

## AGENDA

### DEVELOPMENT REVIEW COMMITTEE

Tuesday, January 12, 2010

PURSUANT TO Florida Statute 286.011(1), the Development Review Committee of Monroe County will conduct a meeting on Tuesday, January 12, 2010 beginning at 10:00 AM at the Marathon Government Center, Media & Conference Room (1<sup>st</sup> floor, rear hallway), 2798 Overseas Highway, Marathon, Florida.

#### CALL TO ORDER

#### ROLL CALL

#### DRC MEMBERS:

Townsley Schwab, Senior Director of Planning and Environmental Resources  
Michael Roberts, Senior Administrator of Environmental Resources  
Steve Zavalney, Captain, Fire Prevention  
Wally Romero, Assistant Fire Marshal  
DOT Representative  
Public Works Department Representative

#### STAFF MEMBERS PRESENTING THE FOLLOWING AGENDA ITEMS:

Joe Haberman, Current Principal Planner

#### CHANGES TO THE AGENDA

#### MEETING

#### NEW ITEMS:

1. Florida Keys Marathon Airport, 9400 Overseas Highway (US 1), Marathon, Mile Marker 52: A request for approval of an amendment to a major conditional use permit in order to construct a new 15,284 ft<sup>2</sup> building, to be used as Monroe County's Emergency Operation Center. The subject property is legally described as a parcel of land in Section 1, Township 66, Range 32 and a parcel of land in Section 6, Township 66, Range 33, Key Vacas, Monroe County, Florida having real estate numbers 00101160.000000 and 00104500.000000.

[29098 SR DRC 1.12.10.pdf](#)

[29098 FILE.pdf](#)

[29098 MTH Airport EOC.survey & Site plans.pdf](#)

2. An Ordinance by the Monroe County Board of County Commissioners amending Monroe County Code Section 130-83, Improved subdivision district (IS), Section 130-99, Urban residential-mobile home district (URM), Section 130-100, Urban residential mobile home-limited district (URM-L), Section 130-164, Maximum nonresidential land use intensities and district open space; providing consistency between regulations provided land development code and policies in the comprehensive plan; providing for severability; providing for repeal of conflicting provisions; providing for transmittal to the Department of Community Affairs and the Secretary of State; providing for codification; providing for an effective date.

[29106 DRC SR 01.12.10.PDF](#)

#### ADJOURNMENT



# MEMORANDUM

## MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

*We strive to be caring, professional and fair*

To: The Development Review Committee &  
Townsley Schwab, Senior Director of Planning & Environmental Resources

From: Joseph Haberman, AICP, Principal Planner *J.*  
Janis Vaseris, Biologist

Date: January 11, 2010

Subject: *Request for an Amendment to a Major Conditional Use Permit in order to construct a new Monroe County Emergency Operation Center at Florida Keys Marathon Airport, 9400 Overseas Highway, Marathon, Real Estate Nos. 00101160.000000 and 00104500.000000*

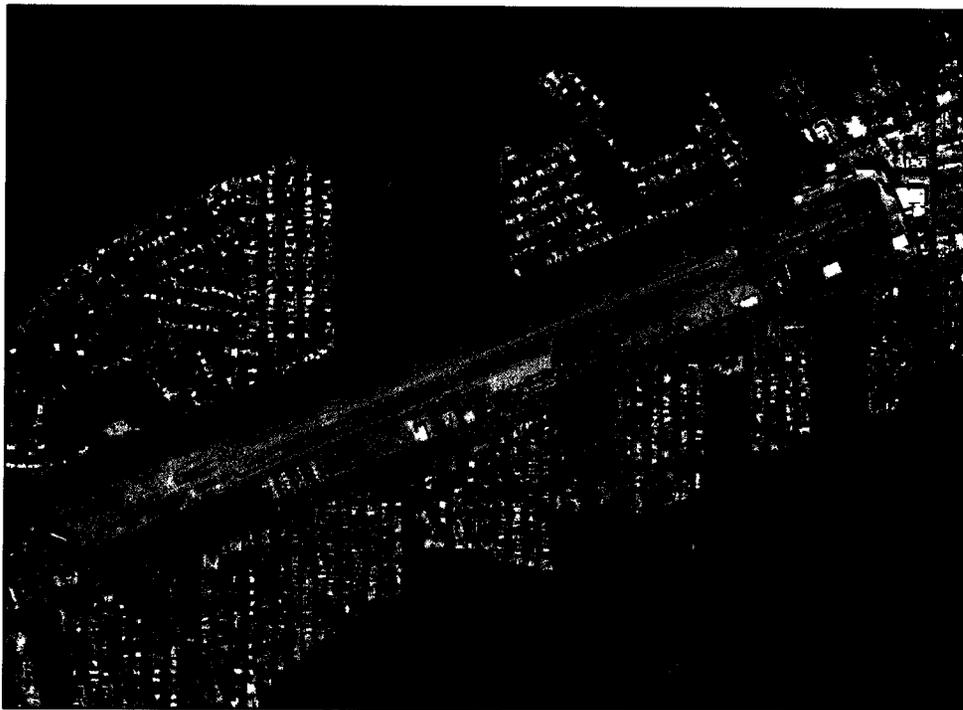
---

**Meeting: January 12, 2010**

---

I REQUEST:

The applicant is requesting approval of an amendment to a major conditional use permit in order to construct a new 15,284 ft<sup>2</sup> building, to be used as Monroe County's Emergency Operation Center (EOC).



Subject Property (outlined in blue) (2009)

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27

1 The proposed, purpose-designed EOC is designed to house, on a full time basis, only  
2 members of the Monroe County Emergency Management Department. During emergency  
3 events, the building will contain a dedicated EOC which would be staffed by Emergency  
4 Management Department staff and other designated representatives.  
5

6 Location:

7 Address: 9400 Overseas Highway (US 1), Marathon, mile marker 52 (gulfside)

8 Legal Description: Parcel of land in Section 1, Township 66, Range 32 & Parcel of land  
9 in Section 6, Township 66, Range 33, Key Vacas

10 Real Estate (RE) Numbers: 00101160.000000 & 00104500.000000  
11

12 Applicant:

13 Owner: Monroe County

14 Agent: Kevin Wilson, Monroe County Project Management Department  
15

16 **II RELEVANT PRIOR COUNTY ACTIONS:**  
17

18 The terminal of the Florida Keys Marathon Airport was established prior to 1986, and in  
19 accordance with MCC §101-4(c), is deemed to have a major conditional use permit.  
20

21 In addition, on leased portions of the airport property, the County has also issued several  
22 major and minor conditional use permits for airport-related uses of less than 5,000 ft<sup>2</sup> that  
23 were not related to the terminal which is under the major conditional use permit.  
24

25 **III BACKGROUND INFORMATION:**  
26

27 A. Size of Site: 99,668 ft<sup>2</sup> (2.29 acres)

28 Size of Airport: RE 00104500.000000 (67.50 acres) & RE 00101160.000000 (152.25  
29 acres) = 219.75 acres total

30 B. Land Use District: Airport (AD)

31 C. Future Land Use Map (FLUM) Designation: Airport (AD)

32 D. Tier Designation: Tier 3

33 E. Flood Zone (of site): part AE – EL 6 and part AE – EL 7

34 F. Existing Use (of site): Vacant and outdoor storage

35 G. Existing Vegetation / Habitat (of site): Predominately scarified with sparse vegetation

36 H. Community Character of Immediate Vicinity: Mixed Use - airport, public, residential,  
37 commercial and industrial uses  
38

39 **IV REVIEW OF APPLICATION:**  
40

41 MCC §110-67 provides the standards which are applicable to all conditional uses. When  
42 considering applications for a conditional use permit, the Development Review Committee  
43 and Director of Planning & Environmental Resources shall consider the extent to which:  
44  
45  
46  
47  
48  
49

1 A. *The conditional use is consistent with the purposes, goals, objectives and standards of the*  
2 *comprehensive plan and the land development regulations:*  
3

4 The proposed development is consistent with the purposes, goals, objectives and  
5 standards of the AD future land use category and the AD District.  
6

7 Policies from the Monroe County Year 2010 Comprehensive Plan that directly pertain to  
8 the proposed development include:  
9

10 Policy 101.3.4: Public facilities shall be exempted from the requirements of the Permit  
11 Allocation System or new non-residential development. Except within Tier I designated  
12 areas pursuant to Goal 105 or within a designated Tier III Special Protection Area  
13 pursuant to Policy 205.1.1, certain development activity by federally tax-exempt not-for-  
14 profit educational, scientific, health, religious, social, cultural, and recreational  
15 organizations may be exempted from the Permit Allocation System by the Board of  
16 County Commissioners after review by the Planning Commission upon a finding that  
17 such activity will predominately serve the County's non-transient population. All public  
18 and institutional uses that predominately serve the County's non-transient population and  
19 which house temporary residents shall be included in the Permit Allocation System for  
20 residential development, except upon factual demonstration that such transient occupancy  
21 is of such a nature so as not to adversely impact the hurricane evacuation clearance time  
22 of Monroe County.  
23

24 Policy 101.4.16: The principal purpose of the Airport District land use category is to  
25 prohibit the development of residential, educational or other uses which are characterized  
26 by the regular presence of large numbers of people within the hazard areas of civil and  
27 military airports.  
28

29 Policy 101.5.3: In order to encourage a compact form of non-residential growth, the  
30 Permit Allocation System shall limit and direct new non-residential development  
31 primarily to areas designated as Tier III under Goal 105 not located within a designated  
32 Special Protection Area and provide incentives for redevelopment of existing developed  
33 and vacant infill sites.  
34

35 Policy 216.2.2: All new public facility buildings suitable for emergency public habitation  
36 as determined by the Red Cross shall be required to meet accepted hurricane shelter  
37 standards for Category 1 and 2 hurricanes. By January 4, 1997, Monroe County shall  
38 develop a plan for establishing one Category 5 Emergency Operations Center (EOC), at a  
39 minimum, in each of the three EOC districts. The plan shall include identification of  
40 funding sources and coordination with appropriate agencies for construction to Category  
41 5 standards.  
42

43 Policy 216.2.3: By January 4, 1998, Monroe County shall revise the Capital  
44 Improvements Program to include the necessary funding for construction of a minimum  
45 of one Category 5 EOC in each of the three EOC districts in accordance with Policy  
46 216.2.2.  
47

48 Policy 501.1.1: Monroe County shall establish aviation related land uses adjacent to the  
49 public airports and additionally prohibit intrusion into all airport zones. Within twelve

1 months after the effective date of the Comprehensive Plan, Monroe County shall amend  
2 the Land Development Regulations to accomplish such.

3  
4 Policy 501.1.6: Monroe County shall provide space at public airports for a wide variety  
5 of aviation activities in order to provide a wide variety of services to the community.

6  
7 Policy 501.3.4: Facilities at public airports shall be built to meet or exceed federal, state,  
8 and local safety regulations as applicable.

9  
10 Policy 1301.8.4: By January 4, 1997, Monroe County shall develop a plan which will  
11 identify the appropriate agencies required for coordination and funding of one Category 5  
12 Emergency Operations Center (EOC), at a minimum, in each of the three EOC districts.

13  
14 B. *The conditional use is consistent with the community character of the immediate vicinity:*

15  
16 The applicant submitted architectural renderings of the proposed 15,000 ft<sup>2</sup> building. It  
17 would be of modern design. The existing development at the airport is a mix of  
18 traditional Florida Keys-style architecture (i.e. the terminal) and traditional small airport  
19 architecture (i.e. the hangars). The proposed building would not be consistent with the  
20 character of the existing development at the airport. However, staff is not aware of any  
21 design guidelines for the Florida Keys Marathon Airport or the City of Marathon.  
22 Therefore, the proposed development would be consistent with the community character  
23 of the immediate vicinity.

24  
25 C. *The design of the proposed development minimizes adverse effects, including visual*  
26 *impacts, on adjacent properties:*

27  
28 The proposed building would be larger than many of the existing nonresidential buildings  
29 along US 1; however its scale would not be out of context with other airport structures  
30 such as hangars. Staff shall request that the applicant utilize architectural features that  
31 provide visual interest and break up the mass of the structure and that similar and  
32 consistent design, materials and colors be utilized in order to make the building more  
33 cohesive with the existing airport development. In addition, as part of the development,  
34 it shall be required that additional trees and landscaping elements be introduced to the  
35 site. Therefore, the proposed development minimizes adverse effects, including visual  
36 impacts, on adjacent properties.

37  
38 D. *The proposed use will have an adverse impact on the value of surrounding properties:*

39  
40 It is not anticipated that the proposed development will have an adverse impact on the  
41 value of the surrounding properties.

42  
43 E. *The adequacy of public facilities and services:*

44  
45 1. Roads:

1 *Localized Impacts & Access Management:* Access to and from the development shall  
2 be approved by the Public Works Division and the Florida Department of  
3 Transportation (FDOT) (See section I-22).

4  
5 *Level of Service (LOS):* A traffic evaluation study shall be approved by the county's  
6 traffic consultant (See section I-22).

7  
8 2. Stormwater: The applicant shall coordinate with the Public Works Division, and, if  
9 necessary, the South Florida Water Management District (SFWMD) to determine  
10 compliance with all applicable regulations (See section I-9).

11  
12 3. Sewer: The applicant shall coordinate with the Florida Department of Health, Florida  
13 Department of Environmental Protection and/or Florida Keys Aqueduct Authority to  
14 determine compliance with all applicable regulations (See section I-10).

15  
16 4. Emergency Management: The applicant shall coordinate with the Monroe County  
17 Office of the Fire Marshal and/or the City of Marathon Fire Rescue to determine  
18 compliance with the Florida Fire Prevention Code and the Florida Building Code.

19  
20 F. *The applicant has the financial and technical capacity to complete the development as*  
21 *proposed:*

22  
23 Staff has no evidence to support or disprove the applicant's financial and technical  
24 capacity.

25  
26 G. *The development will adversely affect a known archaeological, historical or cultural*  
27 *resource:*

28  
29 The proposed redevelopment will not adversely affect a known archaeological, historical  
30 or cultural resource.

31  
32 H. *Public access to public beaches and other waterfront areas is preserved as part of the*  
33 *proposed development:*

34  
35 The property is land-locked. Therefore, the proposed redevelopment will not have an  
36 adverse impact on public access to a waterfront area.

37  
38 I. *The project complies with all additional standards imposed on it by the Land*  
39 *Development Regulations:*

40  
41 1. Residential Rate of Growth Ordinance (ROGO) (§138-19 – §138-28): *Not applicable.*

42  
43 2. **Non-Residential Rate of Growth Ordinance (NROGO) (§138-47 – §138-56):** *In*  
44 *compliance.*

1 The proposed nonresidential floor area is not subject to the NROGO permit allocation  
2 system. Pursuant to Policy 101.3.4 of the Year 2010 Comprehensive Plan, public  
3 facilities are exempted from the requirements.  
4

5 3. Purpose of the AD District (§130-33): *In compliance.*  
6

7 The purpose is to prohibit the development of residential, educational, or other uses  
8 that are characterized by the regular presence of large numbers of people within the  
9 hazard areas of civil and military airports.  
10

11 4. Permitted Uses (§130-75): *Compliance to be determined.*  
12

13 In the AD District, public uses are not listed as a permitted use. However, services  
14 that are airport-related may be considered airport uses. Within the property  
15 boundaries of public airports, airport uses of 5,000 ft<sup>2</sup> or more of enclosed space shall  
16 require a major conditional review.  
17

18 5. Residential Density and Maximum Floor Area Ratio (§130-157, §130-162 &  
19 §130-164): *Compliance to be determined.*  
20

Land Use	Floor Area Ratio / Density	Size of Site	Maximum Allowed	Proposed Amount	Potential Used
Airport Uses	0.10 FAR	99,668 ft	TBD	15,284 ft <sup>2</sup>	TBD
				Total	TBD

21 6. Required Open Space (§118-9, §118-12, §130-157, §130-162 & §130-164): *In  
22 compliance.*  
23

24 There is a required open space ratio of 0.20. Therefore, at least 19,934 ft<sup>2</sup> of the  
25 99,668 ft<sup>2</sup> of the total land area must remain open space. The site plan indicates that  
26 there would be 47,363 ft<sup>2</sup> of impervious area.  
27

28 No open space calculations were provided in the application for the entire airport  
29 property. Based on the large amount of existing open space, staff has found that the  
30 open space requirements for the site as a whole would remain in compliance as well.  
31

32 7. Minimum Yards (§118-12 & §130-186): *In compliance.*  
33

34 The required non-shoreline setbacks are as follows: Front yard – 200 feet; Rear yard –  
35 200 feet; and Side yard 200 feet.  
36

37 Only a front yard setback along US 1 applies to this site. This setback has been  
38 previously waived under previous approvals. The proposed building would not  
39 extend further into the front yard than any existing development.  
40

41 8. Maximum Height (§130-187): *Compliance to be determined.*  
42  
43

1 From the "crown of road", the proposed building would be less than 35 feet, 0 inches.  
2 Grade is the highest natural elevation of the ground surface, prior to construction,  
3 next to the proposed walls of a structure, or the crown or curb of the nearest road,  
4 whichever is higher.  
5

6 In addition, the following height requirements apply per MCC §130-75(c)(3), public  
7 airport height zones and limitations for the airport district and overlays shall be in  
8 accordance with the following provisions:  
9

10 a. Primary zone. The area longitudinally centered on each runway with the same  
11 length as the runway and is 2,000 feet wide. No structure that is not a part of the  
12 landing and takeoff area is permitted in the primary zone that is of greater height  
13 than the nearest point on to the runway.

14 b. Clear zone. The area extending 1,000 feet off each end of a primary surface  
15 and is the same width as the primary surface. No structure not a part of the  
16 landing and takeoff area is permitted that is a greater height than the end of the  
17 runway.

18 c. Inner horizontal zone. The area extending outward from the periphery of the  
19 primary zone with an outer perimeter formed by swinging arcs of 7,500 feet  
20 radius about the centerline at the end of each primary zone and connecting  
21 adjacent arcs by lines tangent to these arcs. No structure will be permitted in the  
22 inner horizontal zone of greater height than 156 feet MSL.

23 d. Conical zone. The area extending outward from the periphery of the inner  
24 horizontal zone for a distance of 7,000 feet. Height limits in the conical zone  
25 commence at 156 feet MSL at the inner boundary where it adjoins the inner  
26 horizontal zone and increases in permitted height at a rate of one foot vertically  
27 for every 20 feet of horizontal distance measured outward from the inner  
28 boundary to a height of 506 feet MSL at the outer boundary.

29 e. Outer horizontal zone. The area extending outward from the outer periphery  
30 of the conical zone for a distance of 30,000 feet. The height limit within the outer  
31 horizontal zone is 506 feet MSL.

32 f. Approach zone. The area longitudinally centered on each runway extended  
33 centerline, with an inner boundary 200 feet out from the end of the runway and  
34 the same width as the primary zone, then extending outward for a distance of  
35 50,000 feet, expanding uniformly in width to 16,000 at the outer boundary. Height  
36 limits within the approach zones commence at the height of the runway end and  
37 increase at the rate of one foot vertically for every 50 feet horizontally for a  
38 distance of 25,000 feet, at which point it remains level at 506 feet MSL to the  
39 outer boundary.

40 g. Transitional zone. The area within an inner boundary formed by the side of  
41 the primary zones, the first 200 feet of the clear zones and the approach zones,  
42 then extending outward at right angles to the runway centerline and extended  
43 centerline until the height matches the adjoining inner horizontal zone, conical  
44 zone, and outer horizontal zone height limit. The height limit at the inner  
45 boundary is the same as the height of the adjoining zone and increases at the rate

1 of one foot vertically for every seven feet horizontally to the outer boundary of  
2 the transitional zone, where it again matches the height of the adjoining zone.

3  
4 Staff did not have access to the airport's master plan and therefore could not  
5 determine compliance with the aforementioned height regulations.  
6

- 7 **9. Surface Water Management Criteria (§114-3): *Full compliance to be determined***  
8 ***by the Public Works Division and/or SFWMD prior to issuance of a building***  
9 ***permit.***
- 10
- 11 **10. Wastewater Treatment Criteria (§114-5): *Compliance to be determined by Florida***  
12 ***Department of Health, Florida Department of Environmental Protection and/or***  
13 ***Florida Keys Aqueduct Authority prior to the issuance of a building permit.***
- 14
- 15 **11. Fencing (§114-20): *Full compliance to be determined upon submittal to Building***  
16 ***Department.***
- 17
- 18 **12. Floodplain Management (§122-1 – §122-6): *Full compliance to be determined upon***  
19 ***submittal to Building Department.***
- 20

21 The site is designated within AE – EL 6 and AE – EL 7 flood zones on the Federal  
22 Emergency Management Agency (FEMA)'s flood insurance rate maps. All new  
23 structures must be built to floodplain management standards that meet or exceed  
24 those for flood protection.  
25

- 26 **13. Energy Conservation Standards (§114-45): *In compliance.***

27  
28 The development includes the provision of a bicycle rack, installation of native plants  
29 in required landscaping, which will reduce the requirements for water and  
30 maintenance; the installation of several shade trees, which will provide shade for  
31 parking areas; and the provision of structural shading.  
32

- 33 **14. Potable Water Conservation Standards (§114-46): *Compliance to be determined***  
34 ***upon submittal to Building Department.***
- 35
- 36 **15. Environmental Design Criteria and Mitigation Standards (§118-6, §118-7 & §118-8):**  
37 ***Compliance to be determined by Biologist upon submittal to Building Department.***
- 38
- 39 **16. Required Parking (§9.5-114-67): *In compliance.***

40  
41 The development would be subject to the following off-street parking requirements:  
42

<i>Specific Use</i>	<i>Multiplier</i>	<i>Proposed</i>	<i>Required Spaces</i>
Offices	3 spaces / 1000 ft <sup>2</sup>	48	46

- 43  
44 **17. Required Loading and Unloading Spaces (§114-69): *In compliance.***



**File #:** **29098**

**Owner's Name:** Monroe County

**Applicant:** Monroe County Emergency Operations  
Center (Marathon Airport)

**Agent:** Timmins Engineering LLC  
(Tom Timmins)

**Type of Application:** Major

**Key:** Marathon – Key Vacca

**RE:** 00101160-000000  
00104500-000000

**Additional Information added to  
File 29098**

County of Monroe  
Growth Management Division

**Planning & Environmental Resources  
Department**

2798 Overseas Highway, Suite 410  
Marathon, FL 33050  
Voice: (305) 289-2500  
FAX: (305) 289-2536



*We strive to be caring, professional and fair*

**Board of County Commissioners**

Mayor George Neugent, Dist. 2  
Mayor Pro Tem Sylvia J. Murphy, Dist. 5  
Kim Wigington, Dist. 1  
Heather Carruthers, Dist. 3  
Mario Di Gennaro, Dist. 4

Date: 10/30/09

Time: 12:50

Dear Applicant:

This is to acknowledge submittal of your application for Mayor Cond USE  
Type of application

NEW EOC  
Project / Name to the Monroe County Planning Department.

Thank you.

Julie Thomson  
Admin asst.  
Planning Staff

**End of Additional Information**  
**File 29098**

APPLICATION  
MONROE COUNTY  
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



**Request for a Major Conditional Use Permit / Amendment to a Major Conditional Use Permit**

**An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review**

Major Conditional Use Permit Application Fee: \$10,014.00

*In addition to the application fee, the following fees also apply:*

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Technology Fee: \$20.00

Date of Submittal: 10 / 29 / 09  
Month Day Year

**Property Owner:**

Monroe County BOCC

Name  
1100 Simonton St.  
Key West, FL. 33050

Mailing Address (Street, City, State, Zip Code)

305-292-4429

Daytime Phone

wilson-kevin@monroecounty-fl.gov  
Email Address

**Agent (if applicable):**

Timmins Engineering LLC (Tom Timmins)

Name  
P.O. Box 639  
Big Pine Key, FL 33043

Mailing Address (Street, City, State, Zip Code)

305-872-4060

Daytime Phone

timminsenrllc@bellsouth.net  
Email Address

**Legal Description of Property:**

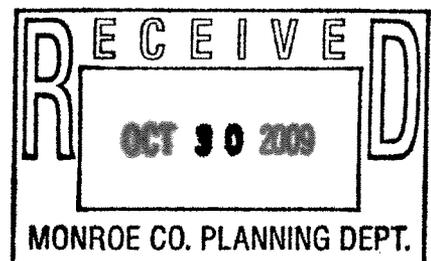
(If in metes and bounds, attach legal description on separate sheet)

SEE SURVEY

Block Lot Subdivision Key

Real Estate (RE) Number Alternate Key Number

Street Address (Street, City, State, Zip Code) Approximate Mile Marker



APPLICATION

Land Use District Designation(s): AD

Present Land Use of the Property: vacant parcel at Marathon Airport

Proposed Land Use of the Property: Monroe County Emergency Operations Center

Total Land Area: 99668 S.F. (2.29 Acres)

If non-residential or commercial floor area is proposed, please provide:

1 Total number of non-residential buildings

15000 Total non-residential floor area in square feet

If residential dwelling units are proposed, please provide:

\_\_\_\_\_ Total number of residential buildings

\_\_\_\_\_ Total number of permanent, market-rate units

\_\_\_\_\_ Total number of permanent, affordable / employee housing units

\_\_\_\_\_ Total number of transient units (hotel rooms, recreational vehicle / campground spaces)

Has a previous application been submitted for this site within the past two years? Yes \_\_\_ No \_\_\_

All of the following must be submitted in order to have a complete application submittal:  
(Please check as you attach each required item to the application)

- Complete major conditional use permit application (unaltered and unbound);
- Correct fee (check or money order to Monroe County Planning & Environmental Resources);
- Proof of ownership (i.e. Warranty Deed);
- Current Property Record Card(s) from the Monroe County Property Appraiser;
- Location map;
- Photograph(s) of site from adjacent roadway(s);
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 16 sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat);
- Written description of project;
- Environmental Designation Survey (prepared in accordance with Monroe County Code);
- Community Impact Statement (prepared in accordance with Monroe County Code);
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect– 16 sets (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following:

Date, north point and graphic scale;

## APPLICATION

- Boundary lines of site, including all property lines and mean high-water lines;
  - Land use district of site and any adjacent land use districts;
  - Flood zones pursuant to the Flood Insurance Rate Map(s);
  - Locations and dimensions of all existing and proposed structures and drives;
  - Type of ground cover (i.e. concrete, asphalt, grass, rock);
  - Adjacent roadways;
  - Setbacks as required by the land development regulations;
  - Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones;
  - Calculations for open space ratios, floor area ratios, residential density and parking;
  - Location and type of outdoor lighting;
  - Extent and area of wetlands, open space areas and landscape areas;
  - Location of solid waste storage;
  - Location of sewage treatment facilities;
  - Location of existing and proposed fire hydrants or fire wells;
- Floor Plans for all proposed structures and for any existing structures to be redeveloped – 16 sets** (drawn at an appropriate standard architectural scale and including handicap accessibility features);
- Elevations for all proposed structures and for any existing structures to be modified – 16 sets** (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure);
- Landscape Plan by a Florida registered landscape architect – 16 sets** (may be shown on the site plan; however, if a separate plan, must drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the landscaping plan should include the following:
- ON SITE PLAN**
- Date, north point and graphic scale;
  - Boundary lines of site, including all property lines and mean high-water lines;
  - Locations and dimensions of all existing and proposed structures and drives;
  - Open space preservation areas;
  - Existing natural features;
  - Size and type of buffer yards including the species, size and number of plants;
  - Parking lot landscaping including the species, size and number of plants;
  - Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced;
  - Transplantation plan (if required);
- Conceptual Drainage Plan – 16 sets** (with drainage calculations; existing and proposed topography; all drainage structures; retention areas; drainage swales; and existing and proposed permeable and impermeable areas;
- Traffic Study, prepared by a licensed traffic engineer;**
- Construction Management Plan**, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging);
- Typed name and address mailing labels of all property owners within a 300 foot radius of the property.** This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 300 foot radius, each unit owner must be included;
- Letters of Coordination are required from the following:**
- Florida Keys Aqueduct Authority (FKAA);
  - Florida Keys Electric Cooperative (FKEC) or Keys Energy Services;
  - Monroe County Office of the Fire Marshal;

APPLICATION

- Monroe County Health Department;
- Monroe County Solid Waste Management;
- Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day;

If applicable, the following must be submitted in order to have a complete application submittal:

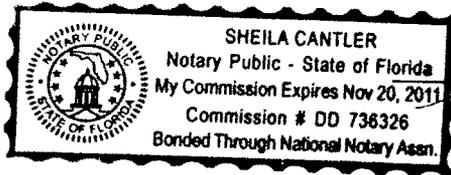
- Notarized Agent Authorization Letter** (note: authorization is needed from all owner(s) of the subject property)
- Vegetation Survey or Habitat Evaluation Index** (please contact Monroe County Environmental Resources prior to application submittal to determine if this documentation is necessary)
- Construction Phasing Plan**
- Additional Letters of Coordination** may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:
  - Key Largo Wastewater Treatment District (KLWTD)
  - South Florida Water Management District (SFWMD)
  - Florida Department of Transportation (FDOT)
  - Florida Department of Environmental Protection (FDEP)
  - Florida Department of State, Division of Historic Resources
  - Florida Game and Freshwater Fish Commission (FGFFC)
  - U.S. Army Corps of Engineers (ACOE)
  - U.S. Fish and Wildlife Service (USFW)

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: *[Handwritten Signature]* Date: 10/29/09

Sworn before me this 30<sup>th</sup> day of Oct, 2009

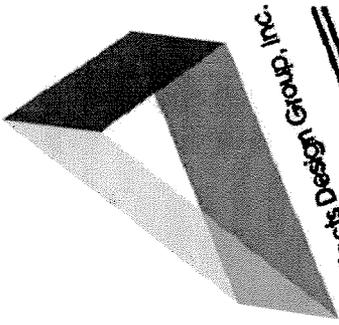


*[Handwritten Signature]*  
Notary Public  
My Commission Expires

Please send the complete application package to the Monroe County Planning & Environmental Resources Department, Marathon Government Center, 2798 Overseas Highway, Suite 400, Marathon, FL 33050.







