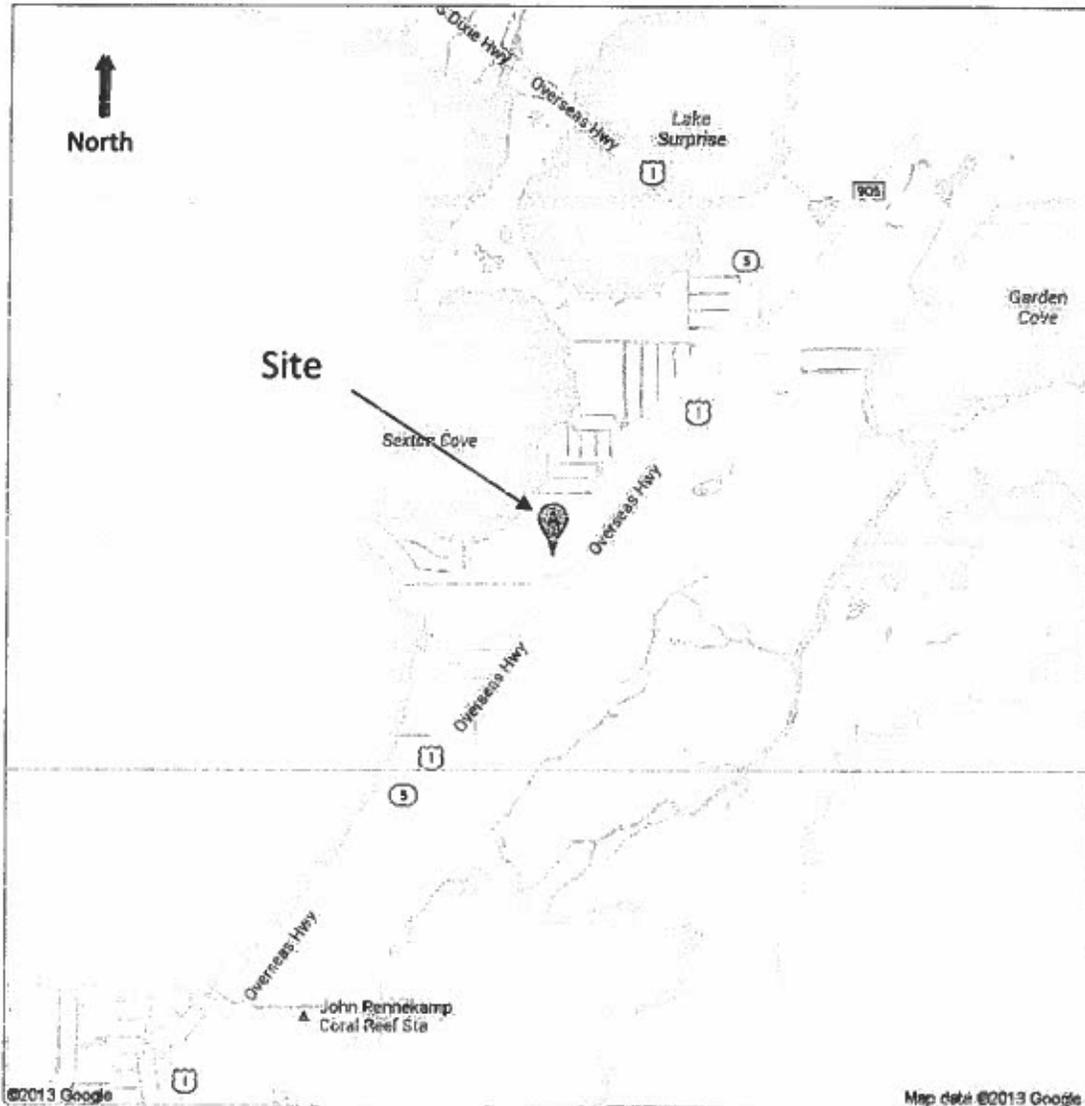
Sincerely,  
Joel C. Reed, AICP

A handwritten signature in black ink that reads "Joel C. Reed". The signature is written in a cursive style with a large, sweeping initial "J".

Google

Address 2 N Blackwater Ln  
Key Largo, FL 33037

Approximate MM 105



### Trip Generation Rates from the 8th Edition ITE Trip Generation Report

NA: Not Available      KSF<sup>2</sup>: Units of 1,000 square feet

DU: Dwelling Unit

Occ.Room: Occupied Room

Description / ITE Code	Units	Rate Weekday Daily Traffic	PM Peak Period Rate	% PM in	% PM Out	Expected Units (Independent variable)	Calculated Daily Trips	PM Peak Trips - Total	PM In	PM Out	
Apartment 220	Persons	3.31	0.40	NA	NA	1.0	3	0	0	NA	
Apartment 220	Vehicles	5.10	0.60	NA	NA	1.0	5	1	0	NA	
Elderly Housing- Attached 252 Occ.DU		3.48	0.16	60%	40%		46.0	7	4	3	
*Rate Weekday Daily Traffic adjusted to 9th Edition ITE Trip Generation Report							TOTALS	168	8	4	3

04-Oct-13

**Paradise Point Arterial Trip Assignment Summary**

<b>Project:</b>	Paradise Point Senior Housing			<b>Trip Generation Source:</b>		
<b>Location:</b>	Key Largo			ITE	<input checked="" type="checkbox"/>	
<b>Project Size:</b>	2.6 Acres			Other	<input checked="" type="checkbox"/>	See Report
<b>Approx. US1 MM:</b>	10S			<b>Daily Trip Ends</b>		
<b>Development Type:</b>	Res.			Weekdays:		
<b>Average Trip Length</b>	N/E:	20		Saturday:		
	S/W:	10		Sunday:		
<b>Trip Distribution</b>	N/E:	30%		Weighted Daily:		
	S/W:	70%				

Total Daily Trips	Percent Pass-By Trips	Percent Primary Trips	(1) Primary Trips	US 1 Segment Number	US-1 Segment Limits		(2) Percent Directional Split	(3) Percent Impact Based on Trip Length	Project Generated Trips (1) * (2) * (3)	Year 2013 Reserve Capacity	Less Estimated Site Volume	2013 Remaining Reserve Capacity	
					Begin MM	End MM							
168	0	100%	168	1	4.00	5.00			0				
				2	5.00	9.00			0				
				3	9.00	10.50			0				
				4	10.50	16.50			0				
				5	16.50	20.50			0				
				6	20.50	23.00			0				
				7	23.00	25.00			0				
				8	25.00	27.50			0				
				9	27.50	29.50			0				
				10	29.50	33.00			0				
				11	33.00	40.00			0				
				12	40.00	47.00			0				
				13	47.00	54.00			0				
				14	54.00	60.50			0				
				15	60.50	63.00			0				
				16	63.00	73.00			0				
				17	73.00	77.50			0				
				18	77.50	79.50			0				
				19	79.50	84.00			0				
				20	84.00	86.00			0				
				21	86.00	91.50	70%		0				
				22	91.50	99.50	70%	0.5	59	8214	59	8155	
<b>Project Segment</b>				→	23	99.50	106.00	70%	0.5	59	7432	59	7373
					24	106.00	112.50	30%	1.00	50	6058	50	6008

**2013 LEVEL OF SERVICE AND RESERVE CAPACITY**

SEGMENT	LENGTH (miles)	FACILITY TYPE	POSTED SPEED		ADJ. FOR SIGNAL (mph)	ADJUSTED LOS C CRITERIA (mph)	MEAN TRAVEL SPEED (mph)	LOS	RESERVE SPEED (mph)	2013		2012	
			Limits (mph)	Average (mph)						MAXIMUM RESERVE VOLUME (trips)	6% ALLOCATION BELOW LOS C (trips)	MAXIMUM RESERVE VOLUME (trips)	6% ALLOCATION BELOW LOS C (trips)
1 Stock Island (4.0 - 5.0)	1.1	4-L/D	35/45/55	42.2	N/A	22.0	33.1	B	11.1	2,022	N/A	1,822	N/A
2 Boca Chica (5.0- 9.0)	3.9	4-L/D	45/55	54.6	N/A	50.1	57.1	A	7.0	4,521	N/A	4,779	N/A
3 Big Coppick (9.0- 10.5)	1.5	2-L/U	45/55	48.5	N/A	42.0	46.5	B	4.9	1,118	N/A	373	N/A
4 Saddlebunch (10.5- 18.5)	5.8	2-L/U	45/55	53.6	N/A	48.1	51.2	C	2.1	2,017	N/A	2,881	N/A
5 Sugarloaf (16.5- 20.5)	3.9	2-L/U	45	45.0	4.4	38.1	47.4	A	11.3	7,288	N/A	1,958	N/A
6 Cudjoe (20.5- 23.0)	2.5	2-L/U	45	45.0	N/A	40.5	48.0	A	7.5	3,105	N/A	1,822	N/A
7 Summerland (23.0- 25.0)	2.2	2-L/U	45	45.0	N/A	40.5	44.9	B	4.4	1,803	N/A	1,530	N/A
8 Ramrod (25.0- 27.5)	2.3	2-L/U	45	45.0	N/A	40.5	45.8	B	5.3	2,019	N/A	2,019	N/A
9 Torch (27.5- 29.5)	2.1	2-L/U	45	45.0	N/A	40.5	47.9	A	7.4	2,973	N/A	2,400	N/A
10 Big Pine (29.5- 33.0)	3.4	2-L/U	45	45.0	3.6	38.9	40.1	B	3.2	1,802	N/A	1,182	N/A
11 Bahie Honda (33.0- 40.0)	7.0	2-L/U (70%) 4-L/D (30%)	45/50/55	52.4	N/A	47.9	53.7	B	9.8	6,723	N/A	6,639	N/A
12 7-Mile Bridge (40.0- 47.0)	6.8	2-L/U	45/50/55	54.5	N/A	50.0	54.9	B	4.9	5,918	N/A	3,376	N/A
13 Marathon (47.0- 54.0)	7.3	2-L/U (13%) 4-L/D (87%)	35/45	42.1	N/A	22.0	36.8	A	13.8	18,883	N/A	17,771	N/A
14 Grassy (54.0- 60.5)	6.4	2-L/U	45/55	54.5	1.5	48.5	51.0	C	2.5	2,850	N/A	2,756	N/A
15 Duck (60.5- 63.0)	2.7	2-L/U	55	55.0	N/A	50.5	47.8	D	-2.7	(1,207)	4	1,118	N/A
16 Long (63.0- 73.0)	9.9	2-L/U	45/55	53.4	N/A	48.9	51.2	C	2.3	3,771	N/A	5,902	N/A
17 L Matecumbe (73.0- 77.5)	4.5	2-L/U	55	55.0	N/A	50.5	49.9	D	-0.8	(447)	4	(969)	950
18 Tea Table (77.5- 79.5)	2.2	2-L/U	55	55.0	N/A	50.5	47.4	E	-3.1	(1,129)	4	(1,785)	0
19 U Matecumbe (79.5- 84.0)	4.1	2-L/U	45/55	48.4	N/A	41.9	40.2	D	-1.7	(1,154)	3	138	N/A
20 Windley (84.0- 88.0)	1.9	2-L/U	45	45.0	N/A	40.5	41.2	C	0.7	220	N/A	252	N/A
21 Plantation (89.0- 91.5)	5.8	2-L/U	45	45.0	3.6	38.9	41.3	B	4.4	4,228	N/A	4,898	N/A
22 Tavernier (91.5- 99.5)	8.0	4-L/D	45/50	47.2	2.0	40.7	46.9	A	8.2	6,214	N/A	10,863	N/A
23 Key Largo (99.5- 108.0)	6.6	4-L/D	45	45.0	3.2	37.3	43.9	A	6.6	7,432	N/A	11,938	N/A
24 Cross (108.0- 112.5)	6.2	2-L/U	45/55	51.5	N/A	47.0	52.9	B	5.9	6,058	N/A	6,727	N/A
Overall	108.3					45.0	45.9	C	0.9	16,692			

Fig. 1: Monroe County 2013 2013 TTDSS APPENDIX 13 CAPACITY

## Senior Adult Housing - Attached (252)

Average Vehicle Trip Ends vs: Dwelling Units  
On a: Weekday

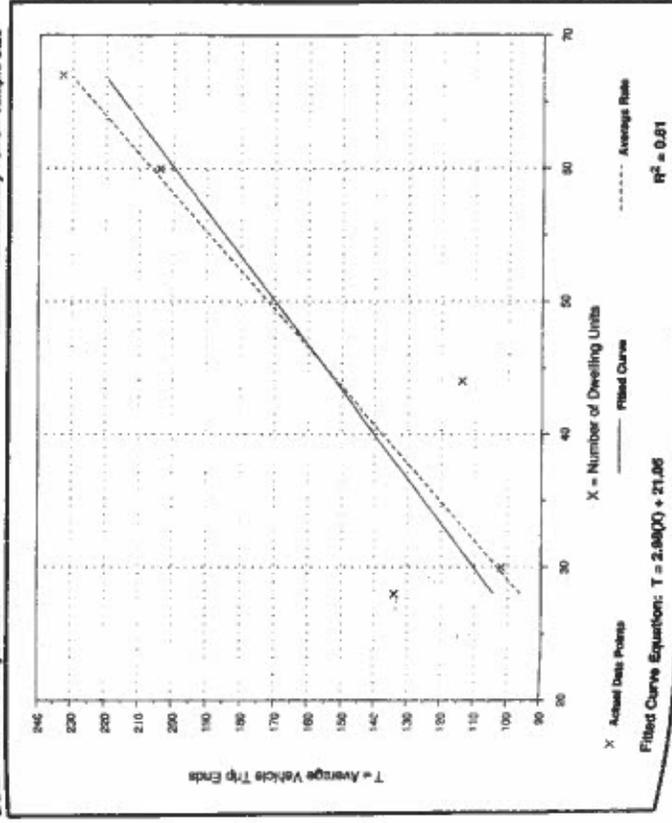
Number of Studies: 5  
Avg. Number of Dwelling Units: 46  
Directional Distribution: 50% entering, 50% exiting

### Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
3.44	2.59 - 4.79	1.93

### Data Plot and Equation

Caution - Use Carefully - Small Sample Size



## Land Use: 252 Senior Adult Housing—Attached

### Description

Senior adult housing consists of attached independent living developments, including retirement communities, age-restricted housing and active adult communities. These developments may include limited social or recreational services. However, they generally lack centralized dining and on-site medical facilities. Residents in these communities live independently, are typically active (requiring little to no medical supervision) and may or may not be retired. Senior adult housing—detached (Land Use 251), congregate care facility (Land Use 253) and continuing care retirement community (Land Use 255) are related uses.

### Additional Data

The peak hour of the generator typically did not coincide with the peak hour of the adjacent street traffic. The A.M. peak hour of the generator typically ranged from 8:30 a.m. to 12:00 p.m. and the P.M. peak hour of the generator typically ranged from 1:00 p.m. to 6:00 p.m. It should also be noted that in some cases, because of the limited sample size and variation in the data received, the projected trip generation estimate for the independent variable "dwelling units" exceeds the trip generation estimate for the independent variable "occupied dwelling units". By definition, this is impossible; therefore, knowledge of the project site and engineering judgment should be used to select the appropriate trip generation approximation.

The sites were surveyed between the 1980s and the 2000s in California, Illinois, Maryland, New Hampshire, New Jersey, Pennsylvania and Canada.

### Source Numbers

237, 272, 501, 576, 602, 703, 734, 741

# Land Use: 252

## Senior Adult Housing—Attached

### Land Use Description

Senior adult housing consists of attached independent living developments, including retirement communities, age-restricted housing and active adult communities. These developments may include limited social or recreational services. However, they generally lack centralized dining and on-site medical facilities. Residents in these communities live independently, are typically active (requiring little to no medical supervision) and may or may not be retired. Congregate care facility (Land Use 253) and continuing care retirement community (Land Use 255) are related uses.

### Database Description

The database consisted of two study sites.

- The study sites had 46 and 91 dwelling units.
- Parking supply ratio: 1.2 and 1.4 spaces per dwelling unit, respectively.
- Weekday peak parking demand ratio: 0.50 and 0.33 parked vehicles per dwelling unit at the 46- and 91-unit sites, respectively.
- Saturday peak parking demand ratio: 0.50 and 0.34 parked vehicles per dwelling unit at the 46- and 91-unit sites, respectively.

Parking demand counts were submitted for the hours beginning at 9:00 a.m., 10:00 a.m., 2:00 p.m. and 5:00 p.m. From these limited data, no definitive peak hour or peak period was established.

### Study Sites/Years

Huntington Beach, CA (1989)

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MONROE CO. PLANNING DEPT

# Paradise Point

## Senior Residences

#2 Blackwater Lane (US 1 – MM 105.4)

## Traffic Study

Kay Largo – Monroe County

December 2013

PROJECT # 2013-0002

Prepared by



62 Gables Blvd., Fort Lauderdale, Florida, 33326

# Paradise Point

## Senior Residences

#2 Blackwater Lane (US 1 – MM 105.4)

## Traffic Study

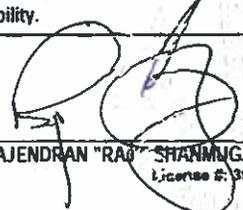
Kay Largo – Monroe County

December 2013

PROJECT # 2013-0002

Prepared by

I, Rajendran Shanmugam, PE # 39626, certify that I currently hold an active Professional Engineers License in the State of Florida and am competent through education and experience to provide engineering services in the Civil and Traffic Engineering disciplines contained in this report. I further certify that this report was prepared by me or under my responsible charge as defined in Chapter 61G15 F.A.C. and that all statements, conclusions and recommendations made herein are true and correct to the best of my knowledge and ability.

  
12/23/2013  
RAJENDRAN "RAO" SHANMUGAM P.E.,  
License # 39626

**TRIDENT**  
ENGINEERING

62 Gables Blvd., Fort Lauderdale, Florida, 33326

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## 1.0 INTRODUCTION

Gorman & Company is in the process of developing a 2.6 acre parcel of vacant tract in Key Largo, Florida. Applicant is proposing 46 new Senior Residential Units (Institutional Residential) and one (1) employee housing unit to be built in the vacant parcel – a location map is included as **Exhibit 1** and a site plan prepared by Gorman & Company is included as **Exhibit 2**.

According to Monroe County code, a Level 1 traffic study is required to support the development application. A Level 1 traffic study addresses the following, as a minimum:

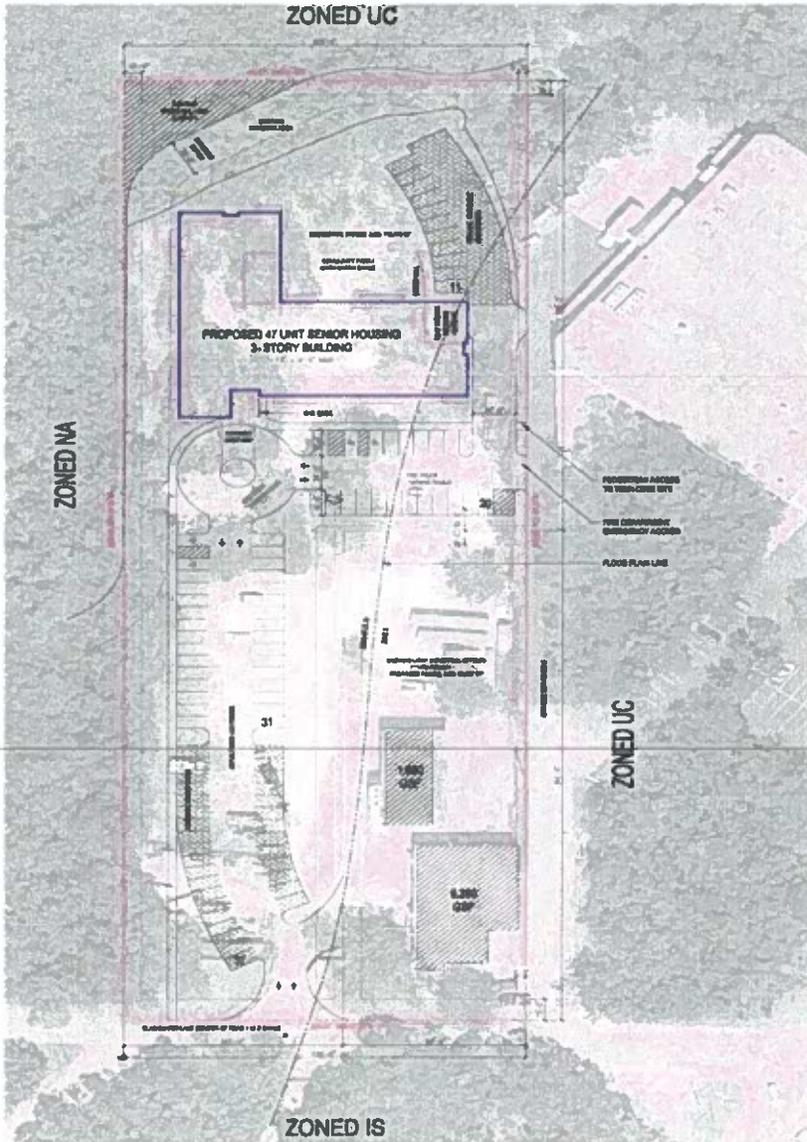
- i. Trip Generation - existing (if any) and proposed based on county approved procedures.
- ii. Directional distribution of trips based on existing trip distribution.
- iii. Trip length based on the development composition and the surrounding population centers.
- iv. An evaluation of US 1 segments impacted by project trips compared to the results from the most recent (2013) Travel Time study.

At a community meeting held on November 18, 2013 several community members were concerned over how additional traffic associated with the development would affect the safety and level of service of N Blackwater Lane, specifically the traffic impact at the intersection of N Blackwater Lane and Overseas Highway / US 1. To address the community concerns, the Level 1 traffic study is expanded to include the traffic operations and safety analysis of N Blackwater Lane, and its intersection with US 1.



**Exhibit 1: Project Location**

**Paradise Point Senior Residences – Key Largo  
Traffic Study**



RE NUMBER: 0004280-000100

ZONING: UC - URBAN COMMERCIAL DISTRICT  
FLUM - MIXED USE / COMMERCIAL  
TIER III

EXISTING TOTAL PARCEL AREA: 3.41 ACRES

PROPOSED PARCELS:  
9.808 ACRES: EXISTING BUILDINGS TO REMAIN  
2.804 ACRES: NEW AFFORDABLE SENIOR HOUSING

NEW PARCEL:  
PROPOSED USE: INSTITUTIONAL RESIDENTIAL  
ACCESSORY USE: ONE EMPLOYEE RESIDENTIAL DWELLING UNIT  
MINOR CONDITIONAL USE (OVER 20 ROOMS)

BUILDABLE ACRES:  
2.804 ACRES - 0.0889 ACRES (mangrove) = 2.5351 ACRES (upland)  
OPEN SPACE REQUIRED: 20% (2.5351 ACRES x 0.2) = 0.5070 ACRES  
2.5351 ACRES - 0.8070 ACRES = 2.0281 ACRES

ONE EMPLOYEE DWELLING UNIT: 12 CUBIC YARD MAX.  
2.0281 ACRES x 12 = 24.3372 POSSIBLE UNITS (ONE PROPOSED)  
2.0281 / 24.3372 = 0.0833 ACRES REQUIRED FOR ONE DU

2.0281 ACRES - 0.0833 ACRES = 1.9448 ACRES LEFTOVER

INSTITUTIONAL RESIDENTIAL MAX. NET DENSITY: 24 ROOMS/ACRE  
(1.9448 ACRES x 24) = 46.675 TOTAL ROOMS (48 PROPOSED)

PARKING: 2 SPACES PER UNIT = 94 SPACES (5 P.H.)

MAX HEIGHT: 35'-0" (TAKEN FROM RIDGE OF BLACKWATER LANE)

FRONT REQ'D SETBACK: 15'  
SIDE REQUIRED SETBACK: 10' / 15' COMBINED  
REAR REQUIRED SETBACK: 10'

MANGROVE SETBACK BUFFER: 25'

PROPOSED IMPERVIOUS AREAS  
PROPOSED BUILDING: 14,880 SF  
PROPOSED PAVING: 28,800 SF  
TOTAL: 44,440 SF

PROPOSED RETENTION: 8,430 SF  
PROPOSED PERVIOUS: 64,380 SF  
TOTAL: 113,440 SF

EXISTING PARCEL:  
OPEN SPACE REQUIRED: 20% (0.808 ACRES x 0.2) = 0.1612 ACRES  
MAX. F.A.R.: 0.36 (COMMERCIAL)  
(0.808 ACRES x 0.36) = 0.2909 BUILDABLE ACRES = 12,288 SF  
EXISTING BUILDING S.F.: (5,230 SF + 1,080 SF) = 6,310 SF

14,880 GSF FLOOR 1  
13,120 GSF FLOOR 2  
13,120 GSF FLOOR 3  
49,800 GSF CONDITIONED  
2,780 GSF EXTERIOR  
43,880 GSF TOTAL BLD'G  
700 SF INTERIOR PER UNIT



2 Blackwater Lane, Key Largo, Florida  
Architectural Site Plan - 12/13/2013

**EXHIBIT 2: Site Plan**

## 2.0 Existing Conditions

### 2.1 Roadways

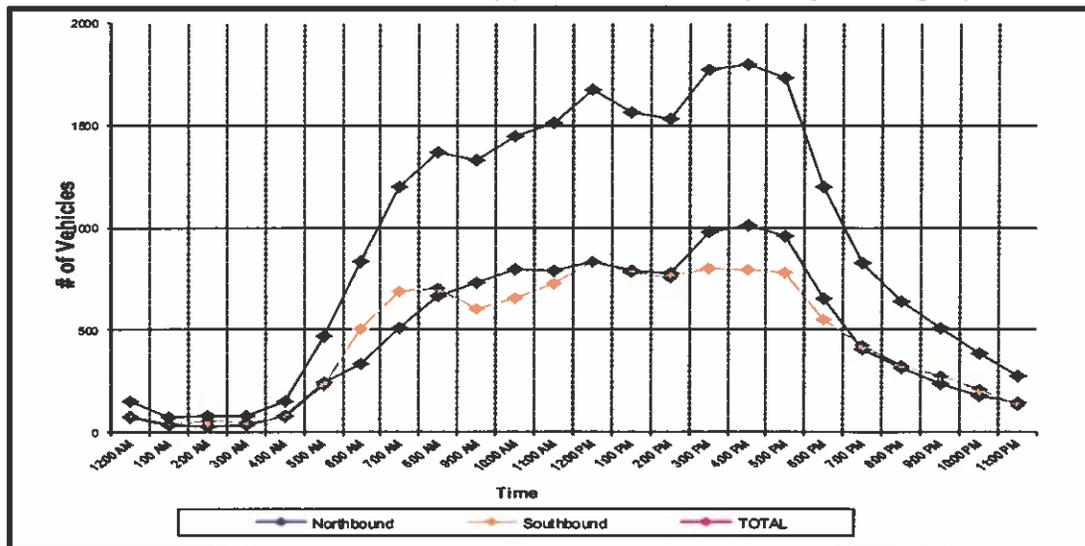
**US 1 (SR 5 / Overseas Highway)** is a principal arterial. It is a major state highway and provides the only primary access to the entire Florida Keys. Near the project site Overseas Highway / US 1 consist of a four lane divided cross section with a wide median separator, and it forms a northeast/southwest alignment. The posted speed limit along Overseas Highway / US 1 in the vicinity of the study area is 45 mph.

**N Blackwater Lane** is a two lane local residential street. Like most local streets in Kay Largo, N Blackwater Lane combined with another street (South Drive) is approximately ¾ mile long. It forms an east/west alignment. In addition to providing access to the proposed vacant parcel, including a couple of commercial/industrial uses, and an alleyway to the Winn Dixie Plaza, it provides access to approximately 130 residential homes. The Winn Dixie plaza has its primary access through Overseas Highway / US 1. The speed limit along N Blackwater Lane is 25 miles per hour.

### 2.2 Traffic Data

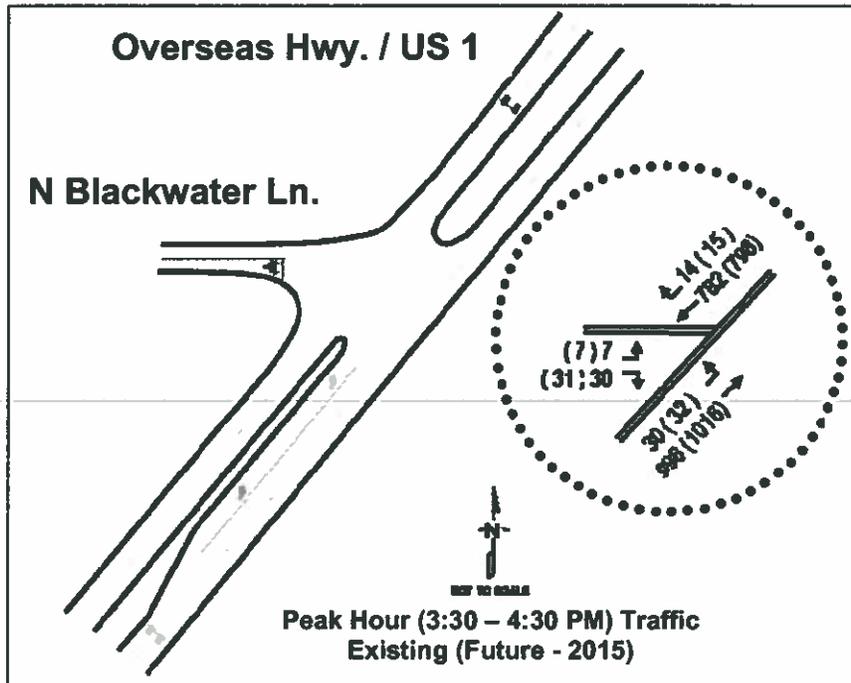
Approximately one mile north of the project site along US 1 is a traffic count station (FDOT Station # 900200) is located. Traffic Data from the count station is presented in **Appendix A** and summarized in **Exhibit 3**. Turning movement data was collected at the Overseas Highway / US 1 and N Blackwater Lane intersection on December 11, 2013 and is also included in **Appendix A**. The traffic volumes are highest during the evening peak, therefore the turning movements between the hours of 3:30 PM and 4:30 PM is selected to perform the operational analysis and is presented in **Exhibit 4**.

**EXHIBIT 3: US 1 – 24 Hour Approach Volumes (3 Day Averages)**



The Paradise Point senior residences are anticipated to be completed by year 2015. A trend analysis of historic traffic data for FDOT count station 0200 on US 1 was performed and included in Appendix A. The trend analysis shows a negative (-1.5%) growth along Overseas Highway / US 1 near the project location; the trend analysis presented in the 2013 US 1 Travel Time Delay Study also shows a 0% traffic growth on Overseas Highway / US 1 in the upper keys. Conservatively, a 1% annual growth of the traffic was applied to determine the future (2015) traffic at the intersection of Overseas Highway / US 1 and N Blackwater Lane, and is presented in Exhibit 4.

**EXHIBIT 4: Existing and Future Traffic Volumes**



### 3.0 Trip Generation and Projections

Software that supports the Institute of Transportation Engineers (ITE) 9<sup>th</sup> edition of the Trip Generation Manual is used to estimate daily and peak hour trips for the project site. The ITE land use codes 252 – Senior Adult Housing (attached), and 220 – Employee Housing (apartment) are considered to be the appropriate land uses for the proposed development. The projected trips for the project site are presented in **Exhibit 5**.

**EXHIBIT 5: Trip Generation**

Land use	ITE Code	Variable	Daily Trips	PM Peak Hour		
				In	Out	TOTL
<b>Proposed Development:</b>						
Senior Adult Housing	252	46 Units	160	4	3	7
Employee Housing	220	1 Unit	8	0	1	1
<b>Proposed new trips:</b>			<b>168</b>	<b>4</b>	<b>4</b>	<b>8</b>

The project trips are distributed similar to existing traffic distribution at the intersection. A summary of existing, future background (2015) and projected trips are presented in **Exhibit 6**. The percent of project trips compared to future background traffic (year 2015 w/o project trips) are also presented and it ranges between 0 to 3 trips (0 – 14%) per movement.

**EXHIBIT 6: PM Peak Hour (3:30 – 4:30 PM) Turning Movements**

APPROACH	Existing PM Pk. Hr. (3:30 to 4:30 PM)			Future Background (2015) PM Pk. Hr. (3:30 to 4:30 PM)			Project Trips PM Pk. Hr. (% of project trips compared to background traffic)			Future (2015) Total PM Pk. Hr.		
	Left (vph)	Thru (vph)	Right (vph)	Left (vph)	Thru (vph)	Right (vph)	Left (vph)	Thru (vph)	Right (vph)	Left (vph)	Thru (vph)	Right (vph)
NB - US 1	30	996	0	32	1,016	0	2 (6%)	0 (0%)	0	34	1,016	0
SB - US 1	0	782	14	0	798	15	0	0 (0%)	2 (13%)	0	798	17
EB - N Blackwater Ln.	7	0	30	7	0	31	1 (14%)	0	3 (10%)	8	0	34

Notwithstanding the trips generated by the existing commercial uses near the project site and the trips from the Winn Dixie Plaza (through the alleyway to N Blackwater Ln.), the estimated existing trips for the 130 residential homes along N Blackwater Lane is 1,040 daily trips. The Paradise Point Senior Residences is anticipated to generate 168 daily trips. The proposed new trips are only 16% of the residential trips that theoretically existing on N Blackwater Lane.

## 4.0 Evaluation

The Overseas Highway / US 1 and N Blackwater Lane intersection operation was analyzed using the 2010 HCS version 5.6. The analysis results are included in **Appendix B** and summarized in **Exhibit 7**.

**EXHIBIT 7: PM Peak Hour Intersection Operations**

APPROACH	Future Background (2015)		Future (2015) with Project Trips	
	Left	Left & Right	Left	Left & Right
NB - US 1	10.2 sec./veh. LOS B	NA	10.3 sec./veh. LOS B	NA
EB - N Blackwater Ln.	NA	13.5 sec./veh. LOS B	NA	13.8 sec./veh. LOS B

Overseas Highway / US 1 segment reserve capacity analysis was performed to evaluate the project traffic impact on Overseas Highway / US 1 segments by comparing the project traffic to maximum number of reserve trips on Overseas Highway / US 1 through Key Largo area (per Monroe County's Level of Service and Reserve Capacity Table). The proposed project will be located within US 1 Segment # 23 (MM 99.5 to MM 106). The residential project trips are generally 10 miles long, therefore the average trip length is 5 miles along US 1.

US 1 segment #'s 21, 22, 23, and 24 are evaluated for the link analysis. Based upon a 26% / 74% (north / south) trip distribution, the project will add a maximum of 124 daily trips to Segment # 23. According to 2013 Monroe County's Level of Service and Reserve Capacity table (see **Appendix C**), the US 1 segments has excess capacity to absorb the maximum impacts generated by the Paradise Point Senior Residences project. The link analysis results are presented in **Exhibit 8**.

**EXHIBIT 8: US 1 Segments Reserve Capacity Analysis**

Total Daily Trips	Percent Primary Trips	US 1 Segment	Percent Directional Split	Percent Impact	Project Generated Daily Trips	2013 Reserve Capacity
		# 21 – Plantation (86.0 – 91.5)	74%	0%	0	4,226
		# 22 – Tavernier (91.5 – 99.5)	74%	50%	62	8,214
168	100%	# 23 – Kay Largo (99.5 – 106.0)	74% / 26%	100%	124	7,432
		# 24 – Cross (106.0 – 112.5)	26%	20%	9	6,058

Sources: Monroe County Planning Department.

## 5.0 Parking Requirements Analysis

The Monroe County Code does not specify the required number of parking spaces for a Senior Residences such as Paradise Point. County staff had requested the applicant to provide two spaces per unit, whereas the ITE Parking manual suggests one parking space per unit.

A parking study was undertaken to evaluate the parking requirements. There is only one similar site in Monroe County; the Bayshore Manor located off of College Road in Stock Island and is gated, hence gaining access to the site would be difficult. Therefore, five similar use sites in Broward County were selected to perform the evaluation. The five sites are located within two large retirement communities – Kings Point in Tamarac, and Sunrise Lakes in Sunrise. Although the three sites in Kings Point are gated, pedestrian access is not restricted, hence was able to gain access.

These retirement communities are large and spread-out; specific buildings were selected that are of similar size to the proposed project. The local municipal codes require adequate parking to be provided in the immediate vicinity of the building. The selected sites had parking delineated and specifically serve the selected buildings. The parking data collected for the five sites are presented in Exhibit 9.

**EXHIBIT 9: Parking Survey**

	SITE # 1 Sunrise Lakes Phase IV Building # 164	SITE # 2 Sunrise Lakes Phase IV Building # 217	SITE # 3 Kings Point ASHMONT Building # 1	SITE # 4 Kings Point DEVON Building # A	SITE # 5 Kings Point TRENT Building # A & E	
<b>Number of Units</b>	40	36	32	38	104	
<b>Number of Parking Spaces</b>	58 (17 Guest)	50 (15 Guest)	49 (17 Guest)	58 (16 Guest)	149 (39 Guest)	
<b>Time of Parking Survey</b>	7:00 – 7:30 AM (Weekday)	34	29	22	35	82
	7:45 – 8:15 AM (Weekday)	25	27	18	33	86
	8:30 – 9:00 AM (Weekday)	22	29	17	32	85
	5:00 – 5:30 PM (Weekday)	24	22	19	29	78
	6:30 – 7:00 PM (Weekday)	32	22	20	28	73
	7:00 – 7:30 PM (Weekday)	34	22	21	31	78
	8:30 – 9:00 PM (Weekday)	34	28	22	32	82
	2:15 – 2:45 PM (Sunday)	25	17	18	32	86
<b>Average Parking Occupancy</b>	29	25	20	32	81	
<b>Maximum Parking Occupancy</b>	34	29	22	35	86	
<b>Maximum Parking Usage per Unit</b>	0.85	0.81	0.69	0.92	0.83	
<b>Number of Parking Spaces Available per Unit</b>	1.45	1.39	1.53	1.53	1.43	

## 6.0 CONCLUSION

Based upon the results of the analysis performed for Paradise Point Senior Residences, the proposed project will not have an adverse impact on the operating characteristics of Overseas Highway / US 1, nor will it inhibit the safe flow of traffic traveling through Overseas Highway / US 1 at the intersection of N Blackwater Lane. Overseas Highway / US 1 has adequate capacity to accommodate the traffic impacts generated by the project. The HCS analysis results presented in the report is consistent with the operational conditions observed in the field – little or no delays to any of the turning movements at the intersection of US 1 and N Blackwater Lane. The estimated number of trips (approximately 1,500 per day) on N Blackwater Lane is far less than the two-lane capacity of 14,000 trips per day according to FDOT Generalized LOS Tables.