**Architects Design Group, Inc.**  
 Architects and Planners

1515 K. Beterens V, F.A.I.A.  
 President  
 Kevin R. Gignac  
 Senior Vice President  
 Senior Vice President  
 Vice President  
 Associate  
 Associate

10000 Gulf Blvd  
 P.O. Box 1710  
 Miami Beach, Florida 33139  
 Street Address:  
 9000 North Krome Avenue  
 Street Address:  
 333 North Krome Avenue  
 Miami Beach, Florida 33139  
 Tel: 305/691-1700  
 Fax: 305/691-1700

20000 North Krome Avenue  
 P.O. Box 2880  
 Fort Myers, Florida 33902  
 Street Address:  
 1518 Herndy Street  
 Fort Myers, Florida 33902  
 Tel: 239/491-3955  
 Fax: 239/491-3955

www.architectsgroup.com  
 info@architectsgroup.com

**PROJECT DESCRIPTION and COMMUNITY IMPACT STATEMENT**

Monroe County Emergency Operations Center  
 Monroe County, Florida  
 ADG Project No. 817-09

October 29, 2009

**1. Project Description:**

The Monroe County Emergency Operations Center consists of approximately 15,000 square feet designed to meet the Florida Division of Emergency Management standards for the 10,000 year storm deemed by the State of Florida as: "Near Absolute" and survivable for storm surge event.

The facility envelope, or exterior surfaces and systems, will also be protected from large missiles impact, as required by the State, and is so designed as to be operational during and after a hurricane event.

The building envelope and engineering systems are design for optimal energy efficiency with interior materials and finishes specified with recycled content and low emission properties.

**2. Community Impact:**

The Monroe County Emergency Operations Center is a critical governmental facility providing strategic space for the emergency management department and related response personnel involved in a natural or man-made event. It also provides communications and technology systems for such situations. Therefore, while the physical impact to the community will be low, the result of efficient communications and development of services during an emergency event will be of significant benefit and critical to the ability of Monroe County to be fully capable of providing emergency response.

***TIMMINS ENGINEERING, LLC***

Thomas M. Timmins, P.E.

Consulting Engineer, Florida P.E. No. 45406

P.O. BOX 639-BIG PINE KEY, FLORIDA 33043 305-872-4060

**July 29, 2009**

TO: Rosa S. Washington, Director  
Monroe County Solid Waste Management  
1100 Simonton St. Suite 2-284  
Key West, FL. 33040

RE: Monroe County Emergency Operations Center (EOC)  
Marathon Airport  
Marathon, FL. 33050

Dear Ms. Washington,

The purpose of this letter is to begin a coordination process for the captioned project with Solid Waste Management. The EOC building will have an approximate floor area of 15,000 square feet with a maximum of 64 staff during peak periods of use. Please see the attached plan for your review and advise this office of any changes or additional information needed. Thank you.

Sincerely,



THOMAS M. TIMMINS, P.E.

***TIMMINS ENGINEERING, LLC***

Thomas M. Timmins, P.E.

Consulting Engineer, Florida P.E. No. 45406

P.O. BOX 639-BIG PINE KEY, FLORIDA 33043 305-872-4060

**July 29, 2009**

TO: Mr. Reggie Parros, Director  
Marathon Airport  
9400 Overseas Hwy.  
Marathon, FL. 33050

RE: Monroe County Emergency Operations Center (EOC)  
Marathon Airport  
Marathon, FL. 33050

Dear Mr. Parros,

The purpose of this letter is to begin a coordination process for the captioned project with the Marathon Airport office for review of the project. The EOC building will have an approximate floor area of 15,000 square feet with a maximum of 64 staff during peak periods of use. Please see the attached plan for your review and advise this office of any changes or additional information needed. Thank you.

Sincerely,



THOMAS M. TIMMINS, P.E.

***TIMMINS ENGINEERING, LLC***

Thomas M. Timmins, P.E.

Consulting Engineer, Florida P.E. No. 45406

P.O. BOX 639-BIG PINE KEY, FLORIDA 33043 305-872-4060

**July 29, 2009**

TO: Ms. Nancy Brooking  
Weiler Engineering  
5800 Overseas Hwy.  
Marathon, FL. 33050

RE: Monroe County Emergency Operations Center (EOC)  
Marathon Airport  
Marathon, FL. 33050

Dear Ms. Brooking,

The purpose of this letter is to begin a coordination process for the captioned project with Weiler Engineering for connection of the building to the Marathon central sewer system. The EOC building will have an approximate floor area of 15,000 square feet with a maximum of 64 staff during peak periods of use. Please see the attached plan for your review and advise this office of any changes or additional information needed. Thank you.

Sincerely,



THOMAS M. TIMMINS, P.E.

***TIMMINS ENGINEERING, LLC***

Thomas M. Timmins, P.E.

Consulting Engineer, Florida P.E. No. 45406

P.O. BOX 639-BIG PINE KEY, FLORIDA 33043 305-872-4060

**July 29, 2009**

TO: Mr. Kevin Wilson, P.E.  
Monroe County Asst. Director of Project Management  
Murray E. Nelson Center  
102050 Overseas Hwy. Suite 214  
Key Largo, FL. 33037

RE: Monroe County Emergency Operations Center (EOC)  
Marathon Airport  
Marathon, FL. 33050

Dear Mr. Wilson,

The purpose of this letter is to begin a coordination process for the captioned project with the County for review of the site stormwater management plan. The EOC building will have an approximate floor area of 15,000 square feet with a maximum of 64 staff during peak periods of use. Please see the attached plan for your review and advise this office of any changes or additional information needed. Thank you.

Sincerely,



THOMAS M. TIMMINS, P.E.

***TIMMINS ENGINEERING, LLC***

Thomas M. Timmins, P.E.

Consulting Engineer, Florida P.E. No. 45406

P.O. BOX 639-BIG PINE KEY, FLORIDA 33043 305-872-4060

**July 29, 2009**

TO: Mr. Keith Kropf  
Director of Engineering  
Florida Keys Electric Cooperative  
P.O. Box 377  
Tavernier, FL. 33037-0377

RE: Monroe County Emergency Operations Center (EOC)  
Marathon Airport  
Marathon, FL. 33050

Dear Mr. Kropf,

The purpose of this letter is to begin a coordination process for the captioned project with FKEC for review of the project. The EOC building will have an approximate floor area of 15,000 square feet with a maximum of 64 staff during peak periods of use. Please see the attached plan for your review and advise this office of any changes or additional information needed. Thank you.

Sincerely,



THOMAS M. TIMMINS, P.E.

***TIMMINS ENGINEERING, LLC***

Thomas M. Timmins, P.E.

Consulting Engineer, Florida P.E. No. 45406

P.O. BOX 639-BIG PINE KEY, FLORIDA 33043 305-872-4060

**July 29, 2009**

TO: Ms. Marnie Thrift  
Engineering Department  
Florida Keys Aqueduct Authority  
1100 Kennedy Dr.  
Key West, FL. 33040

RE: Monroe County Emergency Operations Center (EOC)  
Marathon Airport  
Marathon, FL. 33050

Dear Ms. Thrift,

The purpose of this letter is to begin a coordination process for the captioned project with the Florida Keys Aqueduct Authority. The EOC building will have an approximate floor area of 15,000 square feet with a maximum of 64 staff during peak periods of use. Please see the attached plan for your review and advise this office of any changes or additional information needed. Thank you.

Sincerely,



THOMAS M. TIMMINS, P.E.

***TIMMINS ENGINEERING, LLC***

Thomas M. Timmins, P.E.

Consulting Engineer, Florida P.E. No. 45406

P.O. BOX 639-BIG PINE KEY, FLORIDA 33043 305-872-4060

**July 29, 2009**

TO: Captain Steven Zavalney  
Office of the County Fire Marshal  
490 63<sup>rd</sup> Street  
Marathon, FL. 33050

RE: Monroe County Emergency Operations Center (EOC)  
Marathon Airport  
Marathon, FL. 33050

Dear Captain. Zavalney,

The purpose of this letter is to begin a coordination process for the captioned project with the Fire Marshal's office. The EOC building will have an approximate floor area of 15,000 square feet with a maximum of 64 staff during peak periods of use. Please see the attached plan for your review and advise this office of any changes or additional information needed. Thank you.

Sincerely,



THOMAS M. TIMMINS, P.E.

# Monroe County Property Record Card (149)

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

MONROE COUNTY FLIGHT  
STRIP  
500 WHITEHEAD STREET  
KEY WEST FL 33040

Parcel 00101160-000000-01-66-32      Nhd 10040  
Alt Key 1118273      Mill Group 50CM  
Affordable Housing No      PC 8600  
FEMA Injunction ALL  
Inspect Date      Next Review  
Business Name  
Physical Addr 9400 OVERSEAS HWY, MARATHON

## Associated Names

Name	DBA	Role	% Own
MONROE COUNTY FLIGHT,		Owner	100.00000

## Legal Description

1 66 32 KEY VACCAS PT GOV LOTS 1-3-4 & PT E 1/2 OF SW 1/4 & PT SW 1/4 OF SW 1/4 OR 144-590/91 RE #S 10117 & 10118 COMBINED FOR ASSMT PURPOSES-7-16-96 CW

## Land Data 1.

Line ID	Use	Front	Depth	Notes	# Units	Type	SOH %	Rate	Depth	Loc	Shp	Phys	Class	ROGO	Class Value	Just Value
12598	8600	0	0	Yes	90.00	AC	0.00	8,500.00	1.00	1.00	1.00	1.00		N	0	765,000
12599	8600	0	0	Yes	32.00	AC	0.00	8,500.00	1.00	1.00	1.00	1.00		N	0	272,000
12600	8600	0	0	Yes	30.25	AC	0.00	8,500.00	1.00	1.00	1.00	1.00		N	0	257,125
<b>Total Just Value</b>																
1,294,125																

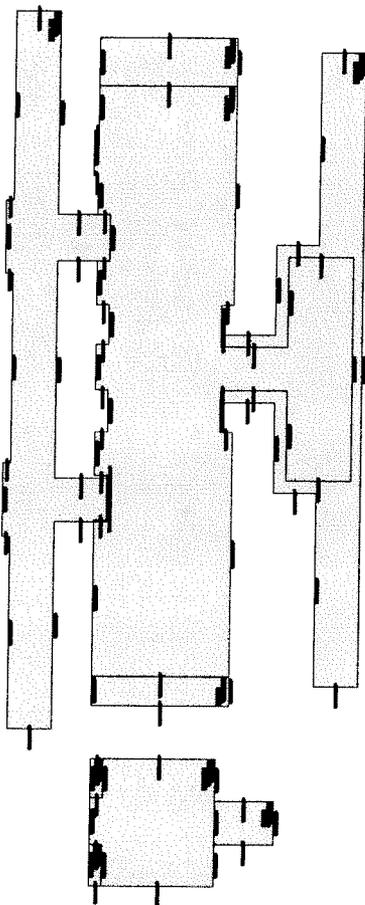
# Monroe County Property Record Card (149)

Building Sketch 41239

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM



## Building Characteristics

Building Nbr	1	Building Type	0	Perimeter	1,106	Functional Obs	0.00
Effective Age	8	Condition	E	Depreciation %	0.10	Economic Obs	0.00
Grnd Floor Area	18051	Quality Grade	500	Year Built	1995		
Fireplaces	0	3 Fix Bath	0	7 Fix Bath	0		
2 Fix Bath	0	4 Fix Bath	0	Extra Fix	23		
5 Fix Bath	0	6 Fix Bath	0				

## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	12	1	1984		15,616	000	0.00
OPX	2	0	1	1984		4,152	001	0.00
CAN	3	0	1	1995		660	002	0.00
CAN	4	0	1	1995		1,100	003	0.00
OPX	5	0	1	1995		6,266	004	0.00
FLA	6	12	1	1995		2,435	005	0.00

**Monroe County Property Record Card (149)**

Alternate Key: 1118273 Roll Year 2010  
 Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

OPX	7	0	1	1995	432	006	0.00
OPX	8	0	1	1995	85	007	0.00
OPX	9	0	1	1995	80	008	0.00

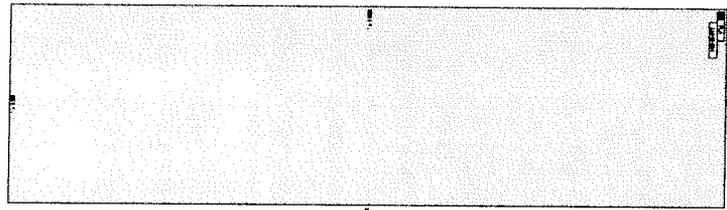
**Interior Finish**

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8071	AIRPORT COM TERM-A-	70.00	Y	Y	2447	CUSTOM	100.00	22	0	
1	8072	OFF BLDG 1 STY-A	30.00	Y	Y						
6	8073	OFF BLDG 1 STY-A	100.00	Y	Y						

**Refinements**

Number	Code	Code Rate	# Units	Unit Type	RCN
		3,200.00	2	UT	0
		29,000.00	1	UT	0

Building Sketch 41248



# Monroe County Property Record Card (149)

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

## Building Characteristics

Building Nbr	10	Building Type	0	Perimeter	528	Functional Obs	0.00
Effective Age	9	Condition	A	Depreciation %	0.12	Economic Obs	0.00
Grnd Floor Area	11948	Quality Grade	350	Year Built	2002		
Fireplaces	0	3 Fix Bath	0	5 Fix Bath	0	7 Fix Bath	0
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	8

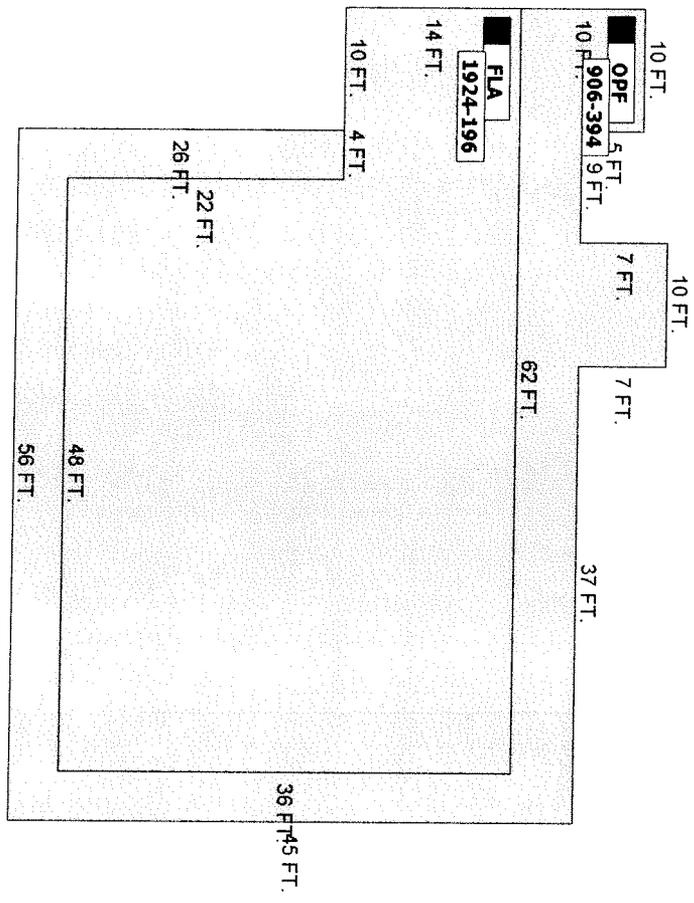
## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	15	1	2002		11,948	035	0.00

## Interior Finish

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Exterior Finish	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8087	HANGERS COMM/PRIVATE	100.00	N	N	2456	METAL SIDING			100.00	10	0

## Building Sketch 41240



# Monroe County Property Record Card (149)

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

## Building Characteristics

Building Nbr	2	Building Type	0	Perimeter	196	Functional Obs	0.00
Effective Age	15	Condition	A	Depreciation %	0.19	Economic Obs	0.00
Grnd Floor Area	1924	Quality Grade	300	Year Built	1968		
Fireplaces	0	3 Fix Bath	0	5 Fix Bath	0	7 Fix Bath	0
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	9

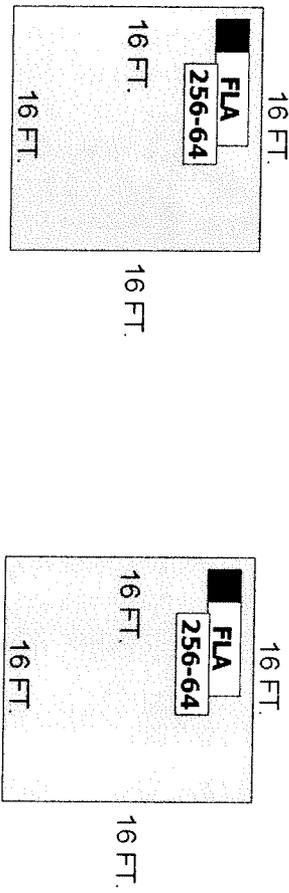
## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1		8	1984		1,924	009	0.00
OPF	2		0	1984		906	010	0.00

## Interior Finish

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8074	COUNTY BLDGS C	100.00	N	Y	2448		C.B.S.	100.00	16	0
2	8075		100.00	N	N						

## Exterior Finish



# Monroe County Property Record Card (149)

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

## Building Characteristics

Building Nbr	4	Building Type	0	Perimeter	128	Functional Obs	0.00
Effective Age	8	Condition	E	Depreciation %	0.10	Economic Obs	0.00
Grnd Floor Area	512	Quality Grade	400	Year Built	1995		
Fireplaces	0	3 Fix Bath	0	5 Fix Bath	0	7 Fix Bath	0
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	0

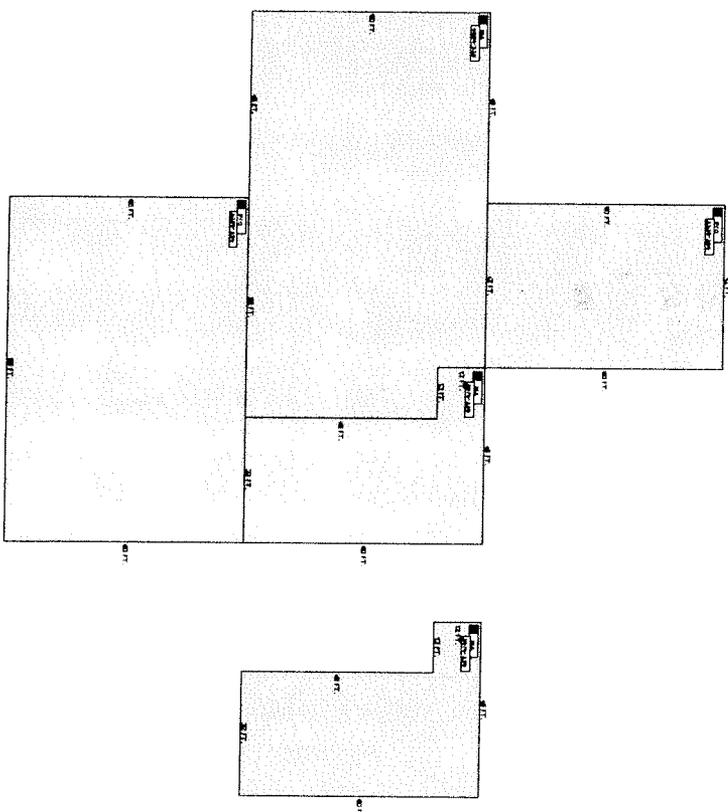
## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	8	1	1995		256	021	0.00
FLA	2	8	1	1995		256	022	0.00

## Interior Finish

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8078	SERVICE SHOPS-A-	100.00	N	N	2450	C.B.S.		100.00	16	0
2	8079	SERVICE SHOPS-A-	100.00	N	N						

Building Sketch 41243



# Monroe County Property Record Card (149)

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

## Building Characteristics

Building Nbr	5	Building Type	0	Perimeter	748	Functional Obs	0.00
Effective Age	23	Condition	A	Depreciation %	0.30	Economic Obs	0.00
Grnd Floor Area	10236	Quality Grade	300	Year Built	1976		
Fireplaces	0	3 Fix Bath	0	5 Fix Bath	0	7 Fix Bath	0
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	0

## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	10	1	1976		2,076	023	0.00
FLA	2	20	1	1976		6,084	024	0.00
PTO	3	0	1	1977		2,520	025	0.00
PTO	4	0	1	1977		5,280	026	0.00
FLA	5	10	1	1976		2,076	027	0.00

## Interior Finish

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8080	OFF BLDG-1 STY-D	100.00	N	Y		2451	METAL SIDING	100.00	10	0
2	8081	HANGERS COMM/PRIVATE	100.00	N	N						
5	8082	OFF BLDG-1 STY-D	100.00	N	Y						

## Exterior Finish

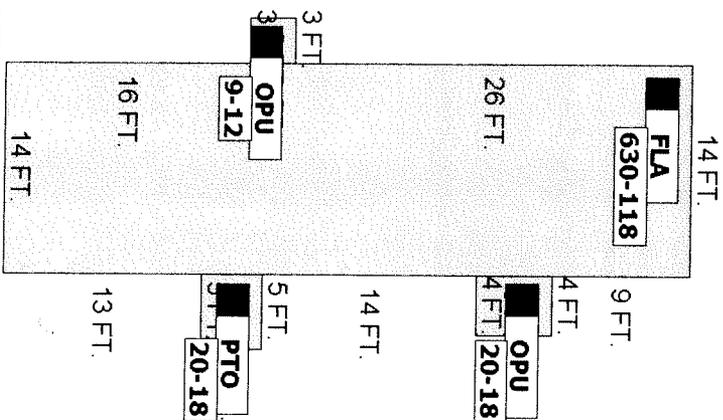
# Monroe County Property Record Card (149)

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

Building Sketch 41244



Building Characteristics		Building Type		Perimeter	118	Functional Obs	0.00
Building Nbr	6	Building Type	0	Perimeter	118	Functional Obs	0.00
Effective Age	10	Condition	A	Depreciation %	0.13	Economic Obs	0.00
Grnd Floor Area	630	Quality Grade	250	Year Built	2000		
Fireplaces	0	3 Fix Bath	0	5 Fix Bath	0	7 Fix Bath	0
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	3

Sections		Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	1	8	1	2000	630	028	0.00		
OPU	2	0	1	2000	20	029	0.00			
PTO	3	0	1	2000	20	030	0.00			
OPU	4	0	1	2000	9	031	0.00			

Interior Finish		Exterior Finish									
Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN

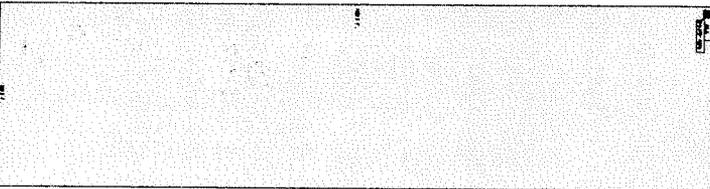
**Monroe County Property Record Card (149)**

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

1	8083	OFF BLDG-1 STY-D	100.00	N	Y	2452	METAL SIDING	100.00	10	0
Building Sketch 41245										



**Building Characteristics**

Building Nbr	7	Building Type	0	Perimeter	486	Functional Obs	0.00
Effective Age	9	Condition	A	Depreciation %	0.12	Economic Obs	0.00
Grnd Floor Area	9650	Quality Grade	350	Year Built	2002		
Fireplaces	0	3 Fix Bath	0	7 Fix Bath	0		
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0		
				Extra Fix	8		

**Sections**

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	15	1	2002		9,650	032	0.00

**Interior Finish**

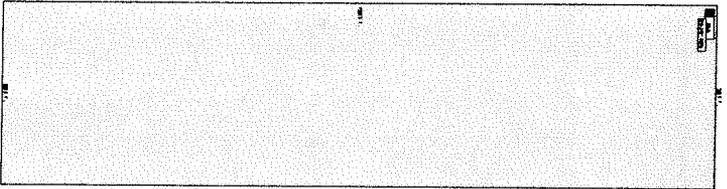
Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8084	HANGERS COMM/PRIVATE	100.00	Y	N	2453		METAL SIDING	100.00	10	0

**Exterior Finish**

# Monroe County Property Record Card (149)

Alternate Key: 1118273      Roll Year 2010  
 Effective Date: 10/30/2009 12:32:22 PM      Run: 10/30/2009 12:33 PM

Building Sketch 41246



## Building Characteristics

Building Nbr	8	Building Type	0	Perimeter	486	Functional Obs	0.00
Effective Age	9	Condition	A	Depreciation %	0.12	Economic Obs	0.00
Grnd Floor Area	9650	Quality Grade	350	Year Built	2003		
Fireplaces	0	3 Fix Bath	0	7 Fix Bath	0		
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	8

## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	15	1	2002		9,650	033	0.00

## Interior Finish

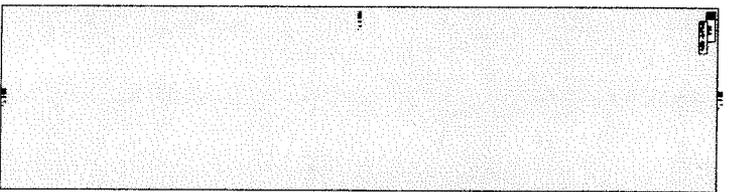
Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8085	HANGERS COMM/PRIVATE	100.00	Y	N	2454	2454	METAL SIDING	100.00	10	0

## Exterior Finish

# Monroe County Property Record Card (149)

Alternate Key: 1118273 Roll Year 2010  
 Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

Building Sketch 41247



## Building Characteristics

Building Nbr	9	Building Type	0	Perimeter	486	Functional Obs	0.00
Effective Age	9	Condition	A	Depreciation %	0.12	Economic Obs	0.00
Gmnd Floor Area	9650	Quality Grade	350	Year Built	2002		
Fireplaces	0	3 Fix Bath	0	7 Fix Bath	0		
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0		
				Extra Fix	8		

## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	15	1	2002		9,650	034	0.00

## Interior Finish

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8086	HANGERS COMM/PRIVATE	100.00	Y	N	2455		METAL SIDING	100.00	10	0

## Exterior Finish

# Monroe County Property Record Card (149)

Alternate Key: 1118273  
 Effective Date: 10/30/2009 12:32:22 PM  
 Roll Year 2010  
 Run: 10/30/2009 12:33 PM