The parking surveys conducted at the surrogate sites confirm the ITE Parking Rate guideline of one space per unit. However, it is evident that the municipalities where the survey sites are located have implemented parking requirements that exceeds the ITE guidelines.

Appendix A  
Traffic Data

---

Site Information	
Feature	1
Road Name	OVERSEAS HWY
Site	900200
Description	SR 5/US- 900' S CR 905 @ R-164(KEY LARG O)
Section	90060000
Milepoint	32.397
AADT	<b>20400</b>
Site Type	Portable
Class Data	Yes
K Factor	9.5
D Factor	55
T Factor	13.1
<b>TRAFFIC REPORTS</b> (provided in  format)	
Monroe County	<a href="#">Annual Average Daily Traffic</a>
	<a href="#">Annual Vehicle Classification</a>
	<a href="#">Historical AADT Data</a>
	<a href="#">Synopsis 900200CL-20120327</a> <a href="#">Synopsis 900200CL-20120328</a> <a href="#">Synopsis 900200CL-20120329</a>
	<a href="#">Vehicle Class History</a>

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FLORIDA DEPARTMENT OF TRANSPORTATION  
 TRANSPORTATION STATISTICS OFFICE  
 2012 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

ROUTE: 0200 - SR 5/US-1, 200' S CR 905 @ R-164 (KEY LARGO)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2012	20400 C	N 10500	S 9900	9.50	55.00	13.10
2011	18800 C	N 9400	S 9400	9.50	55.10	11.80
2010	21000 C	N 10500	S 10500	10.26	56.84	10.40
2009	22000 C	N 11000	S 11000	10.23	56.56	9.80
2008	20700 C	N 11000	S 9700	10.45	54.98	12.90
2007	23000 C	N 12000	S 11000	10.00	55.10	13.40
2006	24000 C	N 12500	S 11500	10.08	55.69	10.20
2005	23000 C	N 11500	S 11500	10.40	55.70	8.30
2004	22000 C	N 11000	S 11000	10.00	56.00	8.30
2003	23000 C	N 11500	S 11500	10.10	56.30	9.20
2002	37500 C	N 19000	S 18500	10.00	54.20	3.10
2001	22000 C	N 11000	S 11000	10.00	55.90	10.50
2000	35500 C	N 18000	S 17500	9.90	54.80	3.60
1999	19600 C	N 9800	S 9800	9.50	56.70	9.20
1998	20400 C	N 9900	S 10500	9.50	56.60	7.50
1997	18600 C	N 9200	S 9400	9.60	55.90	6.60

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE  
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; X = UNKNOWN  
 \*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

COUNTY: 90  
 LOCATION: 0200  
 DESCRIPTION: SR 5/US-1, 200' S CR 905 @ R-164(KEY LARGO)  
 START DATE: 03/27/2012  
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL	
0000	21	14	13	10	58	21	12	12	21	66	124
0100	16	5	9	5	35	7	10	7	11	35	70
0200	13	5	11	8	37	7	10	14	15	46	83
0300	4	7	6	9	26	10	10	6	17	43	69
0400	21	14	27	34	96	8	12	18	29	67	163
0500	53	63	77	83	276	33	63	65	60	221	497
0600	90	109	80	96	375	95	119	131	156	501	876
0700	122	138	144	139	543	142	171	159	207	679	1222
0800	161	179	180	184	704	191	169	198	137	695	1399
0900	170	179	177	200	726	161	161	146	133	601	1327
1000	211	205	195	198	809	121	182	157	181	641	1450
1100	198	180	217	171	766	158	147	157	250	712	1478
1200	210	211	221	178	820	169	213	198	189	769	1589
1300	202	217	188	183	790	184	131	202	195	712	1502
1400	259	239	215	192	905	192	155	199	166	712	1617
1500	248	243	293	280	1064	217	145	187	240	789	1853
1600	283	276	296	277	1132	181	196	205	163	745	1877
1700	257	279	253	224	1013	200	221	168	156	745	1758
1800	223	202	165	65	655	156	126	134	98	514	1169
1900	101	93	81	70	345	114	108	77	103	402	747
2000	76	69	61	44	250	95	67	63	85	310	560
2100	47	45	50	42	184	52	77	60	62	251	435
2200	37	29	40	33	139	57	56	35	37	185	324
2300	33	38	34	21	126	33	30	24	36	123	249

24-HOUR TOTALS: 11874 10564 22438

	PEAK VOLUME INFORMATION					
	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
TIME	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
M.	815	713	745	765	745	1424
M.	1545	1135	1545	822	1545	1957
DAILY	1545	1135	1145	830	1545	1957

TRUCK PERCENTAGE 11.16 13.99 12.49

CLASSIFICATION SUMMARY DATABASE

TR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
	129	6850	3490	96	551	202	22	259	195	0	0	0	0	0	80	1325	11874
	93	5238	3755	178	546	135	74	408	137	0	0	0	0	0	0	1478	10564

COUNTY: 90  
 LOCATION: 0200  
 DESCRIPTION: SR 5/US-1, 200' S CR 905 @ R-164 (KEY LARGO)  
 START DATE: 03/28/2012  
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL	
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL		
0000	20	20	11	17	68	26	12	21	17	76	144	
0100	7	7	7	6	27	14	11	3	7	35	62	
0200	8	8	4	3	23	6	21	14	9	50	73	
0300	7	7	7	10	31	16	7	11	13	47	78	
0400	9	17	18	23	67	7	19	25	19	70	137	
0500	44	53	55	70	222	40	54	72	75	241	463	
0600	77	85	68	87	317	100	113	133	157	503	820	
0700	109	117	123	133	482	157	168	183	201	709	1191	
0800	134	155	190	155	634	148	190	212	158	708	1342	
0900	189	155	197	199	740	161	168	159	142	630	1370	
1000	194	225	203	210	832	146	185	170	141	642	1474	
1100	200	215	198	184	797	172	189	189	201	751	1548	
1200	204	204	226	218	852	223	227	194	206	850	1702	
1300	201	200	188	199	788	194	133	246	182	755	1543	
1400	207	176	175	160	718	183	198	190	183	754	1472	
1500	218	213	245	243	919	187	186	176	217	766	1685	
1600	219	221	243	252	935	164	229	198	193	784	1719	
1700	229	234	230	207	900	209	246	191	153	799	1699	
1800	188	160	153	142	643	159	141	132	111	543	1186	
1900	102	126	92	91	411	99	110	100	112	421	832	
2000	90	86	68	69	313	88	75	97	74	334	647	
2100	77	64	50	51	242	60	86	61	67	274	516	
2200	51	55	43	43	192	47	77	46	32	202	394	
2300	44	32	38	32	146	37	22	29	30	118	264	
-HOURLY TOTALS:					11299						11062	22361

PEAK VOLUME INFORMATION

	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOURLY	VOLUME	HOURLY	VOLUME	HOURLY	VOLUME
M.	845	696	745	751	815	1410
M.	1630	958	1200	850	1630	1804
DAILY	1630	958	1200	850	1630	1804

BUCK PERCENTAGE 11.45 14.22 12.82

CLASSIFICATION SUMMARY DATABASE

TR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
N	166	6484	3354	115	530	188	30	266	165	0	0	0	0	0	1	1294	11299
	71	5515	3903	188	728	227	30	270	130	0	0	0	0	0	0	1573	11062

COUNTY: 90  
 STATION: 0200  
 DESCRIPTION: SR 5/US-1, 200' S CR 905 @ R-164(KEY LARGO)  
 START DATE: 03/29/2012  
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL	
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL		
000	32	21	26	6	85	17	27	26	29	99	184	
100	7	8	14	11	40	14	13	11	7	45	85	
200	8	6	8	5	27	16	12	23	11	62	89	
300	7	9	9	9	34	10	9	15	14	48	82	
400	7	15	23	30	75	16	16	22	24	78	153	
500	40	52	61	73	226	33	58	62	66	219	445	
600	85	75	68	89	317	98	122	136	143	499	816	
700	89	131	133	149	502	148	173	165	190	676	1178	
800	129	151	170	205	655	165	191	186	174	716	1371	
900	171	185	187	188	731	145	146	138	132	561	1292	
000	189	191	182	187	749	154	179	158	188	679	1428	
100	180	216	201	204	801	141	205	142	229	717	1518	
200	220	198	202	220	840	194	283	206	213	896	1736	
300	181	177	200	223	781	187	234	202	252	875	1656	
400	192	170	191	151	704	179	228	176	219	802	1506	
500	236	229	232	246	943	217	215	181	223	836	1779	
600	224	261	244	236	965	212	247	184	195	838	1803	
700	256	248	242	211	957	187	224	183	201	795	1752	
800	192	181	160	135	668	144	169	124	145	582	1250	
900	143	104	115	97	459	110	128	98	105	441	900	
000	109	89	97	85	380	95	68	71	99	333	713	
100	69	70	70	63	272	53	88	87	68	296	568	
2200	56	47	49	48	200	69	81	46	39	235	435	
300	57	45	32	28	162	43	32	40	28	143	305	
4-HOUR TOTALS:					11573						11471	23044

PEAK VOLUME INFORMATION						
DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS		
HR	VOLUME	HR	VOLUME	HR	VOLUME	
11.M.	845	748	745	732	815	1393
12.M.	1615	997	1200	896	1545	1841
DAILY	1615	997	1145	912	1545	1841

TRUCK PERCENTAGE 11.93 16.33 14.12

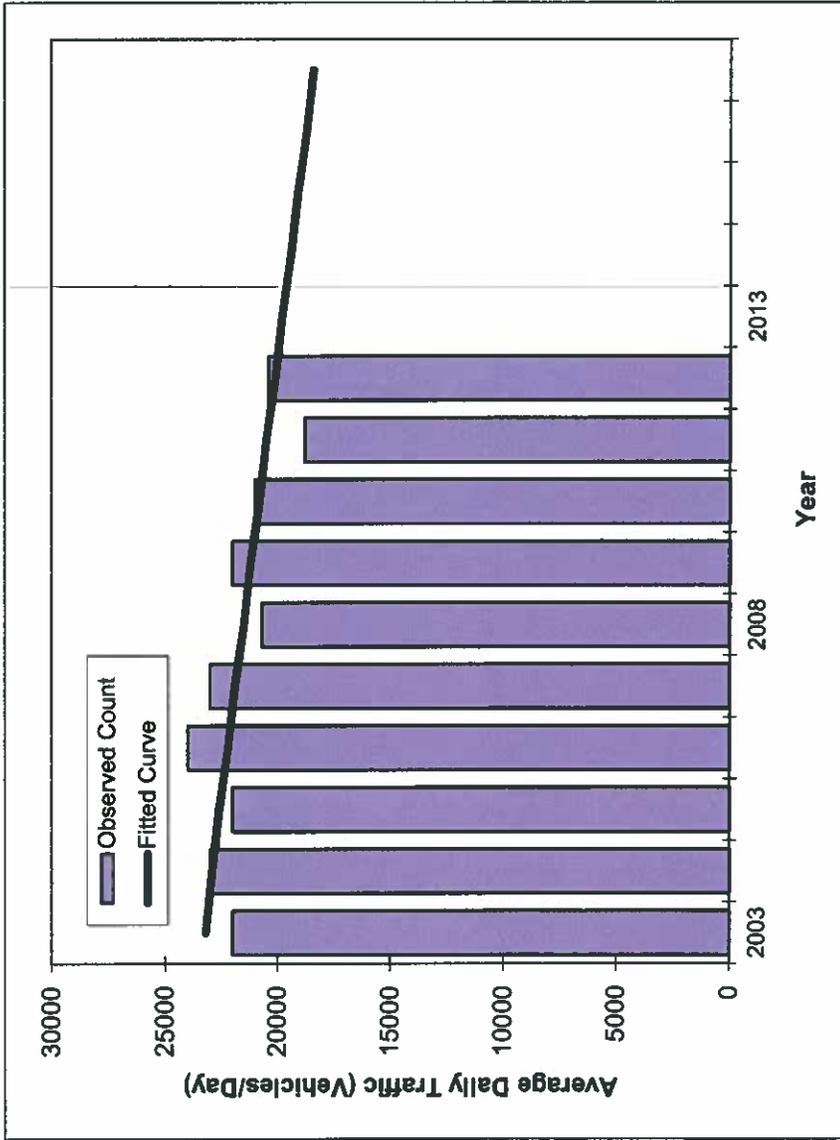
CLASSIFICATION SUMMARY DATABASE																	
HR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
N	165	6645	3380	111	529	202	26	308	204	0	1	0	0	0	2	1381	11573
S	102	5314	4182	189	672	234	54	518	206	0	0	0	0	0	0	1873	11471

# Traffic Trends - V2.0

## US 1, 200' S of CR 905 --

PIN# 973215-1  
 Location 1

County: Monroe (90)  
 Station #: 0200  
 Highway: US 1, 200' S of CR 905



**\*\* Annual Trend Increase:** -346  
**Trend R-squared:** 48.13%  
**Trend Annual Historic Growth Rate:** -1.48%  
**Trend Growth Rate (2012 to Design Year):** -1.49%  
**Printed:** 21-Dec-13  
**Straight Line Growth Option**

Year	Traffic (ADT/AADT)	
	Count*	Trend**
2003	22000	23200
2004	23000	22900
2005	22000	22600
2006	24000	22200
2007	23000	21900
2008	20700	21500
2009	22000	21200
2010	21000	20800
2011	18800	20500
2012	20400	20100
2015 Opening Year Trend		
2015	N/A	19100
2012 Mid-Year Trend		
2012	N/A	20100
2013 Design Year Trend		
2013	N/A	19800
TRANPLAN Forecasts/Trends		

\*Axle-Adjusted

Appendix B  
HCS Analysis Results

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TWO-WAY STOP CONTROL SUMMARY								
<b>General Information</b>			<b>Site Information</b>					
Analyst	Trident Eng		Intersection	SR 5 (US 1)/ N. Blackwater Ln				
Agency/Co.			Jurisdiction					
Date Performed	12/22/2013		Analysis Year	2013				
Analysis Time Period	3:30 PM to 4:30 PM							
Project Description Existing Conditions- PM Peak								
East/West Street: N. Blackwater Lane			North/South Street: SR 5 (US 1)					
Intersection Orientation: North-South			Study Period (hrs): 0.25					
<b>Vehicle Volumes and Adjustments</b>								
<b>Major Street</b>	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	30	996			782	14		
Peak-Hour Factor, PHF	0.90	0.90	1.00	1.00	0.90	0.90		
Hourly Flow Rate, HFR (veh/h)	33	1106	0	0	868	15		
Percent Heavy Vehicles	8	--	--	0	--	--		
Median Type	Raised curb							
RT Channelized			0			0		
Lanes	1	2	0	0	2	0		
Configuration	L	T			T	TR		
Upstream Signal		0			0			
<b>Minor Street</b>	Eastbound			Westbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	7		30					
Peak-Hour Factor, PHF	0.90	1.00	0.90	1.00	1.00	1.00		
Hourly Flow Rate, HFR (veh/h)	7	0	33	0	0	0		
Percent Heavy Vehicles	8	0	8	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration		LR						
<b>Delay, Queue Length, and Level of Service</b>								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L						LR	
v (veh/h)	33						40	
C (m) (veh/h)	725						465	
v/c	0.05						0.09	
95% queue length	0.14						0.28	
Control Delay (s/veh)	10.2						13.5	
LOS	B						B	
Approach Delay (s/veh)	--	--					13.5	
Approach LOS	--	--					B	

TWO-WAY STOP CONTROL SUMMARY								
<b>General Information</b>			<b>Site Information</b>					
Analyst	Trident Eng		Intersection	SR 5 (US 1)/ N. Blackwater Ln				
Agency/Co.			Jurisdiction					
Date Performed	12/22/2013		Analysis Year	2015				
Analysis Time Period	3:30 PM to 4:30 PM							
Project Description <i>Future Conditions- PM Peak</i>								
East/West Street: <i>N.Blackwater Lane</i>			North/South Street: <i>SR 5 (US 1)</i>					
Intersection Orientation: <i>North-South</i>			Study Period (hrs): <i>0.25</i>					
<b>Vehicle Volumes and Adjustments</b>								
<b>Major Street</b>	<b>Northbound</b>			<b>Southbound</b>				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	34	1016			798	17		
Peak-Hour Factor, PHF	0.90	0.90	1.00	1.00	0.90	0.90		
Hourly Flow Rate, HFR (veh/h)	37	1128	0	0	886	18		
Percent Heavy Vehicles	8	--	--	0	--	--		
Median Type	<i>Raised curb</i>							
RT Channelized			0			0		
Lanes	1	2	0	0	2	0		
Configuration	L	T			T	TR		
Upstream Signal		0			0			
<b>Minor Street</b>	<b>Eastbound</b>			<b>Westbound</b>				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	8		33					
Peak-Hour Factor, PHF	0.90	1.00	0.90	1.00	1.00	1.00		
Hourly Flow Rate, HFR (veh/h)	8	0	36	0	0	0		
Percent Heavy Vehicles	8	0	8	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration		LR						
<b>Delay, Queue Length, and Level of Service</b>								
<b>Approach</b>	<b>Northbound</b>	<b>Southbound</b>	<b>Westbound</b>			<b>Eastbound</b>		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L						LR	
v (veh/h)	37						44	
C (m) (veh/h)	712						452	
v/c	0.05						0.10	
95% queue length	0.16						0.32	
Control Delay (s/veh)	10.3						13.8	
LOS	B						B	
Approach Delay (s/veh)	--	--					13.8	
Approach LOS	--	--					B	

Appendix C  
2013 US 1 Travel Time Delay Study Table

---

## 2013 LEVEL OF SERVICE AND RESERVE CAPACITY

SEGMENT	LENGTH (miles)	FACILITY TYPE	POSTED SPEED		ADJ. FOR SIGNAL (mph)	ADJUSTED LOS C CRITERIA (mph)	MEDIAN TRAVEL SPEED (mph)	LOS	RESERVE SPEED (mph)	2013		2012	
			Limits (mph)	Average (mph)						MAXIMUM RESERVE VOLUME (trips)	6% ALLOCATION BELOW LOS C (trips)	MAXIMUM RESERVE VOLUME (trips)	9% ALLOCATION BELOW LOS C (trips)
1 Stock Island (4.0 - 5.0)	1.1	4-L/D	35/45/55	42.2	N/A	22.0	33.1	B	11.1	2,022	N/A	1,822	N/A
2 Boca Chica (5.0 - 9.0)	3.9	4-L/D	45/55	54.6	N/A	50.1	57.1	A	7.0	4,621	N/A	4,778	N/A
3 Big Coppitt (9.0 - 10.5)	1.5	2-L/U	45/55	48.5	N/A	42.0	48.5	B	4.5	1,116	N/A	373	N/A
4 Saddlebunch (10.5 - 18.5)	5.8	2-L/U	45/55	53.8	N/A	49.1	51.2	C	2.1	2,017	N/A	2,861	N/A
5 Superloaf (16.5 - 20.5)	3.9	2-L/U	45	45.0	4.4	36.1	47.4	A	11.3	7,298	N/A	1,938	N/A
6 Cudjoe (20.5 - 23.0)	2.5	2-L/U	45	45.0	N/A	40.5	48.0	A	7.5	3,105	N/A	1,822	N/A
7 Summerland (23.0 - 25.0)	2.2	2-L/U	45	45.0	N/A	40.5	44.9	B	4.4	1,603	N/A	1,530	N/A
8 Ramrod (25.0 - 27.5)	2.3	2-L/U	45	45.0	N/A	40.5	46.8	B	6.3	2,019	N/A	2,019	N/A
9 Torch (27.5 - 28.5)	2.1	2-L/U	45	45.0	N/A	40.5	47.9	A	7.4	2,573	N/A	2,400	N/A
10 Big Pine (28.5 - 33.0)	3.4	2-L/U	45	45.0	3.6	36.9	40.1	B	3.2	1,802	N/A	1,162	N/A
11 Bahie Honda (33.0 - 40.0)	7.0	2-L/U (70%) 4-L/D (30%)	45/50/55	52.4	N/A	47.9	53.7	B	5.8	6,723	N/A	6,839	N/A
12 7-Mile Bridge (40.0 - 47.0)	6.9	2-L/U	45/50/55	54.5	N/A	50.0	54.9	B	4.9	5,518	N/A	3,378	N/A
13 Marathon (47.0 - 54.0)	7.3	2-L/U (13%) 4-L/D (87%)	35/45	42.1	N/A	22.0	36.8	A	13.8	18,683	N/A	17,771	N/A
14 Grassy (54.0 - 60.5)	6.4	2-L/U	45/55	54.5	1.5	48.5	51.0	C	2.5	2,650	N/A	2,756	N/A
15 Duck (60.5 - 63.0)	2.7	2-L/U	55	55.0	N/A	50.5	47.8	D	-2.7	(1,207)	4	1,118	N/A
16 Long (63.0 - 73.0)	9.9	2-L/U	45/55	53.4	N/A	48.9	51.2	C	2.3	3,771	N/A	5,902	N/A
17 L Matecumbe (73.0 - 77.5)	4.5	2-L/U	55	55.0	N/A	50.5	49.8	D	-0.8	(447)	4	(989)	950
18 Tea Table (77.5 - 79.5)	2.2	2-L/U	55	55.0	N/A	50.5	47.4	E	-3.1	(1,128)	4	(1,765)	0
19 U Matecumbe (79.5 - 84.0)	4.1	2-L/U	45/55	48.4	N/A	41.9	40.2	D	-1.7	(1,154)	3	136	N/A
20 Windley (84.0 - 86.0)	1.9	2-L/U	45	45.0	N/A	40.5	41.2	C	0.7	220	N/A	252	N/A
21 Plantation (86.0 - 91.5)	5.8	2-L/U	45	45.0	3.6	36.9	41.3	B	4.4	4,226	N/A	4,898	N/A
22 Tavernier (91.5 - 99.5)	6.0	4-L/D	45/50	47.2	2.0	40.7	48.9	A	6.2	8,214	N/A	10,863	N/A
23 Key Largo (99.5 - 106.0)	6.8	4-L/D	45	45.0	3.2	37.3	43.9	A	6.8	7,432	N/A	11,936	N/A
24 Cross (106.0 - 112.5)	6.2	2-L/U	45/55	51.5	N/A	47.0	52.9	B	5.9	6,058	N/A	8,727	N/A
Overall	108.3					45.0	45.9	C	0.9	18,692			

## Scanlon-Cassi

---

**From:** SusanRHeim@aol.com  
**Sent:** Tuesday, September 24, 2013 4:49 PM  
**To:** Schwab-Townsley  
**Subject:** Planning Commission 9/25/13 Discussion item

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Please pass this email to the Planning Commission. Thanks.

**BOARD DISCUSSION:** *The Growth Management Director has requested the following item for discussion by the Planning Commission.*

- **Paradise Point Senior Housing (Proposed), 2 North Blackwater Lane, Key Largo, Mile Marker 105.5:** *A request for approval of a resolution by the planning commission approving an affordable housing project of greater than 20 units, as required by Monroe County Code Section 130-161(a)(6)h. This request is being concurrently processed with a separate request for a minor conditional use permit allowing the development of an institutional residential use, involving 50 deed-restricted affordable housing units (in the form of rooms) and accessory uses/structures. The subject property is described as a parcel of land in Section 1, Township 61, Range 39, Monroe County, Florida, having real estate number 00084260.000100*

Regarding this property - please be aware that when KL wastewater was being constructed, one of the contractors - for land owner Bob Sheu - added dirt to fill in mangrove to increase land mass. This was observed and reported by neighbors, local boaters, and people who saw waterway get smaller, and become much muddier.

Would you please ask staff to somehow compare current land mass (footage) records to records from before KL wastewater construction was done in Stillright Point area?

Also, I noticed in the staff report there is no biology report

Thank you.  
Sue Heim

## Scanlon-Cassi

---

**From:** O.Kay Thacker <oktcraft@terranova.net>  
**Sent:** Friday, October 04, 2013 9:32 PM  
**To:** Schwab-Townsley  
**Cc:** Hurley-Christine; Pauline Klein; Burke Cannon; Murphy-Sylvia; williams-  
steven@monroecounty-fl.gov; John Wolfe; Emilie Stewart; Marty Fritch  
**Subject:** 3 Blackwater Paradise Point Senior Housing to house anyone from any place no  
guarantee for Monroe County Residents

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Hi Mr. Schwab,

I understand this development will come before you for your approval after DRC meeting. Planning Commission just discussed the project; and gave the Affordable Rogo Allocations for this project, since it is a minor conditional use.

Have had several people inquire about people coming down from Miami to rent these affordable units, not Monroe County residents only. I understand with LIHTC tax credits people who live outside of Monroe County can rent these units? Not just Monroe County residents. People are upset and do not now want to see this project allowed under the LIHTC funding.

I understand the advertising will only be in Monroe County newspapers, but we all know that does not guarantee only Monroe residents will get the housing units. Look how many people work in Monroe County and live in Homestead, Florida City and they read the newspapers. Just think to be able to live in the Florida Keys for \$800.00 a month, they will come down in droves.

The complaints I am hearing is if anyone from anywhere can rent these units...700 sq. ft starting at \$800.00 a month, come on down. We are using our Monroe County Affordable Rogo Allocations, Monroe County's limited space, and Monroe County's limited land to possibly build affordable housing for Miami-Dade people, no guarantee that only Monroe County residents will get these units because Gorman is going after LIHTC funding.

This senior housing project with LIHTC does not sound like a good project that should be approved by your office. Is it possible that Gorman could get other financing for the project? Citizens do believe senior housing is needed here in the Upper Keys, but not at the expense of our limited Affordable Rogo Allocations, limited land, and limited space for someone other than Monroe County residents.

The owners within close range of this project are all out of towners, only one person who lives in Stillwright Point and Paradise Point near this project is from Key Largo.

Would like to be notified of the DRC meeting and have asked Mr. Haberman to let me know when the meeting will be set up if you would please.

I hope others will contact Mr. Schwab and voice your concerns on this issue. Please share this email with your email pals and neighbors.

Thank you very much Mr. Schwab.

Kay Thacker Vice President of External Affairs Island of Key Largo Federation of Homeowners, Inc.

## Scanlon-Cassi

---

**From:** SusanRHeim@aol.com  
**Sent:** Friday, October 04, 2013 11:29 PM  
**To:** Schwab-Townsley; Hurley-Christine  
**Cc:** williams-steven@monroecounty-fl.gov; wolfe-john@monroecounty-fl.gov; District1\_planning; District2\_planning; District3\_planning; District4\_planning; District5\_planning; ronlmill01@aol.com; oktcraft@terranova.net  
**Subject:** Fwd: 3 Blackwater Paradise Point Senior Housing to house anyone from any pla...  
**Follow Up Flag:** Follow up  
**Flag Status:** Completed  
**Categories:** Purple Category

Hi Townsley & Christine,

Just to share some local info with you. I live near the Blue Water project, so drive by it at least 4 times a day. Also, through my volunteering with the local fire dept, I go in there at least weekly on calls.

Here are my personal observations - there are never enough cars there daily, especially at night, to represent that locals live there fulltime.. On weekends, cars are there on from Friday nights to Sunday nights. Go through on Saturday night and very few license plates say Monroe. Also, for affordable housing, there more expensive cars and SUV's in there than in any other affordable complex I've ever been in.

I can also tell you from my first hand conversations with people in the complex, that they only "come down" on weekends. When responding to a rescue call, the patient's husband told me that they live in Miami, and their family members take turns using the apartment they rented.

I was also at all the TCA meetings held for public to listen to Blue Water presentations prior to construction. One big point was ongoing management. Gorman told us (the community) they would permanently continue to do the onsite management. Unfortunately, less than 1 year in, they abandoned that commitment and outsourced their responsibility. That was in a newspaper article a few years ago.

Many people in Tavernier are aware that Blue water is not inhabited by locals as was intended. But I can not prove it. All I can offer is anecdotal and personal. However, there are several ways to confirm. Ask the school district how many kids are in the school system, including the 4 local private schools. Ask the Post Office how many units get mail. Ask MCSO when they go on calls there, what addresses are on their police reports. And the garbage company how much they collect regularly, compared to holiday weeks. And of course, the most obvious, ask FKAA and FKEC for copies of the usage amounts since the units opened.

My point is, regulating that the residents there are truly Monroe locals was nothing more than a myth, sales hype.

Now to the Key Largo project, please do not let that project turn into another Blue Water. Do whatever you have to, but please learn from the present. Put unbreakable permanent protections in place to prevent non-Monroe residents from moving in.

Thank you for your attention to my email, and request.

Sue Heim  
Island of Key Largo

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From: oktcraft@terranova.net  
To: Schwab-Townsley@monroecounty-fl.gov  
CC: Hurley-Christine@MonroeCounty-FL.Gov, Pmklein4@aol.com, burkecannon76@bellsouth.net, murphy-Sylvia@monroecounty-fl.gov, williams-steven@monroecounty-fl.gov, wolfe-john@monroecounty-fl.gov, kzfan@aol.com, keysymarty@yahoo.com  
Sent: 10/4/2013 9:32:26 P.M. Eastern Daylight Time  
Subj: 3 Blackwater Paradise Point Senior Housing to house anyone from any place no guarantee for Monroe County Residents

Hi Mr. Schwab,

I understand this development will come before you for your approval after DRC meeting. Planning Commission just discussed the project; and gave the Affordable Rogo Allocations for this project, since it is a minor conditional use.

Have had several people inquire about people coming down from Miami to rent these affordable units, not Monroe County residents only. I understand with LIHTC tax credits people who live outside of Monroe County can rent these units? Not just Monroe County residents. People are upset and do not now want to see this project allowed under the LIHTC funding.

I understand the advertising will only be in Monroe County newspapers, but we all know that does not guarantee only Monroe residents will get the housing units. Look how many people work in Monroe County and live in Homestead, Florida City and they read the newspapers. Just think to be able to live in the Florida Keys for \$800.00 a month, they will come down in droves.

The complaints I am hearing is if anyone from anywhere can rent these units...700 sq. ft starting at \$800.00 a month, come on down. We are using our Monroe County Affordable Rogo Allocations, Monroe County's limited space, and Monroe County's limited land to possibly build affordable housing for Miami-Dade people, no guarantee that only Monroe County residents will get these units because Gorman is going after LIHTC funding.

This senior housing project with LIHTC does not sound like a good project that should be approved by your office. Is it possible that Gorman could get other financing for the project? Citizens do believe senior housing is needed here in the Upper Keys, but not at the expense of our limited Affordable Rogo Allocations, limited land, and limited space for someone other than Monroe County residents.

The owners within close range of this project are all out of towners, only one person who lives in Stillwright Point and Paradise Point near this project is from Key Largo.

Would like to be notified of the DRC meeting and have asked Mr. Haberman to let me know when the meeting will be set up if you would please.

I hope others will contact Mr. Schwab and voice your concerns on this issue. Please share this email with your email pals and neighbors.

Thank you very much Mr. Schwab.

Kay Thacker Vice President of External Affairs  
Island of Key Largo Federation of Homeowners, Inc.

## Scanlon-Cassi

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**From:** Emilie Stewart <kzfan@aol.com>  
**Sent:** Saturday, October 05, 2013 7:57 AM  
**To:** Schwab-Townsley  
**Cc:** Kay Thacker; Pauline Klein; Murphy-Sylvia  
**Subject:** 3 Blackwater Senior Housing Project

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Purple Category

Dear Mr. Schwab,

As a Stillwright Point homeowner and vice president of our HOA, I was copied on Kay Thacker's October 4 email to you. I have been following the progress of this planned project and must express my concern with the aspect that the affordable housing units will not be limited to only Monroe County senior residents. It is my understanding that Affordable Rogo Allocations are meant for low income Monroe County senior residents, and to help alleviate a county problem, not to provide a cheap way for mainland folks to live in the county.

At \$800 for a 700 sq. ft. apartment in "paradise," who wouldn't be eager to claim that opportunity? I have out of state senior friends I think would move to Florida and specifically to Monroe County given the chance to buy-in at \$800 a month! Sadly, as I read all the background on the project, it seems the developer does not have the needs of Monroe County in mind and is only in it for the cheapest way to build his project with no regard to the end result.

Stillwright Point does not need a myriad of low-income Miami-Dade folks living at the entrance to our community. Take a look at the neighboring Winn-Dixie on any given Saturday. Take another look at the Winn-Dixie parking lot the following Sunday. You will see lots of trash - dumped ash trays, half eaten food, soiled diapers - all left behind by weekend visitors from Miami-Dade, who have no regard for the beauty of the Keys. These are are same people who would be renting those \$800 units, in the name of a distant (if at all related) elderly relative currently living in Miami-Dade. This is NOT in the best interest of Monroe County.

With best regards,

Emilie Caldwell Stewart  
Stillwright Point  
52 North Blackwater Lane  
Key Largo, FL 33037

## Scanlon-Cassi

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**From:** 2keys@comcast.net  
**Sent:** Saturday, October 05, 2013 12:39 PM  
**To:** Schwab-Townsley  
**Subject:** 3 Blackwater

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Purple Category

M. Schwab,

I must concur with my neighbors that the 3 Blackwater low-income housing slated for construction must be strictly restricted to Monroe County residents only. Any possibility that units might be sub-let must be eliminated also, including transient rentals. Who would be responsible for the management of the complex and answerable to whom? The probability for abuse and misuse of the units is great so control must be strict. Persons now working in Monroe and wishing to live here must be reviewed before rental and if no longer working in Monroe the unit must be vacated.

Tim Hemsoth, [2keys@comcast.net](mailto:2keys@comcast.net)

## Scanlon-Cassi

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**From:** O.Kay Thacker <oktcraft@terranova.net>  
**Sent:** Saturday, October 05, 2013 9:18 AM  
**To:** Schwab-Townsley  
**Cc:** Hurley-Christine; Murphy-Sylvia  
**Subject:** Asked to forward this email to Mr. Schwab

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Mr. Schwab,

I concur with Kay Thacker, this is an absolutely terrible idea. I don't know how in the world someone in a position of responsibility, could come up with such a destructive use of Monroe County's ROGO units.

This LIHTC funding proposal will open the flood gates to all Miami, as well as everywhere else, as outsiders will rush in to once again take away the alleged intent of this building project. They will bring their trash, noise, traffic congestion and pollution, with little or no interest in the welfare of the Florida Keys. As they place their increased demands on our already over stressed infrastructure A corrupted idea at the top, will once again continue the destruction of our fragile aquatic ecosystem. This 'Trojan Horse' must be cut off at the head.

Furthermore, as it stands now, I am dead set against any development of any kind at this proposed site.

At present I am in South Carolina, upon my return I will explore any and all legal action that can be taken to terminate the malignancy of this diseased folly, as it will further sicken our dying environment and rob us of our constitutional rights, as adjudicated in the state and federal constitutions.

Respectfully,  
John Donnelly

October 5, 2013 5:29 PM

Carlos Frade <carlostrade@bellsouth.net>  
To: Dignora Rives <drdino13@aol.com>  
Cc: Stillwright Listserver <spoa@stillwright.com>  
Re: [Spoa] Correction, 2 Blackwater & KW Citizen article

---

You can count on us and we support all the comments below.

Carlos and Adriana

On Oct 5, 2013, at 3:13 PM, Dignora Rives <[drdino13@aol.com](mailto:drdino13@aol.com)> wrote:

Keep us posted so we can attend the meetings. We agree this will not be to our benefit.

Dr Dino  
Dignora Rives

On Oct 5, 2013, at 2:10 PM, Lucy Robla <[dmilrobla@aol.com](mailto:dmilrobla@aol.com)> wrote:

We are opposed to this project and are available to cooperate in any way. It is in all our best interests to block this development. We will appear at any commission meeting. Although it would extremely difficult to coordinate, we would even be willing to pay for attorneys to represent our interests, or even help with a purchase Asa last resort.

Julio and Lucy Robla

Sent from my iPhoneHey where are you?

Marty Fritch <keysymarty@yahoo.com>

October 5, 2013 10:45 AM

To: Emilee Stewart

Re: Fwd: [Spoa] 3 Blackwater Paradise Point Senior Housing to house anyone from any place no guarantee for Monroe County Residents

---

My concern is:why have 50 units with 50 parking spaces,where are the second cars and visitors supposed to park?why not make fewer apts.like the 35 the builder is doing in Islamorada .

Sent from my iPhone

## Scanlon-Cassi

---

**From:** O.Kay Thacker <oktcraft@terranova.net>  
**Sent:** Saturday, October 05, 2013 1:10 PM  
**To:** Schwab-Townsley  
**Cc:** Hurley-Christine; Pauline Klein; Burke Cannon; Steven Williams  
**Subject:** Fwd: 3 Blackwater Paradise Point Senior Housing to house anyone from any place no guarantee for Monroe County Residents

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Purple Category

Mr Schwab,

This Comprehensive Plan Policy 601.4.2 was pointed out to me by a friend and I would like to request this be discussed by the Planners at the DRC meeting concerning the development by Gorman Co. if you would please.

Thx  
Kay Thacker

***The Draft Comp Plan has modified Policy 601.4.2 to read "The County shall identify and evaluate alternative strategies to expand subsidized housing programs for elderly RESIDENTS OF Monroe County through coordination with the Monroe County Housing Authority, and encourage their development by private, community-based non-profit, or profit entities, as well as public/private partnerships." Thus, "Residents of" has been added to this existing policy.***

----- Original Message -----

**Subject:** 3 Blackwater Paradise Point Senior Housing to house anyone from any place no guarantee for Monroe County Residents  
**Date:** Fri, 04 Oct 2013 21:32:16 -0400  
**From:** O.Kay Thacker <oktcraft@terranova.net>  
**To:** Townsley Schwab <Schwab-Townsley@monroecounty-fl.gov>  
**CC:** Hurley-Christine <Hurley-Christine@MonroeCounty-FL.Gov>, Pauline Klein <Pmklein4@aol.com>, Burke Cannon <burkecannon76@bellsouth.net>, Sylvia Murphy <murphy-Sylvia@monroecounty-fl.gov>, williams-stein@monroecounty-fl.gov, John Wolfe <wolfe-john@monroecounty-fl.gov>.

Hi Mr. Schwab,

I understand this development will come before you for your approval after DRC meeting. Planning Commission just discussed the project.;and gave the Affordable Rogo Allocations for this project, since it is a minor conditional use.

Have had several people inquire about people coming down from Miami to rent these affordable units, not Monroe County residents only. I understand with LIHTC tax credits people who live outside of Monroe County can rent these units? Not just Monroe County residents. People are upset and do not now want to see this project allowed under the LIHTC funding.

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Would like to be notified of the DRC meeting and have asked Mr. Haberman to let me know when the meeting will be set up if you would please.