## Miscellaneous Improvements

Nbr	Impr Type	# Units	Type	SOH %	Length	Width	Year Built	Roll Year	Grade	Life	RCN	Depr Value
36	PT3:PATIO	1,554	SF	0.00			1989	1990	2	50	12,432	7,459
35	PT3:PATIO	1,912	SF	0.00	0	0	1994	1995	2	50	15,296	10,707
34	AP2:ASPHALT PAVING	25,300	SF	0.00	230	110	1994	1995	2	25	50,600	20,240
33	AP2:ASPHALT PAVING	21,075	SF	0.00	0	0	1994	1995	2	25	42,150	16,860
32	AP2:ASPHALT PAVING	73,560	SF	0.00	0	0	1994	1995	2	25	147,120	58,848
31	RW2:RETAINING WALL	600	SF	0.00	120	5	1978	1979	4	50	7,500	3,000
30	CL2:CH LINK FENCE	720	SF	0.00	120	6	2006	2007	2	30	1,440	1,296
29	AP2:ASPHALT PAVING	11,976	SF	0.00	499	24	2002	2003	3	25	83,832	60,359
28	AP2:ASPHALT PAVING	2,560	SF	0.00	0	0	2002	2003	3	25	17,920	12,902
27	AP2:ASPHALT PAVING	2,560	SF	0.00	0	0	2002	2003	3	25	17,920	12,902
26	AP2:ASPHALT PAVING	2,560	SF	0.00	0	0	2002	2003	3	25	17,920	12,902
25	AP2:ASPHALT PAVING	2,560	SF	0.00	0	0	2002	2003	3	25	17,920	12,902
24	AP2:ASPHALT PAVING	5,352	SF	0.00	223	24	2002	2003	3	25	37,464	26,974
23	CL2:CH LINK FENCE	71,160	SF	0.00	0	0	2006	2007	2	30	142,320	128,088
22	CL2:CH LINK FENCE	4,420	SF	0.00	0	0	2006	2007	1	30	7,735	6,962
21	AP2:ASPHALT PAVING	6,100	SF	0.00	0	0	1978	1979	2	25	12,200	4,880
20	UB2:UTILITY BLDG	48	SF	0.00	8	6	1988	1989	2	50	744	432
19	PT3:PATIO	60	SF	0.00	10	6	2000	2001	2	50	480	394
18	TK2:TKI	224	SF	0.00	16	14	1984	1985	1	40	2,083	833
17	UB2:UTILITY BLDG	80	SF	0.00	10	8	1984	1985	3	50	1,600	800
16	UB2:UTILITY BLDG	80	SF	0.00	10	8	1984	1985	2	50	1,240	620
15	AC2:WALL AIR COND	4	UT	0.00	0	0	1988	1989	2	20	2,000	800
14	PT3:PATIO	104	SF	0.00	26	4	1976	1977	2	50	832	333
13	CL2:CH LINK FENCE	780	SF	0.00	0	0	2006	2007	2	30	1,560	1,404
12	CL2:CH LINK FENCE	4,260	SF	0.00	710	6	2006	2007	2	30	8,520	7,668
11	FN2:FENCES	636	SF	0.00	106	6	1988	1989	2	30	2,226	890
10	AP2:ASPHALT PAVING	21,446	SF	0.00	0	0	1976	1977	2	25	42,892	17,157
9	PT3:PATIO	24,800	SF	0.00	0	0	1978	1979	2	50	198,400	79,360
8	CL2:CH LINK FENCE	1,140	SF	0.00	190	6	2006	2007	2	30	2,280	2,052
7	CL2:CH LINK FENCE	900	SF	0.00	150	6	2006	2007	1	30	1,575	1,418
6	PT3:PATIO	9,100	SF	0.00	0	0	1994	1995	2	50	72,800	50,960
5	AH2:AIRPLANE HANGE	8,480	SF	0.00	265	32	1965	1966	2	60	237,440	94,976
4	AP2:ASPHALT PAVING	316,800	SF	0.00	3,168	100	1965	1966	2	25	633,600	253,440



# Monroe County Property Record Card (149)

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	08200018	Jan 8 2008 12:00AM		4,000,000		
	P2008-05 97	Jul 11 2008 12:00AM		117,000		GENERATOR BUILDING AND FENCE REPLACEMENT REROOF TRUCK BAY & MAIN LIVING QUARTERS
	9929223	May 7 1999 12:00AM	Jul 24 2000 12:00AM	185,000		ELECTRIC MISC/TAXI LIGHTS
	992845	Apr 15 1999 12:00AM	Jul 24 2000 12:00AM	11,500		PLANT BUFFER FIRE HOUSE
	992964	May 14 1999 12:00AM	Jul 24 2000 12:00AM	1,900		ELEC UPGRADE MAIN TERM.
	9923078	Dec 20 1999 12:00AM	Jul 24 2000 12:00AM	1,200		MOVE TRAILER/FIRE STATION
	9921432	Aug 31 1999 12:00AM	Jul 24 2000 12:00AM	50,000		REPAIR SHADE HANGER
	9921311	Sep 22 1999 12:00AM	Jul 24 2000 12:00AM	1		ELEC. REPAIR BEACON TOWER
	1202096	Jul 10 2001 12:00AM		3,900		TIEDOWN FEDEX TRAILER
	010726	Sep 14 2001 12:00AM		8,000		NEW STORAGE CLOSET IN BAY
	010784	Sep 19 2001 12:00AM		1		RECONNECT 110 V SERVICE
	1204027	Nov 13 2001 12:00AM		2,500		REMOVE & RELOCATE CLFENCE
	05206410	Nov 30 2005 12:00AM		144,000		REMOVE RUST & PAINT CANOPY AT FRONT ENTRANCE & INSTALL NEW CANVAS
	P2006-03 58	Mar 3 2006 12:00AM		1,000		Install electrical services and temporary power cords for seafood festival
	6100271	Jan 11 2006 12:00AM		2,000		20 FEMA TRAILERS
	5206410	Nov 30 2005 12:00AM		144,000		REMOVE RUST AND PAINT CANOPY
	6203170	Jun 19 2006 12:00AM		400,000		RAISE ELEC/DRYWALL
	P2006-14 64	Feb 28 2007 12:00AM		6,192		PRECAST CONCREGATE FIRE STATION
	6201856	Mar 22 2006 12:00AM		250,000		DEMO TILE/WALLS TERMINAL
	4202791	May 17 2005 12:00AM		200,000		RESURFACE CARGO APRON
	P2006-10 60	Jul 13 2006 12:00AM		19,000		TEMPORARY FENCING FOR HOMELAND SECURITY TERMINAL
	P2006-96 4	Jul 13 2006 12:00AM		65,000		DEMO FIRE STATION

# Monroe County Property Record Card (149)

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM

Run: 10/30/2009 12:33 PM

Just Value	Building Value	Land
41239	3,623,288	1,294,125
41248	680,995	7,161,766
41240	238,297	921,148
41242	68,881	9,377,039
41243	719,694	
41244	44,348	
41245	595,421	
41246	595,421	
41247	595,421	

Value Method      Market Oriented Cost      Special Use Code

# Monroe County Property Record Card (149)

Alternate Key: 1118273 Roll Year 2010  
 Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

Value History												
Tax Year	Val Meth	Just Land	Class Land	Building	Misc	Just	Assessed Value	Exempt	Sr Ex	Tax Value		
2009F	C	1,294,125	0	7,354,312	946,055	9,594,492	9,594,492	9,594,492	N	0	0	0
2008F	C	1,522,500	0	7,410,386	880,768	9,813,654	9,813,654	9,813,654	N	0	0	0
2007F	C	2,968,875	0	5,182,046	888,388	9,039,309	9,039,309	9,039,309	N	0	0	0
2006F	O	2,968,875	0	5,540,428	912,490	8,646,133	8,646,133	8,646,133	N	0	0	0
2005F	C	2,968,875	0	5,585,706	928,035	9,482,616	9,482,616	9,482,616	N	0	0	0
2004F	C	22,837,500		5,683,480	951,890	29,472,870	29,472,870	29,472,870	N	0	0	0
2003F	C	22,837,500		3,959,545	782,747	27,579,792	27,579,792	27,579,792		0	0	0
2002F	C	22,837,500		3,959,545	799,048	27,596,093	27,596,093	27,596,093		0	0	0
2001F	C	22,837,500		3,959,545	819,229	27,616,274	27,616,274	27,616,274		0	0	0
2000F	C	22,837,500		221,318	46,518	23,105,336	23,105,336	23,105,336		0	0	0
1999F	C	22,837,500		221,318	47,450	23,106,268	23,106,268	23,106,268		0	0	0
1998F	C	22,837,500		147,653	49,316	23,034,469	23,034,469	23,034,469		0	0	0
1997F	C	22,837,500		147,653	51,205	23,036,358	23,036,358	23,036,358		0	0	0
1996F	C	22,837,500		134,231	52,160	23,023,891	23,023,891	23,023,891		0	0	0
1995F	C	13,500,000		35,837,500	51,696	13,587,533	13,587,533	13,587,533		0	0	0
1994F	C	13,500,000		35,837,500	53,562	13,589,399	13,589,399	13,589,399		0	0	0
1993F	C	10,350,000		35,837,500	54,494	10,440,331	10,440,331	10,440,331		0	0	0
1992F	C	10,350,000		35,837,500	56,360	10,442,197	10,442,197	10,442,197		0	0	0
1991F	C	10,350,000		35,837,500	58,226	10,444,063	10,444,063	10,444,063		0	0	0
1990F	C	10,350,000		35,837,500	59,158	10,444,995	10,444,995	10,444,995		0	0	0
1989F	C	9,900,000		35,837,500	61,024	9,996,861	9,996,861	9,996,861		0	0	0
1988F	C	8,280,000		29,375	62,772	8,372,147	8,372,147	8,372,147		0	0	0
1987F	C	672,175		28,823	63,704	764,702	764,702	764,702		0	0	0
1986F	C	672,175		28,899	65,570	766,644	766,644	766,644		0	0	0
1985F	C	672,175		28,237	67,457	767,869	767,869	767,869		0	0	0
1984F	C	672,175		0	27,220	699,395	699,395	699,395		0	0	0
1983F	C	672,175		0	27,220	699,395	699,395	699,395		0	0	0
1982F	C	672,175		0	27,220	699,395	699,395	699,395		0	0	0

**Monroe County Property Record Card (149)**

Alternate Key: 1118273

Roll Year 2010

Effective Date: 10/30/2009 12:32:22 PM Run: 10/30/2009 12:33 PM

Total Values									
Bldg Value	7,161,766	Misc Value	921,148	Land Value	1,294,125	(Classified Value + Non-Ag Land Just Value)		New Const Value	0
Total Just Value	9,377,039	Total Expt Value	9,377,039	Taxable Value	0	Classified Value	1,294,125	Previous Just	9,594,492

Exemptions									
Code	Description	Value	Year	Renewal	%	Amount Applied			
14	COUNTYLANDS		1901	1	100.00				

**Monroe County Property Record Card (149)**

Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

MONROE COUNTY FLIGHT  
STRIP  
500 WHITEHEAD STREET  
KEY WEST FL 33040

Parcel 00104500-000000-06-66-33 Nhd 10040  
Alt Key 1122114 Mill Group 50CM  
Affordable Housing No PC 8600  
FEMA Injunction  
Inspect Date Next Review  
Business Name  
Physical Addr 10600 AVIATION BLVD, MARATHON

Associated Names	
Name	DBA
MONROE COUNTY FLIGHT,	
	Role % Own
	Owner 100.00000

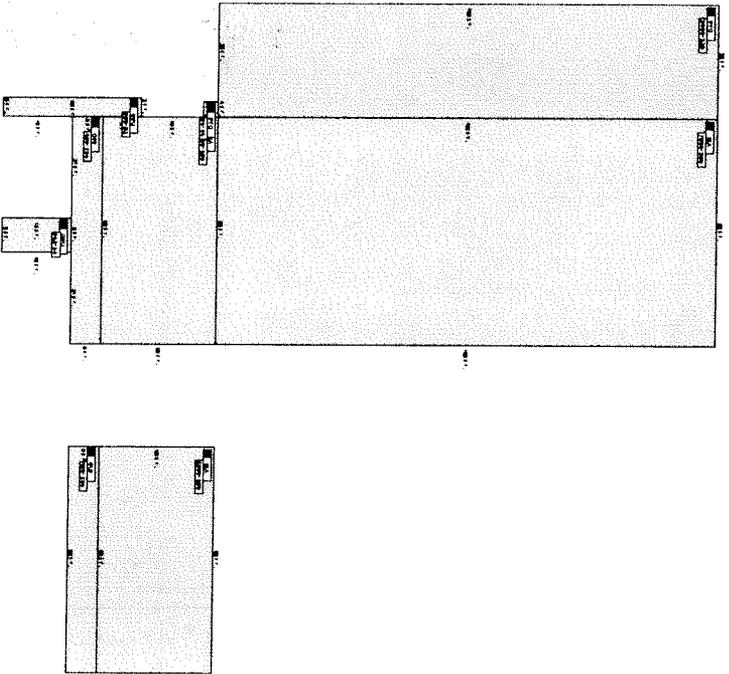
Legal Description  
6 66 33 N66306-31 KEY VACCAS PT LOT 2 OR144-590-591

Land Data 1																
Line ID	Use	Front	Depth	Notes	# Units	Type	SOH %	Rate	Depth	Loc	Shp	Phys	Class	ROGO	Class Value	Just Value
13115	8600	0	0	Yes	67.50	AC	0.00	8,500.00	1.00	1.00	1.00	1.00		N	0	573,750
Total Just Value															573,750	

# Monroe County Property Record Card (149)

Alternate Key: 1122114 Roll Year 2010  
 Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

Building Sketch 41520



## Building Characteristics

Building Nbr 1 Building Type 0 Perimeter 740 Functional Obs 0.00  
 Effective Age 23 Condition A Depreciation % 0.30 Economic Obs 0.00  
 Gmd Floor Area 11400 Quality Grade 300 Year Built 1964

Fireplaces 0 3 Fix Bath 0 5 Fix Bath 0 7 Fix Bath 0  
 2 Fix Bath 0 4 Fix Bath 0 6 Fix Bath 0 Extra Fix 6

## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	24	1	1998		7,800	000	0.00
PTO	2	0	1	1998		3,900	001	0.00
FLA	3	10	1	1998		1,800	002	0.00
PTO	4	0	1	1998		16	003	0.00
OPU	5	0	1	1998		180	004	0.00
OPF	6	0	1	1998		480	005	0.00

# Monroe County Property Record Card (149)

Alternate Key: 1122114

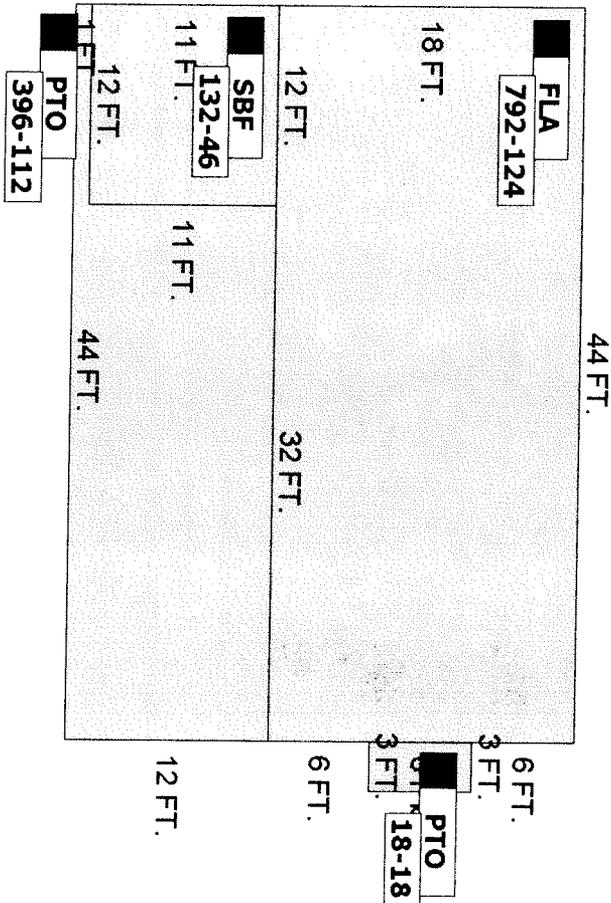
Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

OPU	7	0	1	1998	162	006	0.00
OUF	8	0	1	1998	480	007	0.00
FLA	9	10	1	1998	1,800	008	0.00

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Exterior Finish		Area %	Wall Rate	RCN
							Ext Nbr	Wall Type			
1	8733	HANGERS COMM/PRIVATE	100.00	N	N	2764	CUSTOM	100.00	22	0	
3	8734	AIRPORT COM TERM-A-	100.00	Y	Y						
4	8735	AIRPORT COM TERM-A-	100.00	N	Y						
9	8736	AIRPORT COM TERM-A-	100.00	Y	Y						

Building Sketch 41527



# Monroe County Property Record Card (149)

Alternate Key: 1122114  
 Effective Date: 10/30/2009 12:30:45 PM  
 Roll Year 2010  
 Run: 10/30/2009 12:31 PM

## Building Characteristics

Building Nbr	10	Building Type	0	Perimeter	124	Functional Obs	0.00
Effective Age	18	Condition	A	Depreciation %	0.23	Economic Obs	0.00
Grnd Floor Area	792	Quality Grade	250	Year Built	1981		
Fireplaces	0	3 Fix Bath	0	5 Fix Bath	0	7 Fix Bath	0
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	0

## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	14	1	1994		792	055	0.00
SBF	2	0	1	1994		132	056	0.00
PTO	3	0	1	1994		396	057	0.00
PTO	4	0	1	1994		18	058	0.00

## Interior Finish

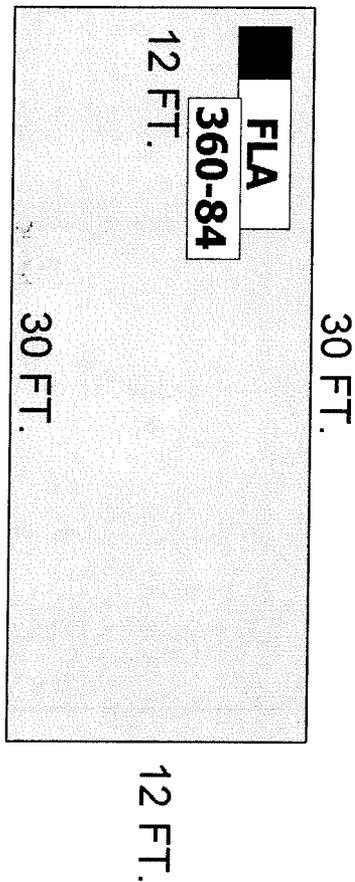
Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8756	SERVICE SHOPS-D-	100.00	N	N	2772		AVE WOOD SIDING	100.00	11	0
2	8757		100.00	N	N						

## Exterior Finish

**Monroe County Property Record Card (149)**

Alternate Key: 1122114 Roll Year 2010  
 Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

Building Sketch 41528



**Building Characteristics**

Building Nbr	11	Building Type	0	Perimeter	84	Functional Obs	0.00
Effective Age	10	Condition	A	Depreciation %	0.13	Economic Obs	0.00
Grnd Floor Area	360	Quality Grade	300	Year Built	2000		
Fireplaces	0	3 Fix Bath	0	7 Fix Bath	0		
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	0

**Sections**

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	8	1	1994		360	059	0.00

**Interior Finish**

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8758	SERVICE SHOPS-A-	100.00	N	N	2773		METAL SIDING	100.00	10	0

**Exterior Finish**

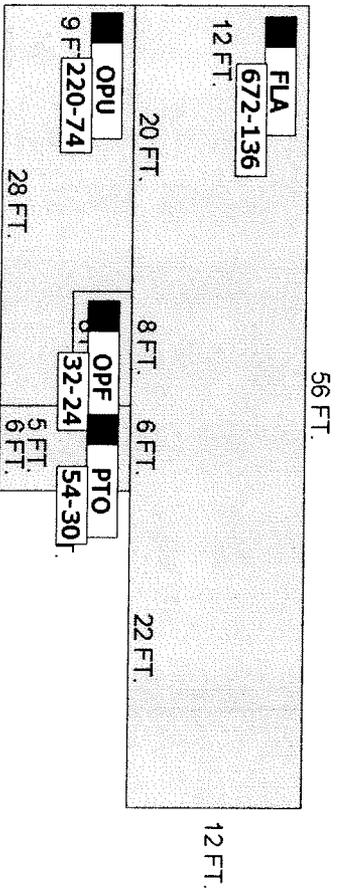
# Monroe County Property Record Card (149)

Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

Building Sketch 41529



## Building Characteristics

Building Nbr	12	Building Type	0	Perimeter	136	Functional Obs	0.00
Effective Age	18	Condition	A	Depreciation %	0.23	Economic Obs	0.00
Gnd Floor Area	672	Quality Grade	300	Year Built	1990		
Fireplaces	0	3 Fix Bath	0	7 Fix Bath	0		
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0		
		5 Fix Bath	0	Extra Fix	0		

## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	8	1	1994		672	060	0.00
OPF	2	0	1	1994		32	061	0.00
PTO	3	0	1	1994		54	062	0.00
OPU	4	0	1	1994		220	063	0.00

## Interior Finish

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Exterior Finish	Ext Nbr	Wall Type	Area %	Wall Rate	RCN

# Monroe County Property Record Card (149)

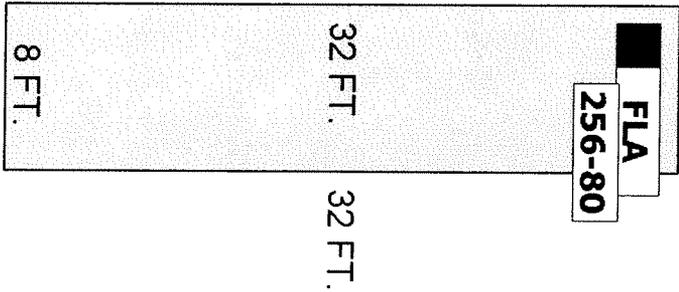
Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

1	8759	OFF BLDG-1 STY-D	100.00	N	Y	2774	METAL SIDING	100.00	10	0
---	------	------------------	--------	---	---	------	--------------	--------	----	---

8 FT.



## Building Characteristics

Building Nbr	13	Building Type	0	Perimeter	80	Functional Obs	0.00
Effective Age	18	Condition	A	Depreciation %	0.23	Economic Obs	0.00
Gnd Floor Area	256	Quality Grade	250	Year Built	1989		
Fireplaces	0	3 Fix Bath	0	7 Fix Bath	0		
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0		
				Extra Fix	0		

## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	8	1	1989		256	064	0.00

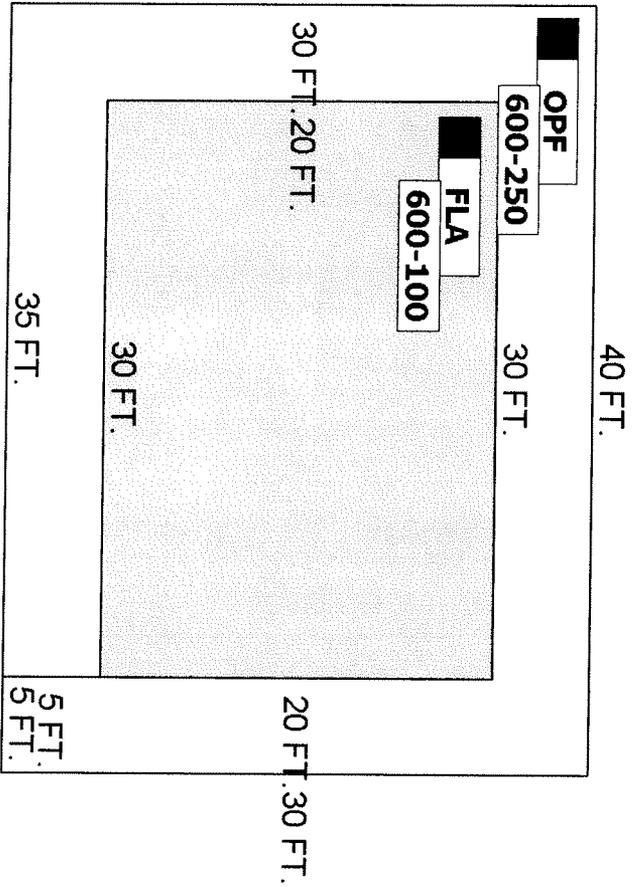
## Interior Finish

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Exterior Finish	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8760	OFF BLDG-1 STY-D	100.00	N	N	2775	METAL SIDING	100.00	10	0		0

**Monroe County Property Record Card (149)**

Alternate Key: 1122114  
 Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

Building Sketch 41531



**Building Characteristics**

Building Nbr	14	Building Type	0	Perimeter	100	Functional Obs	0.00
Effective Age	23	Condition	A	Depreciation %	0.30	Economic Obs	0.00
Gmd Floor Area	600	Quality Grade	300	Year Built	1971		
Fireplaces	0	3 Fix Bath	0	7 Fix Bath	0		
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0		
				Extra Fix	4		

**Sections**

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	8	1	1998		600	065	0.00
OPF	2	0	1	1998		600	066	0.00

**Interior Finish**

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Exterior Finish	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8761	SERVICE SHOPS-A-	100.00	N	N	2776	C.B.S.			100.00	16	0



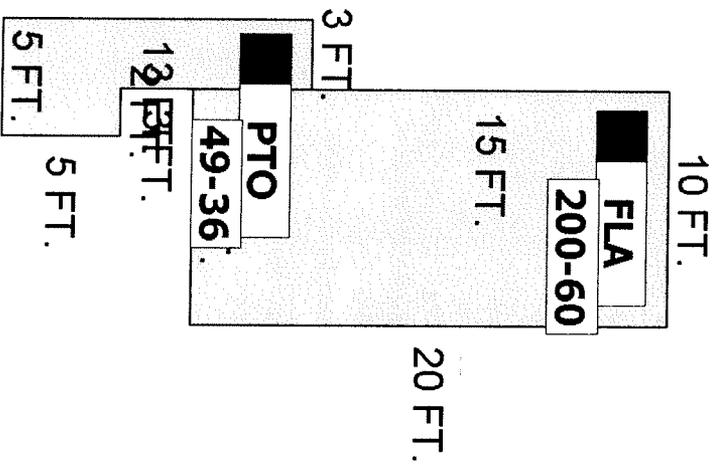
**Monroe County Property Record Card (149)**

Alternate Key: 1122114  
 Effective Date: 10/30/2009 12:30:45 PM  
 Roll Year 2010  
 Run: 10/30/2009 12:31 PM

OPU	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
OPU 3	0	1	1989	83	011	0.00			
OPF 4	0	1	1989	26	012	0.00			
OPU 5	0	1	1989	26	013	0.00			
OPF 6	0	1	1989	16	014	0.00			
OPU 7	0	1	1989	16	015	0.00			
OPF 8	0	1	1989	18	016	0.00			
OPU 9	0	1	1989	18	017	0.00			

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8737	OFF BLDG-1 STY-D	100.00	N	Y	2765	C.B.S.		100.00	16	0
2	8738		100.00	N	N						
4	8739		100.00	N	N						

Building Sketch 41522



# Monroe County Property Record Card (149)

Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

## Building Characteristics

Building Nbr	3	Building Type	0	Perimeter	60	Functional Obs	0.00
Effective Age	27	Condition	A	Depreciation %	0.36	Economic Obs	0.00
Grnd Floor Area	200	Quality Grade	300	Year Built	1971		
Fireplaces	0	3 Fix Bath	0	5 Fix Bath	0	7 Fix Bath	0
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	0

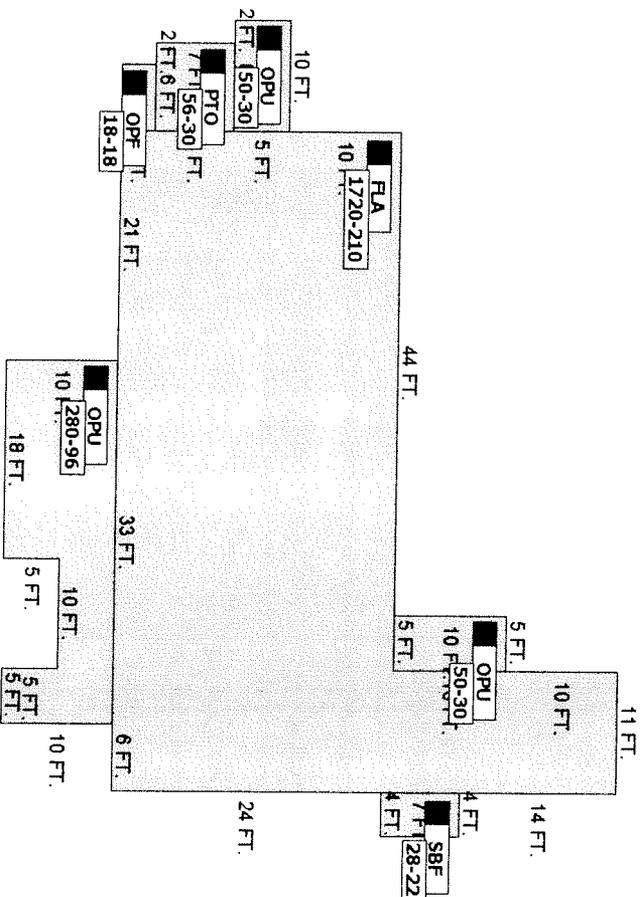
## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1		8	1989		200	022	0.00
PTO	2		0	1989		49	023	0.00

## Interior Finish

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8740	OFF BLDG-1 STY-D	100.00	N	N	2766		METAL SIDING	100.00	10	0

## Exterior Finish



# Monroe County Property Record Card (149)

Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

## Building Characteristics

Building Nbr	4	Building Type	0	Perimeter	210	Functional Obs	0.00
Effective Age	23	Condition	A	Depreciation %	0.30	Economic Obs	0.00
Grnd Floor Area	1720	Quality Grade	300	Year Built	1979		
Fireplaces	0	3 Fix Bath	0	5 Fix Bath	0	7 Fix Bath	0
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	4