I hope others will contact Mr. Schwab and voice your concerns on this issue. Please share this email with your email pals and neighbors.

Thank you very much Mr. Schwab.

Kay Thacker Vice President of External Affairs  
Island of Key Largo Federation of Homeowners, Inc.

✓

marlinsii@aol.com

October 5, 2013 6:10 PM

To: carlosfrade@bellsouth.net, drdino13@aol.com

Cc: spoa@stillwright.com

Re: [Spoa] Correction, 2 Blackwater & KW Citizen article

---

We will do what ever we can to help prevent it.

Sergio & Barbara Garcia

-----Original Message-----

From: Carlos Frade <carlosfrade@bellsouth.net>

To: Dignora Rives <drdino13@aol.com>

Cc: Stillwright Listserv <spoa@stillwright.com>

Sent: Sat, Oct 5, 2013 5:29 pm

Subject: Re: [Spoa] Correction, 2 Blackwater & KW Citizen article

You can count on us and we support all the comments below.

Carlos and Adriana

Carl <cshtlh@aol.com>

October 5, 2013 9:09 PM

To: Janice Eret Lee <janiceklee@hotmail.com>

Cc: Emilie Stewart <kzfan@aol.com>, Stillwright Listserv <spoa@stillwright.com>

Re: [SPOA] Correction, 2 Blackwater & KW Citizen article

---

Tammy and I are in let us know what to do

Carl Hansen

Phone: 305-582-2737

On Oct 5, 2013, at 8:48 PM, Janice Eret Lee <janiceklee@hotmail.com> wrote:

Kent & I are back home. Thanks, Emily, for the information. We will join the effort to encourage that the ROGO allocations are used more appropriately & the property@ #2 North Blackwater not be approved for this project. Do you know the actual zoning for that piece?

Janice K Lee 

Sent from my iPad Mini

Bubbers44@aol.com

October 5, 2013 9:20 PM

To: Stillwright Listserv

[SPOA] (no subject)

---

We did this with Islamorada wanting to use Key Largo same site to store their stinky and rat infested garbage trucks so they didn't have to deal with it. We all showed up at the meeting with our wonderful attorney neighbor and he told them it wasn't zoned for that. They couldn't do it then so let them not do it now. Doug and Debbie Johnson

---

SPOA mailing list

SPOA@stillwright.com

<http://lists.stillwright.com/mailman/listinfo/spoa>

✓  
Robbie <lr1950@aol.com>

October 5, 2013 2:44 PM

To: Emilie Stewart

Re: Blackwater Lane

---

We won't be back to Key Largo until November. Please keep us updated about what is going on and more importantly what we can do.

Robbie

Sent from my iPad

On Oct 5, 2013, at 2:39 PM, Emilie Stewart <kzfan@aol.com> wrote:

Low income apartments at that!

Take care -

Emilie

Sent from my iPad mini

On Oct 5, 2013, at 2:27 PM, Robbie <lr1950@aol.com> wrote:

Emile,

Appreciate the information. We knew that Bobbi wanted to sell the property. Not real happy that it will be apartments.

Thanks,

Robbie

Sent from my iPad

## Scanlon-Cassi

---

**From:** Lucy Robla <dmjlrobla@aol.com>  
**Sent:** Saturday, October 05, 2013 4:29 PM  
**To:** Schwab-Townsley  
**Subject:** Stillwright point project

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Purple Category

To whom it may concern. We reside at 8 center lane in Stillwright point. We are deeply concerned and strongly opposed to the proposed development and housing project at 2 Blackwater lane. Our community be adversely affected by this project which is not within the scope of this residential neighborhood.

Julio and Lucy Robla

Sent from my iPhone

## Scanlon-Cassi

---

**From:** blackwaterlane48@att.net  
**Sent:** Sunday, October 06, 2013 3:10 PM  
**To:** Schwab-Townsley  
**Subject:** 2 North Blackwater Lane

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

I also disapprove of the affordable housing project, not good for our neighborhood or property values, please give this a NO for construction.....

Dean Fey  
48 S Blackwater Lane

## Scanlon-Cassi

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**From:** R.M. Salokar <salokar@bellsouth.net>  
**Sent:** Sunday, October 06, 2013 2:20 PM  
**To:** Schwab-Townsley  
**Subject:** Development of 2 North Blackwater

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Purple Category

Dear Mr. Schwab,

I write to oppose the development of 2 N. Blackwater as senior housing. Our neighborhood, Stillwright Point, has but one entrance/exit. Everyone who lives in this neighborhood has to enter by North Blackwater. Putting a high density (40+ unit) development impacts each and every one of us every time we leave and return to our homes. This means somewhere between 40 to 80 cars are likely to be going in and out of the entrance to our community.

This property abuts native mangroves and a natural habitat. Surely, high density housing will negatively impact our sensitive ecosystem.

While I understand it would be nice to for seniors to have the convenience of the Winn Dixie, there is little else in our area that will serve them. They will still need to drive to the Publix shopping center to have their hair done, to buy clothes or household items, to go out to dinner, etc. Or they will have to drive to Florida City. This is, frankly, NOT a convenient location for them. Moreover, we are likely to have seniors move from south Dade to Key Largo. Are we really inviting more people to our beloved islands who will directly and immediately impact our social services and health care systems, which are already stretched to their limits?

I ask that this project be given a closer look. Our neighborhood of single family homes is not the right place to locate such a development.

Rebecca M. Salokar  
17 South Drive  
Key Largo, Fl

✓  
Elaine Meier <emassociates@earthlink.net>  
To: <Schwab-Townsley@monroecounty-fl.gov>  
Cc: 'SPOA' <spoa@stillwright.com>  
[Spoa] 2 North Blackwater

October 6, 2013 1:02 PM

Good afternoon Townsley,  
Interesting how we both wound up in the Keys...my parents lived here from the '70s, til their passing. I'm in Stillwright Point and was alerted to the fact there is a senior affordable living project planned for the top of our neighborhood. I don't know all the details, but some issues come to mind.

The first, simply, would you want this at the top of the street where you live?

1. Safety - Traffic. There will be car accidents. When this was a construction equipment site, there were numerous near misses. Senior residents and guests will be pulling out, as others swing fast into the street from the highway. (We can only wish for a turn lane.) Pedestrians from the housing walking to and from Winn Dixie? All this is a recipe for disaster.
2. Value - Can we maintain home values, if affordable housing is at our entrance?
3. Monroe County seniors only? Because we are so close to Miami --- more than most Keys residents, we feel the effects of this proximity, good and bad. There is a sensitivity to preserve our Keysiness and not be a suburb of Miami. It seems it will be difficult to have this be for Keys seniors only. How will it be done?

Please help us keep our wonderful neighborhood that way. Please look at this as if you lived here to insure this can be handled in the best possible manner.

Thank you.

Best regards,  
Elaine Meier

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SPOA mailing list  
SPOA@stillwright.com  
<http://lists.stillwright.com/mailman/listinfo/spoa>

✓  
Janice Eret Lee <janiceklee@hotmail.com>

October 6, 2013 9:47 PM

To: Emilie Stewart <kzfan@aol.com>

Cc: Stillwright Listserv <spoa@stillwright.com>

Re: Fwd: [SPOA] 3 Blackwater Paradise Point Senior Housing to house anyone from any place no guarantee for Monroe County Residents

1 Attachment, 138 bytes

Emilie, did you get a copy of my note to Schwab-Townsley? It began with "to whom it may concern". I believe that the flooding issue in this area & the low land/wetland ecology impact is the most important issue. While traffic, etc is an issue, the massive construction with ultimate huge areas of ground cover (driveways, walkways, etc) are the only issue the county might consider as reason to deny the application for multi-family rentals

I suggest, too, that the Local newspapers be notified of the strong opposition to the proposal by the neighborhood association on the grounds of the disaster it may cause the natural ecosystem here. We can at least request land use studies be done prior to allowing any destruction by developers heavy equipment. Perhaps if required, the developers will not wish to invest money into soil studies, etc

We will be back the 15th. I will be happy to do what I can then. Let me know if you have other ideas.  
Thanks, Janice

Sent from my iPhone

Janice K Lee

Mary K Magrath <marykmag@bellsouth.net>

October 6, 2013 10:41 AM

To: SPOA <spoa@stillwright.com>

Fwd: [SPOA] 2 North Blackwater Lane

Sent from my iPhone

Begin forwarded message:

**From:** Mary K Magrath <marykmag@bellsouth.net>

**Date:** October 6, 2013, 10:39:17 AM EDT

**To:** "Schwab-Townsey@monroecounty-fl.gov" <Schwab-Townsey@monroecounty-fl.gov>, marykmag@bellsouth.net

**Subject:** 2 North Blackwater Lane

Mr. Schwab,

I have read the letter sent to you by Kay Thacker and I support and share the concerns that were written to you. I am a full time resident of Stillwright Point and this is a large scale project on a little street within a small neighborhood. The limited ability of Monroe County to control who really qualifies for this "Affordable Housing" will be unenforceable. Stillwright Point and surrounding neighbors need to be informed of when this project is coming up for final approval. I implore you to come to our neighborhood so that you can see for yourself the negative impact this project would have. Please consider not approving this project and keep us informed on your decision.

Sincerely,

Mary K Magrath

Sent from my iPhone

---

SPOA mailing list

SPOA@stillwright.com

<http://lists.stillwright.com/mailman/listinfo/spoa>

## Scanlon-Cassi

---

**From:** Marty Fritch <keysymarty@yahoo.com>  
**Sent:** Sunday, October 06, 2013 11:50 AM  
**To:** Schwab-Townsley  
**Subject:** Senior housing,we need it in Key Largo,but not 50 apartments with50parking lots.where are the spouses and visitors supposed to park.

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Sent from my iPhone

## Scanlon-Cassi

---

**From:** linnyredhat@aol.com  
**Sent:** Sunday, October 06, 2013 11:33 AM  
**To:** Schwab-Townsley  
**Subject:** Senior housing

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Purple Category

Dear Sirs,  
You need to dig deeper into the ramifications of this proposal, not a good idea.  
Full time resident;  
Linda and Ron MacLeod  
23 N. Blackwater La.  
KL

## Scanlon-Cassi

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**From:** howardsmail <howardsmail@bellsouth.net>  
**Sent:** Monday, October 07, 2013 1:26 PM  
**To:** Schwab-Townsley  
**Cc:** Stillwright Listserver; howardsmail  
**Subject:** 2 Blackwater Lane Low Income Housing Project

Dear [Schwab-Townsley@monroecounty-fl.gov](mailto:Schwab-Townsley@monroecounty-fl.gov),

I and my family are residents of Monroe County and live at 29 North Blackwater Lane. I am taking the time to inform you that we as residents will be very negatively impacted by the proposed Senior Low Income Housing Project for 2 Blackwater Lane, Key Largo. This project will negatively impact traffic as it is right at the only entrance (tight 2 lane road) and exit into our neighborhood and subdivision and will be a safety issue with the local traffic, pedestrians, and bicyclists. This project will also have negative and possibly dire consequences as to the very sensitive environmental wetlands and preserve that this property abuts. This location is not ideal nor is it even suited for senior housing as it lacks any kind of close proximity to any kind of senior interests or amenities such as medical complexes, hospital, park land, walking trails, senior activity centers, laundry, etc.

Please know that we are strongly opposed to this project and wish to be heard as a community in order to air our complaints to this proposed project's location. This we are putting on you as well to hear our concerns. Sincerely,

Howard Leitner  
tel: 786-247-2274  
fax: 206-309-0205  
[howardsmail@bellsouth.net](mailto:howardsmail@bellsouth.net)

## Scanlon-Cassi

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**From:** jacktrickortreat@aol.com  
**Sent:** Monday, October 07, 2013 9:49 PM  
**To:** Schwab-Townsley  
**Subject:** 2 North Blackwater Lne

We ask that this project be given a closer look. Our neighborhood of single family homes is not the right place to locate such a development.

Please know that we are strongly opposed to this project and wish to be heard as a community.

Sincerely,

Jack & Kathy Ramsey  
58 South Blackwater Lane  
Key Largo Fl 33034  
[jacktrickortreat@aol.com](mailto:jacktrickortreat@aol.com)  
305-302-5506

## Scanlon-Cassi

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**From:** Emilie Stewart <kzfan@aol.com>  
**Sent:** Monday, October 07, 2013 2:14 PM  
**To:** Schwab-Townsley  
**Subject:** 2 North Blackwater

Hi Mr. Schwab!

Wanted to keep you in the loop. Stillwright Point home owners are really upset.

Best regards,  
Emilie

Hi Christine!

I had errantly not copied you on my email to Townsley Schwab, sent Saturday, and will copy it at the bottom. It seems no one was aware of the planned low income senior housing project at the entrance to Stillwright Point until the article appeared in the *KW Citizen* last Wednesday. We were not aware there had been a hearing in August. As this revelation has now been put onto Stillwright Point's HOA Listserver, Mr. Schwab should be receiving a lot of email from concerned Stillwright Point homeowners who will be impacted (negatively) by this project.

Many valid points have been brought up by homeowners. What about the sewer system impact of 50 additional toilets at the up-hill end of our street and its impact on the vacuum system? What about the 50 parking spaces for 50 units? Where are visitors to park? How is it aerial photos from about 9 years ago show much more wetlands surrounding this property (and vegetation) than appear now in aerial photos? Has it been legally filled? What about making sure renters don't sublet apartments? what oversight exists to ensure renters qualify? How do you know they don't move in from outside Monroe County? Etc., etc., etc.

I really do not think these concerns have been addressed with neighboring homeowners who will be impacted. There was an urgency to push through this project so that the affected home owners would not know until too late.

With best regards,

Emilie Caldwell Stewart  
Stillwright Point HOA VP  
52 North Blackwater Lane  
Key Largo, FL 33037

*Dear Mr. Schwab,*

*As a Stillwright Point homeowner and vice president of our HOA, I was copied on Kay Thacker's October 4 email to you. I have been following the progress of this planned project and must express my concern with the aspect that the affordable housing units will not be limited to only Monroe County senior residents. It is my*

*understanding that Affordable Rogo Allocations are meant for low income Monroe County senior residents, and to help alleviate a county problem, not to provide a cheap way for mainland folks to live in the county.*

*At \$800 for a 700 sq. ft. apartment in "paradise," who wouldn't be eager to claim that opportunity? I have out of state senior friends I think would move to Florida and specifically to Monroe County given the chance to buy-in at \$800 a month! Sadly, as I read all the background on the project, it seems the developer does not have the needs of Monroe County in mind and is only in it for the cheapest way to build his project with no regard to the end result.*

*Stillwright Point does not need a myriad of low-income Miami-Dade folks living at the entrance to our community. Take a look at the neighboring Winn-Dixie on any given Saturday. Take another look at the Winn-Dixie parking lot the following Sunday. You will see lots of trash - dumped ash trays, half eaten food, soiled diapers - all left behind by weekend visitors from Miami-Dade, who have no regard for the beauty of the Keys. These are are same people who would be renting those \$800 units, in the name of a distant (if at all related) elderly relative currently living in Miami-Dade. This is NOT in the best interest of Monroe County.*

*With best regards,*

*Emilie Caldwell Stewart  
Stillwright Point  
52 North Blackwater Lane  
Key Largo, FL 33037*

## Scanlon-Cassi

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**From:** Andy Newton <marker40@comcast.net>  
**Sent:** Monday, October 07, 2013 4:18 PM  
**To:** Schwab-Townsley  
**Subject:** 2Blackwater Lane

Dear [Schwab-Townsley@monroecounty-fl.gov](mailto:Schwab-Townsley@monroecounty-fl.gov),

I and my family are residents of Monroe County and live at 21 North Blackwater Lane. I am taking the time to inform you that we as residents will be very negatively impacted by the proposed Senior Low Income Housing Project for 2 Blackwater Lane, Key Largo. This project will negatively impact traffic as it is right at the only entrance (tight 2 lane road) and exit into our neighborhood and subdivision and will be a safety issue with the local traffic, pedestrians, and bicyclists. This project will also have negative and possibly dire consequences as to the very sensitive environmental wetlands and preserve that this property abuts. This location is not ideal nor is it even suited for senior housing as it lacks any kind of close proximity to any kind of senior interests or amenities such as medical complexes, hospital, park land, walking trails, senior activity centers, laundry, etc.

Please know that we are strongly opposed to this project and wish to be heard as a community in order to air our complaints to this proposed project's location. This we are putting on you as well to hear our concerns.

Sincerely,

Andy and Debbie Newton

## Scanlon-Cassi

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**From:** O.Kay Thacker <oktcraft@terranova.net>  
**Sent:** Monday, October 07, 2013 5:55 AM  
**Subject:** KEY LARGO,,Senior housing complex awaits county approval, land sale KW Cit. 10-7-13

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Purple Category

KEY LARGO

### **Senior housing complex awaits county approval, land sale**

BY JOSH GORE

Citizen Staff

Construction on a 47-unit senior housing project can't begin until a 2.6-acre parcel of land is purchased and the county planning director has given his approval.

Gorman & Company is pursuing an agreement to purchase the property at 2 Blackwater Lane, behind the Winn-Dixie at mile marker 105, bay-side in Key Largo. Figures from the Monroe County Property Appraiser's website show the value to be about \$609,000.

The company is currently completing a 36-unit affordable housing project in Islamorada dubbed WetNet Villas. It also developed the Bluewater Apartments at mile marker 92.

Last month, the Monroe County Commission reserved 50 state-issued new building permit allocations, called Rate of Growth Ordinance (ROGO) units, for the project. But the planning department will allow only 47 units to be built.

Last week, the Planning Commission supported the release of the ROGO units for low-income senior housing. The Development Review Committee has since approved the project's revised site plan, which now awaits the signature of the planning director.

Gorman would like to begin work in June, and says the project would take one year to complete. The one-

bedroom units would be arranged in a three-story building, and the development would be geared toward active seniors. It will not be an assisted-living facility, according to documents.

Also on the design plans are outdoor common areas, including an open area for recreation. A community park will back up against an existing hammock.

Approximately 50 parking spots are included in the design.

Monroe County Planning Commissioner Ron Miller said the annual income threshold for qualifying seniors is \$36,000 and below.

The units will be approximately 700 square feet and

would rent for \$850 per month. One of the units will house a property caretaker. As part of the permit process, Gorman must pay to have a vegetation and traffic study conducted to review the potential impacts of the project.

Because of federal fair housing laws, the county can't limit occupancy to current Florida Keys residents, Miller said. However, he added he would like Gorman to market the units to local seniors.

"We really can't afford to build this and then have Miami-Dade people coming down to live there," Miller said.

[jgore@keysnews.com](mailto:jgore@keysnews.com)

## Scanlon-Cassi

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**From:** Doug Poletti <douglaspoletti@yahoo.com>  
**Sent:** Monday, October 07, 2013 1:38 PM  
**To:** Schwab-Townsley  
**Subject:** Low Income Housing

This is a poor place for low income housing for Monroe County. Further down the keys would better serve the residents of Monroe County and not those of southern Dade.

Doug Poletti  
18 Center Lane  
Key Largo, FL  
Sent from my iPhone

Brad McBride <brad@zdscs.com>

October 7, 2013 1:22 PM

To: Emilie Stewart

FW: 2 Blackwater Lane Low Income Housing Project

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My email has been sent to Schwab Townsley

Fyi,  
Brad

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**From:** Brad McBride

**Sent:** Monday, October 07, 2013 1:22 PM

**To:** Schwab-Townsley@monroecounty-fl.gov

**Subject:** 2 Blackwater Lane Low Income Housing Project

My name is Brad McBride and our house is located at 64 N. Blackwater Lane. Let me go on record stating that my family is GREATLY OPPOSED to the planned development of the Low Income Housing Project at 2 Blackwater Lane. I'm not even sure that anyone in our neighborhood knew about this project. Has someone kept this off the dockets so that no one could oppose it? This will dramatically impact the Stillwright Point neighborhood in a very NEGATIVE way. First it was the Islamorada trash company that wanted to turn 2 Blackwater Lane and our neighborhood into a dump and now we have a low income housing project being apparently forced down our throats since there is not another hearing that will take place. I understand that you are the person that will approve/deny this project from moving forward. Please accept this email as my personal request that you **DECLINE** this approval for this project. Please email me back confirming your receipt and acknowledgment of this request.

Thank you,

Brad

**Brad A. McBride**

**President - ZDSCS**

**Zero Down Supply Chain Solutions**

**1560 Sawgrass Corporate Pkwy**

**4th Floor**

**Sunrise, Fl. 33323**

**O: 954.753.7006**

**C: 305.588.0111**

**F: 954-424-2478**

**[www.zdscs.com](http://www.zdscs.com)**

## Scanlon-Cassi

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**From:** jimmy <nstconsultants@aol.com>  
**Sent:** Monday, October 07, 2013 8:42 PM  
**To:** Schwab-Townsley  
**Subject:** north blackwater lane senior project

Dear Mr. Schwab-Townsley: As a property owner on Stilwright Point, I have serious concerns about the proposed project mentioned above. Are there not better uses for this land?

James M. Cohen, M.D.

## Scanlon-Cassi

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**From:** RonMieloch@aol.com  
**Sent:** Monday, October 07, 2013 11:05 PM  
**To:** Schwab-Townsley  
**Subject:** Senior housing project

October 7, 2013

Mr. Townsley Schwab ,

Dear Sir,

I am a home owner in Stillwright Point in Key Largo. I wish to convey to you in the strongest terms my opposition to the proposed senior housing project adjacent to Stillwright point. There was no apparent advertised disclosure of this project and no opportunity for the area residents to comment and research the potential implications this project would have on the area residents, including traffic, congestion, effect on existing home values etc. I would therefore request that you and your peers cease any further approvals until area residents have been given the opportunity fully evaluate this proposal.

Sincerely,

Edward R Mieloch  
7 Sexton Way  
Key Largo, FL. 33037

## Scanlon-Cassi

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**From:** khcox@bellsouth.net  
**Sent:** Monday, October 07, 2013 2:08 PM  
**To:** Schwab-Townsley  
**Subject:** Senior Low Income Housing 2 N Blackwater Ln, Key Largo

**Categories:** Purple Category

My wife and I are residents of Monroe County and live at 54 North Blackwater Lane. I am taking the time to inform you that we as residents will be very negatively impacted by the proposed Senior Low Income Housing Project for 2 North Blackwater Lane, Key Largo. This project will negatively impact traffic as it is right at the only entrance (tight 2 lane road) and exit into our neighborhood and subdivision and will be a safety issue with the local traffic, pedestrians, and bicyclists. This project will also have negative and possibly dire consequences as to the very sensitive environmental wetlands and preserve that this property abuts. This location is not ideal nor is it even suited for senior housing as it lacks any kind of close proximity to any kind of senior interests or amenities such as medical complexes, hospital, park land, walking trails, senior activity centers, laundry, etc.

My wife and I are strongly opposed to this project and wish to be heard as a community in order to air our complaints to this proposed project's location. Sincerely, Keith Cox and Nancy Fountain

## Scanlon-Cassi

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**From:** Allen, Ronald <Ronald.Allen@fpl.com>  
**Sent:** Monday, October 07, 2013 1:33 PM  
**To:** Schwab-Townsley  
**Cc:** Stillwright Listserv  
**Subject:** [Spoa] 2 Blackwater Lane Low Income Housing Project

Dear [Schwab-Townsley@monroecounty-fl.gov](mailto:Schwab-Townsley@monroecounty-fl.gov),

I and my family are residents of Monroe County and live at 47 North Blackwater Lane. I am taking the time to inform you that we as residents will be very negatively impacted by the proposed Senior Low Income Housing Project for 2 Blackwater Lane, Key Largo. This project will negatively impact traffic as it is right at the only entrance (tight 2 lane road) and exit into our neighborhood and subdivision and will be a safety issue with the local traffic, pedestrians, and bicyclists. This project will also not have anywhere near adequate parking for the amount of apartments that they are wanting to build. This project will also have negative and possibly dire consequences as to the very sensitive environmental wetlands and preserve that this property abuts. This location is not ideal nor is it even suited for senior housing as it lacks any kind of close proximity to any kind of senior interests or amenities such as medical complexes, hospital, park land, walking trails, senior activity centers, laundry, etc.

Please know that we are strongly opposed to this project and wish to be heard as a community in order to air our complaints to this proposed project's location. This we are putting on you as well to hear our concerns. Sincerely,

Ronald Allen  
tel: 305-741-7203  
Cell: 813-323-5378  
[ron6228@att.net](mailto:ron6228@att.net)

*Regards,*

*Ron Allen*

Lead Mechanical Planner  
Turkey Point Nuclear Plant  
Office # (786) 243-5289  
Cell phone # 813-323-5378



## Scanlon-Cassi

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**From:** george avery <gjafla@gmail.com>  
**Sent:** Monday, October 07, 2013 1:30 PM  
**To:** Schwab-Townsley  
**Subject:** Stillwright Point

Plz deny planned facility at north blackwater

George Avery  
28 South Dr  
Stillwright Point  
Key Largo Fl

--  
george

## Scanlon-Cassi

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**From:** Bill Cahill <wbcahill@bellsouth.net>  
**Sent:** Monday, October 07, 2013 4:01 PM  
**To:** Schwab-Townsley  
**Subject:** Where is the Wisdom?

Hello Schwab Townsley,

I have been advised that you are the individual with the responsibility of reviewing and approving the County Proposed "Senior Affordable Housing Project" at #2 Blackwater Key Largo. I trust you will give this project and the effect it will have on our neighborhood and surrounding area full consideration and apply some logic and reason to what appears to me a terrible idea - one lacking wisdom on behalf of the County.

First, a little background to my frustration: **Stillwright Point** is probably one of the nicest neighborhoods in the Upper Keys - yet the County over the years continue to take steps to hurt rather than enhance this lovely neighborhood.

1. First, they do not properly maintain the roads here - the roads in our neighborhood have been sinking over the decades to where in some areas they are now below sea level during seasonally high tides - salt waters seeps onto the streets and then spreads throughout the neighborhood damaging foliage and autos. When doing the sewers instead of fixing this issue they simply ground off the old pavement replacing it with a thin cosmetic layer of new pavement - making the roads as low or lower than they already were. The County should step up and fix this situation.
2. Second - In the past, the County was to approve a waste treatment facility at the entrance of the neighborhood - to service Islamorada on top of that! Fortunately, this effort was blocked.
3. Now - they are supporting an "affordable" housing facility at the entrance in the exact same location. This makes no sense for the neighborhood, the community, or even seniors. Again, where is the wisdom? Please consider:

The Neighborhood:

- How can placing a low income "affordable" housing project at the entrance of one of the nicest neighborhoods in the upper keys be a good thing?
- This will lower property values in the neighborhood and lower Property Taxes for the county - as I am sure the entire neighborhood will push for a reduction - I know I will.
- It will Increase Traffic at a location where it is already a little hazardous - from people coming out the side entrance/exit of Winn Dixie without stopping or yielding..... and people making the turn off US1 too fast in order to keep from getting rear-ended.
- It will increase traffic in the neighborhood itself

The Community:

- How does this positively impact the community?
- There is already a new low income "affordable" housing unit that just opened 1/2 mile north.

- In fact, most of the growth in the past two years in the upper keys have been in Affordable Housing units.
- I can see the need of some affordable housing being added to an area to support the work force, but too many in one area is not good either.
- If there is any area that needs affordable housing units the least it is Upper Key Largo due to the abundance of "Dry Lot Homes" and the close proximity to Homestead and Florida City. It seems to me that the Village of Islamorada is the one that needs affordable housing, but turning Key Largo into their Homestead is not the answer.
- It may be a subjective opinion, but the affordable housing built at MM92 and MM106 are ugly. The units (by the same builder) at MM92 do not fit the Key's Decor at all - perhaps Morocco Africa but not the Keys. The prefab units at MM106 look cheap and surely do not meet the Hurricane Building Codes required of other structures. The County should be able to control this much better.
- **Key Largo could be one of the nicest small communities in the USA if we invest in Waterfront Parks, Sidewalks and Bike Trails, properly develop Downtown, Blackwater Sound, and the Marina around Key Largo Fisheries, make the Cultural Building a Cultural Center, but instead we seem the focus is establishing cheap housing and places where boats can anchor and live free.**

Seniors:

- How is this a good location for Seniors?
- It is not near any Hospital or Medical Facilities. In fact it is about as far as you can get from Mariner's Hospital and the surrounding Doctors. Tavernier or Upper Matecumbe is where (if anywhere) a Senior Facility should be placed. **Put it in the Old Electric Building Location!!!!**
- It does little for the work force of the area
- I am confident these seniors will wish to walk our neighborhood, but with no sidewalks in the area or a shoulder between the proposed facility and the neighborhood it will likely be hazardous for them. Plus, I for one am not too excited about people from outside our neighborhood walking around it.
- Obviously, from what I have read most of these rooms will not be filled by current Key's residence in need, but people from Miami Dade. Move it further south and you solve this problem.

As a property owner, tax payer, and voter here since 1990 I request of you to give the merits of this project and the impact to our neighborhood full consideration and deny the approval at this location. Thank you.

Best regards,

Bill Cahill  
 9 North Drive Key Largo, FL 33037  
[wbcahill@bellsouth.net](mailto:wbcahill@bellsouth.net)  
 305-451-9957

## Scanlon-Cassi

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**From:** Melissag786@aol.com  
**Sent:** Tuesday, October 08, 2013 8:21 AM  
**To:** Schwab-Townsley  
**Subject:** N Bickwater

My name is Melissa Golin . I bought my home in 2006 for 1040,000. Its value is almost half now, I am afraid this senior low income project will destroy ANY chance of recovery. PLEASE DONT ALLOW THIS!!!!!!! Im BEGGING YOU!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!

melissa golin  
41 north

## Scanlon-Cassi

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**From:** Tammy Guy <kevinandtammyguy@comcast.net>  
**Sent:** Tuesday, October 08, 2013 11:15 AM  
**To:** Schwab-Townsley  
**Subject:** Proposed Senior Housing Project - Key Largo

Mr. Schwab,

We are writing you in regards to the Senior Housing Project slated to be built at the entrance of Stillwright Point in Key Largo. Please know that we are strongly opposed to this project and wish to be heard as a community to air our complaints regarding this proposed project's location.

We are opposed to this project being built as it will impact our neighborhood in a negative way. Maybe you could put yourself in our shoes and view this project as if you lived in our neighborhood. Please visit the site to see how this project would negatively affect us. This is not the right location for a low income senior housing project. The amenities (doctors offices, hospital, laundry mat, etc.) for seniors are not close to this location.

Gorman Company needs to look at property closer to Mariners Hospital, shopping center, movie theater, walking trails, etc. not Stillwright Point.

Please, Please, Please do not approve this project.

Kevin and Tammy Guy  
66 North Blackwater Lane

Correction. This is the 2 Blackwater property at the entrance to Stillwright Point.

*Key West Citizen*, October 2

Senior housing in works  
BY JOSH GORE Free Press Staff  
[jgore@keysnews.com](mailto:jgore@keysnews.com)

KEY LARGO -- A senior housing project needs approval from the county planning director and to close on a 2.6-acre property before construction can begin on the 47-unit facility behind the Winn-Dixie at mile marker 105, bayside. Gorman Company is pursuing an agreement to purchase the property at 2 Blackwater Lane. Figures from the Monroe County Property Appraiser's website show the value to be about \$609,000. The company is currently completing a 36-unit affordable housing project in Islamorada dubbed WetNet Villas. It also developed the Bluewater apartments at mile marker 92. The Monroe County Commission last month earmarked 50 affordable housing ROGO allocations for the project, but because of the property size, the planning department will allow only 47 units to be built. The Planning Commission last week supported the release of the ROGO units for the use of low-income senior housing. The Development Review Committee has since approved the project's revised site plan, which now awaits the signature of the planning director. Gorman would like to begin in June and says the project would take one year to complete. The one-bedroom units would be arranged in a three-story building and the development would be geared toward active seniors. It will not be an assisted living facility, documents say. Also on the design plans are outdoor common areas including an open area for recreation. A community park will back up against an existing hammock. Approximately 50 parking spots are also in the design of the complex.

Monroe County Planning Commissioner Ron Miller said the annual income threshold for qualifying seniors is \$36,000 and below.

The units will be approximately 700 square feet and run about \$850 per month. One of the units will house a property caretaker. Also as part of the permit process, Gorman must pay to have a vegetation and traffic study conducted to review potential impact.

Because of federal fair housing laws, the county can't limit occupancy to current Florida Keys residents, Miller said.

"We really can't afford to build this and then have Miami-Dade people coming down to live there," Miller said.

He added he would like Gorman to market the units to local seniors.

## Scanlon-Cassi

---

**From:** Doris Welsh <doris@galapagosnetwork.com>  
**Sent:** Tuesday, October 08, 2013 6:19 PM  
**To:** Schwab-Townsley  
**Cc:** doris@galapagosnetwork.com; 'Sergio Deloro'  
**Subject:** RE: [Spoa] 2 Blackwater Lane Low Income Housing Project

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Attn: Mr. Townsley Schwab,  
Senior Director  
Planning and Environmental Resources  
Monroe County

Dear Sir,

My husband and I recently purchased a home located at 39 North Drive in Stillwright Point specifically due to the high quality neighborhood. We are writing to oppose the development of 2 N. Blackwater for low-income senior housing. The residents of this area will be negatively impacted by this project for various reasons:

There is only one entrance and exit into our neighborhood on a tight two lane road traffic will become a safety issue with the local traffic, pedestrians, and bicyclists.

This location is not ideal, nor is it even suited for senior housing as it lacks any kind of close proximity to any kind of senior interests or amenities such as medical complexes, hospital, park land, walking trails, senior activity centers, laundry, etc.

This project will lack sufficient parking spaces for 47 apartment units that could amount to 80 or more cars.

This project could have dire consequences as to the very sensitive environmental wetlands and preserve including native mangroves that this property abuts.

Please know that we are strongly opposed to this project and wish to be heard as a community of single family homes that would be negatively impacted by this development on the proposed project's location.

Sincerely yours,

Doris J. Welsh  
Director of Sales & Marketing  
[doris@galapagosnetwork.com](mailto:doris@galapagosnetwork.com)

Galapagos Network – Ecoventura [www.ecoventura.com](http://www.ecoventura.com)  
5805 Blue Lagoon Drive, Suite 160 Miami FL 33126  
Tel: (305) 262-6264 1-800-633-7972 Fax: (305) 262-9609  
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Conde Nast World Savers Award - Best Overall Cruise Line  
Virgin Holidays Responsible Tourism Award – Best in a Marine Environment



**Go Green! Please print this email only when necessary.**

## Scanlon-Cassi

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**From:** O.Kay Thacker <oktcraft@terranova.net>  
**Sent:** Tuesday, October 08, 2013 5:18 AM  
**To:** Schwab-Townsley  
**Cc:** Haberman-Joe; Hurley-Christine; Pauline Klein; Burke Cannon  
**Subject:** Re: 2 Blackwater Paradise Pt. Senior Housing

Mr. Schwab,

Is there any chance some of the homeowners from Stillwright Point could meet with you /staff to discuss the senior housing development before you make your decision?

Kay Thacker, Vice President External Affairs Island of Key Largo Federation of Homeowners, Inc.

On 10/7/2013 12:12 PM, Haberman-Joe wrote:

> Kay,

>

> This application already went before DRC (last meeting in August), but Townsley has yet to make a final decision. We are awaiting receipt of several revisions to the site plan and more information on parking.

>

> From: O.Kay Thacker [oktcraft@terranova.net]

> Sent: Friday, October 04, 2013 9:03 PM

> To: Haberman-Joe

> Subject: 2 Blackwater Paradise Pt. Senior Housing

>

> Joe.

>

> Can you send me notice when DRC will be hearing this minor conditional

> use...Please?

>

> Thx

> Kay

>

## Scanlon-Cassi

---

**From:** Schwab-Townsley  
**Sent:** Wednesday, October 09, 2013 9:04 AM  
**To:** Scanlon-Cassi  
**Subject:** FW: Stillwright Point

Cassi,

The below email is new, so it needs to be added to the list. I will put it in the folder now.

**From:** Dr. Dino [<mailto:drdino13@aol.com>]  
**Sent:** Tuesday, October 08, 2013 10:55 PM  
**To:** Schwab-Townsley  
**Subject:** Stillwright Point

Gentleman:

It is to our knowledge that there has been an approval without notification to the surrounding neighbors for a project that will lower the value of our homes, increase the flow of traffic in a narrow dead end street, make our residential zone commercial and where the elderly have absolutely nothing to do.

My neighborhood and home will be negatively impacted by the proposed "Senior Low Income Housing Project", this will create more population, traffic and unnecessary congestion to our quite and friendly neighborhood, needless to say what it will do for our home value.

We oppose, 39 N. Blackwater Lane, Dr. Dignora Rives and Jose M. Rives, PSM, are negatively impacted by any development that will not maintain our property values and keep our safe neighborhood.

We have invested our hard worked earnings in a neighborhood with well kept residential homes, not with any commercial lower income project home developments.

Dr. Dignora Rives and Mr. Jose M. Rives, PSM

The information contained in this message may be privileged, confidential, and protected from disclosure. If the reader of this message is not the intended recipient, or any employee or agent responsible for delivering this message to the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by replying to the message and deleting it from your computer.

✓  
Pam <1grovegirl@comcast.net>  
To: SPOA <sboa@stillwright.com>  
[Sboa] 2 N. Blackwater

October 9, 2013 10:29 AM

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*Emailed to Mr. Schwab ~*

Mr Townsley Schwab,

By now, you have heard from many Stillwright Point – Paradise Point homeowners regarding the many negative impacts to our single family residential community arising from the allowance of a low income apartment complex for seniors on 2 North Blackwater Lane.

Respectfully, we would like to suggest what would seem to be viable alternatives to this location. Within a mere 10 mile radius of that location, there are many commercial properties fronted by the Overseas Highway allowing multi-driveway access to said senior residents. Frontage on the Overseas Highway would eliminate the problem of traffic congestion on a narrow, single access side street (one of the issues with the Stillwright – Paradise Point property). With the addition of a merge lane, seniors could easily and safely enter the Highway with a clear view of on-coming traffic.

In addition, the property values of surrounding single family residential neighborhoods would not be devalued as the practice of allowing commercial properties on the Overseas Highway is long standing. Such a location brings nothing new to the master plan, and hence, no major problems.

When we took a cursory look at available commercial properties we were able to come up with several reasonable alternatives listed below. There are many more. We implore you to investigate alternatives and find a property harboring fewer negative impacts to established residential neighborhoods.