## Sections

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	12	1	1989		1,720	024	0.00
SBF	2	0	1	1989		28	025	0.00
OPU	3	0	1	1989		280	026	0.00
OPF	4	0	1	1989		18	027	0.00
PTO	5	0	1	1989		56	028	0.00
OPU	6	0	1	1989		50	029	0.00
OPU	7	0	1	1989		50	030	0.00

## Interior Finish

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Exterior Finish	Area %	Wall Rate	RCN
1	8741	WAREHOUSE/MARINA A	60.00	N	N	2767	C.B.S.	100.00	16	0
1	8742	1 STY STORE-D	40.00	N	Y					



**Monroe County Property Record Card (149)**

Alternate Key: 1122114  
 Effective Date: 10/30/2009 12:30:45 PM  
 Roll Year 2010  
 Run: 10/30/2009 12:31 PM

FLA	15	13	1	1994	1,200	045	0.00
OUF	16	0	1	1994	132	046	0.00
FLA	2	11	1	1994	1,200	032	0.00
CAN	3	0	1	1994	630	033	0.00
PTO	4	0	1	1994	1,110	034	0.00
OUF	5	0	1	1994	132	035	0.00
CAN	6	0	1	1994	528	036	0.00
FLA	7	11	1	1994	1,200	037	0.00
PTO	8	0	1	1994	16	038	0.00
PTO	9	0	1	1994	132	039	0.00

**Interior Finish**

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Ext Nbr	Wall Type	Area %	Wall Rate	RCN
1	8743	SERVICE SHOPS-A-	100.00	N	N	2769	2769	METAL SIDING	80.00	10	0
2	8744	SERVICE SHOPS-D-	100.00	N	N	2768	2768	C.B.S.	20.00	16	0
3	8745		100.00	N	N						
4	8746		100.00	N	N						
5	8747		100.00	N	N						
14	8750	SERVICE SHOPS-D-	100.00	N	Y						
15	8751	OFFICE BLD-1 STORY	100.00	N	Y						
6	8748		100.00	N	N						
7	8749	OFFICE BLD-1 STORY	100.00	N	Y						

**Exterior Finish**

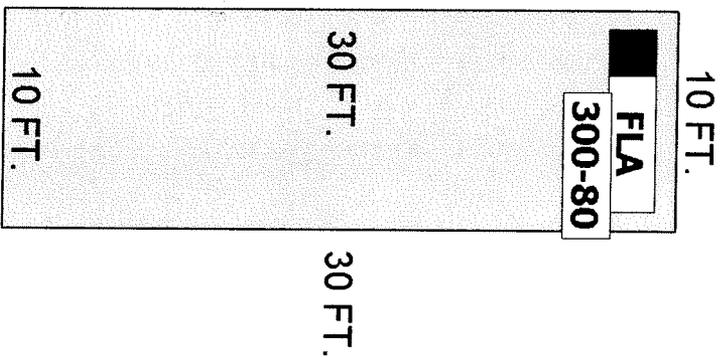
**Monroe County Property Record Card (149)**

Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

Building Sketch 41525



**Building Characteristics**

Building Nbr	8	Building Type	0	Perimeter	80	Functional Obs	0.00
Effective Age	10	Condition	A	Depreciation %	0.13	Economic Obs	0.00
Gmrd Floor Area	300	Quality Grade	250	Year Built	1990		
Fireplaces	0	3 Fix Bath	0	7 Fix Bath	0		
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	0

**Sections**

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	7	1	1994		300	047	0.00

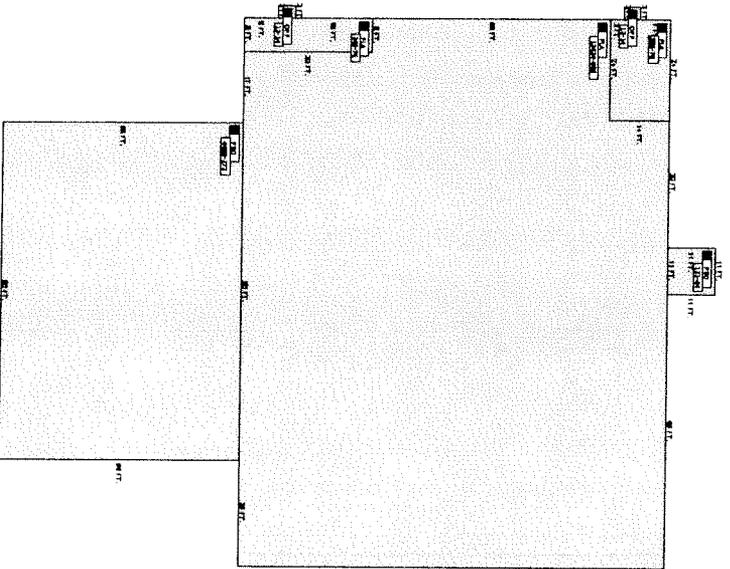
**Interior Finish**

Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	Exterior Finish	Area %	Wall Rate	RCN
1	8752	SERVICE SHOPS-A-	100.00	N	N	2770	METAL SIDING	100.00	10	0

**Monroe County Property Record Card (149)**

Alternate Key: 1122114  
 Roll Year 2010  
 Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

Building Sketch 41526



**Building Characteristics**

Building Nbr	9	Building Type	0	Perimeter	612	Functional Obs	0.00
Effective Age	14	Condition	E	Depreciation %	0.15	Economic Obs	0.00
Gmnd Floor Area	13000	Quality Grade	300	Year Built	1989		
Fireplaces	0	3 Fix Bath	0	5 Fix Bath	0	7 Fix Bath	0
2 Fix Bath	0	4 Fix Bath	0	6 Fix Bath	0	Extra Fix	2

**Sections**

Type	Number	Wall Height	# Stories	Year Built	% Finished	Area	Sketch ID	SOH %
FLA	1	24	1	1989		12,424	048	0.00
PTO	2	0	1	1989		121	049	0.00
FLA	3	14	1	1989		336	050	0.00
OPF	4	0	1	1989		12	051	0.00
FLA	5	14	1	1989		240	052	0.00
OPF	6	0	1	1989		12	053	0.00

**Monroe County Property Record Card (149)**

Alternate Key: 1122114 Roll Year 2010  
 Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

PTO	7	0	1	1989	4,480	054	0.00
<b>Interior Finish</b>							
Sec Nbr	Int Nbr	Description	Area %	Sprinkler	A/C	Total RCN	RCN
1	8753	SERVICE SHOPS-A-	100.00	N	N		
3	8754	OFF BLDG-1 STY-D	100.00	N	N		
5	8755	SERVICE SHOPS-A-	100.00	N	N		
<b>Exterior Finish</b>							
Ext Nbr	Wall Type	Area %	Wall Rate	RCN			
2771	METAL SIDING	100.00	10	0			

# Monroe County Property Record Card (149)

Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

## Miscellaneous Improvements

Nbr	Impr Type	# Units	Type	SOH %	Length	Width	Year Built	Roll Year	Grade	Life	RCN	Depr Value
9	UB2:UTILITY BLDG	88	SF	0.00	11	8	1984	1985	2	50	1,364	682
8	AP2:ASPHALT PAVING	13,840	SF	0.00	0	0	1965	1966	2	25	27,680	11,072
7	AP2:ASPHALT PAVING	4,185	SF	0.00	0	0	1965	1966	2	25	8,370	3,348
6	CL2:CH LINK FENCE	3,720	SF	0.00	0	0	1979	1980	2	30	7,440	2,976
5	RW2:RETAINING WALL	400	SF	0.00	200	2	1976	1977	4	50	5,000	2,000
4	CL2:CH LINK FENCE	240	SF	0.00	60	4	1979	1980	2	30	480	192
37	AC2:WALL AIR COND	2	UT	0.00	0	0	1991	1992	1	20	800	320
36	PT3:PATIO	39	SF	0.00	0	0	1991	1992	1	50	234	150
35	UB2:UTILITY BLDG	132	SF	0.00	12	11	1984	1985	1	50	990	495
34	AP2:ASPHALT PAVING	35,200	SF	0.00	0	0	1979	1980	2	25	70,400	28,160
33	AP2:ASPHALT PAVING	184,000	SF	0.00	1,840	100	1965	1966	2	25	368,000	147,200
32	CL2:CH LINK FENCE	3,600	SF	0.00	600	6	1985	1986	2	30	7,200	2,880
31	PT3:PATIO	456	SF	0.00	0	0	1985	1986	2	50	3,648	1,897
30	PT3:PATIO	1,320	SF	0.00	60	22	1985	1986	2	50	10,560	5,491
3	CL2:CH LINK FENCE	2,520	SF	0.00	420	6	1979	1980	2	30	5,040	2,016
29	RW2:RETAINING WALL	492	SF	0.00	164	3	1985	1986	4	50	6,150	3,198
28	UB2:UTILITY BLDG	120	SF	0.00	12	10	1985	1986	2	50	1,860	967
27	TK2:TIKI	104	SF	0.00	13	8	1994	1995	1	40	967	609
26	UB2:UTILITY BLDG	104	SF	0.00	13	8	1984	1985	2	50	1,612	806
25	CC2:COM CANOPY	437	SF	0.00	0	0	1979	1980	3	40	9,833	3,933
24	PT3:PATIO	685	SF	0.00	0	0	1979	1980	2	50	5,480	2,192
23	TK2:TIKI	100	SF	0.00	10	10	1979	1980	1	40	930	372
22	UB2:UTILITY BLDG	90	SF	0.00	10	9	1979	1980	1	50	675	270
21	UB2:UTILITY BLDG	35	SF	0.00	7	5	1984	1985	1	50	263	131
20	CL2:CH LINK FENCE	160	SF	0.00	40	4	1979	1980	1	30	280	112
2	CL2:CH LINK FENCE	4,224	SF	0.00	704	6	1979	1980	2	30	8,448	3,379
19	CL2:CH LINK FENCE	780	SF	0.00	0	0	1979	1980	1	30	1,365	546
18	CL2:CH LINK FENCE	2,040	SF	0.00	0	0	1979	1980	2	30	4,080	1,632
17	CC2:COM CANOPY	240	SF	0.00	24	10	1979	1980	3	40	5,400	2,160
16	PT3:PATIO	2,316	SF	0.00	0	0	1999	2000	2	50	18,528	14,822
15	AP2:ASPHALT PAVING	8,720	SF	0.00	0	0	1965	1966	2	25	17,440	6,976
14	AC2:WALL AIR COND	6	UT	0.00	0	0	1984	1985	1	20	2,400	960
13	PT3:PATIO	580	SF	0.00	0	0	1970	1971	2	50	4,640	1,856

**Monroe County Property Record Card (149)**

Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

12	FN2:FENCES	105 SF	0.00	21	5 1970	1971	5	30	1,050	420
11	UB2:UTILITY BLDG	220 SF	0.00	20	11 1984	1985	2	50	3,410	1,705
10	UB2:UTILITY BLDG	60 SF	0.00	10	6 1984	1985	3	50	1,200	600
1	CL2:CH LINK FENCE	38,016 SF	0.00	6,336	6 1979	1980	2	30	76,032	30,413
<b>Total Depreciated Value</b>										<b>286,938</b>

**Appraiser Notes**

BLD1= EXT WALL, FLA 02&03 CODED CUSTOM DUE TO BEING SOME TYPE OF FIBERGLASS SIDING. BLD4= INTERIOR FINISH CODED 11-D BECAUSE IT IS CLOSER TO USE. DOG KENNEL-A/C ENTIRE AREA. BLD9= THIS BLD IS LEASED BY MOSQUITO CONTROL FOR 20 YRS. BLD1=PARADISE AVIATION BLD 2=PUBLIC WORKS BLD 3=WEST SIDE OF COMMUNICATIONS TRAILER BLD 4=ANIMAL SHELTER BLD 7=VEHICLE MAINTENANCE BLD8=ACCROSS FROM CARPENTER SHOP BLD9=MOSQUITO CONTROL HANGER PRIVATELY OWNED HANGERS ARE TANGIBLE. WITH 20YRS LEASE 7/13/01 BLD10= CARPENTER SHOP BLD 11=TRAILER ACCROSS FROM COMMUNICATIOINS TRAILER BLD12=COMMUNICATIONS TRAILER BLD 13=BESIDE PARADISE AVIATION-MCSO PILOTS OFFICE BLD 14=IN FRONT OF PARADISE AVIATION

# Monroe County Property Record Card (149)

Alternate Key: 1122114 Roll Year 2010  
 Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

Building Permits	Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
	P2007-04 06	Apr 3 2007 12:00AM		2,000		REPLACE 3 - TON CENTRAL AIR
	08201849	Jun 26 2008 12:00AM		2,000		TEMP. ELECTRIC FOR TEMP POWER POLE FOR FAA CELL
	09203046	Aug 13 2009 12:00AM		19,000		REMOVE/REPLACE ROLLING DOORS
	09202129	Jun 8 2009 12:00AM		40,000		REMOVE AND REPLACE STRIPPING ON RUNWAY
	982461	Aug 7 1998 12:00AM	Aug 18 1999 12:00AM	75,000		GAS TANKS - GROUND
	992470	Mar 11 1999 12:00AM	Aug 18 1999 12:00AM	41,300		REROOF
	982985	Sep 17 1998 12:00AM	Jul 24 2000 12:00AM	673,782		RE-SURFACE TAXI-LWAY
	9921546	Sep 17 1999 12:00AM	Jul 24 2000 12:00AM	5,200		ROOFING
	9921314	Oct 22 1999 12:00AM	Jul 24 2000 12:00AM	80,000		GAS TANKS
	9922997	Dec 29 1999 12:00AM	Jul 24 2000 12:00AM	2,000		DRIVEWAY FOR FUELING
	9921366	Dec 29 1999 12:00AM	Jul 24 2000 12:00AM	880		TEMP TRAILER
	200367	Feb 15 2000 12:00AM	Jul 24 2000 12:00AM	4,000		SHED
	0200991	Mar 22 2000 12:00AM	Jul 24 2000 12:00AM	9,800		MOSQUITO HELICOPTER HANGER
	0201832	May 11 2000 12:00AM	Jul 24 2000 12:00AM	1		ENSTAL NEW FIRE SPINKLER
	2201530	May 17 2002 12:00AM	Jan 8 2003 12:00AM	600,000	Commercial	BLDG 1 OF 4 HANGER
	2201529	May 17 2002 12:00AM	Jan 8 2003 12:00AM	600,000	Commercial	BLDG 2 OF 4 HANGER
	2201528	May 17 2002 12:00AM	Jan 8 2003 12:00AM	600,000	Commercial	BLDG 3 OF 4 HANGER
	2201481	May 17 2002 12:00AM	Jan 8 2003 12:00AM	600,000	Commercial	BLDG 4 OF 4 HANGER
	2201868	Jul 17 2002 12:00AM		950,000		CONSTR ROAD FOR HANGERS
	2204607	Oct 25 2002 12:00AM		70,000		MOVE SHADE HANGERS
	2203817	Oct 29 2002 12:00AM		80,000		INST 12000 GAL FUEL TANK
	1201994	Mar 7 2002 12:00AM		1,750,000		TAXI-LANE DEMO SHADE HANG
	1204206	Dec 20 2001 12:00AM		95,000		HANGER, BATHROOM
	2200162	Jan 17 2002 12:00AM		45,000		GRADING & STORING FILL
	1204610	Jan 11 2002 12:00AM		2,000		TIKI HUT W/ THATCH ROOF
	05204418	Aug 22 2005 12:00AM		4,802		SHUTTERS/ACCORDIAN
	6201803	Jun 2 2006 12:00AM		300,000		PAVING NEW CARGO APRON
	P2006-13 51	Sep 29 2006 12:00AM		10,000		INSTALL 100 AMP SUBFEED/SHERIFF HANGER

# Monroe County Property Record Card (149)

Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM

Run: 10/30/2009 12:31 PM

Just Value	Bldg ID	Building Value	Land	573,750
	41520	1,015,662	Bldg	3,365,599
	41527	50,346		
	41528	25,965		
	41529	47,340		
	41530	17,813		
	41531	49,996		
	41521	137,244		
	41522	12,591		
	41523	128,564		
	41524	748,082		
	41525	19,780		
	41526	1,112,216		

Misc 286,938  
Just 4,226,287

Value Method Market Oriented Cost Special Use Code

# Monroe County Property Record Card (149)

Alternate Key: 1122114      Roll Year 2010  
 Effective Date: 10/30/2009 12:30:45 PM      Run: 10/30/2009 12:31 PM

## Value History

Tax Year	Val Meth	Just Land	Class Land	Building	Misc	Just	Assessed Value	Exempt	St-Ex	Tax Value
2009F	C	573,750	0	3,460,474	288,078	4,322,302	4,322,302	4,322,302	N	0
2008F	C	675,000	0	3,464,975	289,228	4,429,203	4,429,203	4,429,203	N	0
2007F	C	1,316,250	0	2,336,061	288,639	3,940,950	3,940,950	3,940,950	N	0
2006F	C	1,316,250	0	2,338,288	289,880	3,944,418	3,944,418	3,944,418	N	0
2005F	C	1,316,250	0	2,034,128	291,114	3,641,492	3,641,492	3,641,492	N	0
2004F	C	10,125,000		2,061,791	292,359	12,479,150	12,479,150	12,479,150	N	0
2003F	C	10,125,000		2,061,791	294,329	12,481,120	12,481,120	12,481,120	N	0
2002F	C	10,125,000		2,061,791	296,215	12,483,006	12,483,006	12,483,006		0
2001F	C	10,125,000		2,061,791	298,180	12,484,971	12,484,971	12,484,971		0
2000F	C	10,125,000		5,023,757	262,904	15,411,661	15,411,661	15,411,661		0
1999F	C	10,125,000		4,472,018	236,641	14,833,659	14,833,659	14,833,659		0
1998F	C	10,125,000		2,981,473	245,983	13,352,456	13,352,456	13,352,456		0
1997F	C	10,125,000		2,981,473	153,432	13,259,905	13,259,905	13,259,905		0
1996F	C	10,125,000		2,710,433	158,735	12,994,168	12,994,168	12,994,168		0
1995F	C	10,125,000		1,322,768	40,137	11,487,905	11,487,905	11,487,905		0
1994F	C	10,125,000		908,656	26,254	11,059,910	11,059,910	11,059,910		0
1993F	C	7,762,500		934,049	26,455	8,723,004	8,723,004	8,723,004		0
1992F	C	7,762,500		934,049	26,655	8,723,204	8,723,204	8,723,204		0
1991F	C	7,762,500		934,049	26,855	8,723,404	8,723,404	8,723,404		0
1990F	C	7,762,500		934,049	27,055	8,723,604	8,723,604	8,723,604		0
1989F	C	7,425,000		528,857	99,095	8,052,952	8,052,952	8,052,952		0
1988F	C	6,210,000		422,179	100,471	6,732,650	6,732,650	6,732,650		0
1987F	C	2,131,091		413,709	103,224	2,648,024	2,648,024	2,648,024		0
1986F	C	2,131,091		414,892	105,977	2,651,960	2,651,960	2,651,960		0
1985F	C	2,131,091		405,130	107,353	2,643,574	2,643,574	2,643,574		0
1984F	C	2,131,091		12,625	196,579	2,340,295	2,340,295	2,340,295		0
1983F	C	2,131,091		12,625	196,579	2,340,295	2,340,295	2,340,295		0
1982F	C	2,131,091		10,412	196,579	2,338,082	2,338,082	2,338,082		0

**Monroe County Property Record Card (149)**

Alternate Key: 1122114

Roll Year 2010

Effective Date: 10/30/2009 12:30:45 PM Run: 10/30/2009 12:31 PM

**Total Values**

Bldg Value	3,365,599	Misc Value	286,938	Land Value	573,750	<small>(Classified Value + Non-Ag Land Just Value)</small>	573,750	New Const Value	0
Total Just Value	4,226,287	Total Expt Value	4,226,287	Taxable Value	0	Prev Tax Value	0	Previous Just	4,322,302

**Exemptions**

Code	Description	Value	Year	Renewal	% Amount Applied
14	COUNTYLANDS		1901	1	100.00







Design Projects, Inc.  
 Architects and Planners  
 505. 283. 1111  
 1001 N. 10th Street, Suite 100  
 Tallahassee, Florida 32302  
 www.designprojectsinc.com



MONROE COUNTY E.O.C.

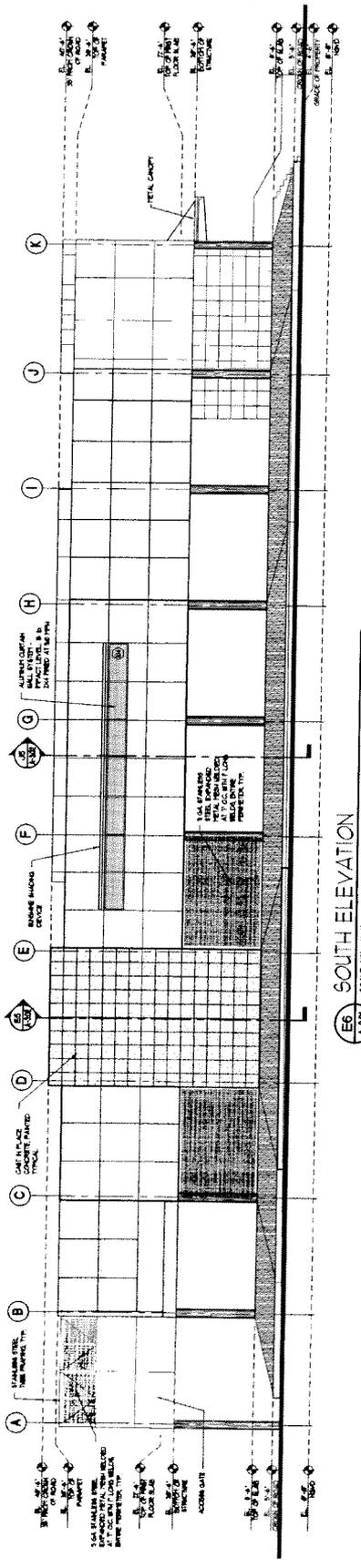
MONROE COUNTY  
 MAJOR CONDITIONAL USE APPLICATION

THIS DRAWING IS THE PROPERTY OF DESIGN PROJECTS, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF DESIGN PROJECTS, INC. IS STRICTLY PROHIBITED.

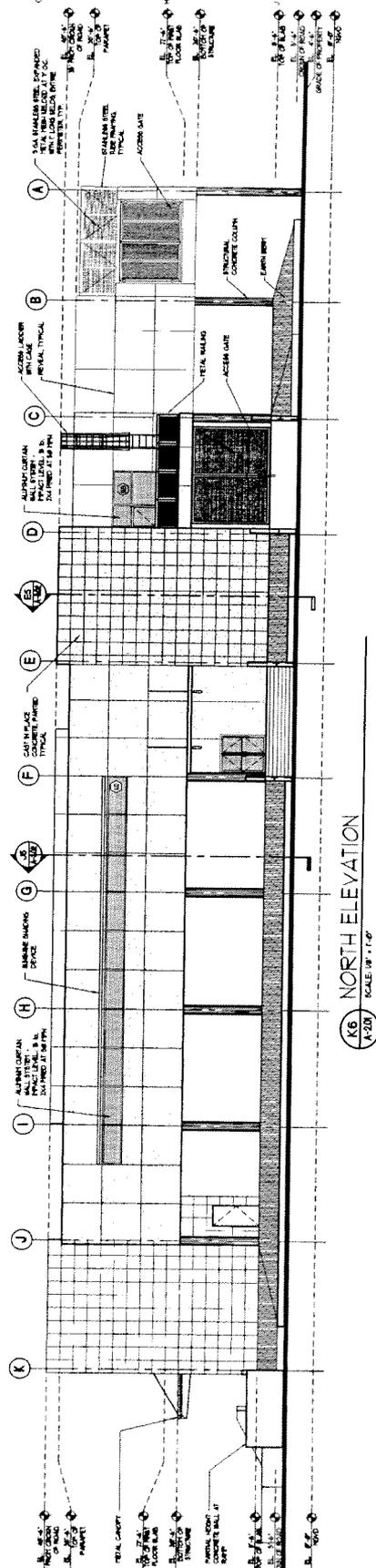
DATE: 08/08/08  
 PROJECT NO: 817-08  
 SHEET: A-201

BUILDING ELEVATIONS

- CHECKED BY: [Signature]
- APPROVED BY: [Signature]
- DATE: 08/08/08
- PROJECT NO: 817-08
- SHEET: A-201



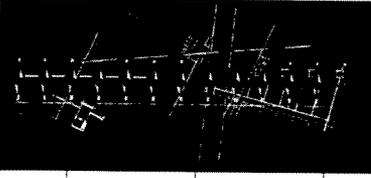
E6 SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"



K6 NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



**Architects and Planners, Inc.**  
 2500 West 10th Street, Suite 100  
 Fort Lauderdale, FL 33304  
 Phone: (954) 571-1111  
 Fax: (954) 571-1112  
 Website: www.apinc.com



**MONROE COUNTY E.O.C.**

**MONROE COUNTY**

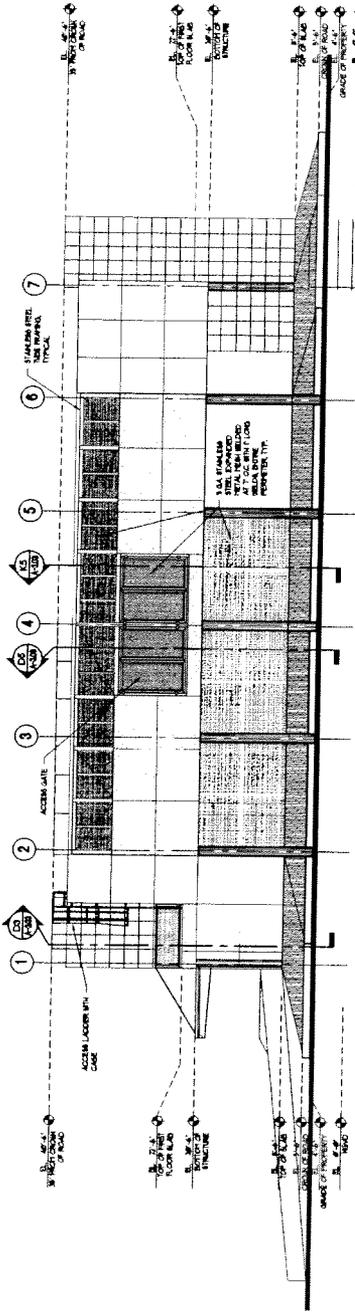
**MAJOR CONDITIONAL USE APPLICATION**

NOTICE: THIS DOCUMENT IS THE PROPERTY OF ARCHITECTS AND PLANNERS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTS AND PLANNERS, INC.