Potential locations:

## Scanlon-Cassi

---

**From:** KARIN ALDERFER <alderfers@bellsouth.net>  
**Sent:** Wednesday, October 09, 2013 11:57 AM  
**To:** Schwab-Townsley; marykmag@bellsouth.net  
**Subject:** PROPOSED LOW INCOME SENIOR HOUSING PROJECT IN STILLWRIGHT POINT

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

*My husband and I have lived in this lovely neighborhood for 10 years. We've seen many changes but are especially concerned over the housing project planned for 2 Blackwater Lane. It is inconceivable that Stillwright residents were not previously advised that such a project was under consideration.*

*This property includes environmentally sensitive land that will be negatively impacted by construction equipment. In addition, construction will be noisy, dirty, and will interfere with traffic that enters the area via N. Blackwater Lane, thus posing a safety issue.*

*Since Monroe County has limited ROGO allocations, it seems to indicate poor planning to put low-income units so near Miami-Dade County; this would certainly entice Miami-Dade residents to come south to live in a desirable area, thus giving little relief to Monroe County's needy seniors who require housing. There are no amenities nearby that would appeal to seniors (shopping malls, hospitals, doctors, restaurants, hair salons, etc.) except for the Winn Dixie market.*

*Please reconsider any decision to develop this property as proposed at least until a thorough study has been conducted to ascertain the environmental, traffic, and other potential issues have been investigated.*

*Thank you in advance for your consideration of this matter,*

***Prof Karin S. Alderfer and Prof Milton C. Alderfer***

***42 S Blackwater Lane***

## Scanlon-Cassi

---

**From:** O.Kay Thacker <oktcraft@terranova.net>  
**Sent:** Wednesday, October 09, 2013 3:12 PM  
**To:** Hurley-Christine  
**Cc:** Reina-Wanda; Norman-Ronda; McPherson-Cynthia; Pauline Klein; Burke Cannon; Schwab-Townsley; Haberman-Joe; Murphy-Sylvia  
**Subject:** Re: 2 Blackwater & Paradise Pt.

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Purple Category

Dear Ms.Christine,

I went to Google Earth yesterday and there is option in the toolbar under View for Historical Imagery, which goes as far back as 1994 on property located at 2 Blackwater and shows how Mr. Scheu has had the KLWTD subcontractors dumping fill on his property and adding elevation to his property, also increasing his property size and removed via mysterious fire to burn down native plants, trees etc and land clearing, and filling in wetlands on his property.

This was reported to Alan White (he tried to get something done then and left employment with the County because he told me he could not fight city hall...meaning the County), I know this is hearsay, but that is what Mr. White told me when he worked for the County.

David DaSilva was biologist that went out to look over 2 Blackwater property told me he had no elevation charts to see what was going on with this property when it was reported to Code Compliance a few years back by neighbors in Stillwright Point. Some piles of dirt were removed I believe or that was what I was told, via some notes I have on property in this file on 2 Blackwater going a few years.

I have a whole file on this property and Case #'s such as CE08020008; also Ref. # 00084260000100 to allow temporary fill and rocks, not spreading fill by KLWTD sub-contractors to increase size of property. Also Permit # 07300534... Free permit, no mitigation required all debris to be removed to approved dump site. Case # CE05020112, land clearing without permit, applied for after the fact permit. My file goes back to Niko Reisinger time (2005) and pictures of the trees, and pictures of land-clearing, no permit posted.

I will gladly share this file with you. Check your records when it was reported; neighbors in Stillwright Point had reported this going on; and Mr. Scheu has long history of violations with the County, but yet destruction has been allowed to happen to this property.

DEP, I hope will also be brought into this situation for mitigation charges on the damages Mr. Scheu has done to the wetlands, and native trees, plants, etc. located at 2 Blackwater? I hope to hear from someone concerning this issue.

Thanks

Kay Thacker, Vice President External Affairs  
Island of Key Largo Federation of Homeowners, Inc.

On 10/8/2013 6:10 AM, Reina-Wanda wrote:

Not a problem. When I get into the office I'll research the site.

Sent from my iPhone

On Oct 8, 2013, at 5:40 AM, "O.Kay Thacker"  
<[oktcraft@terranova.net](mailto:oktcraft@terranova.net)> wrote:

Ms. Wanda,

Can you check to see if any permits were pulled to bring in dirt to increase elevation of property at 2 Blackwater & Paradise Pt., please. Also send copies of any permits pulled by this address, please.

Thx  
Kay

## Scanlon-Cassi

---

**From:** linnyredhat@aol.com  
**Sent:** Wednesday, October 09, 2013 12:14 PM  
**To:** Schwab-Townsley  
**Subject:** senior project

Dear Public Servant,  
The project has no merit.  
Sincerely,  
Ron Mac Leod  
23 N Blackwater La.  
KL



## Creech-Gail

---

**From:** Schwab-Townsley  
**Sent:** Friday, October 11, 2013 1:04 PM  
**To:** Creech-Gail; Santamaria-Mayte; Haberman-Joe; Grimsley-Susan; Coyle-Matt  
**Subject:** FW: Proposed Blackwater/Paradise Point Senior Affordable Housing Project

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

For your information the below email is the 1<sup>st</sup> received as a result of my email of this morning in response to the emails received from citizens on the project.

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**From:** Emilie Stewart [mailto:kzfan@aol.com]  
**Sent:** Friday, October 11, 2013 11:05 AM  
**To:** Schwab-Townsley  
**Cc:** Kay Thacker; Pauline Klein; Murphy-Sylvia; Hurley-Christine  
**Subject:** Re: Proposed Blackwater/Paradise Point Senior Affordable Housing Project

Dear Mr. Schwab;

Thank you for your response.

As a resident of Stillwright Point, I am still concerned with the illegal fill of the 2 Blackwater property. There would not be a possible development were it not for the illegal fill. As I watched the fill appearing on a daily basis in the mid-2000's, I can say not all was clean. Some loads were ground up asphalt. I saw road work vehicles having fluids exchanged followed by pools spilling onto the ground with no regard to the fact that this had been a wetlands. The property became more and more cleared and filled on a daily basis. I still have photos of the trucks delivering and dumping their loads.

At the time, there were multiple code enforcement cases brought against the property owners regarding this issue. I had personally seen Alan White (MCCE) red tag the property. To my knowledge, these cases never reached a resolution and seem to just "go away." The Google Earth views in 1994 showed a tree and mangrove covered property with no white (sand/fill) to be seen. There is no permit on file for the clearing of the "environmentally sensitive" area. I am deeply concerned that Monroe County would simply look the other way with these blatant code violations.

I am requesting a public meeting between Monroe County, Gorman Company and the residents of Stillwright Point, IKLFH and any other county residents who might be concerned that property owners can benefit from illegal actions in Monroe County, without the fear of recourse and without regard to the impact on their neighbors.

With best regards,  
Emilie Caldwell Stewart  
Stillwright Point  
52 North Blackwater Lane  
Key Largo, FL 33037

On Oct 11, 2013, at 10:42 AM, Schwab-Townsley <[Schwab-Townsley@MonroeCounty-FL.Gov](mailto:Schwab-Townsley@MonroeCounty-FL.Gov)> wrote:

Dear concerned citizens:

This email is in response to numerous emails received over the past week relative to concerns pertaining to the proposed Blackwater / Paradise Point Senior Affordable Housing Project located on 2 Blackwater Lane, Key Largo, at approximately MM 105.5, (Florida Bay side of US 1). In order to clarify some possible misunderstandings and confusion, the following is an explanation of the Monroe County development review process and how it pertains to this project.

Blackwater/Paradise Point Senior Housing applied for a Letter of Understanding on behalf of 2 Blackwater, LLC on August 19, 2013. Planning & Environmental Resources staff met with Joel Reed and representatives from Gorman and Company to discuss the proposal on August 30, 2013. The Applicant proposed development of an institutional residential use, involving 50 deed-restricted senior affordable institutional housing units and accessory uses/structures. The project is applying to utilize State of Florida Low Income Housing Tax Credits (LIHTC) funding.

The subject property is located in the Urban Commercial (UC) Land Use District (Zoning) and the Mixed Use/Commercial (MC) Future Land Use Map (FLUM) category. Pursuant to MCC §130-97, institutional residential uses involving 20 or more dwelling units or rooms are permitted as minor conditional uses in the urban commercial district, provided that:

- a) The use is compatible with land use established in the immediate vicinity of the parcel proposed for development;
- b) Access to U.S. 1 is by way of:
  - 1) An existing curb cut;
  - 2) A signalized intersection; or
  - 3) A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;

The applicant was informed the project would need a reservation of affordable housing allocations pursuant to MCC §138-24. At the Monroe County BOCC meeting on September 17, 2013 the Applicant's request for a reservation of 50 affordable housing allocations was approved. Currently 50 affordable allocations are reserved for this project.

Additionally, pursuant to MCC §130-161(a)(6)4, affordable housing projects shall be no greater than 20 units unless approved by resolution of the Planning Commission. At the September 25, 2013 meeting the Planning Commission approved the subject location for the development of the institutional residential use, involving up to 50 deed-restricted senior affordable housing units.

RC3 World Inc. (the authorized agent for 2 Blackwater, LLC) applied for a minor conditional use permit on September 9, 2013. Pursuant to MCC §110-69, an application for a minor conditional use permit is reviewed by the Development Review Committee. Within 60 days after the Development Review Committee meeting, the Planning Director shall render a development order granting, granting with conditions or denying the application for a minor conditional use permit, in which case the development order shall be issued within 30 days after receipt of proof of satisfaction of the condition(s).

The application for the Minor Conditional Use permit was reviewed at the September 24, 2013 Development Review Committee meeting. All surrounding property owners within 300 feet of the site were notified in writing of the Development Review Committee meeting. The Development Review Committee Agenda and

Staff Report was available online prior to the meeting. The Development Review Committee recommended approval with conditions. Below are the major issues the applicant needed to address in their revised site plan before the minor conditional use could be approved:

- MCC §130-157 Maximum Residential Density. The applicant agreed to scale back the development from 50 to 47 units. The initial density calculation used the whole site, rather than the gross area. Pursuant to MCC §101-1 gross area means the total acreage of a site less submerged lands and any dedicated public rights-of-way. Using the gross area of the site to calculate density resulted in 47 units.
- MCC §114-67 Required Parking. There is not a specific off-street parking requirement for a residential institutional use. Pursuant to MCC §114-67(d) if a specific use does not fall within on the categories in subsection (c) of this section, or the general category does not accurately identify the parking need for a specific use, then the parking space requirements shall be based on the most current edition of the Institute of Transportation Engineer's (ITE) Parking General Manual, or other appropriate documentation authorized by the planning director. The applicant asserted the institutional residential use will be similar to Senior Adult Housing – Attached. The ITE manual recommends 1 parking space per dwelling unit. Staff is still reviewing this requirement and will make a determination of compliance prior to issuing the Minor Conditional Use.

Monroe County has not issued the development order approving the minor conditional use as of this date. A revised site plan will be submitted by the applicant. The Planning Director will be issuing the development order approving the minor conditional use permit after October 16, 2013. Pursuant to MCC §110-69 the planning director shall give notice of any development order granting a minor conditional use by sending a written notice to all owners of real property located within 300 feet of the property that is subject to the minor conditional use permit, and notice of the intent to issue the minor conditional use permit approval shall be published in newspapers of local circulation in the county by advertisement in the legal section.

Prior to the issuance of the development order granting a minor conditional use permit, a public hearing before the Planning Commission may be requested pursuant to 110-69(e). Within 30 days after the development order is issued an appeal may be filed with the Planning Department pursuant to 110-69(e) and MCC §102-185. Pursuant to MCC §102-185(b) an appeal may be initiated by an owner, applicant, adjacent property owner, any aggrieved or adversely affected person, as defined by F.S. § 163.3215(2), or any resident or real property owner from any order, decision, determination or interpretation by any administrative official with respect to the provisions of this Land Development Code.

We trust this will assist you in understanding the process, at what point the process is in, and your options for requesting a public hearing before the Planning Commission or appealing a future decision by the Planning Director to the Planning Commission.

## Scanlon-Cassi

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**From:** Schwab-Townsley  
**Sent:** Friday, October 11, 2013 8:35 AM  
**To:** Scanlon-Cassi  
**Subject:** FW: [Spoa] 2 Blackwater Lane Low Income Housing Project

Please file and put on 2 Blackwater list

**From:** Doris Welsh [<mailto:doris@galapagosnetwork.com>]  
**Sent:** Tuesday, October 08, 2013 6:19 PM  
**To:** Schwab-Townsley  
**Cc:** [doris@galapagosnetwork.com](mailto:doris@galapagosnetwork.com); 'Sergio Deloro'  
**Subject:** RE: [Spoa] 2 Blackwater Lane Low Income Housing Project

Attn: Mr. Townsley Schwab,  
Senior Director  
Planning and Environmental Resources  
Monroe County

Dear Sir,

My husband and I recently purchased a home located at 39 North Drive in Stillwright Point specifically due to the high quality neighborhood. We are writing to oppose the development of 2 N. Blackwater for low-income senior housing. The residents of this area will be negatively impacted by this project for various reasons:

There is only one entrance and exit into our neighborhood on a tight two lane road traffic will become a safety issue with the local traffic, pedestrians, and bicyclists.

This location is not ideal, nor is it even suited for senior housing as it lacks any kind of close proximity to any kind of senior interests or amenities such as medical complexes, hospital, park land, walking trails, senior activity centers, laundry, etc.

This project will lack sufficient parking spaces for 47 apartment units that could amount to 80 or more cars.

This project could have dire consequences as to the very sensitive environmental wetlands and preserve including native mangroves that this property abuts.

Please know that we are strongly opposed to this project and wish to be heard as a community of single family homes that would be negatively impacted by this development on the proposed project's location.

Sincerely yours,

Doris J. Welsh  
Director of Sales & Marketing  
[doris@galapagosnetwork.com](mailto:doris@galapagosnetwork.com)

Galapagos Network – Ecoventura [www.ecoventura.com](http://www.ecoventura.com)  
5805 Blue Lagoon Drive, Suite 160 Miami FL 33126

Tel: (305) 262-6264 1-800-633-7972 Fax: (305) 262-9609

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Conde Nast World Savers Award - Best Overall Cruise Line

Virgin Holidays Responsible Tourism Award – Best in a Marine Environment



**Go Green! Please print this email only when necessary.**

↓

## Scanlon-Cassi

---

**From:** pmklein4@aol.com  
**Sent:** Tuesday, October 15, 2013 4:05 PM  
**To:** Schwab-Townsley  
**Subject:** SPOA LTR TO TOWNSLEY SCHWAB 10-15-13  
**Attachments:** SPOA LTR TO TOWNSLEY SCHWAB 10-15-13.docx

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

attachment  
follows

✓

**STILLWRIGHT PROPERTY OWNER'S ASSOCIATION**

**P. O. BOX 371376**

**KEY LARGO, FLORIDA 33037**

**October 15, 2013**

Monroe County Planning & Growth Management Division  
Marathon Government Center  
Marathon, FL.

Attention: Townsley Schwab, Monroe County Planning Director.

**Re: File # 2013-118 Paradise Point Senior Housing, Owner's Name # 2  
Blackwater, LLC. Minor Conditional Use Key Largo RE: 00084260-000100  
Proposed construction of Senior Low Income 47 Unit Apartment Bldg.(3 story)  
with parking lot for 50 cars to be located behind Winn Dixie MM 104.5  
entry/exit at #2 N. Blackwater Lane in Key Largo, Florida.**

Dear Mr. Schwab:

This is the *only* entry/ exit of the Property owner's in the 3 subdivisions which makes up our Stillwright Property Owner's Association: Stillwright Point, Paradise Point, and Paradise Point Cove.

Our Stillwright Property Owner's Association members and residents are very concerned, and stunned to learn about this proposed project in the Free Press.

1) a) **Unsuitable Location:** The location of the proposed large project with parking lot "**Paradise Point Senior Housing**" behind Key Largo's Winn Dixie is in a low lying sensitive Blackwater Sound Bay side environmental area. We have looked at Satellite Images of the property made a few years ago and the most recent one's and compared the films. We request that your department do the same.

b) **Dangerous Traffic:** Our property owners already have to deal with heavy traffic of customers and delivery trucks coming and going to Winn Dixie's entrance/exit from North Blackwater Lane. Adding this project is putting our residents and those who will occupy the proposed project in danger of serious accidents.

c) **Public Meeting Request:** Our Property Owners deserve to have a Public Meeting with County Officials before this project has final approval. Many of our snow birds will not be returning until November and December. However, if necessary, our Board of Directors can meet with the County Staff when possible.

2) **Deed Restriction? - Management -LIHTC Tax Credits** – We are concerned that this Low Income Senior Citizen Project with Government Tax Credits *may allow any person to rent these apartments in the Future!* This issue needs to be considered by the County.

Sincerely,  
Pauline Klein, President (305) 451-1906  
Stillwright Property Owners Assoc.  
SPOA Board of Directors

*This e-mail and any files transmitted with it are confidential and intended solely for the use of current members of SPOA or the specific person or entity addressed above. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited. Please delete this e-mail.*

J

## Scanlon-Cassi

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**From:** Andy Newton <marker40@comcast.net>  
**Sent:** Wednesday, October 16, 2013 1:57 PM  
**To:** Schwab-Townsley  
**Subject:** [BULK] Public Hearing Request

**Importance:** Low

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Mr. Schwab-Townsley,

Pursuant to your guidance, I request a public hearing before the Planning Committee in accord with MCC 110.69(e), provided you have not yet approved the Development order regarding this property.

I am a property owner in Stillwright Point who will be adversely affected by the proposed development of a high density residential project which will be located at the sole entrance/access road to my neighborhood.

You can contact me via email or by phone at 305-453-3733. My address is 21 N Blackwater Ln. Key Largo 33037.

Sincerely,  
Andy Newton

✓  
donatcp@aol.com  
To: Stillwright Listserver  
[SPOA] 2 Blackwater

October 16, 2013 11:06 AM

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Just to let you know that Janice and I are onboard. If we are around we can be at any meeting that may be set up. We will certainly help with any costs related to procuring an attorney.

Don Ellis  
10 North

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SPOA mailing list  
SPOA@stillwright.com  
<http://lists.stillwright.com/mailman/listinfo/spoa>

## Scanlon-Cassi

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**From:** howardsmail <howardsmail@bellsouth.net>  
**Sent:** Wednesday, October 16, 2013 6:16 PM  
**To:** Schwab-Townsley  
**Cc:** Andy and Debbie Newton; Bill Cahill; Dean Fey; Doris J.Welsh; Doug Poletti; "Dr. Dignora Roves and Joseph M. Rives, PSM"; EdwardMieloch; Emilie Stewart; George Avery; Howard Leithner; Jack & KathyRamsey ; James Cohen <nstconsultants@aol.com>; KayThacker; Keith Cox & Nancy Fountain ; Linda MacLeod <linnyredhat@aol.com>; Lucy Robia; Marty Fritch; Melissa Golin; Prof Karin S. Alderfer and Prof Milton C. Alderfer; RonaldAllen; Sue Heim; Tammy Guy; Tim Hemsoth; Hurley-Christine; Santamaria-Mayte; Coyle-Matt; Creech-Gail; Schwab-Townsley; SPOA@Stillwright.com  
**Subject:** Proposed Blackwater/Paradise Point Senior Affordable Housing Project

Dear Mr. Schwab-Townsley,

This is Howard Leitner, a property owner who will be adversely affected by the proposed development of a high density residential project which will be located at the sole entrance/access road to my neighborhood and I have written you in the recent past about this proposed development and its adverse impact on myself, my family, my neighbors, the sensitive wildlife and vegetation here, and our neighborhood.

Thank you for reviewing the history of this development and for your thorough recitation of the development process.

Pursuant to your guidance, I request a public hearing before the Planning Committee in accord with MCC 110.69(e), provided you have not yet approved the Development order regarding this property.

Please let us know if there is anything further needed in order to complete this request for a Planned Commission Hearing.

You may contact me via email or by phone at 786-247-2274. My address is 29 North Blackwater Lane, Key Largo 33037.

Sincerely,  
Howard and Liliana Leitner

On Oct 11, 2013, at 10:42 AM, Schwab-Townsley <[Schwab-Townsley@MonroeCounty-FL.Gov](mailto:Schwab-Townsley@MonroeCounty-FL.Gov)> wrote:

Dear concerned citizens:

This email is in response to numerous emails received over the past week relative to concerns pertaining to the proposed Blackwater / Paradise Point Senior Affordable Housing Project located on 2 Blackwater Lane, Key Largo, at approximately MM 105.5, (Florida Bay side of US

1). In order to clarify some possible misunderstandings and confusion, the following is an explanation of the Monroe County development review process and how it pertains to this project.

Blackwater/Paradise Point Senior Housing applied for a Letter of Understanding on behalf of 2 Blackwater, LLC on August 19, 2013. Planning & Environmental Resources staff met with Joel Reed and representatives from Gorman and Company to discuss the proposal on August 30, 2013. The Applicant proposed development of an institutional residential use, involving 50 deed-restricted senior affordable institutional housing units and accessory uses/structures. The project is applying to utilize State of Florida Low Income Housing Tax Credits (LIHTC) funding.

The subject property is located in the Urban Commercial (UC) Land Use District (Zoning) and the Mixed Use/Commercial (MC) Future Land Use Map (FLUM) category. Pursuant to MCC §130-97, institutional residential uses involving 20 or more dwelling units or rooms are permitted as minor conditional uses in the urban commercial district, provided that:

- a) The use is compatible with land use established in the immediate vicinity of the parcel proposed for development;
- b) Access to U.S. 1 is by way of:
  - 1) An existing curb cut;
  - 2) A signalized intersection; or
  - 3) A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;

The applicant was informed the project would need a reservation of affordable housing allocations pursuant to MCC §138-24. At the Monroe County BOCC meeting on September 17, 2013 the Applicant's request for a reservation of 50 affordable housing allocations was approved. Currently 50 affordable allocations are reserved for this project.

Additionally, pursuant to MCC §130-161(a)(6)4, affordable housing projects shall be no greater than 20 units unless approved by resolution of the Planning Commission. At the September 25, 2013 meeting the Planning Commission approved the subject location for the development of the institutional residential use, involving up to 50 deed-restricted senior affordable housing units.

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The application for the Minor Conditional Use permit was reviewed at the September 24, 2013 Development Review Committee meeting. All surrounding property owners within 300 feet of the site were notified in writing of the Development Review Committee meeting. The Development Review Committee Agenda and Staff Report was available online prior to the meeting. The Development Review Committee recommended approval with conditions. Below are the major issues the applicant needed to address in their revised site plan before the minor conditional use could be approved:

- MCC §130-157 Maximum Residential Density. The applicant agreed to scale back the development from 50 to 47 units. The initial density calculation used the whole site, rather than the gross area. Pursuant to MCC §101-1 gross area means the total acreage of

a site less submerged lands and any dedicated public rights-of-way. Using the gross area of the site to calculate density resulted in 47 units.

- MCC §114-67 Required Parking. There is not a specific off-street parking requirement for a residential institutional use. Pursuant to MCC §114-67(d) if a specific use does not fall within on the categories in subsection (c) of this section, or the general category does not accurately identify the parking need for a specific use, then the parking space requirements shall be based on the most current edition of the Institute of Transportation Engineer's (ITE) Parking General Manual, or other appropriate documentation authorized by the planning director. The applicant asserted the institutional residential use will be similar to Senior Adult Housing – Attached. The ITE manual recommends 1 parking space per dwelling unit. Staff is still reviewing this requirement and will make a determination of compliance prior to issuing the Minor Conditional Use.

Monroe County has not issued the development order approving the minor conditional use as of this date. A revised site plan will be submitted by the applicant. The Planning Director will be issuing the development order approving the minor conditional use permit after October 16, 2013. Pursuant to MCC §110-69 the planning director shall give notice of any development order granting a minor conditional use by sending a written notice to all owners of real property located within 300 feet of the property that is subject to the minor conditional use permit, and notice of the intent to issue the minor conditional use permit approval shall be published in newspapers of local circulation in the county by advertisement in the legal section.

Prior to the issuance of the development order granting a minor conditional use permit, a public hearing before the Planning Commission may be requested pursuant to 110-69(e). Within 30 days after the development order is issued an appeal may be filed with the Planning Department pursuant to 110-69(e) and MCC §102-185. Pursuant to MCC §102-185(b) an appeal may be initiated by an owner, applicant, adjacent property owner, any aggrieved or adversely affected person, as defined by F.S. § 163.3215(2), or any resident or real property owner from any order, decision, determination or interpretation by any administrative official with respect to the provisions of this Land Development Code.

We trust this will assist you in understanding the process, at what point the process is in, and your options for requesting a public hearing before the Planning Commission or appealing a future decision by the Planning Director to the Planning Commission.

## Scanlon-Cassi

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**From:** R.M. Salokar <salokar@bellsouth.net>  
**Sent:** Wednesday, October 16, 2013 1:05 PM  
**To:** Schwab-Townsley  
**Cc:** Andy and Debbie Newton; Bill Cahill; Dean Fey; Doris J.Welsh; Doug Poletti; Dr. Dignora Roves and Joseph M. Rives, PSM; EdwardMieloch; Emilie Stewart; George Avery; Howard Leithner; Jack & KathyRamsey; James Cohen; KayThacker; Keith Cox & Nancy Fountain; Linda MacLeod; Lucy Robia; Marty Fritch; Melissa Golin; Prof Karin S. Alderfer and Prof Milton C. Alderfer; RonaldAllen; Sue Heim; Tammy Guy; Tim Hemsoth; Hurley-Christine; Santamaria-Mayte; Coyle-Matt; Creech-Gail; Schwab-Townsley  
**Subject:** Re: Proposed Blackwater/Paradise Point Senior Affordable Housing Project

Dear Mr. Schwab-Townsley,

Thank you for reviewing the history of this development and for your thorough recitation of the development process.

Pursuant to your guidance, I request a public hearing before the Planning Committee in accord with MCC 110.69(e), provided you have not yet approved the Development order regarding this property.

I am a property owner in Stillwright Point who will be adversely affected by the proposed development of a high density residential project which will be located at the sole entrance/access road to my neighborhood.

You can contact me via email or by phone at 305 491-6620. My address is 17 South drive, Key Largo 33037.

Sincerely,  
Rebecca Salokar

On Oct 11, 2013, at 10:42 AM, Schwab-Townsley <[Schwab-Townsley@MonroeCounty-FL.Gov](mailto:Schwab-Townsley@MonroeCounty-FL.Gov)> wrote:

Dear concerned citizens:

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  - 1) An existing curb cut;
  - 2) A signalized intersection; or
  - 3) A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;

The applicant was informed the project would need a reservation of affordable housing allocations pursuant to MCC §138-24. At the Monroe County BOCC meeting on September 17, 2013 the Applicant's request for a reservation of 50 affordable housing allocations was approved. Currently 50 affordable allocations are reserved for this project.

Additionally, pursuant to MCC §130-161(a)(6)4, affordable housing projects shall be no greater than 20 units unless approved by resolution of the Planning Commission. At the September 25, 2013 meeting the Planning Commission approved the subject location for the development of the institutional residential use, involving up to 50 deed-restricted senior affordable housing units.

RC3 World Inc. (the authorized agent for 2 Blackwater, LLC) applied for a minor conditional use permit on September 9, 2013. Pursuant to MCC §110-69, an application for a minor conditional use permit is reviewed by the Development Review Committee. Within 60 days after the Development Review Committee meeting, the Planning Director shall render a development order granting, granting with conditions or denying the application for a minor conditional use permit, in which case the development order shall be issued within 30 days after receipt of proof of satisfaction of the condition(s).

The application for the Minor Conditional Use permit was reviewed at the September 24, 2013 Development Review Committee meeting. All surrounding property owners within 300 feet of the site were notified in writing of the Development Review Committee meeting. The Development Review Committee Agenda and Staff Report was available online prior to the meeting. The Development Review Committee recommended approval with conditions. Below are the major issues the applicant needed to address in their revised site plan before the minor conditional use could be approved:

- MCC §130-157 Maximum Residential Density. The applicant agreed to scale back the development from 50 to 47 units. The initial density calculation used the whole site, rather than the gross area. Pursuant to MCC §101-1 gross area means the total acreage of a site less submerged lands and any dedicated public rights-of-way. Using the gross area of the site to calculate density resulted in 47 units.
- MCC §114-67 Required Parking. There is not a specific off-street parking requirement for a residential institutional use. Pursuant to MCC §114-67(d) if a specific use does not fall within on the categories in subsection (c) of this section, or the general category does not accurately identify the parking need for a specific use, then the parking space

requirements shall be based on the most current edition of the Institute of Transportation Engineer's (ITE) Parking General Manual, or other appropriate documentation authorized by the planning director. The applicant asserted the institutional residential use will be similar to Senior Adult Housing – Attached. The ITE manual recommends 1 parking space per dwelling unit. Staff is still reviewing this requirement and will make a determination of compliance prior to issuing the Minor Conditional Use.

Monroe County has not issued the development order approving the minor conditional use as of this date. A revised site plan will be submitted by the applicant. The Planning Director will be issuing the development order approving the minor conditional use permit after October 16, 2013. Pursuant to MCC §110-69 the planning director shall give notice of any development order granting a minor conditional use by sending a written notice to all owners of real property located within 300 feet of the property that is subject to the minor conditional use permit, and notice of the intent to issue the minor conditional use permit approval shall be published in newspapers of local circulation in the county by advertisement in the legal section.

Prior to the issuance of the development order granting a minor conditional use permit, a public hearing before the Planning Commission may be requested pursuant to 110-69(e). Within 30 days after the development order is issued an appeal may be filed with the Planning Department pursuant to 110-69(e) and MCC §102-185. Pursuant to MCC §102-185(b) an appeal may be initiated by an owner, applicant, adjacent property owner, any aggrieved or adversely affected person, as defined by F.S. § 163.3215(2), or any resident or real property owner from any order, decision, determination or interpretation by any administrative official with respect to the provisions of this Land Development Code.

We trust this will assist you in understanding the process, at what point the process is in, and your options for requesting a public hearing before the Planning Commission or appealing a future decision by the Planning Director to the Planning Commission.

## Scanlon-Cassi

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**From:** Schwab-Townsley  
**Sent:** Monday, November 04, 2013 4:25 PM  
**To:** Scanlon-Cassi  
**Subject:** FW: Proposed Blackwater/Paradise Point Senior Affordable Housing Project

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**From:** Doris Welsh [mailto:doris@galapagosnetwork.com]  
**Sent:** Thursday, October 17, 2013 5:16 PM  
**To:** Schwab-Townsley; 'Andy and Debbie Newton'; 'Bill Cahill'; 'Dean Fey'; 'Doug Poletti'; 'Dr. Dignora Roves and Joseph M. Rives, PSM'; 'Edward Mieloch'; 'Emilie Stewart'; 'George Avery'; 'Howard Leithner'; 'Jack & Kathy Ramsey'; 'James Cohen'; 'Kay Thacker'; 'Keith Cox & Nancy Fountain'; 'Linda MacLeod'; 'Lucy Robia'; 'Marty Fritch'; 'Melissa Golin'; 'Prof Karin S. Alderfer and Prof Milton C. Alderfer'; 'Rebecca Salokar'; 'Ronald Allen'; 'Sue Heim'; 'Tammy Guy'; 'Tim Hemsoth'  
**Cc:** Hurley-Christine; Santamaria-Mayte; Coyle-Matt; Creech-Gail  
**Subject:** RE: Proposed Blackwater/Paradise Point Senior Affordable Housing Project

Dear Mr. Schwab-Townsley,

Thank you for your email reviewing the history of this development and for your thorough recitation of the development process. Pursuant to your guidance, I request a public hearing before the Planning Committee in accord with MCC 110.69(e), provided you have not yet approved the Development order regarding this property.

We are property owners in Stillwright Point and were never advised of this planned development due to the 300 foot notice limitation. The impact of this project on all our community will be adversely affected by the proposed development of a high density residential project which will be located at the sole entrance/access road to my neighborhood. We are concerned about this proposed development and its adverse impact on our neighborhood, fragile wildlife and native vegetation.

Please let us know if there is anything further needed in order to complete this request for a Planned Commission Hearing.

Best Regards,

D. Janine Welsh & Sergio Del Oro  
39 North Drive, Key Largo FL 33037  
(305) 333-1377 or (786) 999-3333  
[doris@galapagosnetwork.com](mailto:doris@galapagosnetwork.com)



Go Green! Please print this email only when necessary.

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**From:** Schwab-Townsley [mailto:Schwab-Townsley@MonroeCounty-FL.Gov]  
**Sent:** Friday, October 11, 2013 10:42 AM

**To:** Andy and Debbie Newton; Bill Cahill; Dean Fey; Doris J. Welsh; Doug Poletti; Dr. Dignora Roves and Joseph M. Rives, PSM; Edward Mieloch; Emilie Stewart; George Avery; Howard Leithner; Jack & Kathy Ramsey; James Cohen; Kay Thacker; Keith Cox & Nancy Fountain; Linda MacLeod; Lucy Robia; Marty Fritch; Melissa Golin; Prof Karin S. Alderfer and Prof Milton C. Alderfer; Rebecca Salokar; Ronald Allen; Sue Heim; Tammy Guy; Tim Hemsoth  
**Cc:** Hurley-Christine; Santamaria-Mayte; Coyle-Matt; Creech-Gail; Schwab-Townsley  
**Subject:** Proposed Blackwater/Paradise Point Senior Affordable Housing Project

Dear concerned citizens:

This email is in response to numerous emails received over the past week relative to concerns pertaining to the proposed Blackwater / Paradise Point Senior Affordable Housing Project located on 2 Blackwater Lane, Key Largo, at approximately MM 105.5, (Florida Bay side of US 1). In order to clarify some possible misunderstandings and confusion, the following is an explanation of the Monroe County development review process and how it pertains to this project.

Blackwater/Paradise Point Senior Housing applied for a Letter of Understanding on behalf of 2 Blackwater, LLC on August 19, 2013. Planning & Environmental Resources staff met with Joel Reed and representatives from Gorman and Company to discuss the proposal on August 30, 2013. The Applicant proposed development of an institutional residential use, involving 50 deed-restricted senior affordable institutional housing units and accessory uses/structures. The project is applying to utilize State of Florida Low Income Housing Tax Credits (LIHTC) funding.

The subject property is located in the Urban Commercial (UC) Land Use District (Zoning) and the Mixed Use/Commercial (MC) Future Land Use Map (FLUM) category. Pursuant to MCC §130-97, institutional residential uses involving 20 or more dwelling units or rooms are permitted as minor conditional uses in the urban commercial district, provided that:

- a) The use is compatible with land use established in the immediate vicinity of the parcel proposed for development;
- b) Access to U.S. 1 is by way of:
  - 1) An existing curb cut;
  - 2) A signalized intersection; or
  - 3) A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;

The applicant was informed the project would need a reservation of affordable housing allocations pursuant to MCC §138-24. At the Monroe County BOCC meeting on September 17, 2013 the Applicant's request for a reservation of 50 affordable housing allocations was approved. Currently 50 affordable allocations are reserved for this project.

Additionally, pursuant to MCC §130-161(a)(6)4, affordable housing projects shall be no greater than 20 units unless approved by resolution of the Planning Commission. At the September 25, 2013 meeting the Planning Commission approved the subject location for the development of the institutional residential use, involving up to 50 deed-restricted senior affordable housing units.

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J  
application for a minor conditional use permit, in which case the development order shall be issued within 30 days after receipt of proof of satisfaction of the condition(s).

The application for the Minor Conditional Use permit was reviewed at the September 24, 2013 Development Review Committee meeting. All surrounding property owners within 300 feet of the site were notified in writing of the Development Review Committee meeting. The Development Review Committee Agenda and Staff Report was available online prior to the meeting. The Development Review Committee recommended approval with conditions. Below are the major issues the applicant needed to address in their revised site plan before the minor conditional use could be approved:

- MCC §130-157 Maximum Residential Density. The applicant agreed to scale back the development from 50 to 47 units. The initial density calculation used the whole site, rather than the gross area. Pursuant to MCC §101-1 gross area means the total acreage of a site less submerged lands and any dedicated public rights-of-way. Using the gross area of the site to calculate density resulted in 47 units.
- MCC §114-67 Required Parking. There is not a specific off-street parking requirement for a residential institutional use. Pursuant to MCC §114-67(d) if a specific use does not fall within on the categories in subsection (c) of this section, or the general category does not accurately identify the parking need for a specific use, then the parking space requirements shall be based on the most current edition of the Institute of Transportation Engineer's (ITE) Parking General Manual, or other appropriate documentation authorized by the planning director. The applicant asserted the institutional residential use will be similar to Senior Adult Housing – Attached. The ITE manual recommends 1 parking space per dwelling unit. Staff is still reviewing this requirement and will make a determination of compliance prior to issuing the Minor Conditional Use.

Monroe County has not issued the development order approving the minor conditional use as of this date. A revised site plan will be submitted by the applicant. The Planning Director will be issuing the development order approving the minor conditional use permit after October 16, 2013. Pursuant to MCC §110-69 the planning director shall give notice of any development order granting a minor conditional use by sending a written notice to all owners of real property located within 300 feet of the property that is subject to the minor conditional use permit, and notice of the intent to issue the minor conditional use permit approval shall be published in newspapers of local circulation in the county by advertisement in the legal section.

Prior to the issuance of the development order granting a minor conditional use permit, a public hearing before the Planning Commission may be requested pursuant to 110-69(e). Within 30 days after the development order is issued an appeal may be filed with the Planning Department pursuant to 110-69(e) and MCC §102-185. Pursuant to MCC §102-185(b) an appeal may be initiated by an owner, applicant, adjacent property owner, any aggrieved or adversely affected person, as defined by F.S. § 163.3215(2), or any resident or real property owner from any order, decision, determination or interpretation by any administrative official with respect to the provisions of this Land Development Code.

We trust this will assist you in understanding the process, at what point the process is in, and your options for requesting a public hearing before the Planning Commission or appealing a future decision by the Planning Director to the Planning Commission.

## Scanlon-Cassi

---

**From:** mgrunze@aol.com  
**Sent:** Saturday, October 19, 2013 4:33 PM  
**To:** Schwab-Townsley  
**Subject:** Monroe County Affordable Senior Housing on North Blackwater Ln

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Dear Mr. Schwab,

I am a property owner at 60 North Blackwater Lane and I am writing to ask you to object to a multiple senior housing unit at the entrance to our residential neighborhood (a narrow road). This potential multiple housing seems inappropriate for a single family neighborhood. In addition the north Key Largo location will unnecessarily increase traffic as renters would have to travel to access services which are largely located more southerly in the Keys. It would seem there would be better locations more central in Monroe County and not within a single family neighborhood.

I have received a copy of your email response to other property owners in our area, and I appreciate that. Thank you for your consideration of this issue.