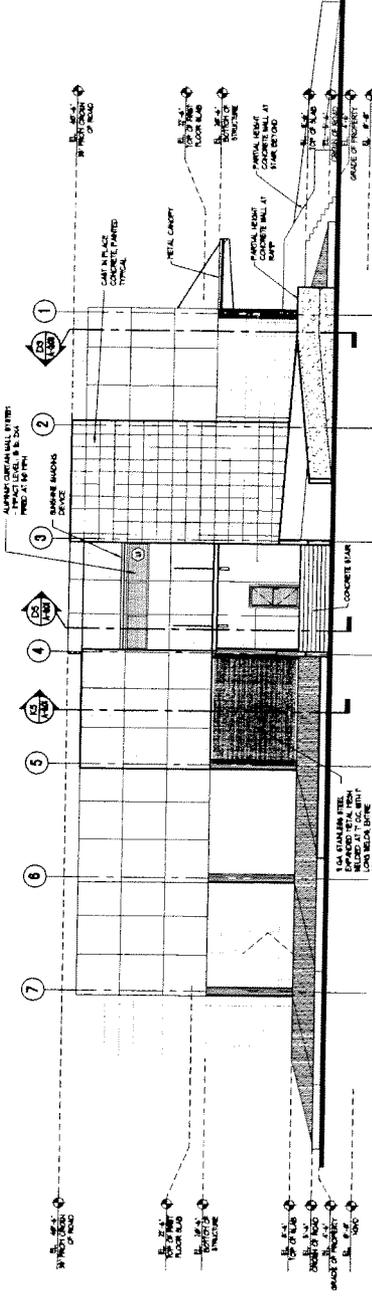
• PERMITS

• SHEET TITLE  
**BUILDING ELEVATIONS**

- SCALE: 1/8" = 1'-0"
- DRAWN: [Signature]
- CHECKED: [Signature]
- APPROVED: [Signature]
- DATE: 08/11/11
- PROJECT NO: 817-09
- SHEET: A-202



**D6 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**D6 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"







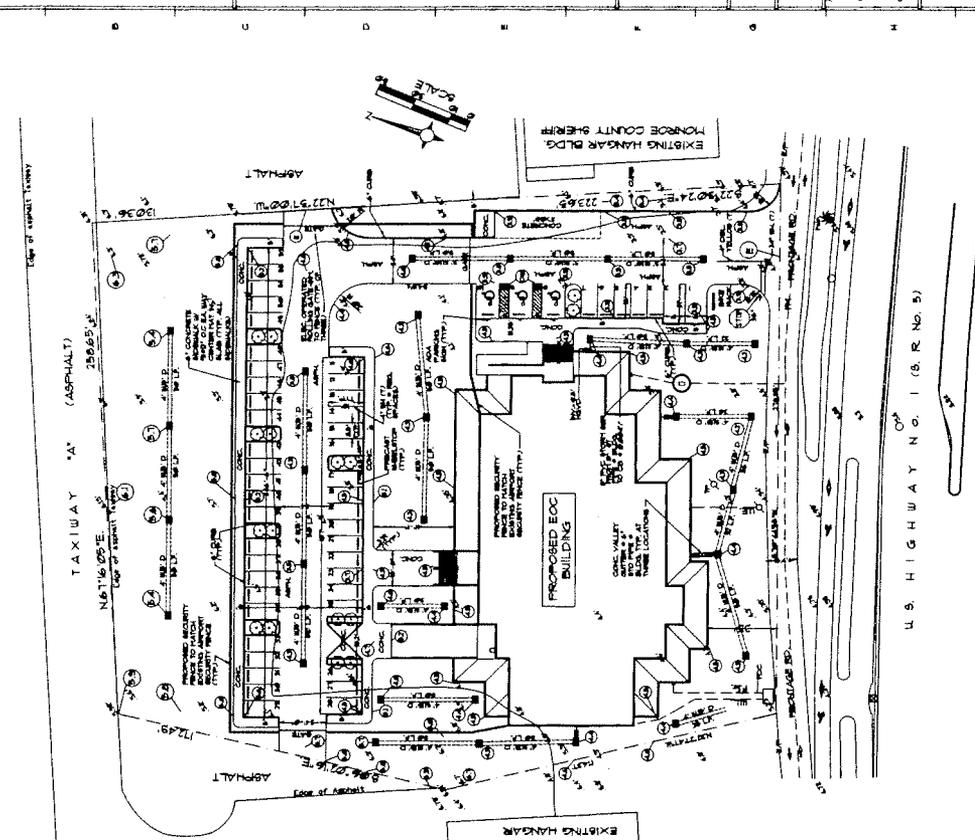
**J. G. Desjardins & Co. Inc.**  
**Architects and Planners**  
 1100 West 11th Street, Suite 100  
 St. Paul, Minnesota 55108  
 Tel: 612-291-1100  
 Fax: 612-291-1101  
 www.jgdesjardins.com

**MONROE COUNTY E.O.C.**

**MONROE COUNTY**

Architect hereby certifies that these drawings were prepared by the architect or under the direct supervision and control of the architect, and that the architect is a duly licensed professional engineer in the State of Louisiana. The architect's seal and signature are required for the drawings to be valid. The architect's seal and signature are required for the drawings to be valid. The architect's seal and signature are required for the drawings to be valid.

Sheet Title  
 PAVING & DRAINAGE PLAN  
 Scale: 1"=10'-0"  
 Date: 8-28-09  
 Project No: 87-09  
 Sheet C3



**PAVING AND DRAINAGE PLAN**

**NOTES:**  
 1. USE PLAN AS SHOWN UNLESS NOTED OTHERWISE.  
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE.  
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE.  
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE.

**PROTECTION OF UTILITIES**  
 UNDEGROUND UTILITIES ARE NOT SHOWN. ALL UTILITIES SHALL BE LOCATED BY A LICENSED UTILITY LOCATOR PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED BY A LICENSED UTILITY PROTECTOR PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED BY A LICENSED UTILITY PROTECTOR PRIOR TO CONSTRUCTION.

**SHOP DRAWINGS NOTE**  
 FOR SHOP DRAWINGS SUBMITTED FOR THESE PLANS, THE SUBMITTER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PRODUCT OR SYSTEM. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

**PERMITS:**  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE.

**DRAINAGE DATA**

**WATER QUANTITY**

**PRE-DEVELOPMENT**  
 1. AREA: 100,000 SQ. FT.  
 2. PERMEABILITY: 0.15  
 3. RAINFALL: 4.0 INCHES  
 4. TIME OF CONCENTRATION: 10 MINUTES  
 5. PEAK FLOW: 100 GPM

**POST-DEVELOPMENT**  
 1. AREA: 100,000 SQ. FT.  
 2. PERMEABILITY: 0.15  
 3. RAINFALL: 4.0 INCHES  
 4. TIME OF CONCENTRATION: 10 MINUTES  
 5. PEAK FLOW: 100 GPM

**WATER QUALITY**  
 1. TSS: 100 MG/L  
 2. BOD: 200 MG/L  
 3. COD: 300 MG/L

**LEGEND**

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED PAVEMENT
- PROPOSED PLUMBING
- PROPOSED ELECTRICAL
- PROPOSED MECHANICAL
- PROPOSED STRUCTURAL
- PROPOSED FINISH
- PROPOSED UTILITIES
- PROPOSED EROSION CONTROL
- PROPOSED LANDSCAPE
- PROPOSED SIGNAGE
- PROPOSED LIGHTING
- PROPOSED SECURITY
- PROPOSED ACCESSIBILITY
- PROPOSED SUSTAINABILITY
- PROPOSED WELL-BEING
- PROPOSED COMMUNITY
- PROPOSED CULTURE
- PROPOSED ECONOMY
- PROPOSED ENVIRONMENT
- PROPOSED EQUITY
- PROPOSED ETHICS
- PROPOSED INCLUSIVITY
- PROPOSED INTEGRITY
- PROPOSED JUSTICE
- PROPOSED LEADERSHIP
- PROPOSED RESILIENCE
- PROPOSED SAFETY
- PROPOSED STABILITY
- PROPOSED SUSTAINABILITY
- PROPOSED WELL-BEING
- PROPOSED COMMUNITY
- PROPOSED CULTURE
- PROPOSED ECONOMY
- PROPOSED ENVIRONMENT
- PROPOSED EQUITY
- PROPOSED ETHICS
- PROPOSED INCLUSIVITY
- PROPOSED INTEGRITY
- PROPOSED JUSTICE
- PROPOSED LEADERSHIP
- PROPOSED RESILIENCE
- PROPOSED SAFETY
- PROPOSED STABILITY

**SUMMARY**  
 1. TOTAL AREA: 100,000 SQ. FT.  
 2. TOTAL PERMEABLE AREA: 15,000 SQ. FT.  
 3. TOTAL IMPERMEABLE AREA: 85,000 SQ. FT.  
 4. TOTAL VOLUME: 100,000 CU. FT.  
 5. TOTAL WEIGHT: 100,000 LBS.

**WATER QUALITY**  
 1. TSS: 100 MG/L  
 2. BOD: 200 MG/L  
 3. COD: 300 MG/L

**PERMITS:**  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE.

**PROTECTION OF UTILITIES**  
 UNDEGROUND UTILITIES ARE NOT SHOWN. ALL UTILITIES SHALL BE LOCATED BY A LICENSED UTILITY LOCATOR PRIOR TO CONSTRUCTION.

**SHOP DRAWINGS NOTE**  
 FOR SHOP DRAWINGS SUBMITTED FOR THESE PLANS, THE SUBMITTER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PRODUCT OR SYSTEM.

**PERMITS:**  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE.

John Brier  
59001 Overseas Hwy  
Marathon, FL 33050

Jon P Johnson  
13255 SW 111 Terr #3  
Miami, FL 33186

The Walgreen Company  
200 Wilmot Road  
Deerfield, IL 60015

Michael Hernandez  
9499 Overseas Hwy  
Marathon, FL 33050

Anthony Famalette  
Post Office Box 500910  
Marathon, FL 33050

Ginian Inc.  
Post Office Box 421125  
Summerland Key, FL 33042

Jules Beckwitt  
775 107th Street Ocean  
Marathon, FL 33050

Carl C. Moore  
10723 First Avenue Gulf  
Marathon, FL 33050

Dynasty Holding of S. Fl  
10602 7th Avenue Gulf  
Marathon, FL 33050

Dascanio Investment Corp.  
11450 Overseas Hwy  
Marathon, FL 33050

Brenda Alexander  
Post Office Box 500088  
Marathon, FL 33050

Matthew Mahtesian  
188 96th Street Ocean  
Marathon, FL 33050

Lisa Littlefield  
Post Office Box 500875  
Marathon, FL 33050

CNL Net Lease Funding  
450 S. Orange Avenue  
Orlando, FL 32801-3336

Melchor Alfonso  
1320 SW 99 Avenue  
Miami, FL 33174

Rita Castagna  
20 Chapel Street  
Holden, MA 01520

Paul Santini  
Post Office Box 270  
Lemon Springs, NC 28

The City of Marathon  
9805 Overseas Hwy  
Marathon, FL 33050

105 Street Inc.  
Post Office Box 760  
Islamorada, FL 33036

John Whalton  
Post Office Box 501416  
Marathon, FL 33050

Joseph Cochran  
2617 S E 23rd Avenue  
Cape Coral, FL 33904

John Drott  
460 Thorpe Court  
Marco Island, FL 34145

Jacqueline Litvak  
1087 Neptune Apt. A  
Leucadia, CA 92024

Michael Holy  
5409 Overseas Hwy #291  
Marathon, FL 33050

Aron Newfield  
3000 N Atlantic Ave #22  
Daytona Beach, FL 32118

Gene Cavanaugh  
Post Office Box 500982  
Marathon, FL 33050

Vernon Ellerbe  
18451 Kay Drive  
Prairieville, LA 70769

David Valasek  
Post Office Box 500374  
Marathon, FL 33050

Sandra Rogers  
8596 Arlington Expy #B  
Jacksonville, FL 32211-8003

Puto Family Partnership  
455 122nd Street  
Marathon, FL 33050

29098

Florida Keys Mosquito Control  
5224 Junior College Road  
Key West, Florida 33040

Oxford Business Corp  
354 Sevilla Avenue  
Coral Gables, FL 33134

Nicholas Wielander  
Post Office Box 500879  
Marathon, FL 33050-0879

Steven & Marie Flood  
Post Office Box 510293  
Key Colony Bch, FL 33051

Florida Dept of Transportation  
3299 Shumard Oak Blvd  
Tallahassee, FL 32399

Sea Air Holdings, LLC  
9745 SW 72nd St. #219  
Miami, FL 33173

Jose Rodriguez  
8418 NW 61st Street  
Miami, FL 33166

Borden Makepeace  
Post Office Box 502738  
Marathon, FL 33050

Harold J. Rogers  
8596 Arlington Expy #B  
Jacksonville, FL 32211-8003

Suzanne Goodlow  
Post Office Box 500562  
Marathon, FL 33050

MC Land Authority  
1205 Truman Avenue  
Key West, Florida 33040

River Crossing Tennis  
5332 Main Street  
New Port Richey, FL 34652

Suzanne Ex, Court Reporter  
Post Office Box 510272  
Key Colony Bch, FL 33051

Hurricane Aqua Center  
10800 Overseas Hwy  
Marathon, FL 33050

Florida Keys Electric Coop  
Post Office Box 377  
Tavernier, FL 33070-0377

Dean Miller  
1255 107th Street Gulf  
Marathon, FL 33050

Raul Bustillo  
11331 SW 26th Street  
Miami, FL 33165

Simone Bologna  
8259 Overseas Highway  
Marathon, FL 33050

Railey Family Limited  
1345 Missouri Avenue  
Clearwater, FL 33756

Joseph Cichon  
3n610 Hickory Knoll Lane  
West Chicago, IL 60185

Bradley Calef  
2232 Coral Reef Ct  
Ft. Lauderdale, FL 33312

Byron Goss  
Post Office Box 500847  
Marathon, FL 33050

Floor Specialists  
10500 Aviation Blvd  
Marathon, FL 33050

Chris Daughtry  
10600 7th Avenue Gulf  
Marathon, FL 33050

Gary Washington  
11201 Overseas Hwy  
Marathon, FL 33050

Leo Koski  
11921 169th Ct N  
Jupiter, FL 33478

James Fatzinger  
395 Commutti Rd  
Nelsonville, OH 45764

Timothy Osborne  
11555 6th Ave. Ocean  
Marathon, FL 33050

First Florida Keys Properties  
4115 Overseas Highway  
Marathon, FL 33050

Kathryn Swaidan  
Post Office Box 501374  
Marathon, FL 33050

James Christensen  
2800 SE 62nd Street  
Ocala, FL 34480

Holding Electric Inc.  
Post Office Box 501924  
Marathon, FL 33050-1924

Job Lot LLC  
1600 Yellowtail Drive  
Marathon, FL 33050

Elaine Yaquinto  
9942 Aviation Blvd  
Marathon, FL 33050

Ricardo Bertran  
123 Bruce Court  
Marathon, FL 33050

Guillermo Villalonga  
2102 NW 17 Street D-101  
Miami, Florida 33125

Wallace Freeman  
5800 Overseas Hwy #16  
Marathon, FL 33050

MFMA LLC  
9705 Overseas Hwy  
Marathon, FL 33050

Steven Hall  
117 The Helm  
East Islip, NY 11730

Elizabeth Goldthorpe  
9709 Overseas Hwy #4  
Marathon, FL 33050

Thomas Wright  
Post Office Box 500309  
Marathon, FL 33050

Prestige Island Properties  
9711 Overseas Hwy  
Marathon, FL 33050

Gregory Eriksen  
9 125th Street  
Marathon, FL 33050

Anthony Antetomaso  
9960 Aviation Blvd.  
Marathon, FL 33050

William Heffernan  
9703 Overseas Hwy  
Marathon, FL 33050

State of Florida DEP  
3900 Commonwealth Blvd  
Tallahassee, FL 32399-3000

Dynasty Holding of SF  
10602 7th Avenue Gulf  
Marathon, FL 33050

Keys Woodworkers Inc.  
Post Office Box 1181  
Palmer, AK 99645-1181

Concrete Testing Lab Inc.  
Post Office Box 500875  
Marathon, FL 33050-0875

Cemex Construction  
1501 Belvedere Road  
West Palm Bch, FL 33406

Retus Group LLC  
840 Edgewood Ave S.  
Jacksonville, FL 32205

Ronald Freeman  
10455 Overseas Hwy  
Marathon, FL 33050

29098

# Monroe County Property Appraiser - Radius Report

✓ AK:	1121932	Parcel ID:	00104320-000000	Physical Location:	503 107TH ST MARATHON
Legal Description:	6-66-33 KEY VACCAS PT LOT 2 G67-262 OR371-593/594				RESOLUTION 1998-07 OR382-793 O
Owners Name:	FLORIDA KEYS MOSQUITO CONTROL DISTRICT				
Address::	5224 JR COLLEGE RD				KEY WEST, FL 33040-4302
✓ AK:	8743645	Parcel ID:	00352700-000100	Physical Location:	10095 OVERSEAS HWY MARATHON
Legal Description:	FARARA SHORES PB4-15 KEY VACA PT TRACT A & PT HAZE				L LANE AND BK 1 LT 1 AND BK 2 LO
Owners Name:	OXFORD BUSINESS III CORP				
Address::	354 SEVILLA AVE				CORAL GABLES, FL 33134
✓ AK:	1411388	Parcel ID:	00333670-000000	Physical Location:	10703 2ND AVE MARATHON
Legal Description:	EASTERLY PT LT 1 KEY COLONY SUBD NO 1 KEY VACA PB3				-107 OR436-761 OR945-165 OR155
Owners Name:	WIELANDER NICHOLAS J				
Address::	PO BOX 500879				MARATHON, FL 33050
✓ AK:	9093893	Parcel ID:	00333670-000100	Physical Location:	10703 2ND AVE MARATHON
Legal Description:	WESTERLY PT OF LOT 1 KEY COLONY SUBD NO 1 KEY VACA				PB3-107 OR436-761 OR945-165 OF
Owners Name:	WIELANDER NICHOLAS J				
Address::	PO BOX 500879				MARATHON, FL 33050
✓ AK:	1411451	Parcel ID:	00333740-000000	Physical Location:	10702 1ST AVE GULF MARATHON
Legal Description:	BK LT 8 KEY COLONY SUBDIVISION #1 KEY VACA PB3-107				OR480-368 OR940-821 OR1517-110
Owners Name:	FLOOD STEVEN P AND MARIE H				
Address::	PO BOX 510293				KEY COLONY BEACH, FL 33051-0293
✓ AK:	1121797	Parcel ID:	00104220-000000	Physical Location:	MARATHON
Legal Description:	6 66 33 N66306-04.1 KEY VACCAS PT LOT 1 OR309-575				
Owners Name:	DOT/ST.OF FL (STATE ROAD DEPT)				
Address::	TALLAHASSEE, FL 32399				
✓ AK:	1405621	Parcel ID:	00331061-003700	Physical Location:	MARATHON
Legal Description:	BK 2 LT 5 SEA-AIR ESTATES VACA KEY PB6-91 OR759-				387 OR760-619-C OR797-346DC OR7
Owners Name:	SEA AIR HOLDINGS LLC				
Address::	9745 SW 72ND ST STE 219				MIAMI, FL 33173
✓ AK:	1405469	Parcel ID:	00331061-002000	Physical Location:	9930 AVIATION BLVD MARATHON
Legal Description:	BK 1 LT 20 SEA-AIR ESTATES VACA KEY PB6-91 OR542-3				88 OR785-1902-1904 OR789-1700 OF
Owners Name:	RODRIGUEZ JOSE				
Address::	8418 NW 61ST STREET				MIAMI, FL 33166-3338
✓ AK:	1117871	Parcel ID:	<del>00100860</del> -000000	Physical Location:	MARATHON
Legal Description:	1 66 32 N66201-06 KEY VACCAS PT GOVT LOT 1 & PT SE				1/4 OR368-630/632
Owners Name:	DOT/ST.OF FL (STATE OF FL SRD)				
Address::					TALLAHASSEE, FL 32399
✓ AK:	1411663	Parcel ID:	00333940-000000	Physical Location:	202 107TH ST GULF MARATHON
Legal Description:	BK LT0G KEY COLONY SUBDIVISION #1 KEY VACA PB3-107				OR547-895
Owners Name:	MAKEPEACE G BORDEN JR				
Address::	PO BOX 502738				MARATHON, FL 33050
✓ AK:	1408981	Parcel ID:	00332920-000000	Physical Location:	315 E 105TH ST OCEAN MARATHON
Legal Description:	THE PALMS KEY VACA PB4-86 N 50 FT LOT 3 BLK 3 OR59				8-222Q/C OR598-223 OR648-710Q/C
Owners Name:	ROGERS HAROLD J TRUSTEE (HAROLD J ROGERS REVOC LIVING TRUST AG 8/24/98)				
Address::	8596 ARLINGTON EXPY #B				JACKSONVILLE, FL 32211-8003
✓ AK:	1428833	Parcel ID:	00351120-000000	Physical Location:	9585 OVERSEAS HWY MARATHON
Legal Description:	LTS A B C & D AMENDED PLAT SADOWSKI SUB KEY VACA P				B3-77 OR535-465 OR675-401 CASE #
Owners Name:	GOODLOW SUZANNE				
Address::	PO BOX 500562				MARATHON, FL 33050
✓ AK:	1405604	Parcel ID:	00331061-003500	Physical Location:	MARATHON
Legal Description:	BK 2 LT 3 SEA-AIR ESTATES VACA KEY PB6-91 OR759-				387 OR760-619-C OR797-346DC OR7
Owners Name:	SEA AIR HOLDINGS LLC				
Address::	9745 SW 72ND ST STE 219				MIAMI, FL 33173

29098

✓ AK:	1429929	Parcel ID:	00352220-000000	Physical Location:	MARATHON	
Legal Description:	CORAL COLONY PB3-122 KEY VACA W LY 20 FT LOT 27 OR			208-470-471		
Owners Name:	MONROE COUNTY					
Address::	500 WHITEHEAD STREET			KEY WEST, FL 33040		
AK:	1409502	Parcel ID:	00333450-000100	Physical Location:	10608 7TH AVEGULF	MARATHON
Legal Description:	STIRRUP KEY BIGHT PB3-168 KEY VACAS E1/2 LOT 4 BK			1	OR615-446 PROBATE DOCKET 76	
Owners Name:	RIVER CROSSING TENNIS AND COUNTRY CLUB C/O WALLER MITCHELL AND BARNETT INC					
Address::	5332 MAIN ST			NEW PORT RICHEY, FL 34652		
AK:	1121967	Parcel ID:	00104350-000000	Physical Location:	MARATHON	
Legal Description:	6 66 33 N66306-17 KEY VACCAS PT LOT 2 OR368-630-63			2		
Owners Name:	DOT/ST.OF FL (STATE OF FLORIDA SRD)			Repeat		
Address::				TALLAHASSEE, FL 32399		
AK:	8926871	Parcel ID:	00351920-000101	Physical Location:	9701 OVERSEAS HWY	1B MARATHON
Legal Description:	OLDE TOWNE CENTRE, A COMMERCIAL CONDOMINIUM UNIT 1			B & 6.5% COMMON ELEMENTS	OR1	
Owners Name:	EX SUZANNE F					
Address::	P O BOX 510272			KEY COLONY BEACH, FL 33051		
AK:	1411680	Parcel ID:	00333960-000000	Physical Location:	10800 OVERSEAS HWY	MARATHON
Legal Description:	BK LTI KEY COLONY SUBDIVISION #1 KEY VACA PB3-1070			R432-56 OR489-624 OR658-327 OR8:		
Owners Name:	HURRICANE AQUA CENTER INC					
Address::	10800 OVERSEAS HWY			MARATHON, FL 33050-3499		
AK:	1121762	Parcel ID:	00104190-000000	Physical Location:	10555 AVIATION BLVD	MARATHON
Legal Description:	6 66 33 N66306-02 KEY VACCAS PT LOT 2 OR225-11-12					
Owners Name:	FLORIDA KEYS ELECTRIC COOP ASSOC INC					
Address::	PO BOX 377			TAVERNIER, FL 33070-0377		
AK:	1409286	Parcel ID:	00333230-000000	Physical Location:	1255 107TH ST GULF	MARATHON
Legal Description:	INDUSTRIAL SUBD PB3-132 KEY VACA LOT 1 & PT DISCLA			IMED CAMPBELL ST OR426-732 OR4:		
Owners Name:	MILLER R DEAN					
Address::	1255 107TH ST GULF			MARATHON, FL 33050		
AK:	1405868	Parcel ID:	00331061-006100	Physical Location:	102 CHANNEL DR UNIT A & B	MARATHON
Legal Description:	BK 4 LT 1 SEA-AIR ESTATES PB6-91 VACA KEY OR688-35			0 OR747-284 OR795-2476 OR932-194:		
Owners Name:	BUSTILLO RAUL & FRANCES NORDARSE-BUSTILLO(H/W)					
Address::	11331 S W 26TH ST			MIAMI, FL 33165		
AK:	1405574	Parcel ID:	00331061-003100	Physical Location:	MARATHON	
Legal Description:	BK 1 LT 31 SEA-AIR ESTATES VACA KEY PB6-91 OR775-5			25 OR1297-505Q/C OR1314-1426/330:		
Owners Name:	BOARD OF TRUSTEES OF THE INT IMP TR FUND OF THE ST OF FLORIDA C/O FL DEPT OF ENVIRONMENTAL PR					
Address::	3900 COMMONWEALTH BLVD MAIL ST 115			TALLAHASSEE, FL 32399-3000		
AK:	1409545	Parcel ID:	00333490-000000	Physical Location:	10671 AVIATION BLVD	MARATHON
Legal Description:	BK 2 LT 1 STIRRUP KEY BIGHT PB3-168 KEY VACAS OR61			0-322 UNRECORDED CONTRACT OF		
Owners Name:	BOLOGNA SIMONE					
Address::	8259 OVERSEAS HWY			MARATHON, FL 33050		
AK:	1405663	Parcel ID:	00331061-004100	Physical Location:	MARATHON	
Legal Description:	BK 2 LT 9 SEA-AIR ESTATES VACA KEY PB6-91 OR759-			387 OR760-619-C OR797-346DC OR7		
Owners Name:	SEA AIR HOLDINGS LLC			Repeat		
Address::	9745 SW 72ND ST STE 219			MIAMI, FL 33173		
AK:	1405477	Parcel ID:	00331061-002100	Physical Location:	9936 AVIATION BLVD	MARATHON
Legal Description:	BK 1 LT 21 SEA-AIR ESTATES VACA KEY PB6-91 OR542-3			54 OR770-1675 OR918-1175 OR949-6:		
Owners Name:	RAILEY FAMILY LIMITED PARTNERSHIP					
Address::	1345 MISSOURI AVENUE			CLEARWATER, FL 33756		
AK:	1405451	Parcel ID:	00331061-001900	Physical Location:	9924 AVIATION BLVD	MARATHON
Legal Description:	BK 1 LT 19 SEA-AIR ESTATES VACA KEY PB6-91 OR553-1			86 OR585-905 OR687-816 OR843-156:		
Owners Name:	CICHON JOSEPH & ELEANORE					
Address::	3N610 HICKORY KNOLL LANE			WEST CHICAGO, IL 60185-5951		
AK:	1428787	Parcel ID:	00351070-000000	Physical Location:	9501 OVERSEAS HWY	MARATHON
Legal Description:	BUTTONWOOD ACRES PB4-160 KEY VACA N1/2 LOT 30 & AL			L LOT 31 OR525-878 OR770-1007 O		
Owners Name:	CALEF BRADLEY J C/O SCHAFFER DIANE J					
Address::	2232 CORAL REEF CT			FT LAUDERDALE, FL 33312		

AK:	1121886	Parcel ID:	00104280-000000	Physical Location:	MARATHON	
Legal Description:	6 66 33 N66306-10 KEY VACCAS PT LOT 2 OR368-630-63					2
Owners Name:	DOT/ST.OF FL (STATE OF FLORIDA SRD) <i>Repeat</i>					
Address::						TALLAHASSEE, FL 32399
AK:	1405566	Parcel ID:	00331061-003000	Physical Location:	9988 & 9990 AVIATION BLVD	MARATHON
Legal Description:	BK 1 LT 30 SEA-AIR ESTATES VACA KEY PB6-91 OR775-5					25 OR849-2188Q/C OR849-2189Q/C
Owners Name:	GOSS BYRON I					
Address::	PO BOX 500847					MARATHON, FL 33050
AK:	1409294	Parcel ID:	00333240-000000	Physical Location:	935 107TH ST	MARATHON
Legal Description:	INDUSTRIAL SUBD PB3-132 KEY VACA LOT 2 & PT DISCLA					IMED CAMPBELL ST OR569-292 OR
Owners Name:	FLOOR SPECIALIST/ TILE/MARBLE CONTRACTORS INC					
Address::	10500 AVIATION BLVD					MARATHON, FL 33050
AK:	1409537	Parcel ID:	00333480-000000	Physical Location:	10600 7TH AVE GULF	MARATHON
Legal Description:	BK 1 LT 6 STIRRUP KEY BIGHT PB3-168 KEY VACCAS O					R148-154-155 OR265-344 OR1137-43
Owners Name:	DAUGHTRY CHRISTOPHER B					
Address::	10600 7TH AVE GULF					MARATHON, FL 33050
AK:	1409456	Parcel ID:	00333410-000000	Physical Location:	10619 AVIATION BLVD	GULF MARATHON
Legal Description:	BK 1 LT 1 STIRRUP KEY BIGHT PB3-168 KEY VACAS OR63					4-173
Owners Name:	WASHINGTON GARY AND CLAIRE					
Address::	11201 OVERSEAS HWY					MARATHON, FL 33050
AK:	1405612	Parcel ID:	00331061-003600	Physical Location:	MARATHON	
Legal Description:	BK 2 LT 4 SEA-AIR ESTATES VACA KEY PB6-91 OR759-					387 OR760-619-C OR797-346DC OR7
Owners Name:	SEA AIR HOLDINGS LLC <i>Repeat</i>					
Address::	9745 SW 72ND ST STE 219					MIAMI, FL 33173
AK:	1405558	Parcel ID:	00331061-002900	Physical Location:	AVIATION BLVD	MARATHON
Legal Description:	BK 1 LT 29 SEA-AIR ESTATES VACA KEY PB6-91 OR759					-387 OR760-619-C OR797-346DC OR
Owners Name:	SEA AIR HOLDINGS LLC <i>Repeat</i>					
Address::	9745 SW 72ND ST STE 219					MIAMI, FL 33173
AK:	1405540	Parcel ID:	00331061-002800	Physical Location:	MARATHON	
Legal Description:	BK 1 LT 28 SEA-AIR ESTATES VACA KEY PB6-91 OR759					-387 OR760-619-C OR797-346DC OR
Owners Name:	SEA AIR HOLDINGS LLC <i>Repeat</i>					
Address::	9745 SW 72ND ST STE 219					MIAMI, FL 33173
AK:	1405671	Parcel ID:	00331061-004200	Physical Location:	219 E BRUCE CT APT A & B	MARATHON
Legal Description:	BK 2 LT 10 SEA-AIR ESTATES VACA KEY PB6-91 OR717-8					53 OR938-838R/S OR1657-1510 OR2
Owners Name:	KOSKI LEO ANTHONY REVOCABLE TR DTD 12/9/04					
Address::	11921 169TH CT N					JUPITER, FL 33478
AK:	1405400	Parcel ID:	00331061-001400	Physical Location:	9650 AVIATION BLVD	MARATHON
Legal Description:	SEA-AIR ESTATES PB6-91 VACA KEY E'LY 1/2 LOT 14 BL					K 1 OR521-422 CASE #8134-CC-14
Owners Name:	FATZINGER JAMES C & CHARLENE S					
Address::	395 COMMUTTI RD					NELSONVILLE, OH 45764
AK:	1411531	Parcel ID:	00333810-000000	Physical Location:	10701 1ST AVE GULF	MARATHON
Legal Description:	LT 15 KEY COLONY SUBDIVISION #1 KEY VACA PB3-107					OR546-581 OR940-326 OR2188-136
Owners Name:	OSBORNE TIMOTHY P AND DIANE L					
Address::	11555 6 AVE OCEAN					MARATHON, FL 33050
AK:	1121975	Parcel ID:	00104360-000000	Physical Location:	549 107TH ST GULF	MARATHON
Legal Description:	6 66 33 KEY VACCAS PT LOT 2 G70-165 OR494-215 OR					1672-38
Owners Name:	FIRST FLORIDA KEYS PROPERTIES INC					
Address::	4115 OVERSEAS HWY					MARATHON, FL 33050
AK:	1429911	Parcel ID:	00352210-000000	Physical Location:	222 99TH ST OCEAN A & B	MARATHON
Legal Description:	CORAL COLONY PB3-122 KEY VACA E'LY 92 FT LOT 27 &					W'LY 1/2 WAHOO DR & W'LY 1/2 KEY
Owners Name:	SWAIDAN KATHRYN E					
Address::	PO BOX 501374					MARATHON, FL 33050
AK:	1408964	Parcel ID:	00332900-000000	Physical Location:	10501 OVERSEAS HWY	MARATHON
Legal Description:	THE PALMS PB4-86 KEY VACA LOTS 1 AND 2 BK 3 OR59					8-222Q OR598-223 OR640-710Q OR7
Owners Name:	BRIER JOHN J AND J LESILE					
Address::	59001 OVESEAS HWY					MARATHON, FL 33050