Cynthia Grunze  
[mgrunze@aol.com](mailto:mgrunze@aol.com)

## Scanlon-Cassi

---

**From:** Schwab-Townsley  
**Sent:** Monday, November 04, 2013 8:04 AM  
**To:** Scanlon-Cassi  
**Subject:** FW: Another Stillwright Point email regarding 2 Blackwater

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Cassi,  
Please add to your Blackwater email comments list.  
Thanks,  
Townsley

---

**From:** Emilie Stewart [<mailto:kzfan@aol.com>]  
**Sent:** Sunday, November 03, 2013 12:09 PM  
**To:** Schwab-Townsley  
**Subject:** Another Stillwright Point email regarding 2 Blackwater

Mr. Schwab;  
Please add this email to you tally of concerned Stillwright Point property owners. The Gummel's own 7 Sexton Way.  
Thank you.  
Emilie Stewart

ATTACHMENT  
FOLLOWS

hgummel@aol.com

November 3, 2013 9:37 AM

To: Emilie Stewart

Re: Fwd: [Spoa] Senior Housing Development behind Winn Dixie

I cannot make meeting. Unfortunately I will not be in Keys until 11/23. Feel free to print this email as evidence the owners of 7 Sexton Way oppose this size of development. Using the access on Blackwater would be unsafe. We also want the illegal filling on the property investigated and all sanctions imposed. They should not be allowed to use filled area to count toward number of units permitted.

Sent from my Sprint phone.

----- Reply message -----

From: "Emilie Stewart" <kzfan@aol.com>

To: "Stillwright Listserver" <SPOA@stillwright.com>

Subject: [Spoa] Fwd: Senior Housing Development behind Winn Dixie

Date: Mon, Oct 28, 2013 2:22 PM

Hello to Everyone!

I know you have been wondering what has happened with our fight on the low income senior housing development planned for 2 Blackwater. We (IKLFederation of Homeowners & Stillwright Point HOA Board) have been trying to arrange a meeting between our home owners' association and the developer, Gorman Company and the county officials responsible for granting the building permits.

Finally, the meeting has been set for Monday November 18 at the Government Center (MM 102 Bayside) at 6 p.m.

## Scanlon-Cassi

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**From:** Schwab-Townsley  
**Sent:** Thursday, November 14, 2013 1:46 PM  
**To:** Scanlon-Cassi; Creech-Gail  
**Subject:** FW: (no subject)

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

For file and spread sheet

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**From:** [Bubbers44@aol.com](mailto:Bubbers44@aol.com) [<mailto:Bubbers44@aol.com>]  
**Sent:** Thursday, November 14, 2013 12:49 PM  
**To:** Schwab-Townsley  
**Subject:** (no subject)

We live in Stillwright point and feel putting a community of people at the only entrance to our homes for low income people will only increase the crime rate and congestion when their friends come to see them and park. There are plenty of places they could live. We love the fact everybody in this neighborhood is law abiding and we don't worry if we forget to lock our doors. Please don't make it like Miami where we need bars on our windows to stay safe. We like having only one street to hwy 1 because thugs know they are trapped if they get reported. We don't want possible bad people living in our neighborhood. We will all be at the meeting Monday at 6:00. Doug Johnson

## Scanlon-Cassi

---

**From:** Schwab-Townsley  
**Sent:** Thursday, November 14, 2013 1:48 PM  
**To:** Scanlon-Cassi; Creech-Gail  
**Subject:** FW: 2 Blackwater

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

For file & spreadsheet

-----Original Message-----

**From:** Bowers, Laura E. [<mailto:LBowers@dadeschools.net>]  
**Sent:** Thursday, November 14, 2013 12:55 PM  
**To:** Schwab-Townsley  
**Subject:** 2 Blackwater

Mr. Schwab,

I had not written you an email in regards to the proposed low income housing project at 2 Blackwater because I felt the reasons for our concerns were very clear and didn't want to inundate you with the same information. Please do not misunderstand my not wanting to waste your time repeating the same concerns with me objecting to this development. I am a full time resident of Stillwright Point and this development would have many adverse effects on our neighborhood. I plan on attending the meeting about this project next Monday.

Thank You for Your Time,

Laura Bowers

17 North Drive

## Scanlon-Cassi

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**From:** Schwab-Townsley  
**Sent:** Thursday, November 14, 2013 3:41 PM  
**To:** Scanlon-Cassi; Creech-Gail  
**Subject:** FW: 2 blackwater

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Please post on spread sheet and file.

T

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**From:** george avery [<mailto:gjafla@yahoo.com>]  
**Sent:** Thursday, November 14, 2013 3:32 PM  
**To:** Schwab-Townsley  
**Subject:** 2 blackwater

As a keys resident living at Stillwright Pt home for over 40 yrs  
I am against the proposed development at 2 N Blackwater dr

George  
28 SOUTH DR  
KEY LARGO FL

## Scanlon-Cassi

---

**From:** Schwab-Townsley  
**Sent:** Thursday, November 14, 2013 8:32 AM  
**To:** Scanlon-Cassi; Creech-Gail  
**Subject:** FW: Another Stillwright email

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Add to files please.

**From:** Emilie Stewart [<mailto:kzfan@aol.com>]  
**Sent:** Thursday, November 14, 2013 8:26 AM  
**To:** Schwab-Townsley  
**Subject:** Another Stillwright email

Good morning.  
Am forwarding you another respondent's email.  
Best -  
Emilie

Begin forwarded message:

**From:** "Rose, Alan" <[arose@miami.edu](mailto:arose@miami.edu)>  
**Subject:** Monday Meeting  
**Date:** November 14, 2013 8:19:45 AM EST  
**To:** Emilie Stewart <[kzfan@aol.com](mailto:kzfan@aol.com)>

Emilie,

Count me in on Monday, 20 South Blackwater....

Alan Rose

UNIVERSITY OF MIAMI  
HERBERT WELLNESS CENTER

Al Rose  
Assistant Director, Facilities  
Department of Wellness and  
Recreation

Patti and Allan Herbert Wellness Center  
1241 Dickinson Drive  
Coral Gables, FL 33146  
Phone:(305) 284-1764



This e-mail, including attachments, may include confidential and/or proprietary information and may be used ONLY by the person or entity to which it is addressed. Any unauthorized dissemination, distribution or copying is prohibited. If you are not the intended recipient, please permanently delete the message and disregard. Thank you.

## Scanlon-Cassi

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**From:** Schwab-Townsley  
**Sent:** Thursday, November 14, 2013 1:41 PM  
**To:** Scanlon-Cassi; Creech-Gail  
**Subject:** FW: Monday Meeting

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**From:** Rose, Alan [<mailto:arose@miami.edu>]  
**Sent:** Thursday, November 14, 2013 12:29 PM  
**To:** Schwab-Townsley  
**Subject:** Monday Meeting

I own the house on 20 South Blackwater and will be at the meeting. Not excited about the project and it's future potential repercussions that will likely negatively affect our neighborhood in many ways. We were blindsided by this project.

See you there,  
Al

UNIVERSITY OF MIAMI  
HERBERT WELLNESS CENTER



Al Rose  
Assistant Director, Facilities  
Department of Wellness and  
Recreation

Patti and Allan Herbert Wellness Center  
1241 Dickinson Drive  
Coral Gables, FL 33146  
Phone:(305) 284-1764

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J

## Scanlon-Cassi

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**From:** Schwab-Townsley  
**Sent:** Thursday, November 14, 2013 3:40 PM  
**To:** Scanlon-Cassi; Creech-Gail  
**Subject:** FW: NO TO any development on 2 North Blackwater Lane, Key Largo

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Please post on spread sheet and file.

T

**From:** Maison-Kim  
**Sent:** Thursday, November 14, 2013 3:19 PM  
**To:** Schwab-Townsley  
**Subject:** FW: NO TO any development on 2 North Blackwater Lane, Key Largo

Please see below

*Kim Maison*

Administrative Assistant  
Monroe County, Planning Department  
2798 Overseas Highway Suite 400  
Marathon FL, 33050  
305-289-2560

**From:** [hanslaue@comcast.net](mailto:hanslaue@comcast.net) [mailto:[hanslaue@comcast.net](mailto:hanslaue@comcast.net)]  
**Sent:** Thursday, November 14, 2013 3:17 PM  
**To:** Maison-Kim  
**Subject:** NO TO any development on 2 North Blackwater Lane, Key Largo

Dear Townsley Schwab,

We write to you to try and put a stop to the proposed development of 2 North Blackwater Lane. I think everybody is already aware of the toxic landfill this lot has become going back some 10 years (during sewerage of Key Largo) when this lot was supposed to be used as a waste transfer station but instead it was illegally turned into a waste dump (see various published articles in this matter). So for one, nobody should be exposed to live on a waste dump with all the health implications this may bring not to speak of the following lawsuits.

In addition, this area is already very environmentally sensitive due to the above waste problems and it's nearby mangroves and waterways. We DO NOT need to aggravate this any more than it already is.

Furthermore, we concur with our neighbor Rebecca Salokar who writes as follows:

I write to oppose the development of 2 N. Blackwater as senior housing. Our neighborhood, Stillwright Point, has but one entrance/exit. Everyone who lives in this neighborhood has to enter by North Blackwater. Putting a high density (40+ unit) development impacts each and every one of us every time we leave and return to our homes. This means somewhere between 40 to 80 cars are likely to be going in and out of the entrance to our community.

This property abuts native mangroves and a natural habitat. Surely, high density housing will negatively impact our sensitive ecosystem.

While I understand it would be nice to for seniors to have the convenience of the Winn Dixie, there is little else in our area that will serve them. They will still need to drive to the Publix shopping center to have their hair done, to buy clothes or household items, to go out to dinner, etc. Or they will have to drive to Florida City. This is, frankly, NOT a convenient location for them. Moreover, we are likely to have seniors move from south Dade to Key Largo. Are we really inviting more people to our beloved islands who will directly and immediately impact our social services and health care systems, which are already stretched to their limits?

I ask that this project be given a closer look. Our neighborhood of single family homes is not the right place to locate such a development

Hans & Laura Laue  
53 N. Blackwater Lane  
Key Largo, FL 33037  
Phn 305-7981238

✓

## Scanlon-Cassi

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**From:** Schwab-Townsley  
**Sent:** Thursday, November 14, 2013 1:45 PM  
**To:** Scanlon-Cassi; Creech-Gail  
**Subject:** FW: Proposed Senior Citizens Development at 2 N. Blackwater

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

For file and spread sheet

**From:** [Trbridges1@aol.com](mailto:Trbridges1@aol.com) [mailto:Trbridges1@aol.com]  
**Sent:** Thursday, November 14, 2013 12:49 PM  
**To:** Schwab-Townsley  
**Subject:** Proposed Senior Citizens Development at 2 N. Blackwater

Dear Mr. Schwab-Townsley,

My husband and I are homeowners in Stillwright Point and wish to join our neighbors in protesting the proposed Senior Citizens development at 2 N. Blackwater. We have watched the trucks come and go there since the trenching began for the Islamorada sewer project and wondered how this illegal dumping and filling of sensitive space can happen. It has clearly taken place behind a covered fence and meant to be kept secret from our community.

In addition, I myself have witnessed an accident at 2 N. Blackwater as a result of local traffic and a large truck exiting this property as well as experienced delays myself. Many adults and children walk and ride bikes in this vicinity so adding the traffic resulting from this proposed project would be dangerous and detrimental to our residents. As it is we must be careful to watch for Winn Dixie trucks coming out of their facility, so my husband and I feel that senior citizens would be vulnerable to all of these concerns.

For all of these reasons we ask that you not approve this project.

Thank you,

John and Patricia Bridges  
25 South Drive  
Key Largo, FL 30037

## Scanlon-Cassi

---

**From:** donatcp@aol.com  
**Sent:** Friday, November 15, 2013 12:19 PM  
**To:** Schwab-Townsley  
**Subject:** 2 Blackwater development

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Mr. Schwab,

Like many of my neighbors I am concerned about the proposed development at 2 North Blackwater Dr. One of my questions is about the potential increase of traffic volume. I look forward to meeting with you on the 18th.

Sincerely,

Donald Ellis  
10 North Drive

## Scanlon-Cassi

---

**From:** Schwab-Townsley  
**Sent:** Friday, November 15, 2013 3:54 PM  
**To:** Scanlon-Cassi; Creech-Gail  
**Subject:** FW: Stillwright Point  
**Attachments:** CF20131115.Schwab RE affordable housing.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Please post to spreadsheet and file.  
Townsley

**From:** Melissa Van Heusen [<mailto:mvanheusen@tropicalaw.com>]  
**Sent:** Friday, November 15, 2013 2:24 PM  
**To:** Schwab-Townsley  
**Cc:** Gastesi-Roman; Jim Lupino; James Lupino  
**Subject:** Stillwright Point

Mr. Schwab:

Attached please find correspondence of this date from Mr. Lupino.

            
**Melissa Van Heusen**  
**Legal Assistant to James S. Lupino, Esq.**  
**Hershoff, Lupino & Yagel, LLP**  
**90130 Old Highway**  
**Tavernier, FL 33070**  
**(305) 852-8440 - Telephone**  
**(305) 852-8848 - Facsimile**  
**[mvanheusen@tropicalaw.com](mailto:mvanheusen@tropicalaw.com)**

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**HL&Y**  
Hershoff, Lupino & Yagel, LLP  
Attorneys At Law

ATTORNEYS AT LAW  
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JESSICA ROTHENBERG  
ROBERT C. STOBER  
BRITTANY N. MILLER  
AISLYNN THOMAS-McDONALD

ALL CORRESPONDENCE TO:  
90130 OLD HIGHWAY  
TAVERNIER, FLORIDA 33070  
(305) 852-8440 FAX (305) 852-8848

MIAMI OFFICE  
9155 S. DADELAND BLVD., SUITE 1012  
MIAMI, FLORIDA 33156  
(305) 670-7546

November 15, 2013

Sent via Email

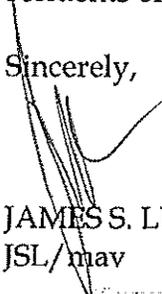
Townsley Schwab  
Senior Director  
Monroe County Planning &  
Environmental Resources  
*Schwab-Townsley@monroecounty-fl.gov*

RE: Stillwright Point

Dear Townsley:

This letter follows up on a previous correspondence to you objecting to the site plan and any approval for the low cost housing project at the entrance to Stillwright Point. Unfortunately, I am unable to make the meeting on Monday, November 18, 2013 to speak openly about the concerns. It is my understanding, however, that aside from the totally inappropriate location, the plan has many limitations, including that of parking which would affect the limited ingress and egress into Stillwright Point. By a copy of this letter to the County Administrator, I am letting him know of my joinder with other residents of Stillwright Point in raising these concerns and the objection to the project.

Sincerely,

  
JAMES S. LUPINO, ESQ.  
JSL/mav

cc: Roman Gastesi, Monroe County Administrator via Email

## Scanlon-Cassi

---

**From:** Charlotte Galloway <chargalloway@hotmail.com>  
**Sent:** Sunday, November 17, 2013 4:45 PM  
**To:** Schwab-Townsley  
**Cc:** kzfan@aol.com  
**Subject:** Housing Project-2 Blackwater

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Mr. Townsley,

I'm writing to let you and your staff know that I'm totally **AGAINST** the proposed low income housing project behind the present Winn-Dixie Plaza. This is **NOT** the correct venue for such a development! How would you like it if it was being proposed in your "back door"? We don't need an additional 50 autos and trucks two to three times per day (plus at least another 50-60 more vehicles....guests, caregivers, delivery people, etc.) entering and exiting onto the main highway every single day. Add it up..... It's very dangerous now with the present traffic use!! We've got enough traffic on the not so great condition Blackwater and the side/canal streets now. Most people believe that this traffic will increase immensely on these already "sensitive" streets.

There has got to be a better location in the Keys for such a project that will not impact the environment and the property owners.

Help us taxpayers out and be instrumental in denying the permitting of this project.

Thanks for your time and for the meeting set at 6pm on Monday, November 18th.

Sincerely,

Charlotte Galloway  
24 Center Lane, Key Largo, FL

## Scanlon-Cassi

---

**From:** David Galloway <davidngalloway@hotmail.com>  
**Sent:** Sunday, November 17, 2013 3:50 PM  
**To:** Schwab-Townsley  
**Cc:** kzfan@aol.com  
**Subject:** Low income Housing Development behind Winn Dixie (2 Blackwater)

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Mr. Schwab,

As a former elected official at the local, county and state levels of government, I understand the potential complexities of issues of this nature.

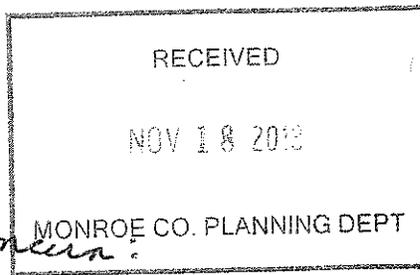
However, as a property owner and property taxpayer on Stillwright Point, I'm adamantly OPPOSED to this proposed project. To allow the continued demise of these pristine properties for a low income housing project is totally unwarranted. There are other properties in the Upper Keys that would be much better suited for a project of this size. I plan on attending the meeting on November 18, 2013, 6:00PM at the Government Building. However, I wanted to put in writing some of my concerns regarding the project. I am NOT in favor of this low income public housing development. This will not in any way enhance this area of the Keys. It will be detrimental to the already depressed property values we've all come to realize in this area. This proposed development will in NO way "boost" our property values! Why does "our" government need to play a part in diminishing the hard work that the property owners have done in keeping this area ecologically sound? We not only work extremely hard to maintain our properties, but we are constantly in economic stress to pay the property taxes, the increases in the many types of property insurance rates and the higher than normal maintenance costs.

Please consider these concerns and the many other concerns of the affected property owners in determining the long term viability of this proposed project.

Respectfully submitted,

David Galloway  
14 Center Lane, Key Largo

\*



11/9/13

13 North Blackwater Lane  
Key Largo, Fl. 33037

To Whom it may Concern:

This paper is to convey by Proxy our opposition to the proposed development of the Senior Citizen Dwellings at # 2 North Blackwater Lane.

Stillwright Point already has too much Traffic and congestion at the corner and this will just add to the problem that already exist.

Cord Raines  
Paul Winchester

Nov 17 2013

RECEIVED

NOV 18 2013

MONROE CO. PLANNING DEPT

To whom it may concern

We are AGAINST the  
use of 2 North Blackwaters  
as low income housing for  
many reasons

JANET F. COHEN  
16 SOUTH DR  
KEY LARGO

Janet F Cohen

JAMES M. COHEN  
16 SOUTH DR  
KEY LARGO

James M Cohen

## Scanlon-Cassi

---

**From:** O.Kay Thacker <oktcraft@terranova.net>  
**Sent:** Thursday, November 21, 2013 5:46 AM  
**Cc:** Schwab-Townsley; Hurley-Christine; Norman-Ronda; Emilie Stewart; Pauline Klein; Reina-Wanda  
**Subject:** Fwd: 2 Blackwater fill trucks today

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi to all,

Got this email from homeowner in Stillwright Pt. and was wondering if someone from code compliance would check it out to see what might be going on? Please.

Thx  
Kay

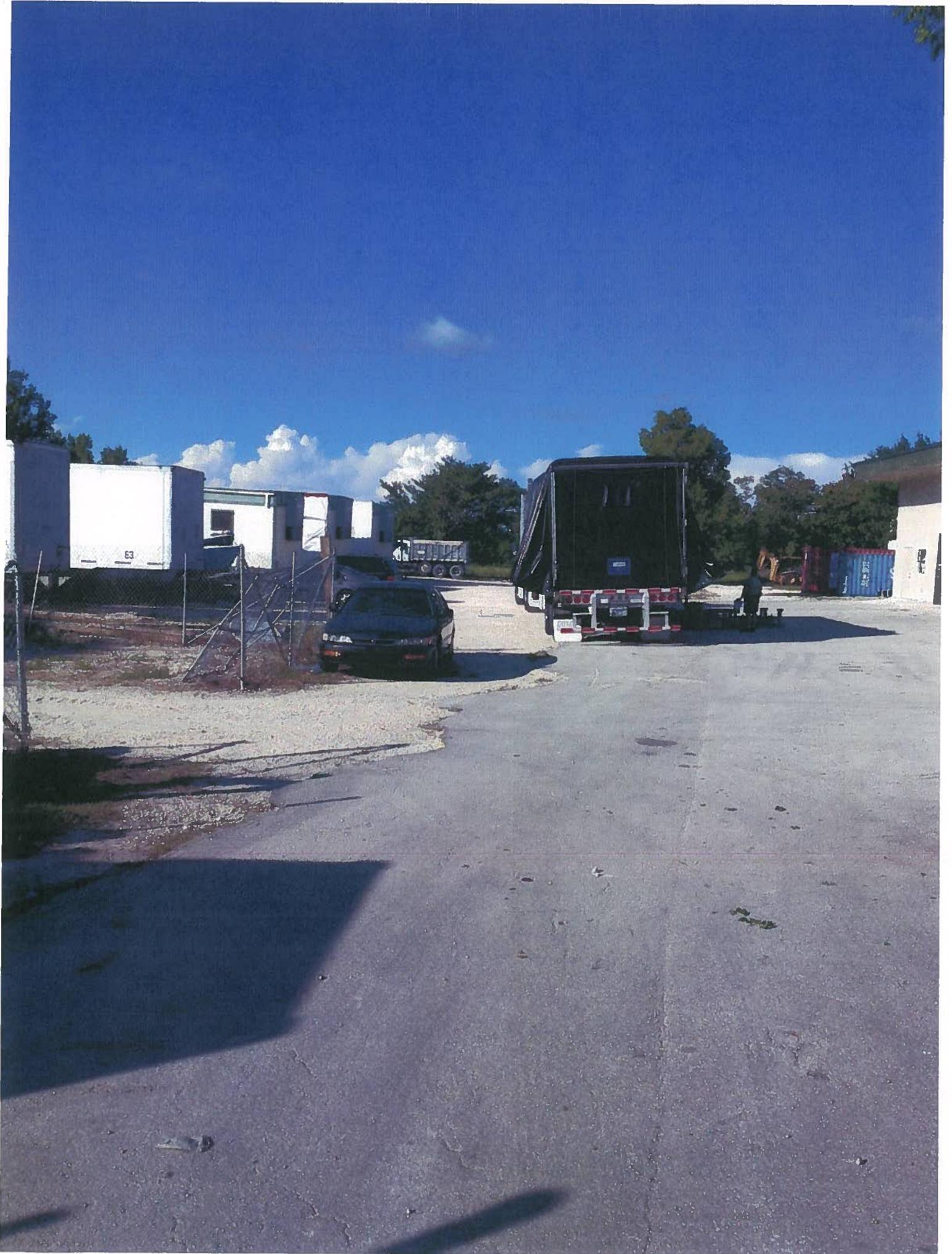
----- Original Message -----

**Subject:** 2 Blackwater fill trucks today  
**Date:** Wed, 20 Nov 2013 16:15:03 -0500  
**From:** Emilie Stewart <kzfan@aol.com>  
**To:** Kay Thacker <oktcraft@terranova.net>, Pauline Klein <Pmklein4@aol.com>

Hi Kay & Pauline!

I am assuming 2 Blackwater is worried about removing fill or surface contamination, so are quickly adding more fill. I saw **3 fill trucks TODAY** - very far back on the property. Tried to call Rhonda Norman & Christine Hurley without success :-)

Best-  
Emilie



## Scanlon-Cassi

---

**From:** O.Kay Thacker <oktcraft@terranova.net>  
**Sent:** Thursday, November 21, 2013 7:21 AM  
**To:** Schwab-Townsley  
**Cc:** Hurley-Christine; Norman-Ronda; Reina-Wanda; Emilie Stewart; Pauline Klein  
**Subject:** Fwd: 2 Blackwater now Fed Ex transfer station Time element  
**Attachments:** photo.JPG; Attached Message Part

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Can this also be looked into? Can this be happening in the UC code?

Thx  
Kay

----- Original Message -----

**Subject:** 2 Blackwater now Fed Ex transfer station  
**Date:** Thu, 21 Nov 2013 06:00:26 -0500  
**From:** Emilie Stewart <kzfan@aol.com>  
**To:** Kay Thacker <oktcraft@terranova.net>

Taken Nov 20, between 9 and 9:15 a.m.  
Two Fed Ex semis now transferring loads at 2 Blackwater



## Scanlon-Cassi

---

**From:** O.Kay Thacker <oktcraft@terranoa.net>  
**Sent:** Friday, December 06, 2013 2:20 PM  
**To:** Link-Diane  
**Cc:** Norman-Ronda; Emilie Stewart; Pauline Klein; Reina-Wanda; Schwab-Townsley; Hurley-Christine  
**Subject:** Fwd: Re: 2 Blackwater

----- Original Message -----

**Subject:** Re: 2 Blackwater

**Date:** Fri, 6 Dec 2013 12:20:17 -0500

**From:** Emilie Stewart <kzfan@aol.com>

**To:** Kay Thacker <oktcraft@terranoa.net>

Fed Ex semis are using both the Winn Dixie entrance/exit and the property's own entrance/exit on Blackwater. A big Fed Ex semi had me blocked last night as it was pulling out, just after 7pm. If someone had turned at full speed off US1, they would have collided.

On Dec 6, 2013, at 12:06 PM, O.Kay Thacker <oktcraft@terranoa.net> wrote:

> Hi Ms. Wanda,

>

> Just heard there is a RV parked and hooked up to electricity at the bldg. no sewer hookups, maybe has holding tank, semi is running and person sleeping in the semi, is this legal? Can these items be checked out?

>

> Thx

> Kay

## Creech-Gail

---

**From:** Schwab-Townsley  
**Sent:** Monday, January 06, 2014 2:32 PM  
**To:** Creech-Gail; Scanlon-Cassi  
**Subject:** FW: [Spoa] Wednesday, 15 January 10am, Nelson Govt. Center

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Gail, for your file.  
Cassi, please add to your list.  
Thanks,  
Townsley

---

**From:** Emilie Stewart [<mailto:kzfan@aol.com>]  
**Sent:** Monday, January 06, 2014 1:02 PM  
**To:** Schwab-Townsley  
**Subject:** Fwd: [Spoa] Wednesday, 15 January 10am, Nelson Govt. Center

Hi Mr. Schwab!

Here is another letter of opposition to the 2 Blackwater development for your files.

Happy New Year!

Emilie

Begin forwarded message:

**From:** [hanslaue@comcast.net](mailto:hanslaue@comcast.net)  
**Subject:** Fwd: [Spoa] Wednesday, 15 January 10am, Nelson Govt. Center  
**Date:** January 6, 2014 at 11:38:58 AM EST  
**To:** [kzfan@aol.com](mailto:kzfan@aol.com)

Dear Emilie Stewart,

We have been receiving your emails via our neighbor Jaunice & Kent Lee. We wonder if you could put us on your mailing list. We are new to Stillwright Point but have purchased 53 N. Blackwater Lane in March of last year. This is our second home so we are not full timers but live in Pembroke Pines, Broward County and we come down frequently. We will try to make the meeting but as new comers we do not have so much to offer in terms of speaking at the event. We are opposed to the planned construction on 2 Blackwater Lane.

Hans & Laura Laue  
Mob 305-7981238

Begin forwarded message:

**From:** Emilie Stewart <kzfan@aol.com>  
**Date:** January 3, 2014 at 7:46:28 AM EST  
**To:** Stillwright Listserv <spoa@stillwright.com>  
**Subject:** [SPOA] Wednesday, 15 January 10am, Nelson Govt. Center

Happy New Year!

With the holidays over, it is time to once again turn our attention to the pending Monroe County Planning Commission meeting concerning 2 Blackwater Lane.

The meeting to decide the possible planned low income housing development will be:

**Wednesday, 15 January 10am, Nelson Govt. Center**

While Stillwright Point HOA has retained legal counsel, I cannot stress how important home owner attendance will be!! Each person wishing to speak will be given 3 minutes to bring their objections forward. If you have photographs of the site (or flooding), all the better!!! We need to show the planning commission the questionable activities that have taken place in the past 10 years on this property!

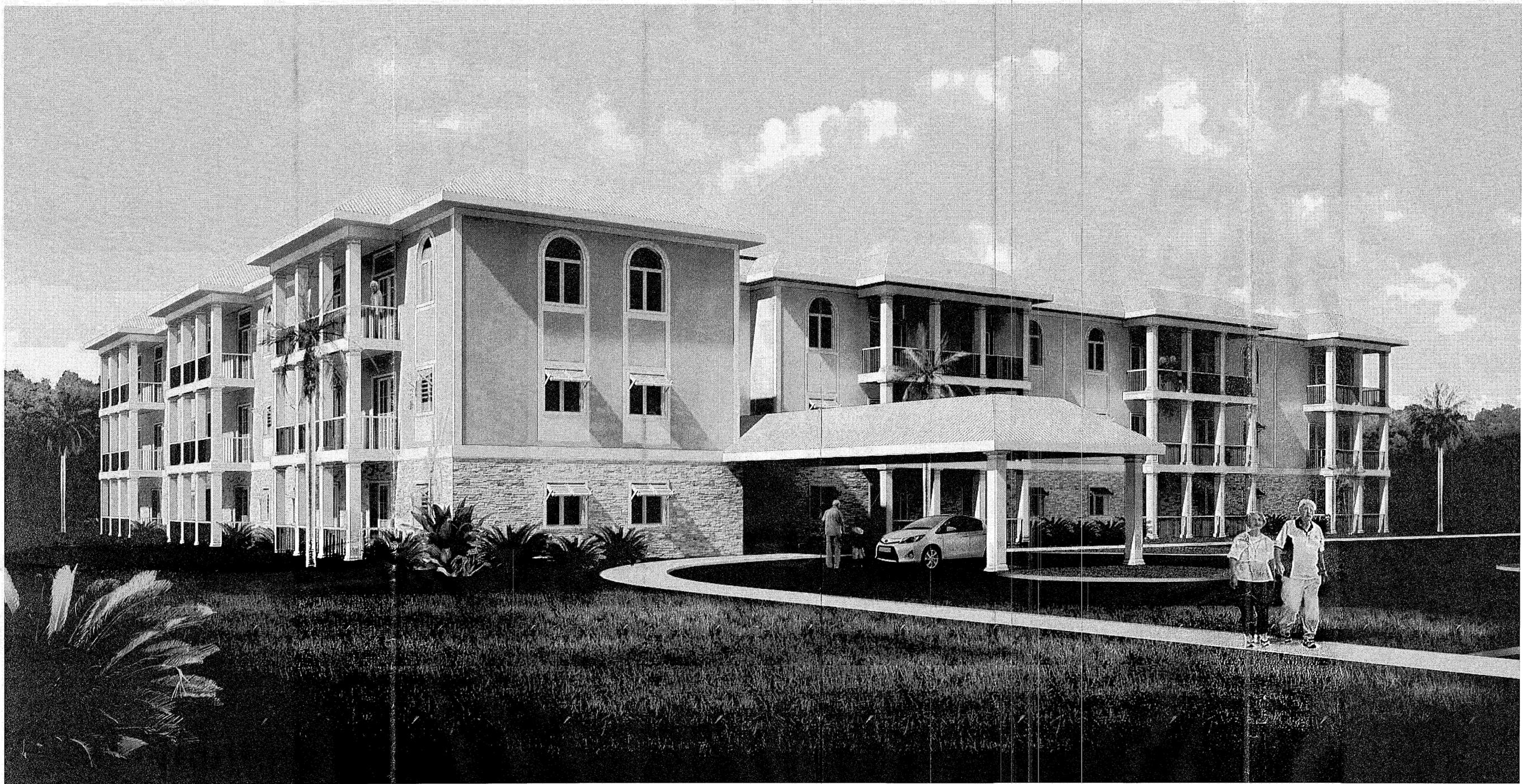
A vote will be taken at this meeting to either approve or deny the low income housing development!

Again, it is of the utmost importance you attend this final hearing and voice your objections!

Emilie  
VP, SPOA  
52 North Blackwater

---

SPOA mailing list  
[SPOA@stillwright.com](mailto:SPOA@stillwright.com)  
<http://lists.stillwright.com/mailman/listinfo/spoa>



APPLICANT:  
**Gorman & Company, Inc.**

Miami Office:  
 9100 South Dadeland Blvd Suite 1500  
 Miami, FL 33156  
 Phone: (305) 668-5810

Corporate Office:  
 200 North Main Street  
 Oregon, WI 53575  
 Phone: (608) 835-6339

AGENT:  
**RC3 World, Inc.**

411 Ridgewood Road NE  
 Atlanta, GA 30307  
 Phone: (678) 708-9247

## CONDITIONAL USE SITE PLAN APPROVAL

- Architectural Site Plan
- Floor Plans
- Landscape Plan
- Preliminary Drainage Plan
- Elevations

GORMAN & COMPANY INC.  
 # AR26002658 G.O.P.A.

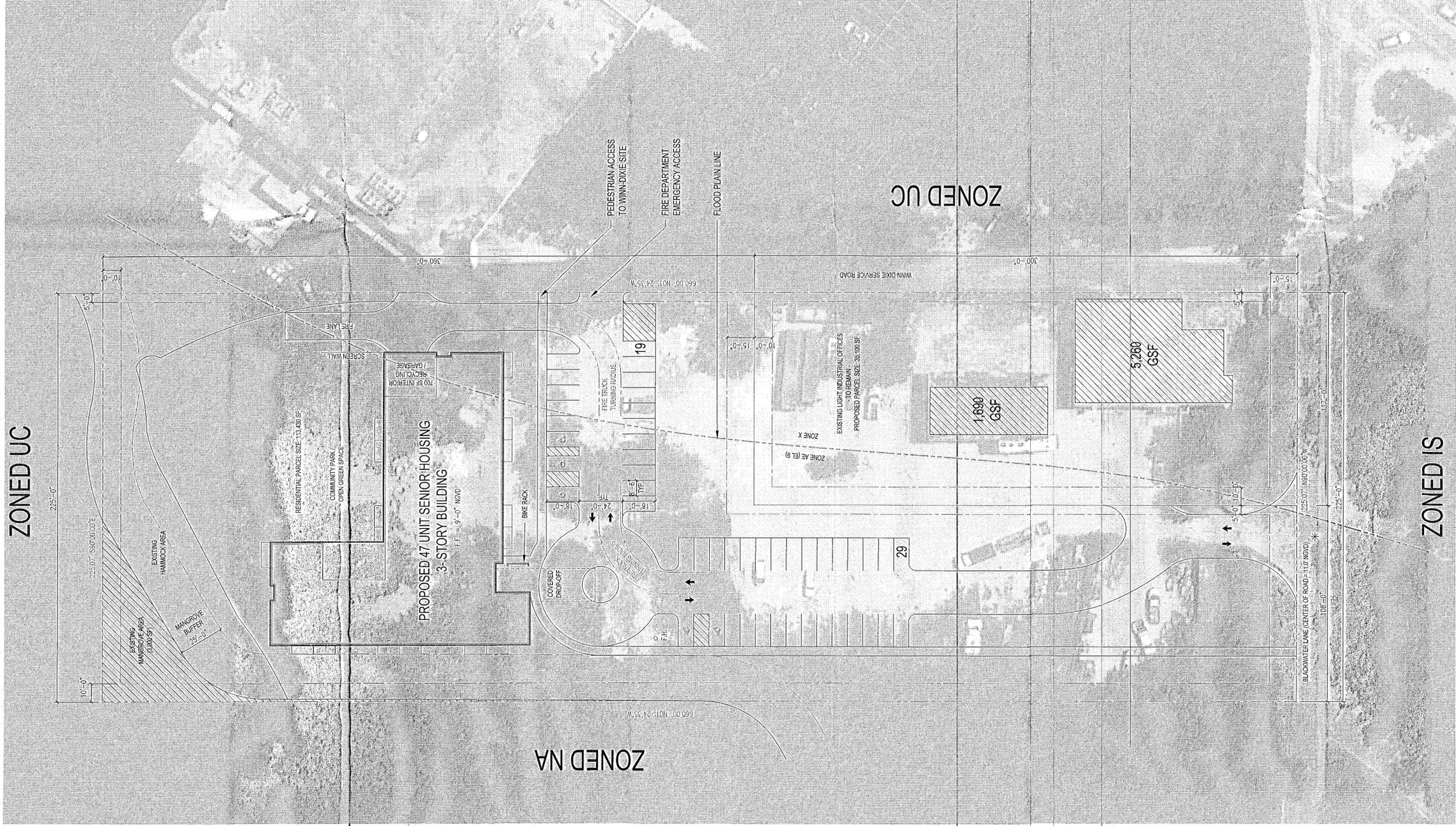


*[Signature]*  
 10-7-13

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ZONED UC



RE NUMBER: 00084260-000100

ZONING: UC - URBAN COMMERCIAL DISTRICT  
FLUM: MC MIXED USE / COMMERCIAL  
TIER III

EXISTING TOTAL PARCEL AREA: 3.41 ACRES

PROPOSED PARCELS:  
0.806 ACRES: EXISTING BUILDINGS TO REMAIN  
2.604 ACRES: NEW AFFORDABLE SENIOR HOUSING

NEW PARCEL  
PROPOSED USE: INSTITUTIONAL RESIDENTIAL  
ACCESSORY USE: ONE EMPLOYEE RESIDENTIAL DWELLING UNIT  
MINOR CONDITIONAL USE (OVER 20 ROOMS)

BUILDABLE ACRES:

2.6040 ACRES - 0.0689 ACRES (mangrove) = 2.5351 ACRES (upland)  
OPEN SPACE REQUIRED: 20% (2.5351 ACRES x 0.2) = 0.5070 ACRES  
2.5351 ACRES - 0.5070 ACRES = 2.0281 ACRES

ONE EMPLOYEE DWELLING UNIT: 12 DU/BUILDABLE ACRE MAX.  
2.0281 ACRES X 12 = 24.3372 POSSIBLE UNITS (ONE PROPOSED)  
2.0281 / 24.3372 = 0.0833 ACRES REQUIRED FOR ONE DU

2.0281 ACRES - 0.0833 ACRES = 1.9448 ACRES LEFTOVER

INSTITUTIONAL RESIDENTIAL MAX. NET DENSITY: 24 ROOMS/ACRE:  
(1.9448 ACRES X 24) = 46.675 TOTAL ROOMS (46 PROPOSED)

PARKING: 1 SPACE PER ROOM + 2 EMPLOYEE = 48 SPACES (5 P.H.)  
(BASED ON INSTITUTE OF TRAFFIC ENGINEERS PARKING STUDY)

MAX HEIGHT: 35'-0" (TAKEN FROM RIDGE OF BLACKWATER LANE )

FRONT REQ'D SETBACK: 15'

SIDE REQUIRED SETBACK: 10' / 15' COMBINED

REAR REQUIRED SETBACK: 10'

MANGROVE SETBACK BUFFER: 25'

PROPOSED IMPERVIOUS AREAS  
PROPOSED BUILDING: 14,560 SF  
PROPOSED PAVING: 29,840 SF  
TOTAL: 44,440 SF

PROPOSED RETENTION: 8,430 SF  
PROPOSED PERVIOUS: 68,990 SF

TOTAL: 113,430 SF

EXISTING PARCEL:

OPEN SPACE REQUIRED: 20% (0.806 ACRES x 0.2) = 0.1612 ACRES

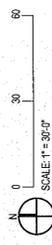
MAX. F.A.R.: 0.35 (COMMERCIAL)

(0.806 ACRES x 0.35) = 0.2821 BUILDABLE ACRES = 12,288 SF  
EXISTING BUILDING S.F.: (5,260 SF + 1,690 SF) = 6,950 SF

14,560 GSF FLOOR 1  
13,120 GSF FLOOR 2  
13,120 GSF FLOOR 3  
40,800 GSF CONDITIONED  
2,760 GSF EXTERIOR  
43,560 GSF TOTAL BLDG  
  
700 SF INTERIOR PER UNIT

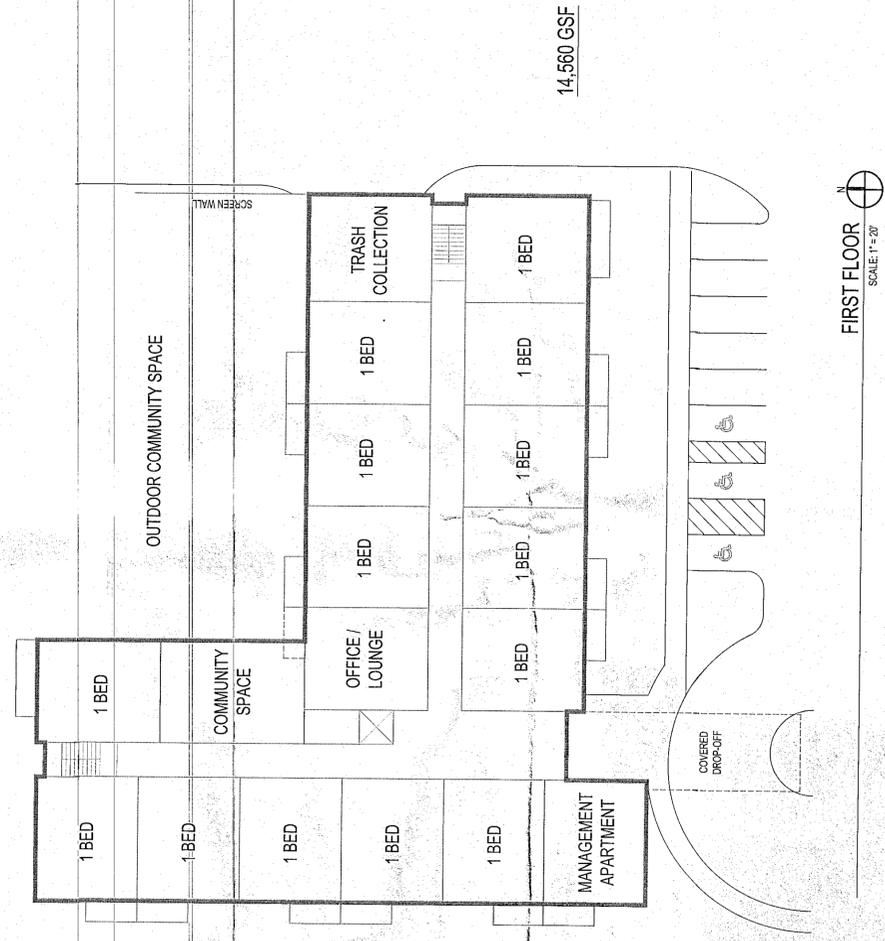
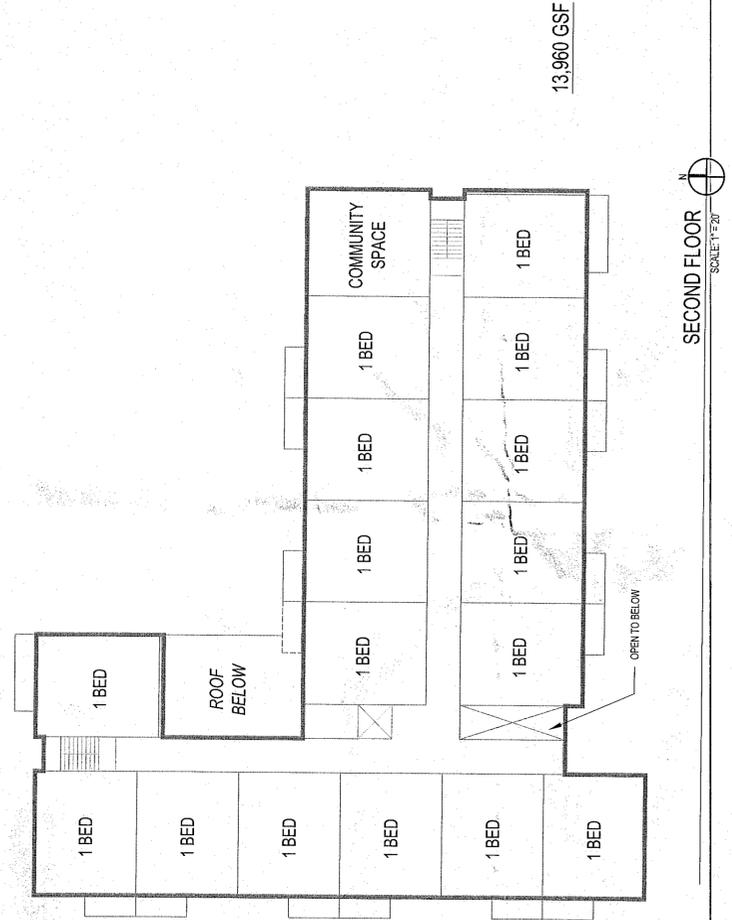
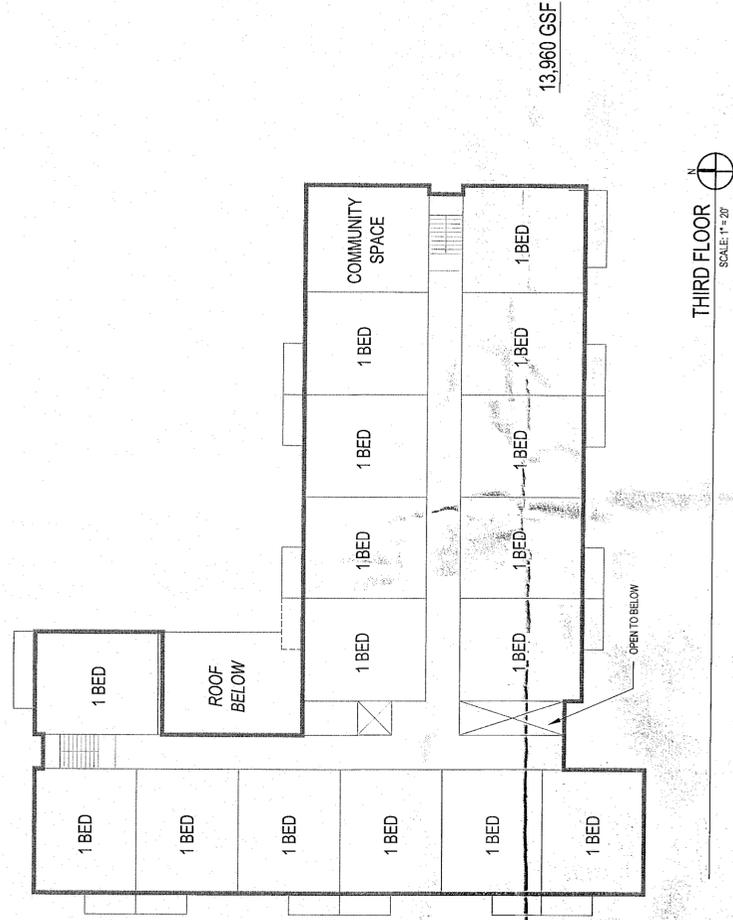


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2 Blackwater Lane, Key Largo, Florida  
Architectural Site Plan - 10/04/2013

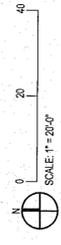


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#AAZ6002658 2 of 4

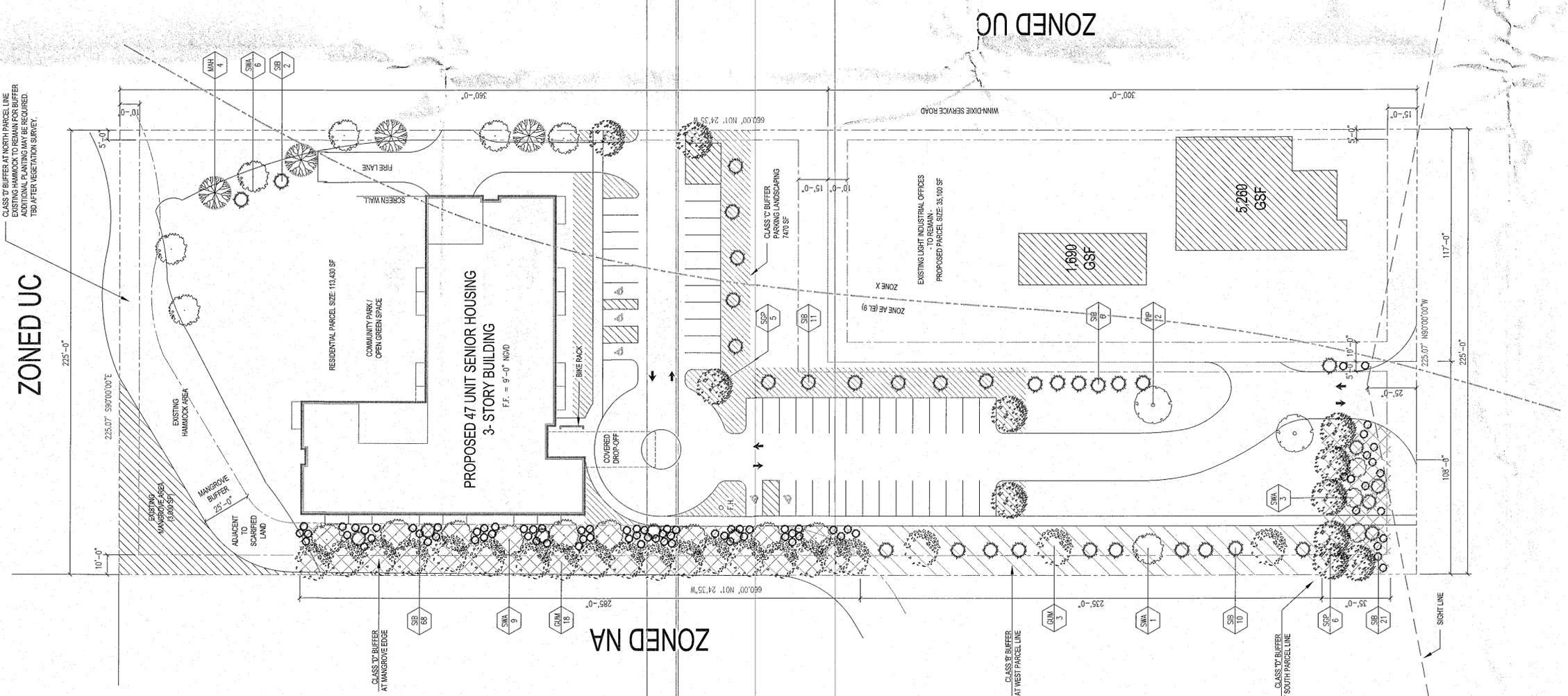
STATE OF FLORIDA  
PATRICK PATRELLO  
AR96136  
REGISTERED ARCHITECT

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2 Blackwater Lane, Key Largo, Florida  
Floor Plans - 10/04/2013



**REQUIRED BUFFERS AND PLANT LIST**

CLASS B BUFFER AT WEST PARCEL LINE - 20' WIDE

1.2 CANOPY, 0.4 UNDERSTORY, 4 SHRUBS PER 100'  
235' REQUIRES 3 CANOPY, 1 UNDERSTORY, 10 SHRUBS

QTY	KEY	PLANT NAME	MIN SIZE
3	GUM	BURSERA SIMARUBA / GUMBO LIMBO	3" DBH OR 12' TALL
1	SWA	ACACIA FARNESIANA / SWEET ACACIA	5' TALL
10	SIB	CONOCARPUS ERECTUS / BUTTONWOOD	3' TALL

CLASS C PARKING LANDSCAPING

430 SF OF PLANTING AREA WITH 2 CANOPY TREES AND 5 SHRUBS FOR EVERY 24 PARKING SPACES.  
48 PARKING SPACES PROVIDED.  
860 SF PLANTING REQUIRED WITH 4 CANOPY TREES AND 10 SHRUBS MINIMUM.  
7,470 SF PROVIDED WITH 11 SHRUBS AND 5 CANOPY TREES

QTY	KEY	PLANT NAME	MIN SIZE
5	SGP	COCCOLOBA UVIFERA / SEAGRAPE	3" DBH OR 12' TALL
11	SIB	CONOCARPUS ERECTUS / BUTTONWOOD	3' TALL

CLASS D BUFFER @ SOUTH PARCEL LINE - 35' WIDE

4-8 CANOPY, 2-4 UNDERSTORY, 19 SHRUBS REQUIRED EVERY 100'.  
108' REQUIRES 6 CANOPY, 3 UNDERSTORY, 21 SHRUBS.

QTY	KEY	PLANT NAME	MIN SIZE
6	SGP	COCCOLOBA UVIFERA / SEAGRAPE	3" DBH OR 12' TALL
3	SWA	ACACIA FARNESIANA / SWEET ACACIA	5' TALL
21	SIB	CONOCARPUS ERECTUS / BUTTONWOOD	3' TALL

CLASS D BUFFER @ MANGROVE SETBACK - 25' WIDE

6 CANOPY, 3 UNDERSTORY, 24 SHRUBS REQUIRED EVERY 100'.  
285' REQUIRES 18 CANOPY, 9 UNDERSTORY, AND 68 SHRUBS.

QTY	KEY	PLANT NAME	MIN SIZE
18	GUM	BURSERA SIMARUBA / GUMBO LIMBO	3" DBH OR 12' TALL
9	SWA	ACACIA FARNESIANA / SWEET ACACIA	3' TALL
68	SIB	CONOCARPUS ERECTUS / BUTTONWOOD	5' TALL

OTHER LANDSCAPING PROPOSED

QTY	KEY	PLANT NAME	MIN SIZE
2	PIP	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	3" DBH OR 12' TALL
4	MAH	SWIETENIA MAHAGONI / MAHOGANY	3" DBH OR 12' TALL
8	SIB	CONOCARPUS ERECTUS / BUTTONWOOD	3' TALL
5	SWA	ACACIA FARNESIANA / SWEET ACACIA	5' TALL

NO BUFFER REQUIRED BETWEEN UC AND UC ZONES

GENERAL NOTES:

- PROTECT AND KEEP EXISTING NON-INVASIVE TREES WHERE POSSIBLE
  - PROTECT AND MAINTAIN EXISTING HAMMOCK AREA DURING CONSTRUCTION.
  - PROTECT AND MAINTAIN 25' BUFFER TO EXISTING MANGROVE AREA.
  - ALL SURFACE AREA NOT PAVED OR LANDSCAPED SHALL BE PLANTED W/ BAHIA GRASS.
  - ALL TREES AND SHRUBS SHALL HAVE A MINIMUM 5' PLANTING DEPTH.
- (a) All plant material shall be free of disease and shall be one of the species shown in section 114-105 or shall be certified by the county biologist as native or tropical in character.
- (b) All plant material shall be installed in a fashion that ensures the availability of sufficient soil and water to sustain healthy growth.
- (c) All plant material shall be planted with a minimum of six inches of organic soil and mulched to a depth of three inches. All trees shall be properly guyed or staked at the time of planting.
- (d) All plant material shall be planted in a manner that is not intrusive to utilities or pavement.
- (e) A performance bond shall be posted to ensure replacement of plant material that dies within 24 months of installation.
- (f) Seventy percent of the plant material used to satisfy landscaping requirements shall be native species.
- (g) The following plants shall not be installed as landscape material:

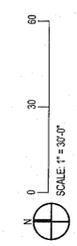
- Melaleuca, Melaleuca quinquenervia;
- Australian Pine, Casuarina (Spp.) ;
- Brazilian Pepper, Schinus terebinthifolius;
- Sapodilla, Manilkara zapota, north of the Seven Mile Bridge; and
- Leatherleaf, Colubrina asiatica.

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STATE OF FLORIDA  
PATRICK PATRELLO  
REGISTERED ARCHITECT  
AR96136

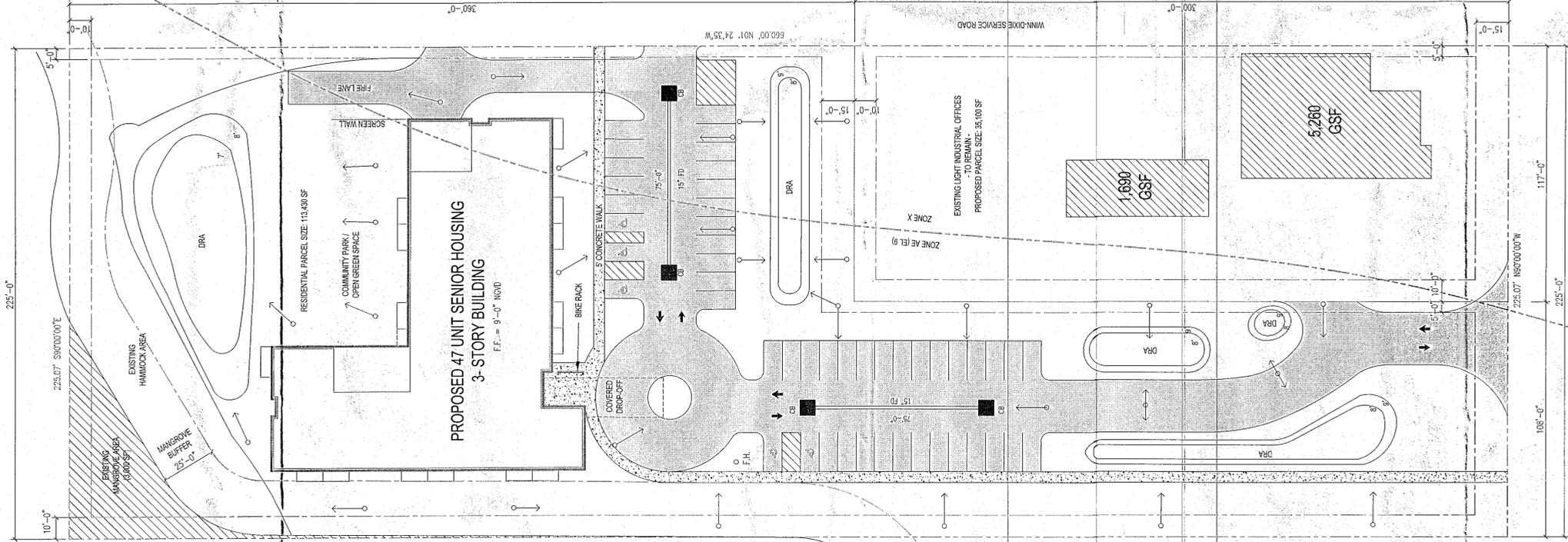
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2 Blackwater Lane, Key Largo, Florida  
Landscape Plan - 10/04/2013

ZONED UC



**LEGEND**

- CATCH BASIN - 7.5 ELEV OF GRATE TYP.
- SLOPE OF GRADE
- FRENCH DRAIN
- ASPHALTIC PAVEMENT
- NEW CONCRETE SIDEWALK

**DRAINAGE CALCULATIONS**

PROJECT AREA = 3.41 Ac  
 WET SEASON WATER ELEVATION = 1.0 FT

**WATER QUANTITY - PREDEVELOPMENT**

UPLAND AREA = 3.41 Ac  
 PERVIOUS AREA = 2.78 Ac  
 IMPVIOUS AREA = 0.63 Ac  
 % IMPVIOUS = 18.5%  
 RAINFALL FOR 25 YR / 1 DAY EVENT (P) = 8"  
 DEPTH TO WATER TABLE = > 4"  
 DEVELOPED AVAILABLE STORAGE = 8.2"  
 SOIL STORAGE (S) = (8.2)(.815) = 6.68"  
 Q = (P-Q.S)<sup>2</sup> / (P+0.8S) = 3.33"  
 VOLUME = (Q/A) = 11.34 Ac-in

RAINFALL EVENT WAS OBTAINED FROM SFMID ERP MANUAL  
 IMPVIOUS AREA INCLUDES DRIVEWAY, PARKING AREA, WALKWAYS, AND ROOF AREAS.

**WATER QUANTITY - POSTDEVELOPMENT**

UPLAND AREA = 3.41 Ac  
 PERVIOUS AREA = 1.83 Ac  
 IMPVIOUS AREA = 1.58 Ac  
 % IMPVIOUS = 46.3%  
 RAINFALL FOR 25 YR / 1 DAY EVENT (P) = 8"  
 DEPTH TO WATER TABLE = > 4"  
 DEVELOPED AVAILABLE STORAGE = 8.2"  
 SOIL STORAGE (S) = (8.2)(.537) = 4.4"  
 Q = (P-Q.S)<sup>2</sup> / (P+0.8S) = 4.33"  
 VOLUME = (Q/A) = 14.75 Ac-in

RAINFALL DEPTH WAS OBTAINED FROM SFMID ERP MANUAL  
 IMPVIOUS AREA INCLUDES EXISTING DRIVEWAY, PARKING AREAS, WALKWAYS, AND ROOF AREAS.

**POSTDEVELOPMENT - PREDEVELOPMENT**

Qpost - Qpre = 1"  
 VOLUME = (Q/A) = 3.41 Ac-in

**GENERAL NOTES:**

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH MONROE COUNTY STANDARD SPECIFICATIONS AND DETAILS. ANY DISCREPANCIES BETWEEN THOSE REQUIREMENTS AND ANYTHING SHOWN IN THESE DRAWINGS SHALL BE BROUGHT TO THE DEVELOPERS ATTENTION IMMEDIATELY.
2. GRADING SHALL CONSIST OF EXCAVATION, FILLING, SHAPING, AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION, AND COMPLETION OF ALL SUBGRADES, SHOULDERS, SLOPES, PAVEMENTS, AND OTHER AREAS, ALL IN ACCORDANCE WITH THE GRADES SHOWN.
3. DRAINAGE PIPE TO BE HIGH DENSITY CORRUGATED POLYETHYLENE (HDPE) UNLESS OTHERWISE DESIGNATED.
4. ASPHALTIC PAVEMENT SHALL CONSIST OF COMPACTED SUBGRADE, COMPACTED LIMEROCK SUBBASE AND ASPHALTIC CONCRETE.
5. CONCRETE CURB, SIDEWALK AND SLABS, WHERE INDICATED, SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE.
6. ALL REINFORCING, ALL SIZES SHALL CONFORM TO ASTM A615, GRADE 60
7. ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH, UNLESS OTHERWISE DIRECTED.
8. CONTRACTOR TO INSTALL RIP RAP AT WETLAND EDGE JUST WEST AND NORTH OF PROPOSED BUILDING.

ZONED UC

ZONED NA

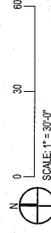
GORMAN & COMPANY INC.  
 #RA2602658 G.O.F.K.

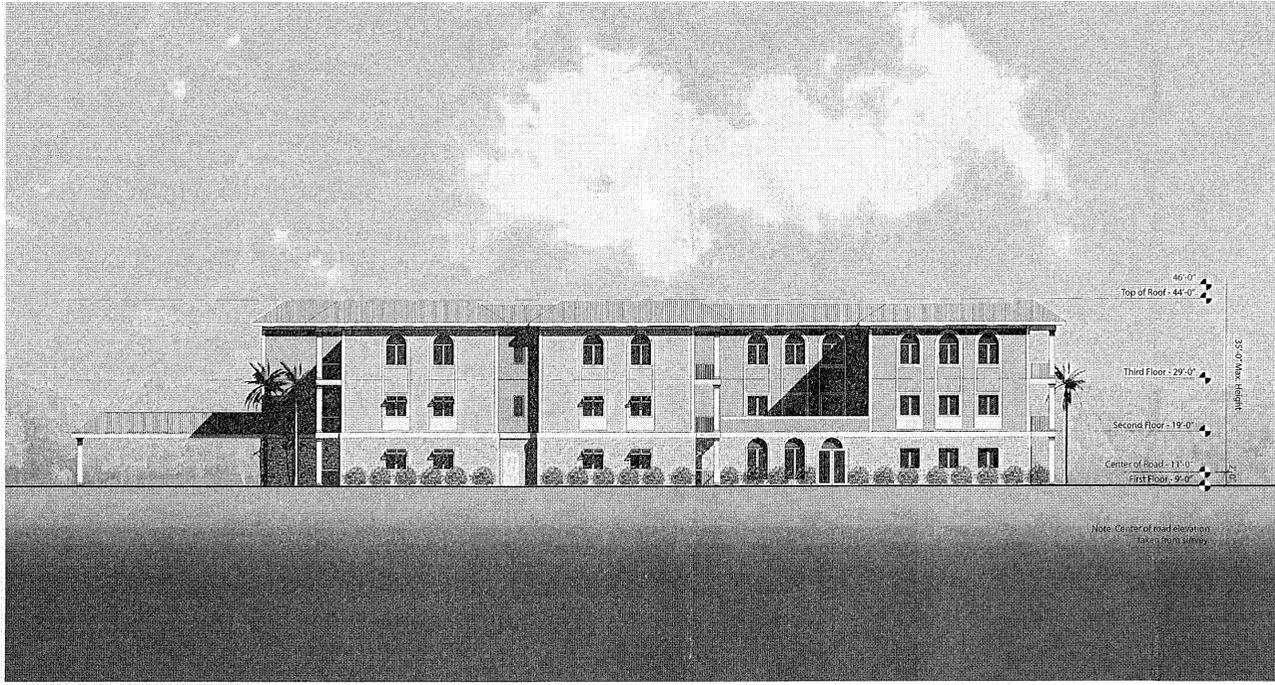


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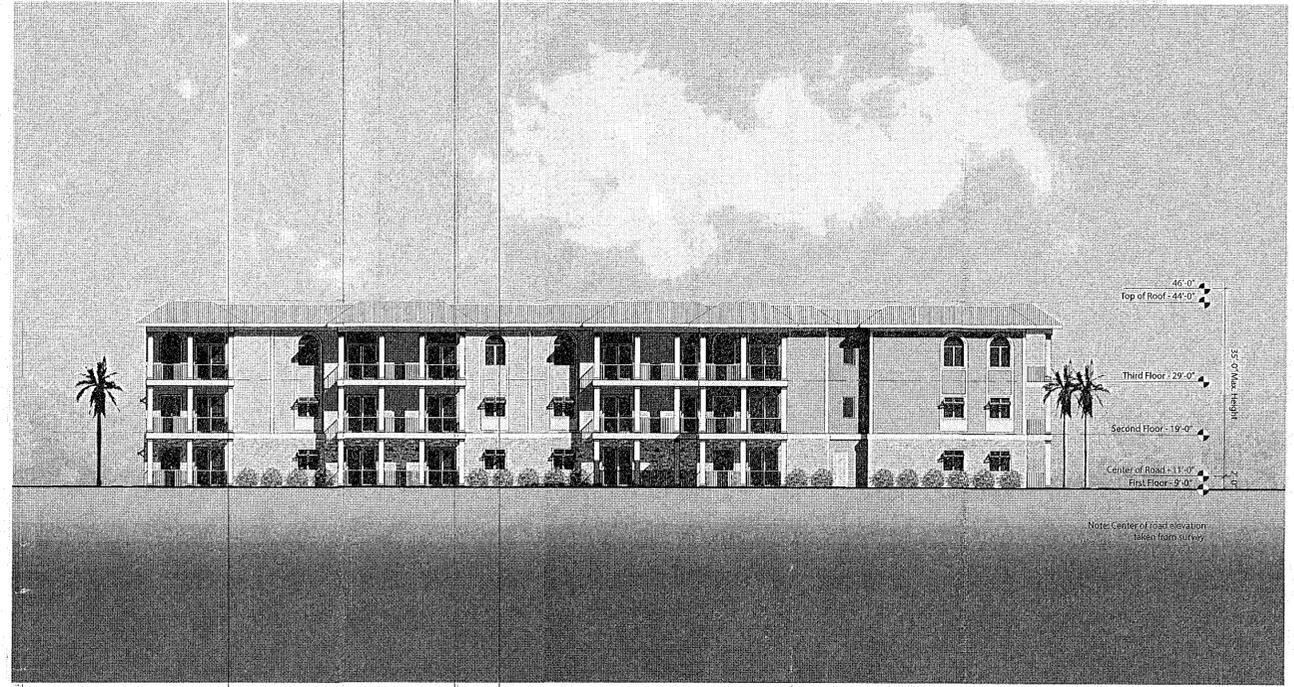
**GORMAN & COMPANY, INC.**

2 Blackwater Lane, Key Largo, Florida  
 Preliminary Drainage Plan - 10/04/2013





East Elevation



North Elevation



South Elevation

0 20 40  
SCALE: 1/16" = 1'-0"



West Elevation



*Patrick Patrello*  
10-7-13

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**SYMBOL LEGEND:**

- LIGHT POLE
  - TYPICAL STATION
  - UTILITY POLE
  - MAIL BOX
  - ELECTRIC BOX
  - TRAFFIC SIGNAL BOX
  - FIRE HYDRANT
  - STORM SEWER/CATCH BASIN
  - WATER METER
  - SIGN
  - TELEPHONE BOX
  - WATER VALVE
- ELEVATIONS**
- TRAFFIC LANE FLOW
  - CENTER LINE
  - MONUMENT LINE
  - DIAMETER

- ABBREVIATIONS:**
- A = ARC
  - AC = AIR CONDITIONER
  - B = BUILDING
  - CL = CHORD LENGTH
  - CA = CURB AND GUTTER
  - CB = CHORD BEARING
  - CM = CATCH BASIN
  - CS = CONCRETE BLOCK STUCCO
  - CE = CLEAR
  - CF = CHAIN LINK FENCE
  - CONC = CONCRETE
  - D = DELTA
  - E = EAST
  - EB = ENGINEERING BUSINESS LICENSE NUMBER
  - EL = ELEVATION
  - ELEC = ELECTRIC
  - ELEV = ELEVATION
  - ENC = ENCROACHMENT
  - EM = EDGE OF PAVEMENT
  - FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
  - FP = FOUND IRON PIPE
  - FR = FOUND IRON ROD
  - FIRM = FLOOD INSURANCE RATE MAP
  - FND = FOUND
  - FL = FLORIDA POWER AND LIGHT CO.
  - GNSS = GLOBAL NAVIGATION SATELLITE SYSTEM
  - GPS = GLOBAL POSITIONING SYSTEM
  - IP = IRON PIPE
  - L = LENGTH
  - LS = SURVEYING & MAPPING BUSINESS LICENSE NUMBER
  - LSR = LAND SURVEYOR
  - M.B.R. = MEASURED AND RECORD
  - MEAS = MEASURED
  - MH = MAN HOLE
  - N = NORTH
  - N/A = NOT APPLICABLE
  - N.DISC = NAIL & DISC
  - NAD27 = NORTH AMERICAN DATUM OF 1927
  - NAD83 = NORTH AMERICAN DATUM OF 1983
  - NAD83 ADJ = NORTH AMERICAN DATUM OF 1983 ADJUSTMENT
  - NFIP = NATIONAL FLOOD INSURANCE PROGRAM
  - NO = NATIONAL GEODETIC SURVEY
  - NO = NUMBER
  - NO ID = NO IDENTIFICATION
  - NOIDA = NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION
  - NSRS 2007 = NATIONAL SPATIAL REFERENCE SYSTEM OF 2007
  - NTS = NOT TO SCALE
  - O = DEGREE
  - O' = MINUTES OR FEET
  - O" = SECONDS OR INCHES
  - ORV = OBSERVED ANGLE
  - OE = OVERHEAD ELECTRIC
  - ORB = OFFICIAL RECORD BOOK
  - PAV = PAVEMENT
  - PL = PLANT
  - PC = POINT OF CURVATURE
  - PCC = POINT OF COMPOUND CURVATURE
  - PAGE = PAGE
  - PL = PROPERTY LINE
  - PLS = PROFESSIONAL LAND SURVEYOR
  - PI = POINT OF INTERSECTION
  - POB = POINT OF BEGINNING
  - POC = POINT OF COMMENCEMENT
  - PT = POINT OF TERMINATION
  - PRC = POINT OF REVERSE CURVATURE
  - PSM = PROFESSIONAL SURVEYOR AND MAPPER
  - R = RECORD
  - REC = RECORD
  - RNG = RANGE
  - RLS = REGISTERED LAND SURVEYOR
  - R/W = RIGHT OF WAY LINE
  - S = SOUTH
  - SEC = SECTION
  - STA = STATION
  - SWK = SIDEWALK
  - T = TANGENT
  - TOWNSHIP = TOWNSHIP
  - TYP = TYPICAL
  - W = WEST OR WITH
  - WF = WOOD FENCE
  - WM = WATER METER
  - WV = WATER VALVE
  - ZW = ZURWELLE-WHITTAKER, INC.

**FLOOD INFORMATION:**

COMMUNITY NUMBER : 125129  
 PANEL NUMBER : 12087C0767  
 SUFFIX : K  
 DATE OF FIRM : 12-18-2005  
 FIRM ZONE : AE/NA  
 BASE FLOOD ELEVATION : 9.00' AND X  
 DATE FIELD WORK : 08-22-2013  
 DATE DRAFTING : 08-29-2013  
 DATE SIGNED AND SEALED : 08-30-2013  
 REVISED FIELD SURVEY : N/A

**SURVEYOR'S NOTES:**

1. EXAMINATION OF THE ABSTRACT OF THE TITLE WILL HAVE TO BE MADE TO DETERMINE RECORD INSTRUMENTS IF ANY, AFFECTING THE PROPERTY.
2. LOCATION AND IDENTIFICATION OF UNDERGROUND ENCROACHMENTS OR UTILITIES ON AND/OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED.
3. NO SEARCH OF PUBLIC RECORDS HAS BEEN MADE (BY THIS OFFICE) FOR ACCURACY AND OR OMISSIONS.
4. THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM FROM ENCUMBRANCES, "TITLE" ABSTRACT NOT REVIEWED.
5. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
6. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ENTITIES NAMED HEREON AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.
7. DIMENSIONS, BEARINGS OR ANGLES INDICATED HEREIN ARE MEASURED AND ARE THE SAME AS PLAT VALUES UNLESS OTHERWISE INDICATED. BEARINGS ARE BASED ON SHOWN PLAT VALUES (IF ANY) OR AN ASSUMED VALUE.
8. ALL RIGHTS OF WAYS SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED.
9. UTILITY FACILITIES WITHIN UTILITY EASEMENTS NOT NOTED AS VIOLATIONS, DRIVEWAYS OR PORTIONS THEREOF WITHIN ROADWAYS NOT NOTED AS VIOLATIONS OR ENCROACHMENTS.
10. R/W LINES DEPICTED HEREON ARE REFERENCED TO THE PLATS OF PUBLIC RECORD (LISTED BELOW) NO ADDITIONAL INFORMATION WAS PROVIDED TO THIS OFFICE REGARDING CHANGES IN RIGHTS OF WAY, DEDICATIONS, LOT LINES, PROPERTY LINES, ZONING ETC.
11. THIS DRAWING IS PROPERTY OF ZURWELLE-WHITTAKER, INC AND CANNOT BE REPRODUCED WITHOUT WRITTEN CONSENT.
12. THE ELEVATION INFORMATION SHOWN HEREON (IF ANY) IS RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM, (N.G.V.D.), OF 1929, UNLESS OTHERWISE NOTED.
13. BENCHMARK USED: SEE BENCH MARK INFORMATION.
14. COORDINATES SHOWN ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983/90/ 2007 NSRS ADJUSTMENT.
15. COORDINATE CONVERSIONS (IF ANY) HAVE BEEN CONVERTED USING CORPSCON VERSION 6.6.1, FROM U.S. ARMY CORPS OF ENGINEERS ALEXANDRIA, VIRGINIA.
16. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
17. ACCURACY OF HORIZONTAL CONTROL: (FOR EXPECTED USE OF LAND AS DEFINED BY (5)-17) THE FIELD MEASUREMENTS VERIFIED BY CALCULATIONS OF A CLOSED GEOMETRIC FIGURE BASED UPON FIELD INFORMATION TAKEN IN THE FIELD BY TOTAL STATION AND OR GPS/GNSS.