AK:	1405493	Parcel ID:	00331061-002300	Physical Location:	MARATHON	
Legal Description:	BK 1 LT 23 SEA-AIR ESTATES VACA KEY PB6-91 OR542-3			86 OR920-2014 OR1323-2106(JB) OR		
Owners Name:	JOHNSON JON P AND LINDA G					
Address::	13255 SW 111 TER UNIT 3			MIAMI, FL 33186		
AK:	1411612	Parcel ID:	00333890-000000	Physical Location:	10870 OVERSEAS HWY	MARATHON
Legal Description:	KEY COLONY SUBDIVISION #1 PB3-107 KEY VACA LOTS A-			E & LOTS J-N & PT HWY & PT ALLEY		
Owners Name:	WALGREEN CO					
Address::	200 WILMOT RD			DEERFIELD, IL 60015		
AK:	1428507	Parcel ID:	00350780-000000	Physical Location:	9499 OVERSEAS HWY	MARATHON
Legal Description:	BK LT 1 BUTTOWOOD ACRES PB4-160 KEY VACA OR551-10			38 PROBATE 78-83-CP-12 OR756-84:		
Owners Name:	HERNANDEZ MICHAEL P					
Address::	9499 OVERSEAS HWY			MARATHON, FL 33050		
AK:	8792816	Parcel ID:	00351920-000000	Physical Location:	OVERSEAS HWY	MARATHON
Legal Description:	OLDE TOWNE CENTRE, A COMMERCIAL CONDOMINIUM OR1126			-1701/1753DEC OR1497-1767/1771A1		
Owners Name:	OLDE TOWNE CENTRE A COMMERCIAL CONDO					
Address::	??					
AK:	1121894	Parcel ID:	00104290-000000	Physical Location:	MARATHON	
Legal Description:	6 66 33 N66306-11 KEY VACCAS PT LOT 2 OR368-630-63			2		
Owners Name:	DOT/ST.OF FL (STATE OF FLORIDA SRD)					
Address::				TALLAHASSEE, FL 32399		
AK:	1428884	Parcel ID:	00351170-000000	Physical Location:	9601 OVERSEAS HWY	MARATHON
Legal Description:	AMENDED PLAT SADOWSKI SUB PB3-77 KEY VACA LOTS E-F			-G & H & 20' ALLEYWAY RES NO 23C		
Owners Name:	FAMALETTE ANTHONY AND HILDA					
Address::	PO BOX 500910			MARATHON, FL 33050		
AK:	1409308	Parcel ID:	00333250-000000	Physical Location:	937 107TH ST	MARATHON
Legal Description:	INDUSTRIAL SUBD PB3-132 KEY VACA LOT 3 & PT DISCLA			IMED CAMPBELL ST OR569-292 OR:		
Owners Name:	GINIAN INC					
Address::	P O BOX 421125			SUMMERLAND KEY, FL 33042-1125		
AK:	1409430	Parcel ID:	00333380-000000	Physical Location:	212 LINDAHL ST	MARATHON
Legal Description:	INDUSTRIAL SUBD PB3-132 KEY VACA PT LOT 15 PT DISC			LAIMED PETER JAY ST OR405-174/1		
Owners Name:	BECKWITT JULES I TRUSTEE (JULES I BECKWITT REVOC TRUST)					
Address::	775 107TH STREET OCEAN			MARATHON, FL 33050		
AK:	8695110	Parcel ID:	00400881-000000	Physical Location:	MARATHON	
Legal Description:	1/6-66-32 PT OF N'LY 40 FT ST RD 4-A (7.68AC) OR96			3-2193/2196Q/C		
Owners Name:	BD OF COUNTY COMMISSIONERS OF MONROE COUNTY					
Address::	500 WHITEHEAD STREET			KEY WEST, FL 33040		
AK:	1409421	Parcel ID:	00333370-000000	Physical Location:	212 LINDAHL ST	MARATHON
Legal Description:	INDUSTRIAL SUBD PB3-132 KEY VACA PT LOT 15 PT DISC			LAIMED PETER JAY ST OR400-584 C		
Owners Name:	BECKWITT JULES I TRUSTEE (JULES I BECKWITT REVO TRUST)					
Address::	775 107TH STREET OCEAN			MARATHON, FL 33050		
AK:	1405647	Parcel ID:	00331061-003900	Physical Location:	MARATHON	
Legal Description:	BK 2 LT 7 SEA-AIR ESTATES VACA KEY PB6-91 OR759-			387 OR760-619-C OR797-346DC OR7		
Owners Name:	SEA AIR HOLDINGS LLC					
Address::	9745 SW 72ND ST STE 219			MIAMI, FL 33173		
AK:	1405655	Parcel ID:	00331061-004000	Physical Location:	MARATHON	
Legal Description:	BK 2 LT 8 SEA-AIR ESTATES VACA KEY PB6-91 OR759-			387 OR760-619-C OR797-346DC OR7		
Owners Name:	SEA AIR HOLDINGS LLC					
Address::	9745 SW 72ND ST STE 219			MIAMI, FL 33173		
AK:	1411540	Parcel ID:	00333820-000000	Physical Location:	10723 1ST AVE GULF	MARATHON
Legal Description:	BK LT 16 KEY COLONY SUBDIVISION #1 KEY VACA PB3-10			7 OR266-19/20 OR185-377/78 OR402		
Owners Name:	MOORE CARL C II					
Address::	10723 FIRST AVE GULF			MARATHON, FL 33050		
AK:	1409499	Parcel ID:	00333450-000000	Physical Location:	10606 7TH AVE GULF UNIT 1-2	MARATHON
Legal Description:	STIRRUP KEY BIGHT PB3-168 KEY VACAS W1/2 LOT 4 BLK			1 OR401-182 OR844-165 OR860-10		
Owners Name:	DYNASTY HOLDING OF SOUTH FLORIDA LLC					
Address::	10602 7TH AVE GULF			MARATHON, FL 33050		

AK:	8669704	Parcel ID:	00104170-001600	Physical Location:	10500 AVIATION BLVD MARATHON
Legal Description:	06-66-33 KEY VACCAS PT GOVT LOT 2 (PARCEL A) (1.80 AC) OR932-2172/2173 OR948-776/7				
Owners Name:	DASCANIO INVESTMENT CORPORATION				
Address::	11450 OVERSEAS HWY MARATHON, FL 33050				
AK:	1405426	Parcel ID:	00331061-001600	Physical Location:	9754 AVIATION BLVD MARATHON
Legal Description:	BK 1 LT 16 SEA-AIR ESTATES VACA KEY PB6-91 OR521 -408 OR837-143 TRUST OR837-1982				
Owners Name:	ALEXANDER BRENDA J				
Address::	PO BOX 500088 MARATHON, FL 33050				
AK:	1428922	Parcel ID:	00351210-000000	Physical Location:	188 96TH ST OCEAN MARATHON
Legal Description:	AMENDED PLAT SADOWSKI SUB PB3-77 KEY VACCA LOT 2 O R448-285 OR895-1799 OR1286-120(E)				
Owners Name:	MAHTESIAN MATTHEW				
Address::	188 96TH STREET OCEAN MARATHON, FL 33050				
AK:	1409405	Parcel ID:	00333350-000000	Physical Location:	1006 PETER JAY ST MARATHON
Legal Description:	INDUSTRIAL SUBD PB3-132 KEY VACA LOTS 13 AND 14 OR497-641 OR742-603 OR1055-1014				
Owners Name:	L A M B INC C/O LITTIEFIELD LISA				
Address::	PO BOX 500875 MARATHON, FL 33050				
AK:	1430447	Parcel ID:	00352700-000000	Physical Location:	MARATHON
Legal Description:	FARARA SHORES PB4-15 KEY VACA PT TRACT A OR584 -839 OR801-2034 OR883-339				
Owners Name:	STATE OF FLORIDA C/O DOT				
Address::	3900 COMMONWEALTH BLVD Repeat TALLAHASSEE, FL 32309				
AK:	1429937	Parcel ID:	00352230-000000	Physical Location:	9981 OVERSEAS HWY MARATHON
Legal Description:	CORAL COLONY KEY VACA PB3-122 WLY 92 FT LOT 28 A ND ELY 1/2 WAHOO DR AND NLY 10				
Owners Name:	CNL NET LEASE FUNDING 2001 LP				
Address::	450 S ORANGE AVE ORLANDO, FL 32801-3336				
AK:	1121801	Parcel ID:	00104230-000000	Physical Location:	MARATHON
Legal Description:	6 66 33 <del>N06306-05</del> KEY VACCAS PT LOT 1 OR309-575				
Owners Name:	DOT/ST.OF FL (STATE ROAD DEPT) Repeat				
Address::	TALLAHASSEE, FL 32399				
AK:	1405591	Parcel ID:	00331061-003400	Physical Location:	MARATHON
Legal Description:	BK 2 LT 2 SEA-AIR ESTATES VACA KEY PB6-91 OR759- 387 OR760-619-C OR797-346DC OR7				
Owners Name:	SEA AIR HOLDINGS LLC				
Address::	9745 SW 72ND ST STE 219 Repeat MIAMI, FL 33173				
AK:	1405779	Parcel ID:	00331061-005200	Physical Location:	101 PATRICIA LN MARATHON
Legal Description:	BK 3 LT 1 SEA-AIR ESTATES VACA KEY PB6-91 OR692-35 3 OR742-403E OR822-229 OR985-130				
Owners Name:	ALFONSO MELCHOR G & MARIA A				
Address::	1320 SW 99 AVENUE MIAMI, FL 33174				
AK:	1405523	Parcel ID:	00331061-002600	Physical Location:	MARATHON
Legal Description:	BK 1 LT 26 SEA-AIR ESTATES VACA KEY PB6-91 OR542-3 66 OR719-433Q/C OR841-1075 OR10				
Owners Name:	CASTAGNA RITA M				
Address::	20 CHAPEL ST HOLDEN, MA 01520				
AK:	1428914	Parcel ID:	00351200-000000	Physical Location:	205 96TH ST OCEAN MARATHON
Legal Description:	BK LT 1 AMENDED PLAT SADOWSKI SUB KEY VACA PB3-770 R45-82-83 OR805-370D/C UNRECOR				
Owners Name:	SANTINI PAUL P				
Address::	P O BOX 270 LEMON SPRINGS, NC 28355				
AK:	1122009	Parcel ID:	00104390-000000	Physical Location:	9805 OVERSEAS HWY MARATHON
Legal Description:	6 66 33 KEY VACCAS PT LOT 2 & BAY BOTTOM SOUTH & ADJ PT GOV LOT 2 OR548-305/06 O				
Owners Name:	CITY OF MARATHON				
Address::	9805 OVERSEAS HWY MARATHON, FL 33050				
AK:	1408662	Parcel ID:	00332650-000000	Physical Location:	10499 OVERSEAS HWY MARATHON
Legal Description:	BLK 1 LT 3 AND PT LT 4 THE PALMS PB4-86 KEY VACA OR790-990/91 OR875-1704 OR899-				
Owners Name:	* 105TH STREET INC - actual Name				
Address::	PO BOX 760 ISLAMORADA, FL 33036				
AK:	1429945	Parcel ID:	06352240-000000	Physical Location:	MARATHON
Legal Description:	CORAL COLONY PB3-122 KEY VACA E LY 20 FT LOT 28 OR 208-470-471				
Owners Name:	MONROE COUNTY				
Address::	500 WHITEHEAD STREET Repeat KEY WEST, FL 33040				

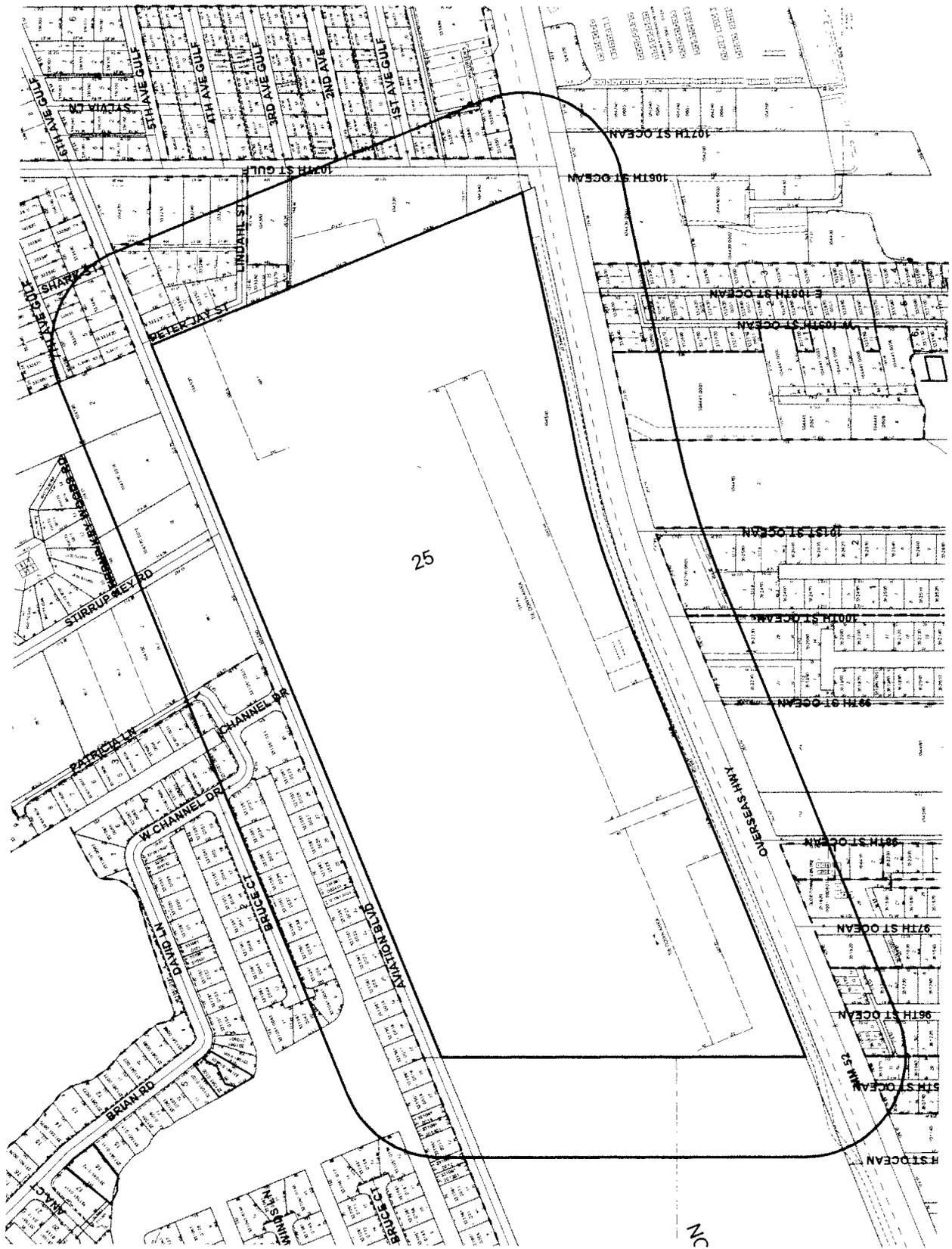
AK: 1409511	Parcel ID: 00333460-000000	Physical Location: 10604 7TH AVE GULF A & B MARATHON
Legal Description: STIRRUP KEY BIGHT PB3-168 KEY VACAS LOT 5 BLK 1 OR		367-513/514 OR148-156/157 OR265-3
Owners Name: STIRRUP BIGHT LLC		
Address:: PO BOX 501416		MARATHON, FL 33050
AK: 1409464	Parcel ID: 00333420-000000	Physical Location: 10621 AVIATION BLVD MARATHON
Legal Description: STIRRUP KEY BIGHT PB3-168 KEY VACAS W1/2 LOT 2 BLK		1 OR568-540 OR568-543 OR683-18 (
Owners Name: WHALTON JOHN D TRUSTEE		
Address:: P O BOX 501416		MARATHON, FL 33050-1416
AK: 1405531	Parcel ID: 00331061-002700	Physical Location: 9972 AVIATION BLVD MARATHON
Legal Description: BK 1 LT 27 SEA-AIR ESTATES VACA KEY PB6-91 OR542-3		48 OR841-1423 OR1035-353 OR1079
Owners Name: COCHRAN JOSEPH M JR & KAREN A TRS (JM & KA COCHRAN TR 3-18-04) T/C		
Address:: 2617 S E 23RD AVE		CAPE CORAL, FL 33904
AK: 1405442	Parcel ID: 00331061-001800	Physical Location: 9922 AVIATION BLVD MARATHON
Legal Description: BK 1 LT 18 SEA-AIR ESTATES VACA KEY PB6-91 OR525-1		85 OR1799-276 OR1799-301/06WILL
Owners Name: DROTT JOHN W III AND KARA D		
Address:: 460 THORPE COURT		MARCO ISLAND, FL 34145
AK: 1405434	Parcel ID: 00331061-001700	Physical Location: 9900 AVIATION BLVD MARATHON
Legal Description: BK 1 LT 17 SEA-AIR ESTATES VACA KEY PB6-91 OR521		-444 OR1114-264 OR1791-179 OR183
Owners Name: LITVAK JACQUELINE		
Address:: 1087 NEPTUNE APT A		LEUCADIA, CA 92024
AK: 1405418	Parcel ID: 00331061-001500	Physical Location: 9702 AVIATION BLVD MARATHON
Legal Description: BK 1 LT 15 SEA-AIR ESTATES VACA KEY PB6-91 OR548-5		0 OR908-1428 OR998-1845 OR1640-3
Owners Name: HOLY MICHAEL H AND JEANETTE A		
Address:: 5409 OVERSEAS HWY UNIT 291		MARATHON, FL 33050
AK: 1405396	Parcel ID: 00331061-001300	Physical Location: 9600 AVIATION BLVD MARATHON
Legal Description: BK 1 LT 13 SEA-AIR ESTATES VACA KEY PB6-91 OR521		-410 OR806-1367 OR850-1489Q/C OF
Owners Name: NEWFIELD ARON P AND NORMA F		
Address:: 3000 N ATLANTIC AVE UNIT 22		DAYTONA BEACH, FL 32118
AK: 1122092	Parcel ID: 00104480-000000	Physical Location: 9805 OVERSEAS HWY MARATHON
Legal Description: 6 66 33 KEY VACCAS PT GOVT LOT 2 OR548-305/6 OR		574-354/56 OR671-897/98 OR681-795
Owners Name: CITY OF MARATHON		
Address:: 9805 OVERSEAS HWY		MARATHON, FL 33050
AK: 1121738	Parcel ID: 00104460-000000	Physical Location: MARATHON
Legal Description: 6 66 33 KEY VACCAS PT LOT 2 OR383-627/628 OR10		18-535/541P/R OR1090-55/56 OR154:
Owners Name: BOARD OF TRUSTEES OF THE INT IMP TR FUND OF THE ST OF FLORIDA C/O FL DEPT OF ENVIRONMENTAL PR		
Address:: 3900 COMMONWEALTH BLVD MAIL ST 115		TALLAHASSEE, FL 32399-3000
AK: 1429228	Parcel ID: 00351520-000000	Physical Location: 9699 OVERSEAS HWY MARATHON
Legal Description: BK LT 1 OVERSEAS ESTATES KEY VACA OR510-939 OR613-		540 D/C OR926-2475 OR1839-719(CA
Owners Name: CAVANAUGH GENE AND CATHY		
Address:: PO BOX 500982		MARATHON, FL 33050
AK: 1121860	Parcel ID: 00104260-000000	Physical Location: 775 & 765 107TH STOCEAN MARATHON
Legal Description: 6 66 33 KEY VACCAS PT GOV LOT 1 & ADJ BAY BOTTOM S		OUTH OF & ADJ PT GOV LOT 1 OR2:
Owners Name: BECKWITT JULES I AND DOROTHY GEORGINA		
Address:: 775 107TH ST OCEAN		MARATHON, FL 33050
AK: 8669691	Parcel ID: 00104170-001500	Physical Location: 20 STIRRUP KEY RD 1 - 6 MARATHON
Legal Description: 06-66-33 KEY VACCAS PT GOVT LOT 2 (PARCEL B) (1.06		AC) OR932-2172/73 OR948-776/77 O
Owners Name: ELLERBE VERNON III ESTATE C/O CAIN KIMBERLY ELIZABETH ELLERBE P/R		
Address:: 18451 KAY DR		PRAIRIEVILLE, LA 70769
AK: 1405639	Parcel ID: 00331061-003800	Physical Location: MARATHON
Legal Description: BK 2 LT 6 SEA-AIR ESTATES VACA KEY PB6-91 OR759-		387 OR760-619-C OR797-346DC OR7
Owners Name: SEA AIR HOLDINGS LLC		
Address:: 9745 SW 72ND ST STE 219		MIAMI, FL 33173
AK: 8745206	Parcel ID: 00331061-001401	Physical Location: 9640 AVIATION BLVD MARATHON
Legal Description: SEA-AIR ESTATES PB6-91 VACA KEY WLY 1/2 LOT 14 BLK		1 OR1071-1167 OR1253-1907D/C OF
Owners Name: VALASEK DAVID M AND NANCY K		
Address:: PO BOX 500374		MARATHON, FL 33050

✓ AK:	1405582	Parcel ID:	00331061-003300	Physical Location:	BRUCE CT MARATHON
Legal Description:	BK 2 LT 1 SEA-AIR ESTATES VACA KEY PB6-91			OR759-	387 OR760-619-C OR797-346DC OR7
Owners Name:	SEA AIR HOLDINGS LLC				
Address::	9745 SW 72ND ST STE 219			MIAMI, FL 33173	<i>Repeat</i>
✓ AK:	1408824	Parcel ID:	00332800-000000	Physical Location:	105TH ST OCEAN MARATHON
Legal Description:	THE PALMS KEY VACA PB4-86 N30 FT LOT 1 BLK 2 OR362			-460 OR652-29 OR760-1789/93FJ OR	
Owners Name:	ROGERS SANDRA J REV LIVING TRUST 08/24/1998				
Address::	8596 ARLINGTON EXPY UNIT B			JACKSONVILLE, FL 32211-8003	
✓ AK:	1411671	Parcel ID:	00333950-000000	Physical Location:	10730 OVERSEAS HWY MARATHON
Legal Description:	BK LT H KEY COLONY SUBDIVISION NO 1 PB3-107 KEY VA			CCA OR44-205/06 OR1081-2037Q/C	
Owners Name:	PUTO FAMILY PARTNERSHIP NO 2				
Address::	455 122ND STREET OCEAN			MARATHON, FL 33050	
✓ AK:	1121819	Parcel ID:	00104240-000000	Physical Location:	10777 OVERSEAS HWY MARATHON
Legal Description:	6 66 33 KEY VACCAS PT GOV LOT 1 G51-221/22 OR570-3			42D/C OR851-1975/76-WILL OR864-1	
Owners Name:	CHRISTENSEN JAMES				
Address::	2800 SE 62ND STREET			OCALA, FL 34480	
✓ AK:	1409481	Parcel ID:	00333440-000000	Physical Location:	10641 AVIATION BLVD MARATHON
Legal Description:	STIRRUP KEY BIGHT PB3-168 KEY VACAS E1/2 LOT 2 & A			LL LOT 3 BK 1 OR570-361 OR581-923	
Owners Name:	HOLDING ELECTRIC INC				
Address::	PO BOX 501924			MARATHON, FL 33050-1924	
✓ AK:	1409383	Parcel ID:	00333330-000000	Physical Location:	10623 AVIATION BLVD MARATHON
Legal Description:	LT 11 INDUSTRIAL SUBD PB3-132 KEY VACA OR471-725			-726 OR946-154 OR946-1562C OR14-	
Owners Name:	JOB LOT LLC				
Address::	1600 YELLOWTAIL DR			MARATHON, FL 33050	
✓ AK:	1405485	Parcel ID:	00331061-002200	Physical Location:	9942 AVIATION BLVD MARATHON
Legal Description:	BK 1 LT 22 SEA-AIR ESTATES VACA KEY PB6-91 OR542-3			60 OR915-2137 OR983-558/559 (U/R	
Owners Name:	YAQUINTO ELAINE J				
Address::	9942 AVIATION BLVD			MARATHON, FL 33050	
✓ AK:	1406996	Parcel ID:	00331061-016800	Physical Location:	123 W BRUCE CT MARATHON
Legal Description:	BK 8 LT 12 SEA-AIR ESTATES VACA KEY PB6-91 OR542-3			33 OR797-2155 OR800-24 OR971-700	
Owners Name:	BERTRAN RICARDO				
Address::	123 BRUCE CT			MARATHON, FL 33050	
✓ AK:	1405388	Parcel ID:	00331061-001200	Physical Location:	9502 AVIATION BLVD MARATHON
Legal Description:	SEA-AIR ESTATES PB6-91 VACA KEY E 1/2 LOT 12 BK 1			OR521-426 OR916-542 OR924-239 C,	
Owners Name:	VILLALONGA GUILLERMO J				
Address::	2102 NW 17 STREET D-101			MIAMI, FL 33125	
✓ AK:	1411655	Parcel ID:	00333930-000000	Physical Location:	204 107TH ST MARATHON
Legal Description:	BK LT F KEY COLONY SUBDIVISION #1 KEY VACA PB3-107			OR385-417 OR819-2118 OR989-1973	
Owners Name:	FREEMAN WALLACE B AND NORMA M				
Address::	5800 OVERSEAS HWY UNIT 16			MARATHON, FL 33050	
✓ AK:	8792832	Parcel ID:	00351920-000200	Physical Location:	9705 OVERSEAS HWY MARATHON
Legal Description:	OLDE TOWNE CENTRE, A COMMERCIAL CONDOMINIUM UNIT 2			& 12% COMMON ELEMENTS OR118	
Owners Name:	MFMA LLC				
Address::	9705 OVERSEAS HWY			MARATHON, FL 33050	
✓ AK:	8792841	Parcel ID:	00351920-000300	Physical Location:	9707 OVERSEAS HWY MARATHON
Legal Description:	OLDE TOWNE CENTRE, A COMMERCIAL CONDOMINIUM UNIT 3			& 13% COMMON ELEMENTS OR118	
Owners Name:	HALL STEVEN E				
Address::	117 THE HELM			EAST ISLIP, NY 11730	
✓ AK:	8792859	Parcel ID:	00351920-000400	Physical Location:	9709 OVERSEAS HWY MARATHON
Legal Description:	OLDE TOWNE CENTRE, A COMMERCIAL CONDOMINIUM UNIT 4			& 13% COMMON ELEMENTS OR113	
Owners Name:	GOLDTHORPE ELIZABETH & HEGLAND DEBORAH L T/C				
Address::	9709 OVERSEAS HIGHWAY - SUITE 4			MARATHON, FL 33050	
✓ AK:	8792867	Parcel ID:	00351920-000500	Physical Location:	9711 OVERSEAS HWY MARATHON
Legal Description:	OLDE TOWNE CENTRE, A COMMERCIAL CONDOMINIUM UNIT 5			& 20% COMMON ELEMENTS OR113	
Owners Name:	WRIGHT THOMAS D LAW OFFICES OF				
Address::	PO BOX 500309			MARATHON, FL 33050	