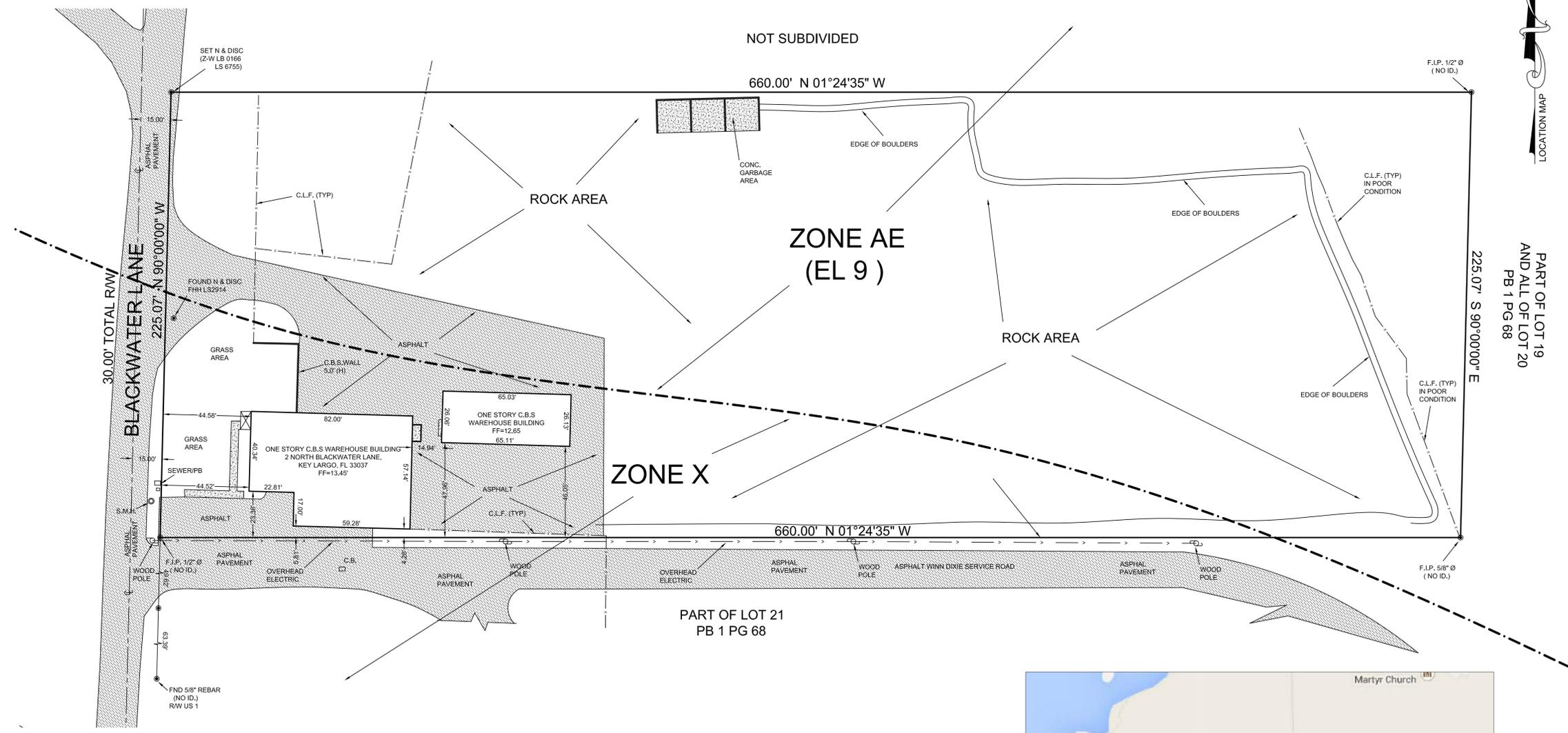
RELATIVE DISTANCE ACCURACY FOR THIS SURVEY IS MORE OR LESS.

- COMMERCIAL/HIGH RISK      LINEAR: 1 FOOT IN 10,000 FEET
- SUBURBAN      LINEAR: 1 FOOT IN 7,500 FEET
- RURAL      LINEAR: 1 FOOT IN 5,000 FEET

**SURVEYOR'S CERTIFICATE:**

I HEREBY CERTIFY THAT THE ATTACHED "BOUNDARY SURVEY" WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE SURVEY MEETS MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027.

# BOUNDARY SURVEY

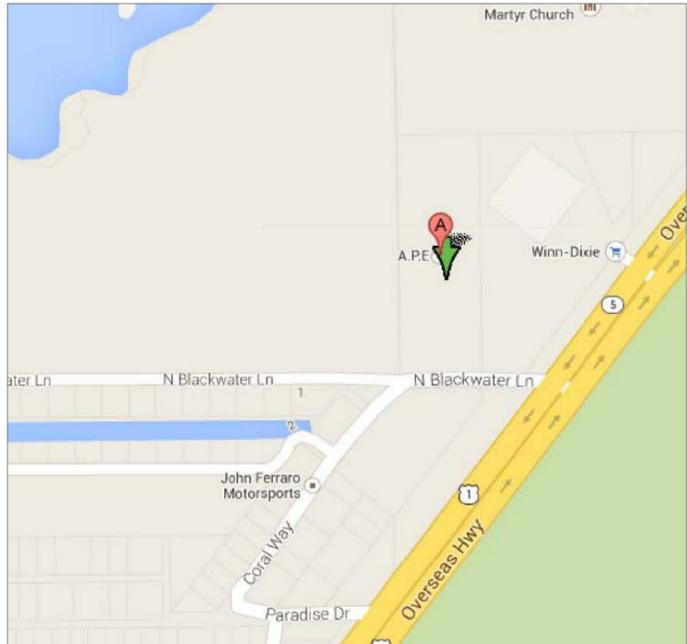


**LEGAL DESCRIPTION:**

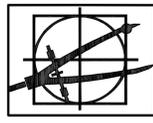
THE WEST 225 FEET OF THAT PART OF LOT 21, SECTION 21, TOWNSHIP 61 SOUTH, RANGE 39 EAST, LYING NORTHWESTERLY OF A LINE WHICH IS PARALLEL TO AND 120 FEET A DISTANCE NORTHWESTERLY OF MEASURED AT RIGHT ANGLES TO THE CENTER OF THE FLORIDA EAST COAST RAILWAY, AS NOW LOCATED AND CONSTRUCTED OVER AND ACROSS SAID LOT 21, ACCORDING TO SURVEY MADE BY T.F. JENKINS C.E. AND THE PLAT THEREOF RECORDED IN PLAT BOOK 1, AT PAGE 68, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

**CERTIFIED TO:**

- \* 2 N BLACKWATER , LLC
- \* APE , INC
- \* MR. CASEY SCHEU



**LOCATION MAP (N.T.S.)**



**ZURWELLE-WHITTAKER, INC.** ESTAB. 1926  
 CONSULTING ENGINEERS AND SURVEYORS  
 1140 WEST 50th ST., SUITE 307, HIALEAH, FL 33012 PH: (305) 534-4668 FAX (305) 531-4689  
 CERTIFICATE OF AUTHORIZATION NO. LB00001166 EB 0028651 WWW.ZURWELLE-WHITTAKER.COM  
 MEMBER: FLORIDA LAND SURVEYORS COUNCIL FLORIDA SURVEYING AND MAPPING SOCIETY

*Eddie A. Martinez*  
**EDDIE A. MARTINEZ**  
 PROFESSIONAL SURVEYOR AND MAPPER NO. LS156755  
 STATE OF FLORIDA

**PROJECT:**  
 2 NORTH BLACKWATER LANE,  
 KEY LARGO, FL 33037

JOB No. N/A  
 FIELD BOOK: J.C.CAREAGA  
 SCALE: 1"=20'  
 DRAWN: JMR  
 REVISED: EAM  
 REVISIONS: 06-22-1997  
 SHEET No. 1 OF 1

LOCATION MAP

PART OF LOT 19  
 AND ALL OF LOT 20  
 PB 1 PG 68

CAD FILE: X:\PLANS\LAND PROJECTS\3\2 BLACKWATER DRIVE\KEY LARGO\DWG



**APPLICANT:**  
Gorman & Company, Inc.

Miami Office:  
9100 South Dadeland Blvd, Suite 1500  
Miami, FL 33156  
Phone: (305) 668-5810

Corporate Office:  
200 North Main Street  
Oregon, WI 53575  
Phone: (608) 835-6339

**AGENT:**  
RC3 World, Inc.

411 Ridgewood Road NE  
Atlanta, GA 30307  
Phone: (678) 708-9247

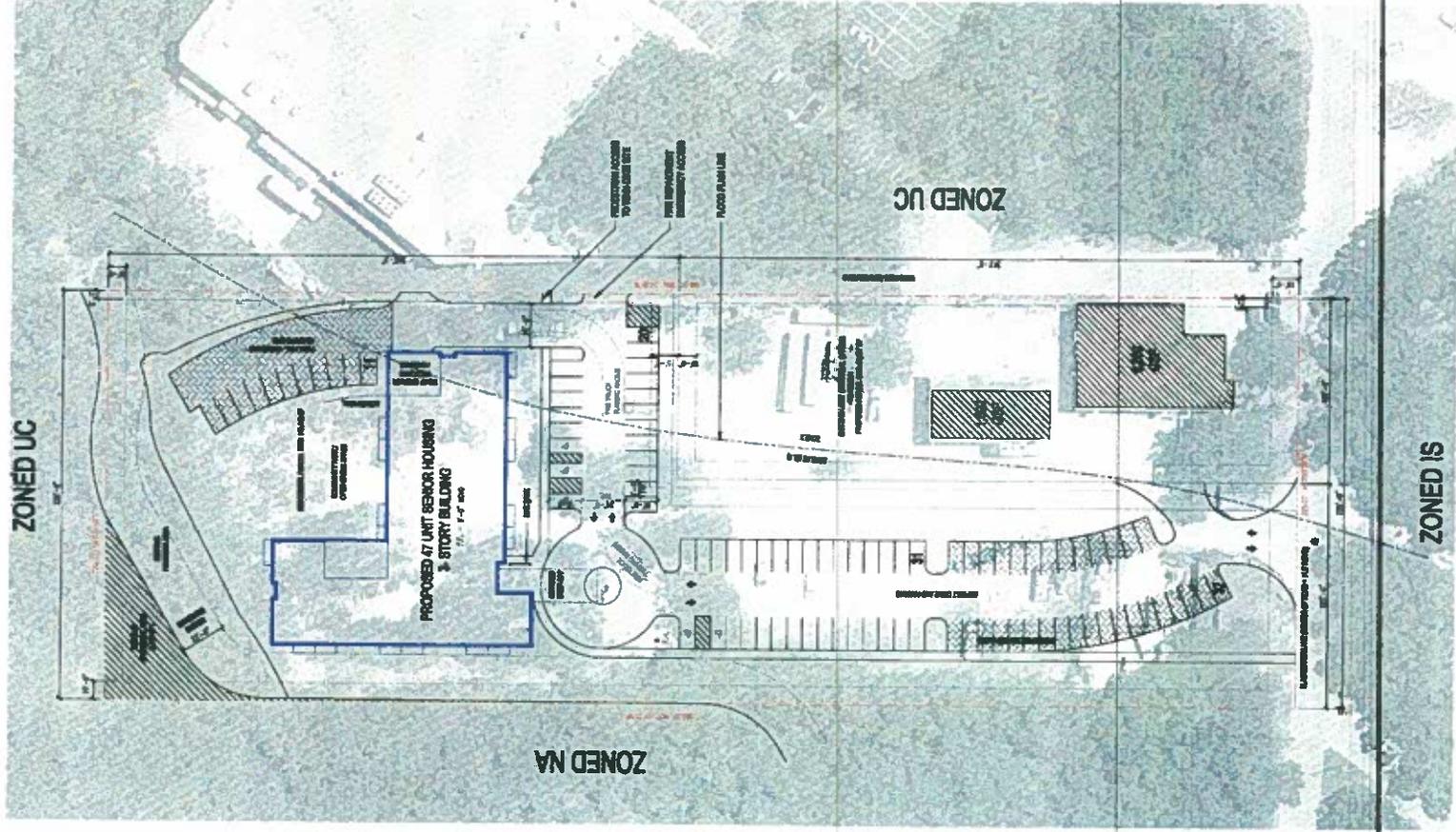


**CONDITIONAL USE SITE PLAN APPROVAL**

**SHEET**

- 1 of 7: Cover and Rendering
- 2 of 7: Architectural Site Plan
- 3 of 7: Floor Plans
- 4 of 7: Landscape Plan
- 5 of 7: Preliminary Drainage Plan
- 6 of 7: Elevations
- 7 of 7: View from Blackwater Lane





RE NUMBER: 0004500-000100

ZONING: UC - URBAN COMMERCIAL DISTRICT  
 FLUM: MC MIXED USE / COMMERCIAL  
 TIER III

EXISTING TOTAL PARCEL AREA: 3.41 ACRES

PROPOSED PARCELS:

0.066 ACRES: EXISTING BUILDINGS TO REMAIN  
 2.804 ACRES: NEW AFFORDABLE SENIOR HOUSING

NEW PARCEL:

PROPOSED USE: INSTITUTIONAL RESIDENTIAL  
 ACCESSORY USE: ONE EMPLOYEE RESIDENTIAL DWELLING UNIT  
 MAJOR CONDITIONAL USE (OVER 20 ROOMS)

BUILDABLE ACRES:

2.804 ACRES - 0.066 ACRES (margin) = 2.738 ACRES (upland)  
 OPEN SPACE REQUIRED: 20% (2.738 ACRES x 0.2) = 0.5476 ACRES  
 2.738 ACRES - 0.5476 ACRES = 2.1904 ACRES

ONE EMPLOYEE DWELLING UNIT: 12 BUILDABLE ACRE MAX.  
 2.021 ACRES x 12 = 24.252 POSSIBLE UNITS (ONE PROPOSED)  
 2.021 / 24.352 = 0.083 ACRES REQUIRED FOR ONE DU

2.021 ACRES = 0.083 ACRES = 1.948 ACRES LEFTOVER

INSTITUTIONAL RESIDENTIAL MAX NET DENSITY: 24 ROOMS/ACRE  
 (1.948 ACRES x 24) = 46.756 TOTAL ROOMS (48 PROPOSED)

PARKING: 2 SPACES PER UNIT = 94 SPACES (9 P.H.)

MAX HEIGHT: 32'-0" (TAKEN FROM RIDGE OF BLACKWATER LANE)

FRONT SETBACK: 18'

SIDE REQUIRED SETBACK: 10' / 15' COMBINED

REAR REQUIRED SETBACK: 10'

MANGROVE SETBACK BUFFER: 25'

PROPOSED IMPERVIOUS AREAS

PROPOSED BUILDING: 14,000 SF

PROPOSED PAVING: 23,000 SF

TOTAL: 44,440 SF

PROPOSED PERIMETER: 8,400 SF

PROPOSED PERIMETER: 60,000 SF

TOTAL: 113,448 SF

EXISTING PARCEL:

OPEN SPACE REQUIRED: 20% (0.066 ACRES x 0.2) = 0.132 ACRES

MAX F.A.R.: 0.24 (COMMERCIAL)

(0.066 ACRES x 0.24) = 0.021 BUILDABLE ACRES = 12,200 SF

EXISTING BUILDING S.F.: (0,200 SF + 1,000 SF) = 4,000 SF

14,000 GSF FLOOR 1

13,120 GSF FLOOR 2

13,120 GSF FLOOR 3

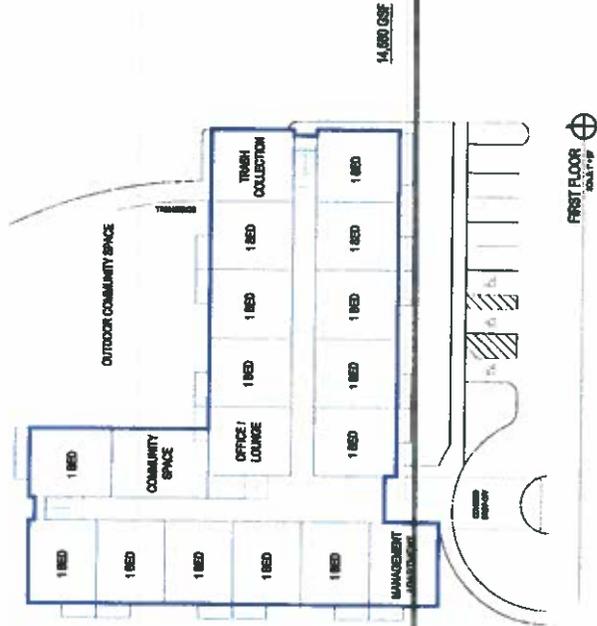
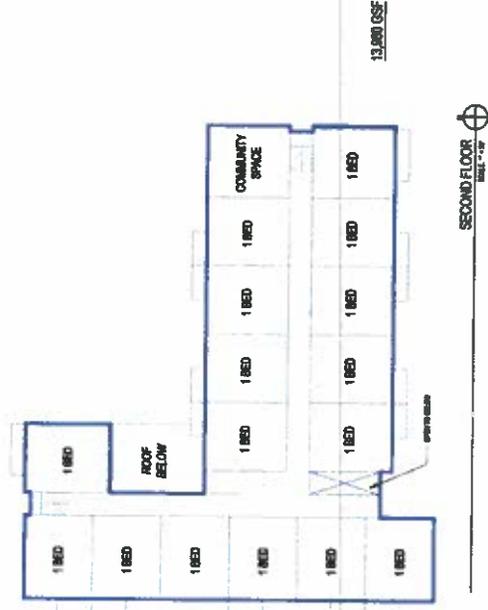
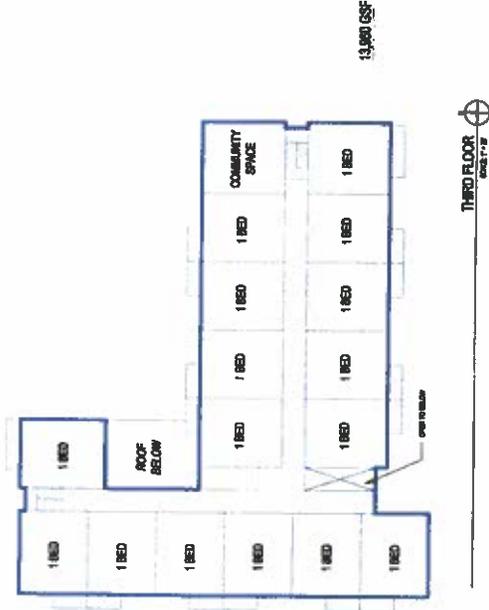
8,400 GSF PERIMETER

2,100 GSF EXTERIOR

43,000 GSF TOTAL BLDG

700 SF INTERIOR PER UNIT





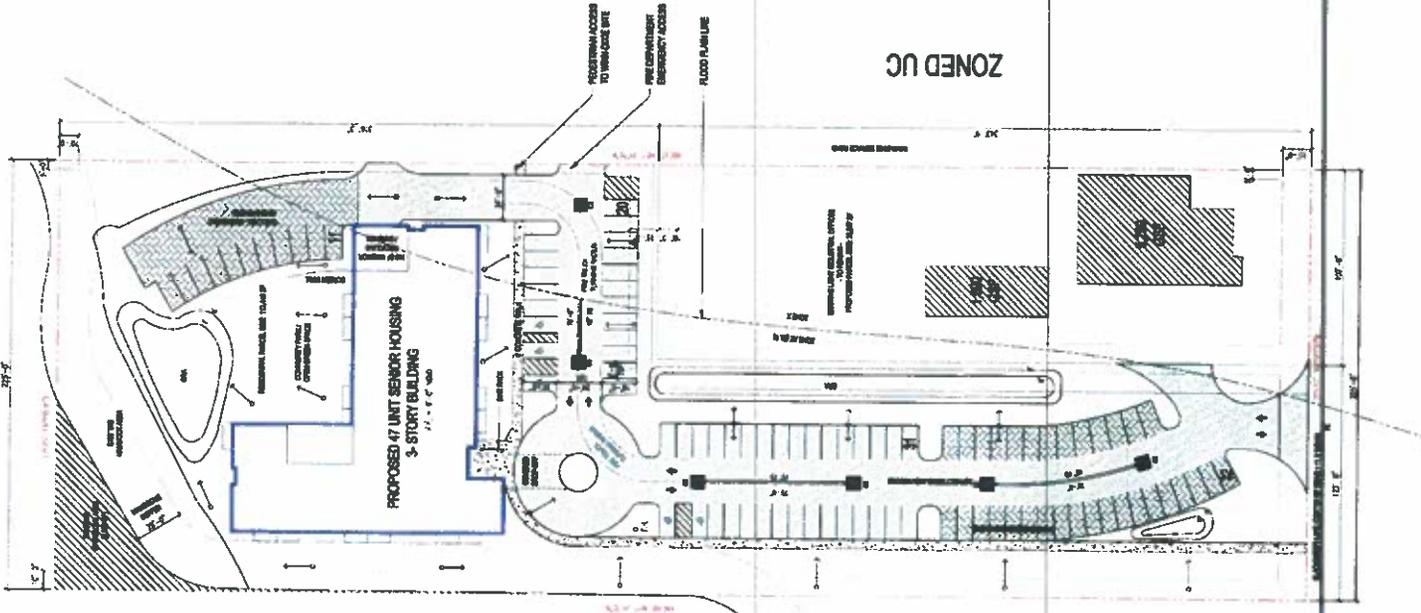
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12:31 PM  
OFFICE OF PLANNING DEPT

COMMUNITY PLAN  
C-10-A APPROVED  
12/13/13





ZONED UC



ZONED NA

ZONED UC

**LEGEND**

- CATCH BASIN - 7.5 BURY OF GRATE TYP.
- SLOPE OF GRADE
- FRENCH DRAIN
- ASPHALTIC PAVEMENT
- NEW CONCRETE SIDEWALK

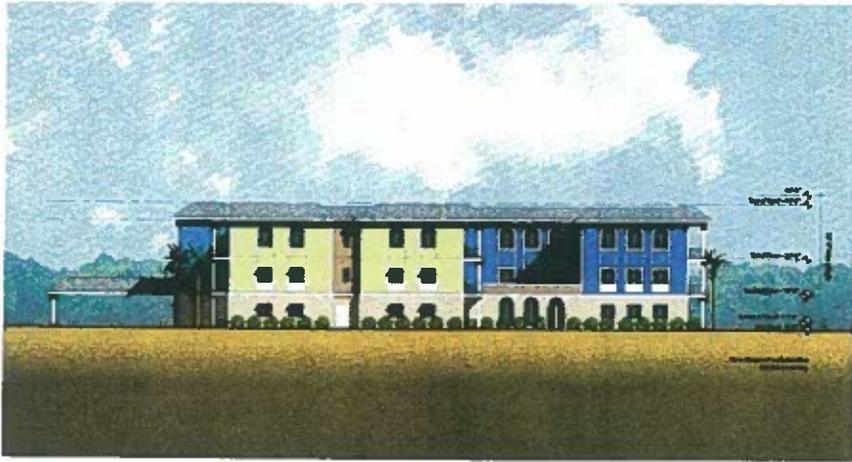
**DRAINAGE CALCULATIONS**

PROJECT AREA	3.41 AC
NET BUILDING WATER ELEVATION	13.17'
WATER QUANTITY - PREDEVELOPMENT	3.41 AC
WATER QUANTITY - DEVELOPMENT	1.87 AC
IMPERVIOUS AREA	1.87 AC
% IMPERVIOUS	54.8%
RAINFALL FOR 24 H 1 DAY EVENT (P)	4.0"
DEPTH TO UNDER TABLE	2'-0"
SOIL STORAGE (S) - (S) (I) (P)	0.0'
P-FACTOR	0.35
VOLUME - (CU) =	11.59 ACFT
MINIMUM LENGTH OF DRAINAGE FROM BOUNDARY OF BUILDING	11.59 ACFT
MINIMUM AREA INCLUDED (CONCRETE, PAVED AREA, YARDLAND, AND ROOF AREA)	3.41 AC
PERCENT DEVELOPMENT - PREDEVELOPMENT	3.41 AC
PERCENT DEVELOPMENT - DEVELOPMENT	1.87 AC
PERCENT DEVELOPMENT - IMPERVIOUS	1.87 AC
PERCENT DEVELOPMENT - IMPERVIOUS	54.8%
RAINFALL FOR 24 H 1 DAY EVENT (P)	4.0"
DEPTH TO UNDER TABLE	2'-0"
SOIL STORAGE (S) - (S) (I) (P)	0.0'
P-FACTOR	0.35
VOLUME - (CU) =	4.37 ACFT
MINIMUM LENGTH WAS OBTAINED FROM BOUNDARY OF IMPERVIOUS AREA	11.59 ACFT
MINIMUM AREA INCLUDED (CONCRETE, PAVED AREA, YARDLAND, AND ROOF AREA)	3.41 AC
PERCENT DEVELOPMENT - PREDEVELOPMENT	3.41 AC
PERCENT DEVELOPMENT - DEVELOPMENT	3.41 AC

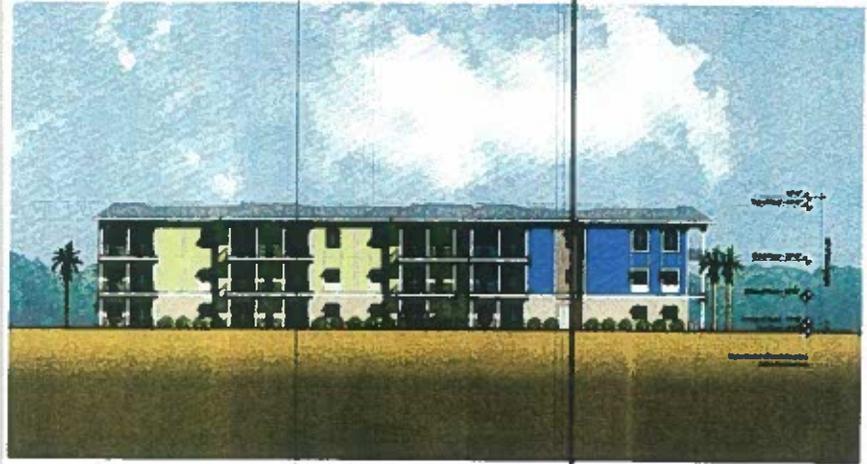
- GENERAL NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH HENRY COUNTY STANDARD SPECIFICATIONS AND LOCAL ORDINANCES. ALL WORK SHALL BE SUBJECT TO THE SUPERVISOR'S ATTENTION AND APPROVAL.
  - CONCRETE SHALL BE READY TO RECEIVE FORMS, SHAPES, AND REINFORCEMENT FOR THE CONSTRUCTION OF ALL STRUCTURES. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE DESIGN DRAWINGS.
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 HENRY COUNTY PLANNING DEPT

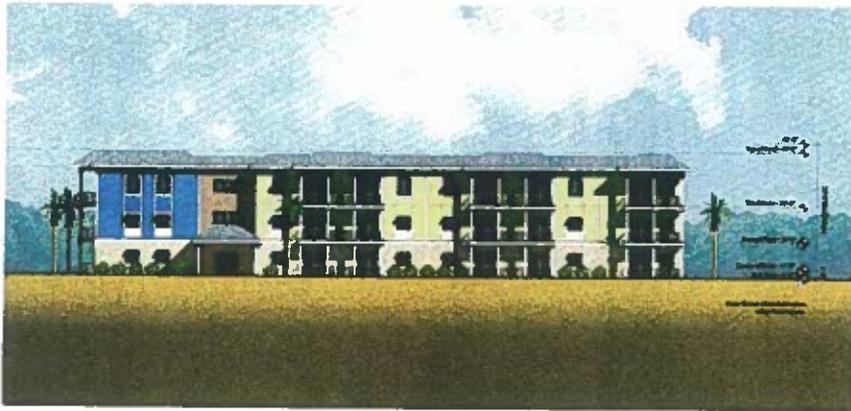




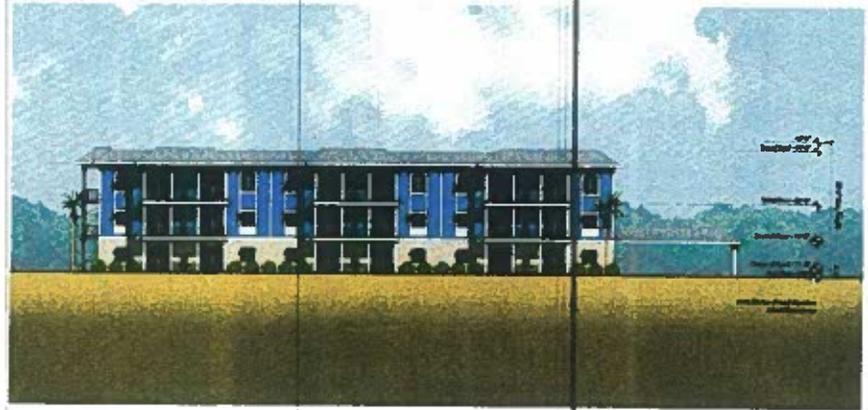
East Elevation



North Elevation



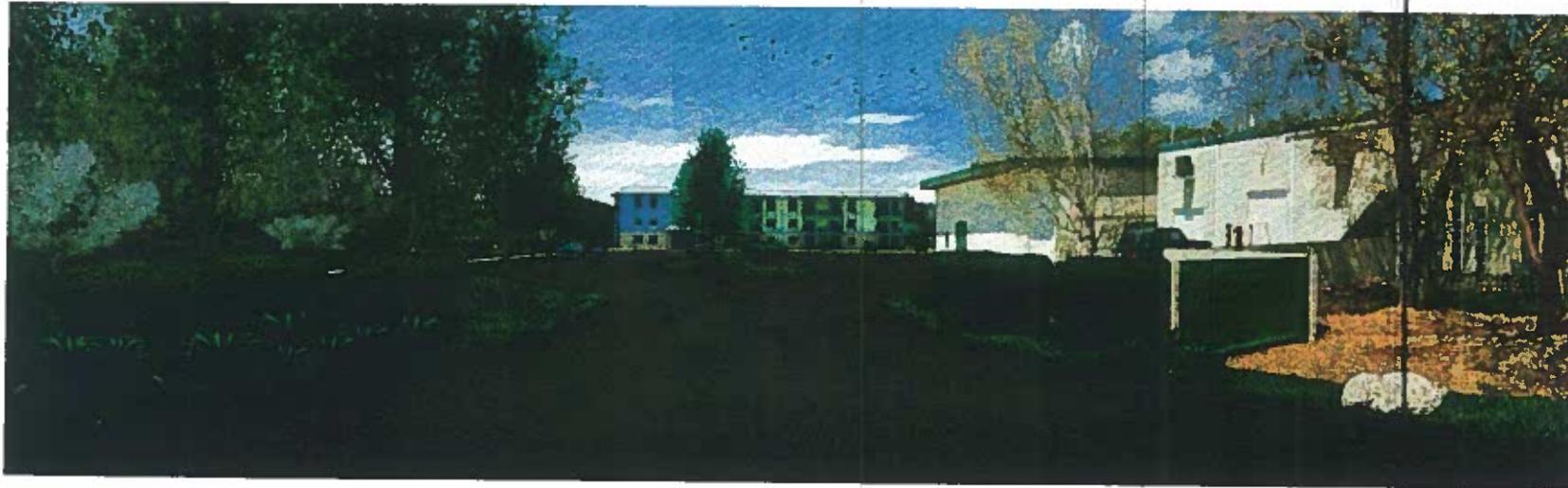
South Elevation



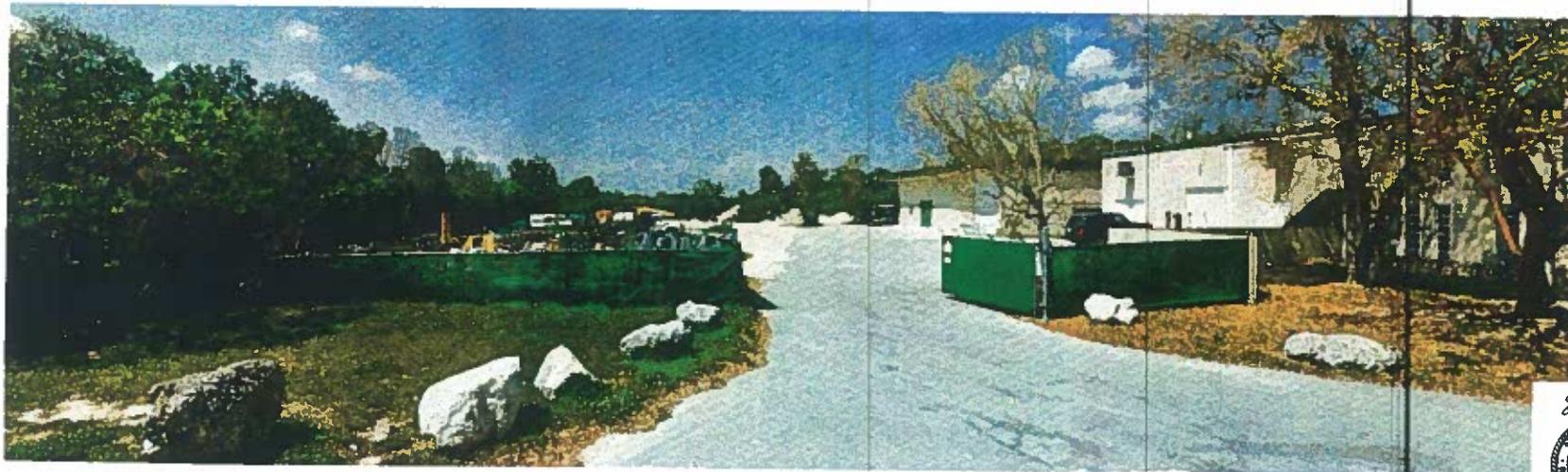
West Elevation

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 JUN 13 2013  
 SPANISH CO PLANNING DEPT

*Gorman & Co. Inc.  
 City of Miramar*



STREET VIEW FROM BLACKWATER LANE - PROPOSED CONDITION



STREET VIEW FROM BLACKWATER LANE - EXISTING CONDITION

RECEIVED  
NOV 13 2013  
MONROE COUNTY PLANNING DEPT

GORMAN & ASSOCIATES  
CITY OF MONROE  
11/13/13

## Creech-Gail

---

**From:** Lee Rohe <lrrlaw@bellsouth.net>  
**Sent:** Thursday, January 23, 2014 8:24 AM  
**To:** Creech-Gail  
**Cc:** Aaron Moss  
**Subject:** PC meeting for 1/29 --- Applicant: Gorman & Scheu

Gail,

For next week's meeting, Miles Moss, a traffic engineer, will send you a zip file with docs and photos for the hearing. I represent Stillwright Property Owners Assoc whose members are objecting to the senior housing project. Do we need to deliver hard copies of the exhibits?

Lee R. Rohe  
745-2254

RECEIVED

JAN 24 2014

MONROE CO. PLANNING DEPT



Paradise Point Senior Residences  
Traffic Safety Analysis  
Miles Moss & Associates, Inc

Google earth

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MONROE CO. PLANNING DEPT



Paradise Point Senior Residences  
Traffic Safety Analysis  
Miles Moss & Associates, Inc

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Traffic Safety Analysis  
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Paradise Point Senior Residences  
Traffic Safety Analysis  
Miles Moss & Associates, Inc

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JAN 24 2014

MONROE CO. PLANNING DEPT

Printed: 04/22/2013 at 13:24  
TrafficViewer Pro v1.4.4.100

PicoCount 2500 V2.20 (s/n# 12082020)

Daily Southbound Speeds (MPH)

Location: US-1 NORTH OF MICHELE DR  
Unit ID:  
Study Date: 04/15/2013 / 04/16/2013

Table with 17 columns (5-10 to Total) and 48 rows of speed data for various time intervals from 12:00 to 01:15.

W:\US-1 SPEED STUDY\SB- LANE 1.tvp

Paradise Point Senior Residences  
Traffic Safety Analysis  
Milos Moss & Associates, Inc.

Printed: 04/22/2013 at 13:24  
TrafficViewer Pro v1.4.4.100

PicoCount 2500 V2.20 (s/n# 12082020)

Daily Southbound Speeds (MPH)

Location: US-1 NORTH OF MICHELE DR  
Unit ID:  
Study Date: 04/15/2013 / 04/16/2013

Table with 17 columns (5-10 to Total) and 48 rows of speed data for various time intervals from 01:30 to 01:15, including a Totals row and Percent of AM/PM rows.