AK: 8792875	Parcel ID: 00351920-000601	Physical Location: 9713 OVERSEAS HWY	MARATHON
Legal Description:	OLDE TOWNE CENTRE, A COMMERCIAL CONDOMINIUM UNITS	6A-6F & 24% COMMON ELEMENTS (	
Owners Name:	PRESTIGE ISLAND PROPERTIES COMPANY		
Address::	9711 OVERSEAS HWY	MARATHON, FL 33050	
AK: 1405507	Parcel ID: 00331061-002400	Physical Location: 9840 AVIATION BLVD UNIT 11	MARATHON
Legal Description:	BK 1 WLY 32.33' OF LOT 24 SEA-AIR ESTATES VA	CA KEY PB6-91 OR584-610 OR839-7	
Owners Name:	ERIKSEN GREGORY L AND SYLVIA L		
Address::	9 125TH ST	MARATHON, FL 33050	
AK: 1405515	Parcel ID: 00331061-002500	Physical Location: 9960 AVIATION BLVD	MARATHON
Legal Description:	BK 1 LT 25 SEA-AIR ESTATES VACA KEY PB6-91 OR599-4	15 OR1273-684(JB)	
Owners Name:	ANTETOMASO ANTHONY AND JANICE		
Address::	9960 AVIATION BLVD	MARATHON, FL 33050	
AK: 9082473	Parcel ID: 00331061-002401	Physical Location: 9840 AVIATION BLVD UNIT 2	MARATHON
Legal Description:	BK 1 E'LY 42.67' LOT 24 SEA-AIR ESTATES VACA	KEY PB6-91 OR584-610 OR839-756	
Owners Name:	ERIKSEN GREGORY L AND SYLVIA L		
Address::	9 125TH ST	MARATHON, FL 33050	
AK: 8792824	Parcel ID: 00351920-000100	Physical Location: 9703 OVERSEAS HWY	MARATHON
Legal Description:	OLDE TOWNE CENTRE, A COMMERCIAL CONDOMINIUM UNIT 1	A OR1187-1298/1299 OR1497-1767/1	
Owners Name:	HEFFERNAN WILLIAM J PA		
Address::	9703 OVERSEAS HWY	MARATHON, FL 33050	
AK: 8571780	Parcel ID: 00104430-000100	Physical Location: MARATHON	
Legal Description:	6 66 33 KEY VACA PT GOVT LOT 2 (1.82 AC) (PARCEL	4) OR828-568/571AG OR838-1086/E	
Owners Name:	TIITF C/O DEP		
Address::	3900 COMMONWEALTH BLVD	TALLAHASSEE, FL 32399-3000	
AK: 1118273	Parcel ID: 00101160-000000	Physical Location: 9400 OVERSEAS HWY	MARATHON
Legal Description:	1 66 32 KEY VACCAS PT GOV LOTS 1-3-4 & PT E 1/2 OF	SW 1/4 & PT SW 1/4 OF SW 1/4OR14	
Owners Name:	MONROE COUNTY FLIGHT STRIP		
Address::	500 WHITEHEAD STREET	KEY WEST, FL 33040	
AK: 1409626	Parcel ID: 00333570-000000	Physical Location: 10601 7TH AVE GULF	MARATHON
Legal Description:	STIRRUP KEY BIGHT PB3-168 KEY VACAS W1/2 LOT 2 BLK	3 OR779-1936 OR786-1364 OR909-7	
Owners Name:	DYNASTY HOLDING OF SOUTH FLORIDA LLC		
Address::	10602 7TH AVE GULF	MARATHON, FL 33050	
AK: 1409618	Parcel ID: 00333560-000000	Physical Location: 10601 7TH AVE GULF	MARATHON
Legal Description:	BK 3 LT T STIRRUP KEY BIGHT PB3-168 KEY VACAS OR33	7-133/134 OR542-844Q OR779-1936	
Owners Name:	DYNASTY HOLDING OF SOUTH FLORIDA LLC		
Address::	10602 7TH AVE GULF	MARATHON, FL 33050	
AK: 1121959	Parcel ID: 00104340-000000	Physical Location: 10694 OVERSEAS HWY	MARATHON
Legal Description:	6 66 33 N66306 16 KEY VACCAS PT GOVT LOT 2 & PT OF	ST RD NO 5 (US 1) G67-262 OR603-	
Owners Name:	KEYS WOODWORKERS INC		
Address::	PO BOX 1181	PALMER, AK 99645-1181	
AK: 1409391	Parcel ID: 00333340-000000	Physical Location: 1010 PETER JAY ST	MARATHON
Legal Description:	BK LT 12 INDUSTRIAL SUBD PB3-132 KEY VACA OR454-5	PROBATE #12-141 OR759-792 OR97	
Owners Name:	CONCRETE ANALYSIS AND TESTING LAB INC		
Address::	PO BOX 500875	MARATHON, FL 33050	
AK: 1409316	Parcel ID: 00333260-000000	Physical Location: 1010 LINDAHL ST	MARATHON
Legal Description:	INDUSTRIAL SUBD PB3-132 KEY VACA LOTS 4-5-6-7 AND	PT DISCLAIMED CAMPBELL ST OR	
Owners Name:	CEMEX CONSTRUCTION MATERIALS FLORIDA LLC C/O SHARED SERVICES - AFS		
Address::	1501 BELVEDERE RD	WEST PALM BEACH, FL 33406	
AK: 1121983	Parcel ID: 00104370-000000	Physical Location: 1500 107TH ST GULF	MARATHON
Legal Description:	6 66 33 KEY VACCAS PT LOT 2 AND LOTS 8-10 AND PT D	ISCLAIMED CAMPBELL ST INDUSTR	
Owners Name:	CEMEX CONSTRUCTION MATERIALS FLORIDA LLC C/O SHARED SERVICES - AFS		
Address::	1501 BELVEDERE RD	WEST PALM BEACH, FL 33406	
AK: 1122114	Parcel ID: 00104500-000000	Physical Location: 10600 AVIATION BLVD	MARATHON
Legal Description:	6 66 33 N66306-31 KEY VACCAS PT LOT 2 OR144-590-59	1	
Owners Name:	MONROE COUNTY FLIGHT STRIP		
Address::	500 WHITEHEAD STREET	KEY WEST, FL 33040	

29098

<b>AK:</b> 1122076	<b>Parcel ID:</b> 00104460-000000	<b>Physical Location:</b> MARATHON	
<b>Legal Description:</b>	6 66 33 KEY VACA PT GOV LOT 2 & BAY BOTTOM SOUTH O		F & ADJ PT GOV LOT 2 OR99-525 OF
<b>Owners Name:</b>	RETUS GROUP LLC		
<b>Address::</b>	840 EDGEWOOD AVE SOUTH		JACKSONVILLE, FL 32205
<b>AK:</b> 1408697	<b>Parcel ID:</b> 00332680-000000	<b>Physical Location:</b> 670 W 105TH STOCEAN MARATHON	
<b>Legal Description:</b>	BK 1 N50 FT LOT 5 THE PALMS KEY VACA PB4-86 OR5		98-507/508 OR640-710Q OR655-873 (
<b>Owners Name:</b>	CITY OF MARATHON		
<b>Address::</b>	9805 OVERSEAS HWY <i>Repart</i>		MARATHON, FL 33050-3339
<b>AK:</b> 9088487	<b>Parcel ID:</b> 00104441-000100	<b>Physical Location:</b> VACANT LOT AT MM 52 OVERSEAS HWY MARATHON	
<b>Legal Description:</b>	LOT 1 LAPALMA OF THE FLORIDA KEYS PB7-77 OR2264		-796/806E
<b>Owners Name:</b>	CITY OF MARATHON		
<b>Address::</b>	9805 OVERSEAS HWY <i>Repart</i>		MARATHON, FL 33050
<b>AK:</b> 1408654	<b>Parcel ID:</b> 00332640-000000	<b>Physical Location:</b> 10455 OVERSEAS HWY MARATHON	
<b>Legal Description:</b>	THE PALMS PB4-86 KEY VACCA LOTS 1 & 2 BK 1 OR729-2		27 OR694-10 OR773-563 OR962-1915
<b>Owners Name:</b>	FREEMAN RONALD B		
<b>Address::</b>	10455 OVERSEAS HWY		MARATHON, FL 33050



25

ON

29098

Monroe County Property Appraiser - Radius Report

29018

AK:	1121932 Parcel ID:	00104320-0 Physical Loc 503 107TH . Legal Descr 6-66-33 KE` RESOLUTI
AK:	8743645 Parcel ID:	00352700-0 Physical Loc 10095 OVEI Legal Descr FARARA ST L LANE ANI
AK:	1411388 Parcel ID:	00333670-0 Physical Loc 10703 2ND Legal Descr EASTERLY -107 OR43
AK:	9093893 Parcel ID:	00333670-0 Physical Loc 10703 2ND Legal Descr WESTERLY PB3-107 (
AK:	1411451 Parcel ID:	00333740-0 Physical Loc 10702 1ST , Legal Descr BK LT 8 KE` OR480-368
AK:	1121797 Parcel ID:	00104220-0 Physical Loc MARATH Legal Descr 6 66 33 N66306-04.1 KE
AK:	1405621 Parcel ID:	00331061-0 Physical Loc MARATH Legal Descr BK 2 LT 5 S 387 OR760-
AK:	1405469 Parcel ID:	00331061-0 Physical Loc 9930 AVIAT Legal Descr BK 1 LT 20 88 OR785-1
AK:	1117871 Parcel ID:	00100860-0 Physical Loc MARATH Legal Descr 1 66 32 N66 1/4 OR368-4
AK:	1411663 Parcel ID:	00333940-0 Physical Loc 202 107TH . Legal Descr BK LT0G KI OR547-895
AK:	1408981 Parcel ID:	00332920-0 Physical Loc 315 E 105TH Legal Descr THE PALM\$ 8-222Q/C O
AK:	1428833 Parcel ID:	00351120-0 Physical Loc 9585 OVER Legal Descr LTS A B C & B3-77 OR53
AK:	1405604 Parcel ID:	00331061-0 Physical Loc MARATH Legal Descr BK 2 LT 3 S 387 OR760-
AK:	1429929 Parcel ID:	00352220-0 Physical Loc MARATH Legal Descr CORAL CO 208-470-47
AK:	1409502 Parcel ID:	00333450-0 Physical Loc 10608 7TH . Legal Descr STIRRUP K 1 OR615-4
AK:	1121967 Parcel ID:	00104350-0 Physical Loc MARATH Legal Descr 6 66 33 N66 2
AK:	8926871 Parcel ID:	00351920-0 Physical Loc 9701 OVER Legal Descr OLDE TOW B & 6.5% C
AK:	1411680 Parcel ID:	00333960-0 Physical Loc 10800 OVEI Legal Descr BK LTI KEY R432-56 OF
AK:	1121762 Parcel ID:	00104190-0 Physical Loc 10555 AVIA Legal Descr 6 66 33 N66306-02 KEY
AK:	1409286 Parcel ID:	00333230-0 Physical Loc 1255 107TH Legal Descr INDUSTRIA IMED CAMF
AK:	1405868 Parcel ID:	00331061-0 Physical Loc 102 CHANN Legal Descr BK 4 LT 1 S 0 OR747-28
AK:	1405574 Parcel ID:	00331061-0 Physical Loc MARATH Legal Descr BK 1 LT 31 25 OR1297-
AK:	1409545 Parcel ID:	00333490-0 Physical Loc 10671 AVIA Legal Descr BK 2 LT 1 S 0-322 UNRE
AK:	1405663 Parcel ID:	00331061-0 Physical Loc MARATH Legal Descr BK 2 LT 9 S 387 OR760-
AK:	1405477 Parcel ID:	00331061-0 Physical Loc 9936 AVIAT Legal Descr BK 1 LT 21 54 OR770-1
AK:	1405451 Parcel ID:	00331061-0 Physical Loc 9924 AVIAT Legal Descr BK 1 LT 19 86 OR585-9
AK:	1428787 Parcel ID:	00351070-0 Physical Loc 9501 OVER Legal Descr BUTTONWIL LOT 31 (
AK:	1121886 Parcel ID:	00104280-0 Physical Loc MARATH Legal Descr 6 66 33 N66 2
AK:	1405566 Parcel ID:	00331061-0 Physical Loc 9988 & 999( Legal Descr BK 1 LT 30 25 OR849-2
AK:	1409294 Parcel ID:	00333240-0 Physical Loc 935 107TH . Legal Descr INDUSTRIA IMED CAMF
AK:	1409537 Parcel ID:	00333480-0 Physical Loc 10600 7TH . Legal Descr BK 1 LT 6 S R148-154-1
AK:	1409456 Parcel ID:	00333410-0 Physical Loc 10619 AVIA Legal Descr BK 1 LT 1 S 4-173
AK:	1405612 Parcel ID:	00331061-0 Physical Loc MARATH Legal Descr BK 2 LT 4 S 387 OR760-
AK:	1405558 Parcel ID:	00331061-0 Physical Loc AVIATION E Legal Descr BK 1 LT 29 -387 OR760
AK:	1405540 Parcel ID:	00331061-0 Physical Loc MARATH Legal Descr BK 1 LT 28 -387 OR760
AK:	1405671 Parcel ID:	00331061-0 Physical Loc 219 E BRUC Legal Descr BK 2 LT 10 53 OR938-8
AK:	1405400 Parcel ID:	00331061-0 Physical Loc 9650 AVIAT Legal Descr SEA-AIR E\$ K 1 OR521-
AK:	1411531 Parcel ID:	00333810-0 Physical Loc 10701 1ST , Legal Descr LT 15 KEY ( OR546-581
AK:	1121975 Parcel ID:	00104360-0 Physical Loc 549 107TH . Legal Descr 6 66 33 KE\ 1672-38
AK:	1429911 Parcel ID:	00352210-0 Physical Loc 222 99TH S Legal Descr CORAL CO W\LY 1/2 W
AK:	1408964 Parcel ID:	00332900-0 Physical Loc 10501 OVEI Legal Descr THE PALM\$ 8-222Q OR!
AK:	1405493 Parcel ID:	00331061-0 Physical Loc MARATH Legal Descr BK 1 LT 23 86 OR920-2
AK:	1411612 Parcel ID:	00333890-0 Physical Loc 10870 OVEI Legal Descr KEY COLOIE & LOTS J
AK:	1428507 Parcel ID:	00350780-0 Physical Loc 9499 OVER Legal Descr BK LT 1 BU 38 PROBAT
AK:	8792816 Parcel ID:	00351920-0 Physical Loc OVERSEA' Legal Descr OLDE TOW -1701/1753[
AK:	1121894 Parcel ID:	00104290-0 Physical Loc MARATH Legal Descr 6 66 33 N66 2
AK:	1428884 Parcel ID:	00351170-0 Physical Loc 9601 OVER Legal Descr AMENDED -G & H & 20
AK:	1409308 Parcel ID:	00333250-0 Physical Loc 937 107TH . Legal Descr INDUSTRIA IMED CAMF
AK:	1409430 Parcel ID:	00333380-0 Physical Loc 212 LINDAF Legal Descr INDUSTRIA LAIMED PE
AK:	8695110 Parcel ID:	00100881-0 Physical Loc MARATH Legal Descr 1/6-66-32 P 3-2193/2196
AK:	1409421 Parcel ID:	00333370-0 Physical Loc 212 LINDAF Legal Descr INDUSTRIA LAIMED PE
AK:	1405647 Parcel ID:	00331061-0 Physical Loc MARATH Legal Descr BK 2 LT 7 S 387 OR760-
AK:	1405655 Parcel ID:	00331061-0 Physical Loc MARATH Legal Descr BK 2 LT 8 S 387 OR760-
AK:	1411540 Parcel ID:	00333820-0 Physical Loc 10723 1ST , Legal Descr BK LT 16 KI 7 OR266-19
AK:	1409499 Parcel ID:	00333450-0 Physical Loc 10606 7TH . Legal Descr STIRRUP K 1 OR401-
AK:	8669704 Parcel ID:	00104170-0 Physical Loc 10500 AVIA Legal Descr 06-66-33 KE AC) OR93
AK:	1405426 Parcel ID:	00331061-0 Physical Loc 9754 AVIAT Legal Descr BK 1 LT 16 -408 OR837
AK:	1428922 Parcel ID:	00351210-0 Physical Loc 188 96TH S Legal Descr AMENDED R448-285 C
AK:	1409405 Parcel ID:	00333350-0 Physical Loc 1006 PETEI Legal Descr INDUSTRIA OR497-641
AK:	1430447 Parcel ID:	00352700-0 Physical Loc MARATH Legal Descr FARARA ST -839 OR801
AK:	1429937 Parcel ID:	00352230-0 Physical Loc 9981 OVER Legal Descr CORAL CO ND ELY 1/2

AK:	1121801 Parcel ID:	00104230-0 Physical Loc	MARATH Legal Descr 6 66 33 N66306-05 KEY
AK:	1405591 Parcel ID:	00331061-0 Physical Loc	MARATH Legal Descr BK 2 LT 2 S 387 OR760-
AK:	1405779 Parcel ID:	00331061-0 Physical Loc	101 PATRIC Legal Descr BK 3 LT 1 S 3 OR742-4C
AK:	1405523 Parcel ID:	00331061-0 Physical Loc	MARATH Legal Descr BK 1 LT 26 66 OR719-4
AK:	1428914 Parcel ID:	00351200-0 Physical Loc	205 96TH S Legal Descr BK LT 1 AMR45-82-83 (
AK:	1122009 Parcel ID:	00104390-0 Physical Loc	9805 OVER Legal Descr 6 66 33 KEY ADJ PT GC
AK:	1408662 Parcel ID:	00332650-0 Physical Loc	10499 OVEI Legal Descr BLK 1 LT 3 OR790-99I
AK:	1429945 Parcel ID:	00352240-0 Physical Loc	MARATH Legal Descr CORAL CO 208-470-47
AK:	1409511 Parcel ID:	00333460-0 Physical Loc	10604 7TH . Legal Descr STIRRUP K 367-513/514
AK:	1409464 Parcel ID:	00333420-0 Physical Loc	10621 AVIA Legal Descr STIRRUP K 1 OR568-5-
AK:	1405531 Parcel ID:	00331061-0 Physical Loc	9972 AVIAT Legal Descr BK 1 LT 27 48 OR841-1
AK:	1405442 Parcel ID:	00331061-0 Physical Loc	9922 AVIAT Legal Descr BK 1 LT 18 85 OR1799-
AK:	1405434 Parcel ID:	00331061-0 Physical Loc	9900 AVIAT Legal Descr BK 1 LT 17 -444 OR111
AK:	1405418 Parcel ID:	00331061-0 Physical Loc	9702 AVIAT Legal Descr BK 1 LT 15 0 OR908-14
AK:	1405396 Parcel ID:	00331061-0 Physical Loc	9600 AVIAT Legal Descr BK 1 LT 13 -410 OR806
AK:	1122092 Parcel ID:	00104480-0 Physical Loc	9805 OVER Legal Descr 6 66 33 KEY 574-354/56
AK:	1121738 Parcel ID:	00104160-0 Physical Loc	MARATH Legal Descr 6 66 33 KEY 18-535/541I
AK:	1429228 Parcel ID:	00351520-0 Physical Loc	9699 OVER Legal Descr BK LT 1 OV 540 D/C OR
AK:	1121860 Parcel ID:	00104260-0 Physical Loc	775 & 765 1 Legal Descr 6 66 33 KEY OUTH OF 8
AK:	8669691 Parcel ID:	00104170-0 Physical Loc	20 STIRRUI Legal Descr 06-66-33 KE AC) OR932
AK:	1405639 Parcel ID:	00331061-0 Physical Loc	MARATH Legal Descr BK 2 LT 6 S 387 OR760-
AK:	8745206 Parcel ID:	00331061-0 Physical Loc	9640 AVIAT Legal Descr SEA-AIR E\$ 1 OR1071-
AK:	1405582 Parcel ID:	00331061-0 Physical Loc	BRUCE CT Legal Descr BK 2 LT 1 S 387 OR760-
AK:	1408824 Parcel ID:	00332800-0 Physical Loc	105TH ST C Legal Descr THE PALM\$ -460 OR652
AK:	1411671 Parcel ID:	00333950-0 Physical Loc	10730 OVEI Legal Descr BK LT H KE CCA OR4
AK:	1121819 Parcel ID:	00104240-0 Physical Loc	10777 OVEI Legal Descr 6 66 33 KEY 42D/C OR8!
AK:	1409481 Parcel ID:	00333440-0 Physical Loc	10641 AVIA Legal Descr STIRRUP K LL LOT 3 BI
AK:	1409383 Parcel ID:	00333330-0 Physical Loc	10623 AVIA Legal Descr LT 11 INDU -726 OR946
AK:	1405485 Parcel ID:	00331061-0 Physical Loc	9942 AVIAT Legal Descr BK 1 LT 22 60 OR915-2
AK:	1406996 Parcel ID:	00331061-0 Physical Loc	123 W BRU Legal Descr BK 8 LT 12 33 OR797-2
AK:	1405388 Parcel ID:	00331061-0 Physical Loc	9502 AVIAT Legal Descr SEA-AIR E\$ OR521-426
AK:	1411655 Parcel ID:	00333930-0 Physical Loc	204 107TH . Legal Descr BK LT F KE OR385-417
AK:	8792832 Parcel ID:	00351920-0 Physical Loc	9705 OVER Legal Descr OLDE TOW & 12% COM
AK:	8792841 Parcel ID:	00351920-0 Physical Loc	9707 OVER Legal Descr OLDE TOW & 13% COM
AK:	8792859 Parcel ID:	00351920-0 Physical Loc	9709 OVER Legal Descr OLDE TOW & 13% COM
AK:	8792867 Parcel ID:	00351920-0 Physical Loc	9711 OVER Legal Descr OLDE TOW & 20% COM
AK:	8792875 Parcel ID:	00351920-0 Physical Loc	9713 OVER Legal Descr OLDE TOW 6A-6F & 24%
AK:	1405507 Parcel ID:	00331061-0 Physical Loc	9840 AVIAT Legal Descr BK 1 W'LY CA KEY PB
AK:	1405515 Parcel ID:	00331061-0 Physical Loc	9960 AVIAT Legal Descr BK 1 LT 25 15 OR1273-
AK:	9082473 Parcel ID:	00331061-0 Physical Loc	9840 AVIAT Legal Descr BK 1 E'LY 4 KEY PB6-9
AK:	8792824 Parcel ID:	00351920-0 Physical Loc	9703 OVER Legal Descr OLDE TOW A OR1187-
AK:	8571780 Parcel ID:	00104430-0 Physical Loc	MARATH Legal Descr 6 66 33 KEY 4) OR828-
AK:	1118273 Parcel ID:	00101160-0 Physical Loc	9400 OVER Legal Descr 1 66 32 KEY SW 1/4 & F
AK:	1409626 Parcel ID:	00333570-0 Physical Loc	10601 7TH . Legal Descr STIRRUP K 3 OR779-1!
AK:	1409618 Parcel ID:	00333560-0 Physical Loc	10601 7TH . Legal Descr BK 3 LT 1 S 7-133/134 C
AK:	1121959 Parcel ID:	00104340-0 Physical Loc	10694 OVEI Legal Descr 6 66 33 N66 ST RD NO
AK:	1409391 Parcel ID:	00333340-0 Physical Loc	1010 PETEI Legal Descr BK LT 12 IN PROBATE #
AK:	1409316 Parcel ID:	00333260-0 Physical Loc	1010 LINDA Legal Descr INDUSTRIA PT DISCLA
AK:	1121983 Parcel ID:	00104370-0 Physical Loc	1500 107TH Legal Descr 6 66 33 KEY ISCLAIMED
AK:	1122114 Parcel ID:	00104500-0 Physical Loc	10600 AVIA Legal Descr 6 66 33 N66 1
AK:	1122076 Parcel ID:	00104460-0 Physical Loc	MARATH Legal Descr 6 66 33 KEY F & ADJ PT
AK:	1408697 Parcel ID:	00332680-0 Physical Loc	670 W 105T Legal Descr BK 1 N50 F 98-507/508
AK:	9088487 Parcel ID:	00104441-0 Physical Loc	VACANT LC Legal Descr LOT 1 LAF -796/806E
AK:	1408654 Parcel ID:	00332640-0 Physical Loc	10455 OVEI Legal Descr THE PALM\$ 27 OR694-1

#####

29798

Owners Nar FLORIDA K Address:: 5224 JR CC KEY WEST, FL 33040-4302  
 Owners Nar OXFORD B Address:: 354 SEVILL CORAL GABLES, FL 33134  
 Owners Nar WIELANDE Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar WIELANDE Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar FLOOD STI Address:: PO BOX 51 KEY COLONY BEACH, FL 33051-0293  
 Owners Nar DOT/ST.OF Address:: TALLAHASSEE, FL 32399  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar RODRIGUE Address:: 8418 NW 6 MIAMI, FL 33166-3338  
 Owners Nar DOT/ST.OF Address:: TALLAHASSEE, FL 32399  
 Owners Nar MAKEPEAC Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar ROGERS H Address:: 8596 ARLIN JACKSONVILLE, FL 32211-8003  
 Owners Nar GOODLOW Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar MONROE C Address:: 500 WHITE KEY WEST, FL 33040  
 Owners Nar RIVER CRC Address:: 5332 MAIN NEW PORT RICHEY, FL 34652  
 Owners Nar DOT/ST.OF Address:: TALLAHASSEE, FL 32399  
 Owners Nar EX SUZANI Address:: P O BOX 51 KEY COLONY BEACH, FL 33051  
 Owners Nar HURRICAN Address:: 10800 OVEI MARATHON, FL 33050-3499  
 Owners Nar FLORIDA K Address:: PO BOX 37 TAVERNIER, FL 33070-0377  
 Owners Nar MILLER R L Address:: 1255 107TH MARATHON, FL 33050  
 Owners Nar BUSTILLO I Address:: 11331 S W MIAMI, FL 33165  
 Owners Nar BOARD OF Address:: 3900 COMM TALLAHASSEE, FL 32399-3000  
 Owners Nar BOLOGNA Address:: 8259 OVER MARATHON, FL 33050  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar RAILEY FAI Address:: 1345 MISS(CLEARWATER, FL 33756  
 Owners Nar CICHON JC Address:: 3N610 HICt WEST CHICAGO, IL 60185-5951  
 Owners Nar CALEF BRA Address:: 2232 CORA FT LAUDERDALE, FL 33312  
 Owners Nar DOT/ST.OF Address:: TALLAHASSEE, FL 32399  
 Owners Nar GOSS BYR Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar FLOOR SPI Address:: 10500 AVIA MARATHON, FL 33050  
 Owners Nar DAUGHTRY Address:: 10600 7TH MARATHON, FL 33050  
 Owners Nar WASHINGT Address:: 11201 OVEI MARATHON, FL 33050  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar KOSKI LE Address:: 11921 169T JUPITER, FL 33478  
 Owners Nar FATZINGEF Address:: 395 COMM NELSONVILLE, OH 45764  
 Owners Nar OSBORNE Address:: 11555 6 AVI MARATHON, FL 33050  
 Owners Nar FIRST FLOI Address:: 4115 OVER MARATHON, FL 33050  
 Owners Nar SWAIDAN f Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar BRIER JOH Address:: 59001 OVEI MARATHON, FL 33050  
 Owners Nar JOHNSON Address:: 13255 SW 1 MIAMI, FL 33186  
 Owners Nar WALGREEI Address:: 200 WILMO DEERFIELD, IL 60015  
 Owners Nar HERNANDE Address:: 9499 OVER MARATHON, FL 33050  
 Owners Nar OLDE TOW Address::  
 Owners Nar DOT/ST.OF Address:: TALLAHASSEE, FL 32399  
 Owners Nar FAMALETT Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar GINIAN INC Address:: P O BOX 42 SUMMERLAND KEY, FL 33042-1125  
 Owners Nar BECKWITT Address:: 775 107TH MARATHON, FL 33050  
 Owners Nar BD OF COL Address:: 500 WHITE KEY WEST, FL 33040  
 Owners Nar BECKWITT Address:: 775 107TH MARATHON, FL 33050  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar MOORE CA Address:: 10723 FIRS MARATHON, FL 33050  
 Owners Nar DYNASTY f Address:: 10602 7TH MARATHON, FL 33050  
 Owners Nar DASCANIO Address:: 11450 OVEI MARATHON, FL 33050  
 Owners Nar ALEXANDE Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar MAHTESIAI Address:: 188 96TH S MARATHON, FL 33050  
 Owners Nar L A M B INC Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar STATE OF I Address:: 3900 COMM TALLAHASSEE, FL 32309  
 Owners Nar CNL NET LI Address:: 450 S ORAI ORLANDO, FL 32801-3336