Standard Deviation: 6.7 MPH Ten Mile Pace: 50 to 59 MPH 85th Percentile: 58.7 MPH  
Mean Speed: 52.6 MPH Percent in Ten Mile Pace: 67.0% 15th Percentile: 47.0 MPH  
Median Speed: 53.2 MPH 90th Percentile: 59.9 MPH  
Modal Speed: 53.0 MPH 95th Percentile: 60.6 MPH

W:\US-1 SPEED STUDY\SB- LANE 1.tvp

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 MONROE CO. PLANNING DEPT

Printed: 04/22/2013 at 13:33  
 TrafficViewer Pro v1.4.4.100

PicoCount 2500 V2.20 (s/n# 13011686)

### Daily Southbound Speeds (MPH)

Location: US-1 NORTH OF MICHELE DR  
 Unit ID:  
 Study Date: 04/15/2013 / 04/16/2013

	5-10	10-15	15-20	20-25	25-30	30-35	35-40	40-45	45-50	50-55	55-60	60-65	65-70	70-75	75-80	Total
12:00 - 12:14	0	0	0	0	0	4	4	19	63	52	20	1	0	0	0	163
12:15 - 12:29	0	0	0	0	0	0	5	38	80	43	5	0	0	0	0	171
12:30 - 12:44	0	0	0	0	0	0	4	15	55	62	17	2	1	0	0	158
12:45 - 12:59	0	0	0	0	0	0	3	7	64	68	22	4	0	0	0	168
13:00 - 13:14	0	0	0	0	0	0	3	27	57	52	12	3	0	0	0	154
13:15 - 13:29	0	0	0	0	0	1	2	13	75	62	18	3	1	0	0	175
13:30 - 13:44	0	0	0	0	0	0	4	22	75	46	11	1	0	0	0	159
13:45 - 13:59	0	0	0	0	0	2	6	23	46	64	5	2	0	0	0	148
14:00 - 14:14	0	0	0	0	0	0	6	20	64	51	16	1	0	0	0	158
14:15 - 14:29	0	0	0	0	0	1	2	8	61	46	20	1	0	0	0	139
14:30 - 14:44	0	0	0	0	1	0	4	12	52	64	15	5	0	0	0	153
14:45 - 14:59	0	0	0	0	0	0	4	16	64	44	11	2	0	0	0	141
15:00 - 15:14	0	0	0	0	0	0	3	26	60	55	16	1	0	0	0	181
15:15 - 15:29	0	0	0	0	0	0	4	11	63	54	13	4	0	0	0	149
15:30 - 15:44	0	0	0	0	0	0	0	22	58	49	17	4	2	0	0	152
15:45 - 15:59	0	0	0	0	0	0	5	25	62	45	11	1	0	0	0	149
16:00 - 16:14	0	0	0	0	0	1	1	8	57	64	19	3	0	0	0	153
16:15 - 16:29	0	0	0	0	0	0	0	4	39	55	19	5	0	0	0	122
16:30 - 16:44	0	0	0	0	0	0	0	8	53	59	19	2	0	0	0	141
16:45 - 16:59	0	0	0	0	0	1	2	10	38	48	26	6	0	0	0	131
17:00 - 17:14	0	0	0	0	1	0	2	2	41	69	23	3	0	0	0	141
17:15 - 17:29	0	0	0	0	0	0	4	13	44	56	14	3	0	0	0	134
17:30 - 17:44	0	0	0	0	0	0	2	7	28	51	27	5	1	0	0	121
17:45 - 17:59	0	0	0	0	0	0	0	8	45	57	20	5	0	0	0	135
18:00 - 18:14	0	0	0	0	0	0	0	6	36	43	23	3	1	0	0	112
18:15 - 18:29	0	0	0	0	0	1	4	11	34	42	12	7	0	0	0	111
18:30 - 18:44	0	0	0	0	0	0	1	4	33	49	22	6	0	0	0	115
18:45 - 18:59	0	0	0	0	0	0	0	3	22	39	20	6	0	0	0	90
19:00 - 19:14	0	0	0	0	0	1	2	9	23	38	15	7	0	0	0	95
19:15 - 19:29	0	0	0	0	0	0	2	6	23	38	14	1	1	0	0	85
19:30 - 19:44	0	0	0	0	0	0	1	6	25	28	26	4	2	0	0	92
19:45 - 19:59	0	0	0	0	0	0	0	11	44	38	11	1	0	0	0	105
20:00 - 20:14	0	0	0	0	0	0	4	4	27	33	3	0	1	0	0	72
20:15 - 20:29	0	0	0	0	0	0	1	18	20	22	3	1	1	0	0	66
20:30 - 20:44	0	0	0	0	0	0	0	5	33	36	12	1	0	0	0	87
20:45 - 20:59	0	0	0	0	0	0	2	4	11	29	8	0	0	0	0	54
21:00 - 21:14	0	0	0	0	0	0	0	6	12	22	7	0	0	0	0	47
21:15 - 21:29	0	0	0	0	0	1	1	4	23	19	4	1	1	0	0	54
21:30 - 21:44	0	0	0	0	0	0	2	4	18	18	1	0	0	0	0	43
21:45 - 21:59	0	0	0	0	0	2	8	21	13	7	3	0	0	0	0	62
22:00 - 22:14	0	0	0	0	0	0	0	1	16	14	3	0	0	0	0	34
22:15 - 22:29	0	0	0	0	0	1	1	1	17	15	3	0	2	0	0	40
22:30 - 22:44	0	0	0	0	0	0	2	8	19	5	1	0	0	0	0	35
22:45 - 22:59	0	0	0	0	0	0	0	4	8	21	2	0	0	0	0	35
23:00 - 23:14	0	0	0	0	0	0	0	0	11	8	7	2	0	0	0	28
23:15 - 23:29	0	0	0	0	0	0	2	5	12	3	0	0	0	0	0	22
23:30 - 23:44	0	0	0	0	0	0	6	6	8	1	1	0	0	0	0	22
23:45 - 23:59	0	0	0	0	1	0	1	0	4	8	2	0	0	0	0	14
00:00 - 00:14	0	0	0	0	0	1	0	1	9	10	10	2	0	0	0	33
00:15 - 00:29	0	0	0	0	0	0	1	4	6	3	1	0	0	0	0	15
00:30 - 00:44	0	0	0	0	0	0	0	2	2	6	7	1	0	0	0	19
00:45 - 00:59	0	0	0	0	0	0	0	0	0	8	2	0	0	0	0	8
01:00 - 01:14	0	0	0	0	0	0	0	0	2	5	2	0	0	0	0	9
01:15 - 01:29	0	0	0	0	0	0	1	1	8	1	0	0	0	0	0	11

Printed: 04/22/2013 at 13:33  
 TrafficViewer Pro v1.4.4.100

PicoCount 2500 V2.20 (s/n# 13011686)

### Daily Southbound Speeds (MPH)

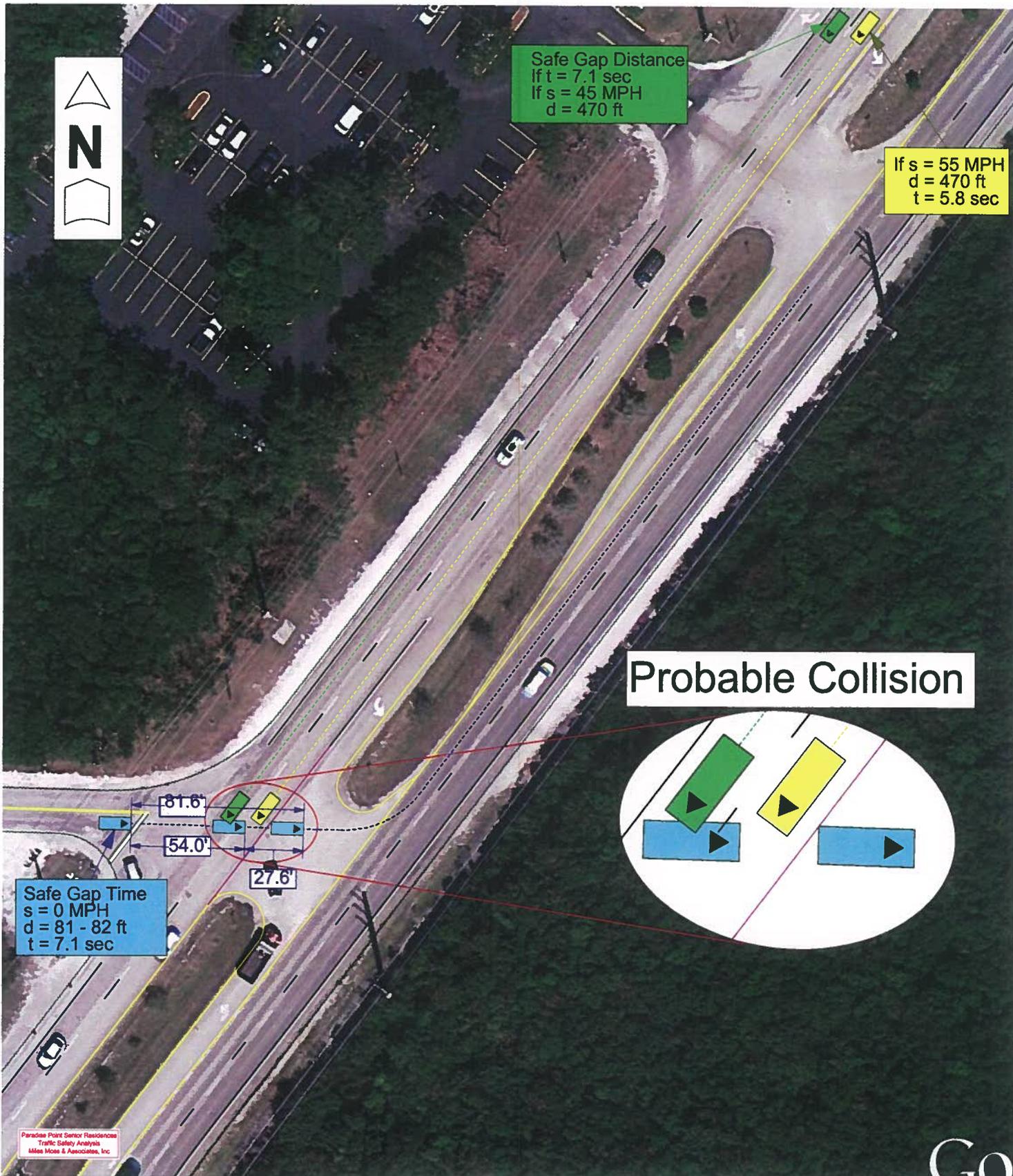
Location: US-1 NORTH OF MICHELE DR  
 Unit ID:  
 Study Date: 04/15/2013 / 04/16/2013

	5-10	10-15	15-20	20-25	25-30	30-35	35-40	40-45	45-50	50-55	55-60	60-65	65-70	70-75	75-80	Total
01:30 - 01:44	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	14
01:45 - 01:59	0	0	0	0	0	0	0	0	0	2	4	1	1	0	0	8
02:00 - 02:14	0	0	0	0	0	0	0	0	0	2	9	4	1	0	0	16
02:15 - 02:29	0	0	0	0	0	0	1	0	2	2	1	0	0	0	0	8
02:30 - 02:44	0	0	0	0	0	1	0	2	1	3	0	0	0	0	0	7
02:45 - 02:59	0	0	0	0	0	0	0	0	1	4	2	0	0	0	0	7
03:00 - 03:14	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0	6
03:15 - 03:29	0	0	0	0	0	0	0	0	0	5	0	0	0	0	0	5
03:30 - 03:44	0	0	0	0	0	0	0	0	0	1	4	0	0	0	0	5
03:45 - 03:59	0	0	0	0	0	0	0	0	2	4	4	0	0	0	0	10
04:00 - 04:14	0	0	0	0	0	0	0	0	0	7	8	0	0	0	0	15
04:15 - 04:29	0	0	0	0	0	0	0	0	0	4	12	2	1	0	0	19
04:30 - 04:44	0	0	0	0	1	0	0	0	0	4	8	1	3	0	0	17
04:45 - 04:59	0	0	0	0	0	0	0	3	2	6	2	2	0	0	0	15
05:00 - 05:14	0	0	0	0	0	0	0	2	3	8	10	0	0	0	0	23
05:15 - 05:29	0	0	0	0	0	0	0	0	7	15	6	3	0	0	0	31
05:30 - 05:44	0	0	0	0	0	0	2	2	11	15	8	2	0	0	0	40
05:45 - 05:59	0	0	0	0	0	0	0	2	9	20	11	2	0	0	0	44
06:00 - 06:14	0	0	0	0	0	0	0	0	18	22	18	5	0	0	0	61
06:15 - 06:29	0	0	0	0	0	0	0	2	4	29	17	12	3	0	0	67
06:30 - 06:44	0	0	0	0	0	0	1	6	28	33	17	2	0	0	0	87
06:45 - 06:59	0	0	0	0	0	0	0	3	7	24	52	17	5	0	0	108
07:00 - 07:14	0	0	0	0	0	0	2	5	23	48	15	6	1	0	0	100
07:15 - 07:29	0	0	0	0	0	0	5	4	29	52	26	3	0	0	0	119
07:30 - 07:44	0	0	0	0	0	0	1	8	26	64	27	9	2	0	0	139
07:45 - 07:59	0	0	0	0	0	0	1	12	31	52	21	2	0	0	0	119
08:00 - 08:14	0	0	0	0	0	0	0	18	42	43	21	1	0	0	0	125
08:15 - 08:29	0	0	0	0	0	2	4	16	42	58	24	2	3	0	0	151
08:30 - 08:44	0	0	0	1	0	0	2	13	46	60	18	1	0	0	0	141
08:45 - 08:59	0	0	0	1	0	0	2	10	63	60	13	0	0	0	0	149
09:00 - 09:14	0	0	0	0	0	0	1	8	80	42	11	3	0	0	0	125
09:15 - 09:29	0	0	0	0	0	0	4	13	48	54	21	2	0	0	0	142
09:30 - 09:44	0	0	0	0	0	0	3	18	62	56	14	3	0	0	0	158
09:45 - 09:59	0	0	0	3	0	10	11	21	27	24	3	1	0	0	0	100
10:00 - 10:14	0	0	0	0	1	0	4	24	51	33	9	3	1	0	0	126
10:15 - 10:29	0	0	0	0	0	0	1	16	79	41	12	1	1	0	0	151
10:30 - 10:44	0	0	0	0	0	0	3	15	55	65	15	0	0	0	0	153
10:45 - 10:59	0	0	0	0	0	0	1	25								

JAN 24 2014

MONROE CO. PLANNING DEPT

# Safety Analysis



## Senior Driver Safety Issues

RECEIVED

JAN 24 2014

MONROE CO. PLANNING DEPT

- Tendency to drive when conditions are safest
- Low incidence of impaired driving
- High incidence of seatbelt use
- Vision Deterioration
- More susceptible to glare and nighttime driving problems
- Reduced Hearing
- Increased Perception-Reaction times needed
- Slower Acceleration
- Depth Perception / Misjudging Gaps

## Paradise Point Senior Residences

RECEIVED

JAN 24 2014

MONROE CO. PLANNING DEPT

- 46 New Senior Residence Units
- 210 Residential Homes Exist with Single Access
- 168 New Daily Trips
- 89% of Vehicles on US-1 Over Speed Limit
- 3500 Vehicles per day over 55 MPH
- Senior Drivers need larger gaps to accelerate and clear lanes
- Senior Drivers more likely to cause delays and Accidents



## MEMORANDUM

MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT  
*We strive to be caring, professional, and fair.*

DATE: January 21, 2014

TO: MONROE COUNTY PLANNING COMMISSION

THROUGH: TOWNSLEY SCHWAB; SENIOR PLANNING AND ENVIRONMENTAL  
RESOURCES DIRECTOR

FROM: LAURIE MCHARGUE, PH.D.; SENIOR BIOLOGIST, PLANNING AND  
ENVIRONMENTAL RESOURCES

**AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING CHAPTER 118 ENVIRONMENTAL PROTECTION; CREATING SECTION 118-13 PROVIDING FOR COORDINATION WITH THE UNITED STATES FISH AND WILDLIFE SERVICE FOR FLOODPLAIN DEVELOPMENT PERMIT APPLICATIONS FOR PARCELS LOCATED IN SPECIES FOCUS AREAS OF SPECIES NOT INCLUDED IN THE PERMIT REFERRAL PROCESS; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR TRANSMITTAL TO THE STATE LAND PLANNING AGENCY AND THE SECRETARY OF STATE; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE.**

---

**Meeting: January 29, 2014**

---

1  
2 I REQUEST

3  
4 The Planning & Environmental Resources Department is proposing to amend Chapter 118  
5 Environmental Protection of the Monroe County Code by creating Section 118-13 to provide  
6 for coordination with the U.S. Fish and Wildlife Service (FWS) for floodplain development  
7 permit applications for parcels located within species focus areas of species that are not  
8 included in the Permit Referral Process. Specifically, property owners of such parcels shall  
9 be required to consult directly with the FWS for any development permit application filed  
10 with Monroe County.

11  
12 II RELEVANT PRIOR COUNTY ACTIONS AND BACKGROUND INFORMATION:

13  
14 The United States Congress enacted the Endangered Species Act of 1973 (the Act) to provide  
15 for the protection of ecosystems and the conservation of endangered and threatened species.

1 Sections of the Act provide for the listing of species (section 4), require interagency  
2 consultation about agency actions and their effects on listed species (section 7), and also  
3 require consultation for the incidental take of listed species (section 10).  
4

5 The FWS issued its April 30, 2010 Biological Opinion (BO) for the Federal Emergency  
6 Management Agency's (FEMA) administration of the National Flood Insurance Program  
7 (NFIP). The BO contains Reasonable and Prudent Alternatives (RPA) that require Monroe  
8 County and other participating communities in the Florida Keys to revise their Flood  
9 Damage Prevention Ordinances to reference and use the real estate list and species focus area  
10 maps (SFAM) prepared by the FWS. In addition, FEMA required the participating  
11 communities to incorporate the FWS review recommendations (or Reasonable and Prudent  
12 Measures resulting from formal consultation) under section 7 and section 10 incidental take  
13 exemption and implementing terms and conditions as enforceable conditions in their  
14 floodplain development permits.  
15

16 In response to the requirements of the RPA, Monroe County adopted the Permit Referral  
17 Process (PRP) on June 20, 2012 (Ordinance 015-2012). Under the PRP, if the SFAM  
18 indicates the parcel or lot contains suitable habitat for any of the covered species and the  
19 parcel or lot is listed on the RE list the Environmental Resources staff uses the species  
20 assessment guides (SAGs) to determine whether a floodplain development permit application  
21 requires:  
22

- 23 a) incorporation of the FWS SAG requirements as conditions into the Monroe County permit  
24 and the County may issue the permit pursuant to all applicable codes or  
25  
26 b) if, according to the SAGs, the proposed development needs technical assistance by the  
27 FWS.  
28

29 For a floodplain development permit application that requires the FWS's technical assistance,  
30 Monroe County includes the technical assistance requirements provided by the federal  
31 agency to avoid possible impacts on federally listed threatened or endangered species as  
32 conditions in the Monroe County permit.  
33

### 34 III REVIEW

35  
36 The BO included nine listed species for the Florida Keys. The covered species are:  
37

- Eastern indigo snake
- Key Largo cotton mouse
- Key Largo wood rat
- Key tree cactus
- Schaus swallowtail butterfly
- Lower Keys marsh rabbit
- Key deer
- Silver rice rat
- Stock Island tree snail

38  
39 The FWS periodically lists additional species for the Florida Keys that are not included in the  
40 BO, nor addressed under the PRP. However, property owners still have an obligation to  
41 comply with the Act, and Monroe County also has an obligation to comply with the Act.

1 This Ordinance is being adopted to provide owners of property that have been determined by  
2 the FWS to be located in Species Focus Areas for listed species not included in the BO (nor  
3 addressed under the PRP) to develop in a manner consistent with the Act and the Monroe  
4 County Land Development Code.

5  
6 The Department is recommending the following amendment to the Monroe County Code. All  
7 language is new.

8  
9 **Section 1. Chapter 118 of the Monroe County Land Development Code shall be**  
10 **amended as follows by adding Sec. 118-13:**  
11

12 **Sec. 118-13. Endangered Species.**

13 (a) Applicability. On parcels that the U.S. Fish and Wildlife Service has determined are within  
14 a Species Focus Area or Species Focus Area buffer, no development shall occur without full  
15 compliance with the terms of this chapter in addition to other applicable regulations,  
16 including, but not limited to, Section 122-8.

17 (b) Technical Assistance Required. For any development permit application filed with  
18 Monroe County for properties located within designated Species Focus Areas or Species  
19 Focus Area buffers for federally listed species that are not included in the Federal Emergency  
20 Management Agency's April 30, 2010 Biological Opinion, and/or are not included in the  
21 species addressed under Section 122-8 of the Monroe County Land Development Code, the  
22 property owner shall be required to consult directly with the U.S. Fish and Wildlife Service,  
23 and provide authorization from the U.S. Fish and Wildlife Service to Monroe County before  
24 commencement of development. Any conditions imposed by the U.S. Fish and Wildlife  
25 Service shall be incorporated as conditions of the Monroe County development permit.

26 **Section 2. Severability.**

27 If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be  
28 adjudged by any court of competent jurisdiction to be invalid, such judgment shall not affect,  
29 impair, invalidate, or nullify the remainder of this Ordinance, but the effect thereof shall be  
30 confined to the section, paragraph, subdivision, clause, sentence or provision immediately  
31 involved in the controversy in which such judgment or decree shall be rendered.

32 **Section 3. Conflicting Provisions.**

33 In the case of direct conflict between any provision of this ordinance and a portion or  
34 provision of any appropriate federal, state or county law, rule, code or regulation, the more  
35 restrictive shall apply.

36 **Section 4. Filing, Transmittal, and Effective Date.**

37 This ordinance shall be filed in the Office of the Secretary of State of the State of Florida, and  
38 transmitted to the State Land Planning Agency, but shall not become effective until a notice is  
39 issued by the State Land Planning Agency or Administrative Commission approving the  
40 ordinance pursuant to Chapter 380, Florida Statutes, and after any appeal period has expired.

1 **Section 5. Codification**

2 The provisions of this ordinance shall be included and incorporated into the Code of  
3 Ordinances of the County of Monroe, Florida, as an addition or amendment thereto and shall  
4 be appropriately numbered to conform to the uniform numbering system of the Code.

5

6 **IV RECOMMENDATION**

7

8 Staff has found that the proposed amendment to Chapter 118 would be consistent with the  
9 provisions of §102-158(d)(5)(b): 1. Changed projections (e.g., regarding public service  
10 needs) from those on which the text or boundary was based; 2. Changed assumptions (e.g.,  
11 regarding demographic trends); 3. Data errors, including errors in mapping, vegetative types  
12 and natural features described in volume I of the plan; 4. New issues; 5. Recognition of a  
13 need for additional detail or comprehensiveness; or 6. Data updates.

14

15 Specifically, staff has found that the proposed amendment is necessary due to the periodic  
16 listing of new species for the Florida Keys by the U.S. Fish and Wildlife Service and the  
17 need for owners of property in the focus areas for these species to develop in a manner  
18 consistent with the Endangered Species Act.

19

20 Staff recommends that the Board of County Commissioners amend the Monroe County Code  
21 as stated in the text of this staff report.



ORDINANCE NO. \_\_\_\_\_-2014

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19  
**AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING CHAPTER 118 ENVIRONMENTAL PROTECTION, CREATING SECTION 118-13 PROVIDING FOR COORDINATION WITH THE UNITED STATES FISH AND WILDLIFE SERVICE FOR FLOODPLAIN DEVELOPMENT PERMIT APPLICATIONS FOR PARCELS LOCATED IN SPECIES FOCUS AREAS OF SPECIES NOT INCLUDED IN THE PERMIT REFERRAL PROCESS; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR TRANSMITTAL TO THE STATE LAND PLANNING AGENCY AND THE SECRETARY OF STATE; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE.**

20  
21  
22  
23  
24  
25  
**WHEREAS**, the United States Congress enacted the Endangered Species Act of 1973 (P. Law 93-205 {16 U.S. C. Sec. 1531 et. seq.} (the Act) to provide a means whereby the ecosystems upon which endangered species and threatened species depend may be conserved, and to provide a program for the conservation of such endangered species and threatened species; and

26  
27  
**WHEREAS**, Section 4 of the Act provides for the listing of species; and

28  
29  
30  
**WHEREAS**, Section 7 of the Act requires interagency cooperation and consultation about agency action and its effect on endangered species; and

31  
32  
33  
**WHEREAS**, Section 10 of the Act requires consultation with the U.S. Fish and Wildlife Service (FWS) for the incidental take of listed species; and

34  
35  
36  
37  
**WHEREAS**, the FWS issued its April 30, 2010 Biological Opinion (BO) for the Federal Emergency Management Agency in connection with the *Florida Key Deer et al. v. Fugate et al.*, 90-10037-CIV-Moore litigation; and

38  
39  
40  
41  
**WHEREAS**, Monroe County was required to accept the terms of the BO and to incorporate the terms into its land development regulations in order to continue participating in the National Flood Insurance Program; and

42           **WHEREAS**, the FWS periodically adds additional species to the endangered species list  
43 for the Florida Keys that are not included in the BO, nor addressed under Section 122-8 of the  
44 Monroe County Land Development Code; and

45  
46           **WHEREAS**, property owners have an obligation to comply with the Act; and

47  
48           **WHEREAS**, Monroe County has an obligation to comply with the Act; and

49  
50           **WHEREAS**, this Ordinance is being adopted to provide owners of property that have  
51 been determined by the FWS to be located in Species Focus Areas for listed species not included  
52 in the BO, nor addressed under Section 122-8 of the Monroe County Land Development Code,  
53 to develop their property in a manner consistent with the Act; and

54  
55           **WHEREAS** the Monroe County Developmental Review Committee considered this  
56 Ordinance and made comments on January 28, 2014; and

57  
58           **WHEREAS**, the Monroe County Planning Commission during a regular meeting held on  
59 January 29, 2014, reviewed, discussed, and approved the recommendation of the Sr. Director of  
60 Planning and Environmental Resources to the Planning Commission for the revisions to Chapter  
61 118 of the Monroe County Land Development Code;

62  
63 **NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COUNTY**  
64 **COMMISSIONERS OF MONROE COUNTY, FLORIDA:**

65  
66 **Section 1. Chapter 118 of the Monroe County Land Development Code shall be amended**  
67 **as follows by adding Sec. 118-13:**

68  
69 **Sec. 118-13. Endangered Species.**

70  
71 (a) Applicability. On parcels that the U.S. Fish and Wildlife Service has determined are within a  
72 Species Focus Area or Species Focus Area buffer, no development shall occur without full  
73 compliance with the terms of this chapter in addition to other applicable regulations, including,  
74 but not limited to, Section 122-8.

75  
76 (b) Technical Assistance Required. For any development permit application filed with Monroe  
77 County for properties located within designated Species Focus Areas or Species Focus Area  
78 buffers for federally listed species that are not included in the Federal Emergency Management  
79 Agency's April 30, 2010 Biological Opinion, and/or are not included in the species addressed  
80 under Section 122-8 of the Monroe County Land Development Code, the property owner shall  
81 be required to consult directly with the U.S. Fish and Wildlife Service, and provide authorization  
82 from the U.S. Fish and Wildlife Service to Monroe County before commencement of  
83 development. Any conditions imposed by the U.S. Fish and Wildlife Service shall be incorporated as  
84 conditions of the Monroe County development permit.

85  
86 **Section 2. Severability.**

87  
88 If any section, paragraph, subdivision, clause, sentence, or provision of this Ordinance shall be  
89 adjudged by any court of competent jurisdiction to be invalid, such judgment shall not affect,

90 impair, invalidate, or nullify the remainder of this Ordinance, but the effect thereof shall be  
91 confined to the section, paragraph, subdivision, clause, sentence, or provision immediately  
92 involved in the controversy in which such judgment or decree shall be rendered.

93

94 **Section 3. Conflicting Provisions.**

95

96 In the case of direct conflict between any provision of this Ordinance and a portion or provision  
97 of any appropriate federal, state, or county law, rule, code, or regulation, the more restrictive  
98 shall apply.

99

100 **Section 4. Filing, Transmittal, and Effective Date.**

101

102 This Ordinance shall be filed in the Office of the Secretary of State of the State of Florida, and  
103 transmitted to the State Land Planning Agency, but shall not become effective until a notice is  
104 issued by the State Land Planning Agency or Administration Commission approving the  
105 Ordinance pursuant to Chapter 380, Florida Statutes, and the time for challenge has passed.

106

107 **Section 5. Codification.**

108

109 The provisions of this Ordinance shall be included and incorporated into the Code of Ordinances  
110 of the County of Monroe, Florida, as an addition or amendment thereto and shall be  
111 appropriately numbered to conform to the uniform numbering system of the Code.

112

113 **PASSED AND ADOPTED** by the Board of County Commissioners of Monroe County, Florida  
114 at a regular meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 2014.

115

116 Mayor Sylvia Murphy \_\_\_\_\_  
117 Mayor Pro Tem Danny L. Kolhage \_\_\_\_\_  
118 Commissioner Heather Carruthers \_\_\_\_\_  
119 Commissioner David Rice \_\_\_\_\_  
120 Commissioner George Neugent \_\_\_\_\_

121

122 **BOARD OF COUNTY COMMISSIONERS OF MONROE COUNTY, FLORIDA**

123 BY \_\_\_\_\_

124 Mayor Sylvia Murphy

125 (SEAL)

126 ATTEST: AMY HEAVILIN, CLERK

127

128 \_\_\_\_\_

129 DEPUTY CLERK



## MEMORANDUM

### MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

To: Monroe County Planning Commission  
Through: Townsley Schwab, Senior Director of Planning & Environmental Resources  
From: Joseph Haberman, AICP, Planning & Development Review Manager  
Date: January 8, 2014  
Subject: *AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING MONROE COUNTY CODE SECTION 101-1, DEFINITIONS, AMENDING SECTION 130-124, HOME OCCUPATION SPECIAL USE PERMIT, REVISING THE PROVISIONS TO ADDRESS MOBILE BUSINESSES THAT ARE BASED OR OPERATED FROM RESIDENCES, REVISING THE POSTING REQUIREMENTS FOR HOME OCCUPATION SPECIAL USE PERMIT APPLICATIONS, PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR TRANSMITTAL TO THE STATE LAND PLANNING AGENCY AND THE SECRETARY OF STATE; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE.*

---

Meeting: January 29, 2014

---

1  
2 I REQUEST

3  
4 The Planning & Environmental Resources Department is proposing amendments to the text  
5 of §130-124 of the Monroe County Code (MCC). The purpose of the proposed amendment is  
6 to revise the provisions to address mobile businesses that based or operated from residences  
7 and to revise the posting requirements for home occupation special use permit applications.  
8

9 II RELEVANT PRIOR COUNTY ACTIONS:

10  
11 In 2003, the Board of County Commissioners passed and adopted Ordinance #007-2003.  
12 Among amendments to other MCC sections, this ordinance modified the definition of home  
13 occupation in MCC §9.5-4 (later renumbered to MCC §101-1) and established requirements  
14 for home occupations in MCC §9.5-259 (later renumbered to MCC §130-124). The main  
15 purpose of the ordinance was to relocate the criteria and process for obtaining home  
16 occupation approvals from the definition section of the MCC to the regulatory sections of the  
17 MCC. In addition, the ordinance revised the criteria and modified the process by removing  
18 the public hearing requirement.  
19

20 In 2010, the Board of County Commissioners passed and adopted Ordinance #019-2010.  
21 Among amendments to other MCC sections, this ordinance modified the criteria for home  
22 occupations in MCC §130-124 to address solid waste.

1  
2 **III REVIEW**

3  
4 *Mobile Businesses:*

5  
6 Mobile businesses are defined within MCC §23-71; however there is no definition provided  
7 in the Land Development Code (typically provided in MCC §101-1). Further, mobile  
8 businesses are often based out of residences and the existing home occupation criteria do not  
9 appropriately regulate this business practice. This deficient language results in difficulty in  
10 pursuing code compliance in cases where mobile businesses change the essential residential  
11 characters of the dwelling units.

12  
13 A definition for a mobile business should be established in the Land Development Code (part  
14 II of the MCC), which is consistent with the existing definitions for *mobile food vendor* and  
15 *mobile repair or mobile services business* that are in part I of the MCC (specifically MCC  
16 §23-71).

17  
18 In addition, staff is proposing a consistent amendment to MCC §23-114 to refer to MCC  
19 §130-124; however as this section is not situated in the Land Development Code, those  
20 amendments are processed differently and are only reviewed by the Board of County  
21 Commissioners. As of the date of this report, the following amendments are proposed:

22  
23 **Sec. 23-71. Definitions.**

24  
25 The following words, terms and phrases, when used in this article, shall have the  
26 meanings ascribed to them in this section, except where the context clearly indicates a  
27 different meaning:

28  
29 \* \* \* \* \*

30  
31 *Mobile food vendor* means any person who sells, or offers for sale, any candy, ice cream  
32 confection, or any food or beverage for human consumption from any cart or vehicle of  
33 any kind capable of locomotion.

34  
35 *Mobile repair or mobile services business* means any person who goes from house to  
36 house or from place to place to provide minor repairs to structures or machinery or  
37 electronic products not requiring a license under section 6-200, or to provide usual and  
38 necessary maintenance services, including, but not limited to, mowing and yard service  
39 (limited, absent a landscaping certificate of competency, to mowing grass, weeding,  
40 trimming shrubs and trees under six feet tall, and removing the trimmings of such  
41 activities), janitor service or maid service.

42  
43 \* \* \* \* \*

1  
2 **Sec. 23-114. Mobile repair or service.**  
3  
4

5 Every person engaged in the operation of a mobile repair or mobile service business, no  
6 matter what type of conveyance is used for that purpose, whether or not operated in  
7 conjunction with some other line of business, must pay a business tax of \$25.00. In the  
8 event the operation is based from a residence, the use shall require a home occupation  
9 special use permit pursuant to section 130-124.

10  
11 *Posting:*  
12

13 Currently, applicants of pending home occupation special use permits are required to create  
14 and post a waterproof signs of at least 4 square feet in front surface area to notify neighbors  
15 of the pending approvals. This requirement is not consistent with the general posting  
16 requirements required for other application types per MCC §110-5(f). For most other  
17 application types requiring such notice, the Planning & Environmental Resources  
18 Department creates an 11” x 17” waterproof sign of consistent format and provides it to the  
19 applicant to post (an 11” x 17” sign is approximately 1.3 square feet).  
20

21 The current requirement results in inconsistent public noticing as applicants design signs  
22 based on their varying preferences. As a result, the signs are of varying dimensions (signs are  
23 only required to be 4 square feet in area, and do not have any required length or width) and  
24 signs are often not legible due to poor font size/type selections by applicants.  
25

26 Note: As this amendment proposes a new requirement that the Planning & Environmental  
27 Resources Department create and deliver signs to the applicant, it also includes a proposed  
28 increase to the required time in which the applicant has to post the sign from 5 working days  
29 to 14 calendar days (two weeks) to accommodate for the delivery time.  
30

31 Therefore, staff recommends the following changes (Deletions are ~~stricken through~~ and  
32 additions are underlined. Text to remain the same is in black):  
33

34 **Sec. 101-1. Definitions.**  
35

36 \* \* \* \* \*  
37  
38 *Home occupation* means a business, profession, occupation or trade operated from and/or  
39 conducted within a residential building dwelling unit (or within an accessory structure  
40 thereto) for gain or support by a resident of the dwelling unit.  
41

42 \* \* \* \* \*  
43  
44 Mobile business means any person or business which goes from house to house or from place  
45 to place to provide a service. This term includes any mobile food vendor or mobile repair or  
46 mobile services business as defined in section 23-71.

1  
2 \* \* \* \* \*  
3  
4 **Sec. 130-124. Home occupation special use permit.**  
5

- 6 (a) *Applicability.* Home occupation special use permits may be approved in any zoning  
7 district in which residential use is allowed, including nonconforming residential uses  
8 where such use was otherwise lawfully established. Home occupation means a business,  
9 profession, occupation or trade operated from and/or conducted within a residential  
10 dwelling unit (or within an accessory structure thereto) for gain or support by a resident  
11 of the dwelling unit. For the purposes of this section, home occupations include mobile  
12 businesses that are based or operated from a residence or residential property.  
13
- 14 (b) *Applications.* Applications for home occupation special use permits shall be submitted to  
15 the planning director on forms provided by the director. The application shall include a  
16 properly executed affidavit and agreement from the applicant attesting to and agreeing to  
17 compliance with the standards and requirements for home occupations as outlined in this  
18 section.  
19
- 20 (c) *Authority.* The planning director is authorized to approve and otherwise administer home  
21 occupation special use permits as specifically set forth in this section.  
22
- 23 (d) *Review by the planning director.* Within 15 working days of receiving a complete  
24 application, the planning director shall determine whether the proposed home occupation  
25 is consistent with the following standards and requirements:  
26 (1) The home occupation is incidental and secondary to the principal residential use of  
27 the ~~building~~ residential dwelling unit;  
28 (2) The home occupation does not change the essential residential character of the use;  
29 (3) Not more than one person who is a nonresident of the residential dwelling unit is  
30 employed by the home occupation;  
31 (4) The home occupation use ~~is~~ does not occupy more than 20 percent of the total floor  
32 area of the residential dwelling unit and, if the home occupation use utilizes an  
33 accessory structure(s), it does not occupy more than 20 percent of the total covered  
34 and enclosed residential floor area on the property;  
35 (5) The home occupation does not involve any retail sales or service that ~~would require~~  
36 necessitates or requires customers to visit the ~~residence~~ residential dwelling unit or  
37 the property, nor does the physical address of the residence appear on any advertising  
38 materials including stationary and business cards;  
39 (6) Activities associated with the ~~The~~ home occupation ~~is~~ are not visible from any other  
40 residential ~~structure~~ dwelling unit. If the home occupation utilizes an accessory  
41 structure, the structure is covered and enclosed;  
42 (7) No sign advertising the home occupation is displayed on the premises;  
43 (8) The home occupation does not involve ~~the~~ outdoor storage, including but not limited  
44 to ~~of~~ any equipment or materials;  
45 (9) The home occupation does not involve the use of mechanical, electrical or other  
46 equipment that produces noise, electrical or magnetic interference, vibration, heat,

1 glare, or other nuisance outside the residential ~~building~~ dwelling unit or accessory  
2 structure in which the home occupation occurs;

3 (10) The home occupation does not increase the average daily automobile trips  
4 generated by the residence in which the home occupation is located;

5 (11) Upon issuance of a permit, the applicant must apply for and maintain ~~an~~  
6 ~~occupational~~ any required license or business tax for the home occupation where  
7 otherwise required;

8 (12) The home occupation does not dispose of any solid waste at the ~~home-business~~  
9 occupation address which was not generated at the ~~home-business~~ occupation  
10 address; and

11 (13) The home occupation has obtained a commercial collection service agreement if  
12 the business creates or generates any solid waste at a location other than the home  
13 ~~business~~ occupation address.

14  
15 (e) *Public notification of pending approval.* The planning director, after determining that an  
16 application for a home occupation special use permit is in compliance with the  
17 requirements of this ~~article~~ section, shall give notice of the pending approval as follows:

18 (1) The planning director shall provide written notice by regular mail to owners of real  
19 property located within 300 feet of the property that is the subject of the proposed  
20 home occupation;

21 (2) The applicant shall post the property of the proposed home occupation with a  
22 waterproof sign(s) ~~at least four square feet in front surface area, which is so lettered~~  
23 ~~as to be~~ provided by the planning department which is so located that the notice(s)  
24 shall be easily visible from all public streets and public ways abutting the property.  
25 The property shall remain posted for no less than 30 calendar days beginning within  
26 ~~five working days~~ two weeks of the mailing date ~~that the application is deemed to be~~  
27 ~~in compliance by the planning director~~ of the written notice required by subsection  
28 (e)(1); and

29 (3) The notices in subsections (e)(1) and (e)(2) of this section shall provide a brief  
30 description of the proposed home occupation and indicate where the public may  
31 examine the application. The cost of providing this notice shall be borne by the  
32 applicant.

33  
34 (f) *Decision by the planning director.* After 30 calendar days of posting the property and  
35 upon a finding that the proposed home occupation complies with all of the requirements  
36 of this section, the planning director shall issue a home occupation special use permit,  
37 with or without conditions. The permit and the affidavit attesting to compliance with the  
38 above requirements shall be filed with the clerk of the court and recorded in the official  
39 records of the county. The permit shall authorize only the current resident of the dwelling  
40 unit for the particular home occupation proposed and shall not be transferable to another  
41 location or to another person or entity.

42  
43 (g) *Public hearing on an application for a home occupation special use permit.* If requested  
44 in writing to the planning director by the applicant, or an adversely affected owner or  
45 resident of real property located in the county, during the required 30 calendar days of the  
46 posting, a public hearing date shall be scheduled on the application for a home

1 occupation special use permit. All costs related to the public hearing shall be the  
2 responsibility of the applicant. The public hearing shall be conducted by the planning  
3 commission in accordance with the provisions of section 110-6.  
4

5 (h) *Revocation*. The planning director shall have the authority to initiate actions to revoke  
6 home occupation special use permits and all such actions shall require a public hearing to  
7 be conducted before the planning commission in accordance with section 102-20. The  
8 planning commission shall have the authority to revoke any home occupation special use  
9 permit where there is competent and substantial evidence to establish any of the  
10 following:

- 11 (1) That an application for home occupation special use approval contains knowingly  
12 false or misleading information;
- 13 (2) A violation by the holder of a home occupation special use permit of any provision of  
14 this section;
- 15 (3) A violation of any condition of the home occupation special use permit imposed  
16 pursuant to this section; or
- 17 (4) That the home occupation constitutes a public or private nuisance under state law.

18 \* \* \* \* \*

19  
20  
21 IV RECOMMENDATION

22  
23 Staff has found that the proposed text amendment would be consistent with the provisions of  
24 §102-158(d)(5)(b): 1. Changed projections (e.g., regarding public service needs) from those  
25 on which the text or boundary was based; 2. Changed assumptions (e.g., regarding  
26 demographic trends); 3. Data errors, including errors in mapping, vegetative types and  
27 natural features described in volume I of the plan; 4. New issues; 5. Recognition of a need for  
28 additional detail or comprehensiveness; or 6. Data updates. Specifically, staff has found that  
29 the proposed text amendments are necessary due to a recognition of a need for additional  
30 detail or comprehensiveness.

31  
32 Staff recommends that the Board of County Commissioners amend the Monroe County Code  
33 as stated in the text of this staff report.