29098

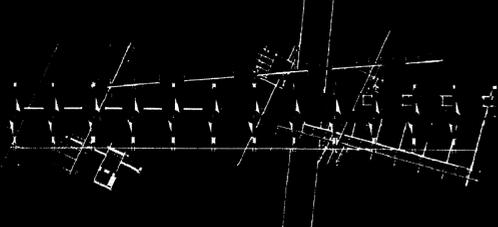
Owners Nar DOT/ST.OF Address:: TALLAHASSEE, FL 32399  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar ALFONSO I Address:: 1320 SW 9 MIAMI, FL 33174  
 Owners Nar CASTAGNA Address:: 20 CHAPEL HOLDEN, MA 01520  
 Owners Nar SANTINI P Address:: P O BOX 27 LEMON SPRINGS, NC 28355  
 Owners Nar CITY OF M Address:: 9805 OVER MARATHON, FL 33050  
 Owners Nar 105TH STR Address:: PO BOX 76 ISLAMORADA, FL 33036  
 Owners Nar MONROE C Address:: 500 WHITE KEY WEST, FL 33040  
 Owners Nar STIRRUP B Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar WHALTON Address:: P O BOX 50 MARATHON, FL 33050-1416  
 Owners Nar COCHRAN Address:: 2617 S E 2 CAPE CORAL, FL 33904  
 Owners Nar DROTT JO Address:: 460 THORF MARCO ISLAND, FL 34145  
 Owners Nar LITVAK JAC Address:: 1087 NEPTI LEUCADIA, CA 92024  
 Owners Nar HOLY MIC Address:: 5409 OVER MARATHON, FL 33050  
 Owners Nar NEWFIELD Address:: 3000 N ATL DAYTONA BEACH, FL 32118  
 Owners Nar CITY OF M Address:: 9805 OVER MARATHON, FL 33050  
 Owners Nar BOARD OF Address:: 3900 COMM TALLAHASSEE, FL 32399-3000  
 Owners Nar CAVANAUC Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar BECKWITT Address:: 775 107TH MARATHON, FL 33050  
 Owners Nar ELLERBE V Address:: 18451 KAY PRAIRIEVILLE, LA 70769  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar VALASEK E Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar SEA AIR HC Address:: 9745 SW 72 MIAMI, FL 33173  
 Owners Nar ROGERS S Address:: 8596 ARLIN JACKSONVILLE, FL 32211-8003  
 Owners Nar PUTO FAMI Address:: 455 122ND MARATHON, FL 33050  
 Owners Nar CHRISTENI Address:: 2800 SE 62 OCALA, FL 34480  
 Owners Nar HOLDING E Address:: PO BOX 50 MARATHON, FL 33050-1924  
 Owners Nar JOB LOT LI Address:: 1600 YELL MARATHON, FL 33050  
 Owners Nar YAQUINTO Address:: 9942 AVIAT MARATHON, FL 33050  
 Owners Nar BERTRAN F Address:: 123 BRUCE MARATHON, FL 33050  
 Owners Nar VILLALONG Address:: 2102 NW 1 MIAMI, FL 33125  
 Owners Nar FREEMAN I Address:: 5800 OVER MARATHON, FL 33050  
 Owners Nar MFMA LLC Address:: 9705 OVER MARATHON, FL 33050  
 Owners Nar HALL STEV Address:: 117 THE HE EAST ISLIP, NY 11730  
 Owners Nar GOLDTHOF Address:: 9709 OVER MARATHON, FL 33050  
 Owners Nar WRIGHT TH Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar PRESTIGE Address:: 9711 OVER MARATHON, FL 33050  
 Owners Nar ERIKSEN G Address:: 9 125TH ST MARATHON, FL 33050  
 Owners Nar ANTETOMF Address:: 9960 AVIAT MARATHON, FL 33050  
 Owners Nar ERIKSEN G Address:: 9 125TH ST MARATHON, FL 33050  
 Owners Nar HEFFERNA Address:: 9703 OVER MARATHON, FL 33050  
 Owners Nar TIITF C/O D Address:: 3900 COMM TALLAHASSEE, FL 32399-3000  
 Owners Nar MONROE C Address:: 500 WHITE KEY WEST, FL 33040  
 Owners Nar DYNASTY F Address:: 10602 7TH MARATHON, FL 33050  
 Owners Nar DYNASTY F Address:: 10602 7TH MARATHON, FL 33050  
 Owners Nar KEYS WOC Address:: PO BOX 11 PALMER, AK 99645-1181  
 Owners Nar CONCRETE Address:: PO BOX 50 MARATHON, FL 33050  
 Owners Nar CEMEX CO Address:: 1501 BELVI WEST PALM BEACH, FL 33406  
 Owners Nar CEMEX CO Address:: 1501 BELVI WEST PALM BEACH, FL 33406  
 Owners Nar MONROE C Address:: 500 WHITE KEY WEST, FL 33040  
 Owners Nar RETUS GR Address:: 840 EDGEV JACKSONVILLE, FL 32205  
 Owners Nar CITY OF M Address:: 9805 OVER MARATHON, FL 33050-3339  
 Owners Nar CITY OF M Address:: 9805 OVER MARATHON, FL 33050  
 Owners Nar FREEMAN I Address:: 10455 OVEI MARATHON, FL 33050

29048



**Gopic Inc. Architects**  
 Architects and Planners  
 1538 Hendry Street  
 Ft. Myers, Florida 33901  
 Phone: (813) 437-7000  
 Fax: (813) 437-7006  
 Website: www.gopic.com

Corporate Registration  
 No. A0000187



**MONROE COUNTY E.O.C.**

**MONROE COUNTY**

**MAJOR CONDITIONAL USE APPLICATION**

Architect hereby expressly reserves its copyright in these drawings. These drawings shall not be reproduced without the written permission and consent of the architect. No part of these drawings shall be used for any other project without the written permission and consent of the architect.

- revisions

- sheet title

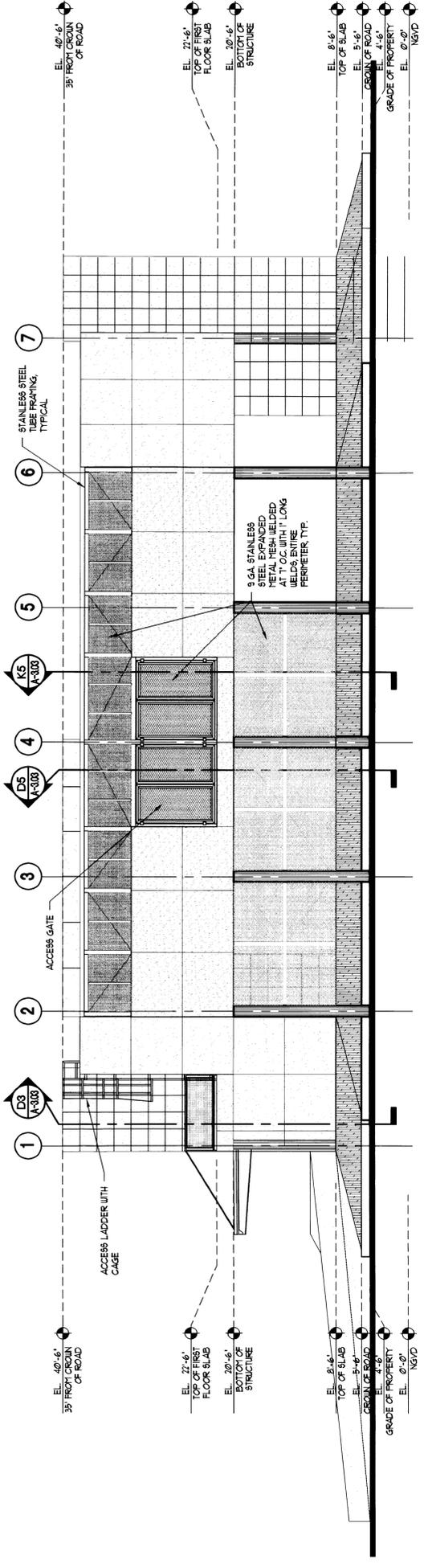
**BUILDING ELEVATIONS**

- scale: 1/8" = 1'-0"
- drawn: MKD
- checked: S
- approved: SRS, V.P.M.
- date: 09/22/2009
- project no: **817-09**
- sheet: **A-2.02**

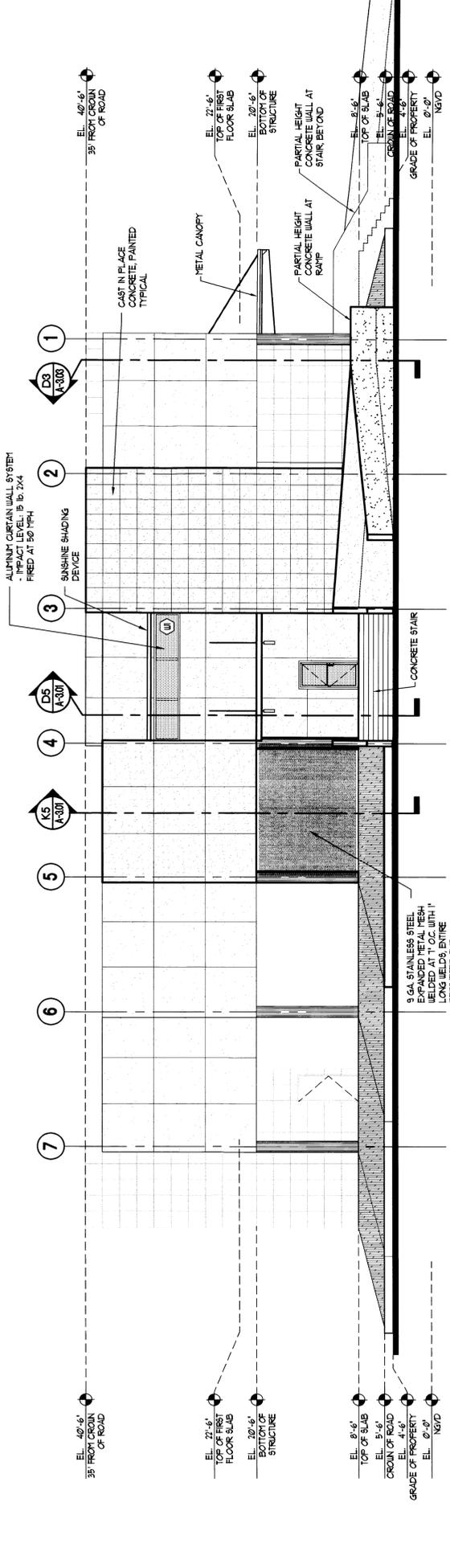


1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

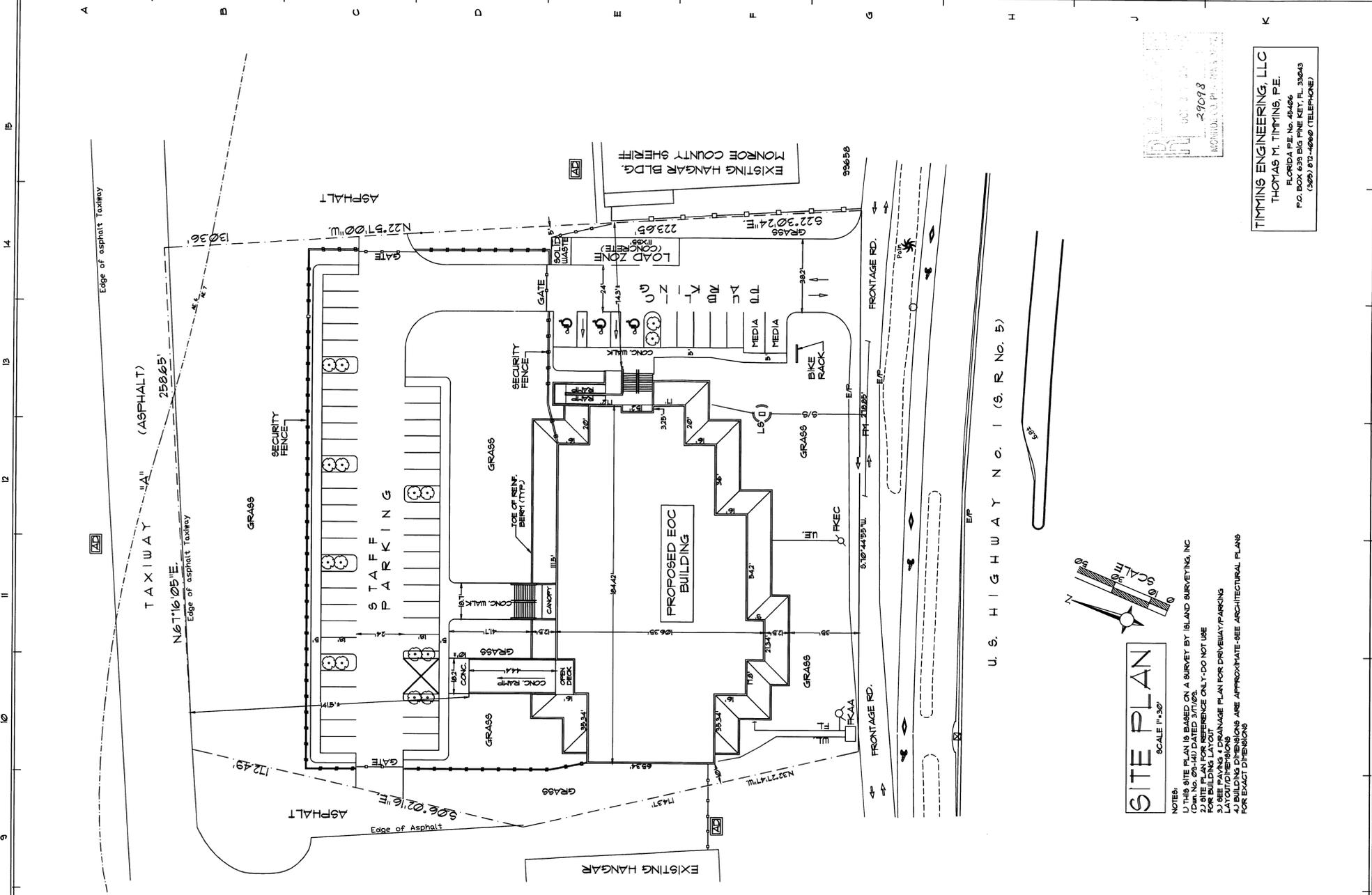
A B C D E F G H J K



**D6 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**J6 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



### LOCATION MAP

NO SCALE

### SITE DATA

LAND USE DISTRICT : AIRPORT DISTRICT (AD)  
 FLOOD ZONE (BLDG.) : AE-1  
 SITE AREA (UPLAND) : 99669 SF.

GROSS FLOOR AREA : 19284 SF.  
 FLOOR AREA RATIO : -MAXIMUM : 0.30  
 OFFICE/PUBLIC USE BLDG. : -PROPOSED : 0.153

### OPEN SPACE TABULATION

SITE AREA (UPLAND) : 99669 SF. ±  
 IMPERVIOUS SURFACES : 23251 SF.  
 BUILDING FOOTPRINT : 4020 SF. ±  
 CONCRETE WALKS : 2205 SF. ±  
 STEPS/LANDINGS/RAMP : 605 SF. ±  
 LOADING ZONE : 140 SF.  
 DUMPSTER : 140 SF.

TOTAL SITE USE : 52305 SF.  
 OPEN SPACE RATIO : 47663 SF.  
 MINIMUM : 0.20  
 PROPOSED : 0.415

### PARKING:

TOTAL PROVIDED SPACES : 48-STANDARD (85'x18')  
 3-ACCESSIBLE PARKING (12'x18')  
 1-MEDIA/VAN PARKING (11'x21')  
 1-LOADING (11'x95')

### LANDSCAPING :

NO REQUIREMENT-MINIMAL SHRUBS PROVIDED

### OUTDOOR LIGHTING:

HEIGHT : 18' MAX.- CUTOFF STYLE LIGHTING  
 ILLUMINATION : MAX. 15 FOOTCANDLES AT R.  
 (SEE SITE LIGHTING PLAN (BY OTHERS))

### FLOOD ZONE INFORMATION:

BUILDING FLOOD ZONE: AE 1  
 FIRM, PANEL NO. 1381 K  
 DATE OF FIRM: - FEBRUARY 18, 2005

FINISHED FLOOR :  
 LOWEST FLOOR : 22.5' NGVD

### LEGEND

- EP Pavement
- AD Adjacent Land Zoning
- Flood Zone Boundary
- Wood Utility Pole
- Approx. Location of Force Main
- Manhole
- Bicycle Path
- UL Proposed Water Line
- FL Proposed Fire Line
- UE Underground Electric (Design by Others)
- S/S Sanitary Sewer (Proposed)
- S/S Shrub Type Landscaping Area
- Proposed Fire Dept. Connection
- L/S Sanitary Lift Station
- FRKAA Florida Key Aqueduct Authority Proposed Connection Point
- FRK Florida Key Electric Coop. Proposed Connection Point

### SITE PLAN

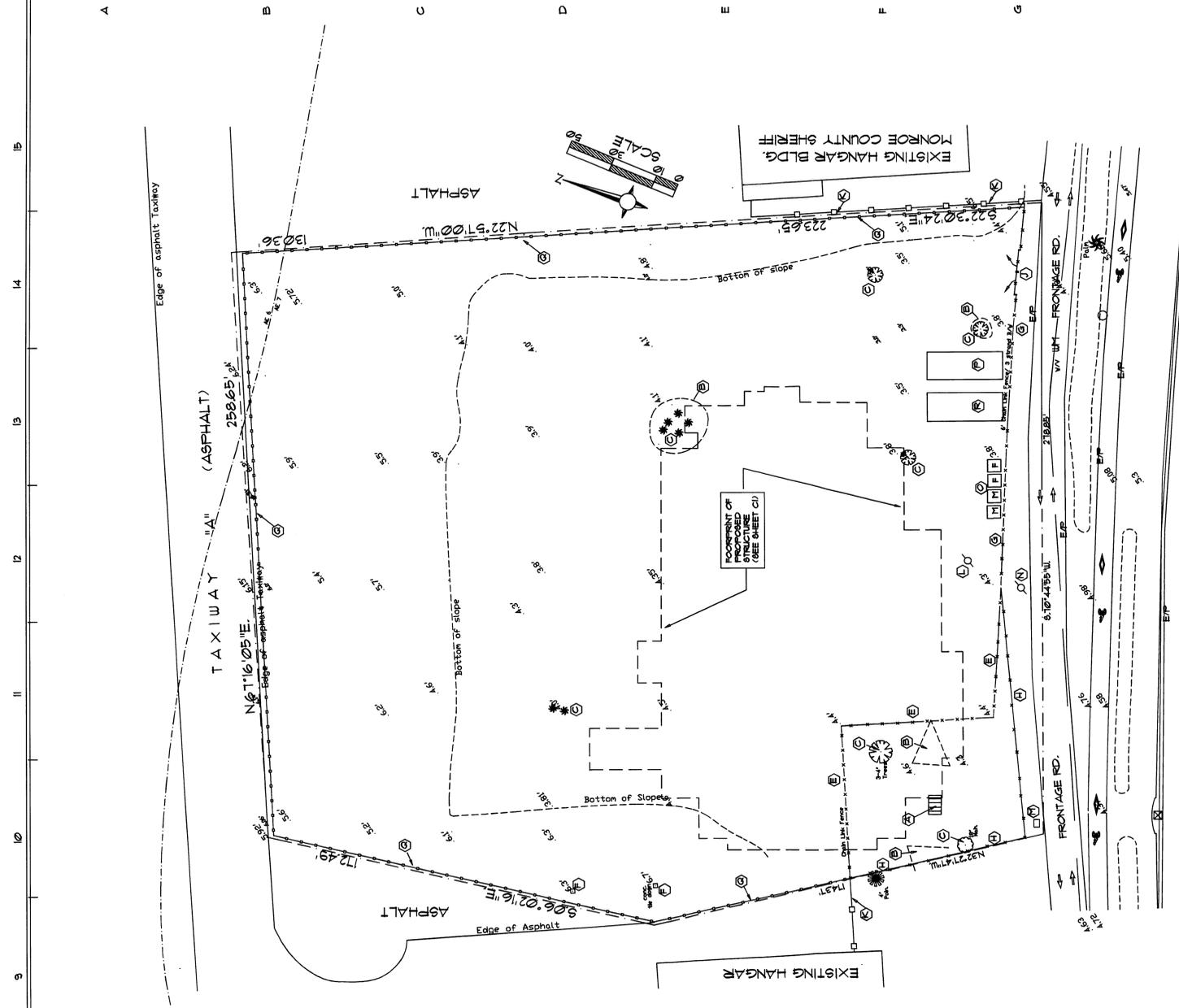
SCALE 1"=50'

NOTES:  
 1) THIS SITE PLAN IS BASED ON A SURVEY BY ISLAND SURVEYING, INC. (DIN. NO. 09-147) DATED 3/7/09.  
 2) SITE PLAN FOR REFERENCE ONLY-DO NOT USE FOR BUILDING LAYOUT.  
 3) SEE SEPARATE UTILITY AND LANDSCAPING LAYOUTS FOR DETAILS.  
 4) BUILDING DIMENSIONS ARE APPROXIMATE-SEE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS.

TIMMINGS ENGINEERING, LLC  
 THOMAS M. TIMMINGS, P.E.  
 FLORIDA P.E. No. 45466  
 P.O. BOX 639 BIG PINE KEY, FL 33043  
 (352) 672-4666 (TELEPHONE)

Architect hereby expressly reserves his common law copyright and other property rights in these drawings. These drawings shall not be reproduced without the written permission of the architect. No part of these drawings shall be used for any purpose not assigned to any party without first obtaining written permission and

- revisions
- sheet title
- EXISTING SITE PLAN
- DEMOLITION PLAN
- scale: 1"=50'
- drawn:
- checked:
- approved:
- date: 9-25-09
- project no. 817-09
- sheet **C2**



**TIMMINS ENGINEERING LLC**  
 THOMAS M. TIMMINS, P.E.  
 FLORIDA P.E. No. 48466  
 P.O. BOX 639 BIG PINE KEY, FL 33043  
 (352) 672-4666 (TELEPHONE)

**EXISTING SITE PLAN/DEMOLITION PLAN  
 CONSTRUCTION MANAGEMENT PLAN**  
 SCALE 1"=50'

NOTE: THIS SITE PLAN IS BASED ON A SURVEY BY ISLAND SURVEYING, INC. (Dwg. No. 09-14) DATED 3/17/09.

- LEGEND**
- (A) EXISTING FENCING TABLE TO BE REMOVED
  - (B) EXISTING PLANTERS TO BE REMOVED
  - (C) EXISTING TREE OR TREE CLUSTERS TO BE REMOVED
  - (D) GREASE TRAPS TO BE ABANDONED OR REMOVED
  - (E) FENCE TO BE REMOVED
  - (F) CONC. TIE DOWN TO BE REMOVED
  - (G) EXISTING CLE TO REMAIN AND BE USED AS CONSTRUCTION SECURITY FENCE
  - (H) NEW CONSTRUCTION SECURITY FENCING TO MATCH EXISTING FENCE
  - (I) PROVIDE SECURE ACCESS GATE IN FENCE AT CONTRACTOR DESIRED LOCATION-GATE SHALL BE OF SUFFICIENT WIDTH FOR CONSTRUCTION TRAFFIC GATE REPAIR MATERIAL TO MATCH FENCE
  - (K) EXISTING FENCES ON ADJACENT PARCELS TO REMAIN REPAIR OR REPLACE TO ORIGINAL CONDITION IF DAMAGED DURING CONSTRUCTION
  - (L) TEMPORARY CONSTRUCTION POWER POLE AT CONTRACTOR DESIRED LOCATION-SEE SHEET C3 FOR CATCH BASIN LOCATIONS PRIOR TO SETTING TEMP. POLE-CONTRACTOR TO COORDINATE WITH PREC (FLORIDA KEYS ELEC. CO-OP)
  - (M) TEMPORARY CONSTRUCTION WATER METER CONTRACTOR TO COORDINATE WITH PK&A (FLORIDA KEYS AQUEDUCT AUTHORITY)
  - (N) PREC UTILITY POLE
  - (O) CONTRACTORS TO PROVIDE SUFFICIENT PORTABLE SANITARY WASTE FACILITIES-AS REQUIRED BY THE MONROE COUNTY BUILDINGS DEPARTMENT
  - (P) CONSTRUCTION DIMENSIONS TO BE PROVIDED BY BUILDING DEPARTMENT POSITION CONTROL
  - (Q) EXISTING TREE LOCATION-SEE LANDSCAPE PLAN FOR TREES TO BE REMOVED
  - (R) EXISTING GRADE ELEVATION
  - EIP EDGE OF PAVEMENT
  - FZ FLOOD ZONE BOUNDARY
  - WU WOOD UTILITY POLE
  - WM WATER MAIN (APPROX. LOCATION)
  - EXISTING TREE LOCATION-SEE LANDSCAPE PLAN FOR TREES TO BE REMOVED
  - EXISTING GRADE ELEVATION

**SHOP DRAWING NOTE**  
 FOR SHOP DRAWINGS REQUIRED BY THESE PLANS:  
 1) MANUFACTURED OR ENGINEERED PRODUCTS/SYSTEMS, SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER RESPONSIBLE FOR THE DESIGN OF THE PRODUCT OR SYSTEM.  
 2) OTHER SHOP DRAWINGS ARE TO BE PREPARED IN ACCORDANCE WITH STANDARD ENGINEERING OR INDUSTRY PRACTICE.  
 ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND COORDINATION PRIOR TO START OF ANY CONSTRUCTION WORK TO BE CONNECT. ALLOW 10 WORKING DAYS FOR SHOP DRAWING REVIEW.

**DEMOLITION AND HAULING**  
 ALL MATERIALS TO BE DEMOLISHED SHALL BE PROPERLY STORED AND DISPOSED OF IN A LANDFILL OR OTHER FACILITY PERMITTED BY THE STATE OF FLORIDA (OR MONROE COUNTY).

**PROTECTION OF UTILITIES**  
 UNDERGROUND UTILITIES ARE NOT SHOWN. CONTRACTOR SHALL PROVIDE FOR UNDERGROUND UTILITY LOCATION BY A LICENSED UTILITY EXPERT. LOCATION SHALL BE DETERMINED PRIOR TO START OF WORK. DURING THE COURSE OF THE WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITY.

**SHEET NOTES:**  
 1) ORGANIZE AND PERFORM ALL DEMOLITION WORK SO AS TO AVOID DAMAGE TO EXISTING STRUCTURES INTENDED TO REMAIN BY A LICENSED AND INSURED CONTRACTOR WITH A MINIMUM OF FIVE YEARS EXPERIENCE IN THE TYPE OF DEMOLITION INDICATED ON THESE PLANS.  
 2) DEVELOP AND SUBMIT A DEMOLITION SCHEDULE SHOWING START AND COMPLETION DATES FOR EACH AREA OF DEMOLITION AND A METHOD PLAN FOR REMOVAL OF WORK.  
 3) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE FAMILIAR WITH THE FIELD CONDITIONS AND SCOPE OF WORK PRIOR TO SUBMITTING A BID.  
 4) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE FAMILIAR WITH THE FIELD CONDITIONS AND SCOPE OF WORK PRIOR TO SUBMITTING A BID.  
 5) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE FAMILIAR WITH THE FIELD CONDITIONS AND SCOPE OF WORK PRIOR TO SUBMITTING A BID.  
 6) ALL MATERIALS REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR AND CANNOT BE REUSED OR RECYCLED.  
 7) NOTIFY OWNER AND INSURER OF ANY CONSTRUCTION OF THESE FACILITIES OR THE PHYSICAL CONDITION OF THE STRUCTURES.  
 8) EXISTING WORK NOT REQUIRED FOR REMOVAL WHICH IS TEMPORARILY REMOVED SHALL BE REPAIRED PATCHED OR REPLACED TO THE OWNER'S AND ENGINEER'S SATISFACTION AT NO ADDITIONAL COST TO OWNER.  
 9) PROVIDE SHOP DRAWINGS OF ALL REMOVED LIGHTING FOR PROJECT.  
 10) SUBMIT SHOP DRAWINGS OF ANY CONSTRUCTION LIGHTING TO BE USED.

**EXISTING SITE PLAN/DEMOLITION PLAN  
 CONSTRUCTION MANAGEMENT PLAN**  
 SCALE 1"=50'

NOTE: THIS SITE PLAN IS BASED ON A SURVEY BY ISLAND SURVEYING, INC. (Dwg. No. 09-14) DATED 3/17/09.

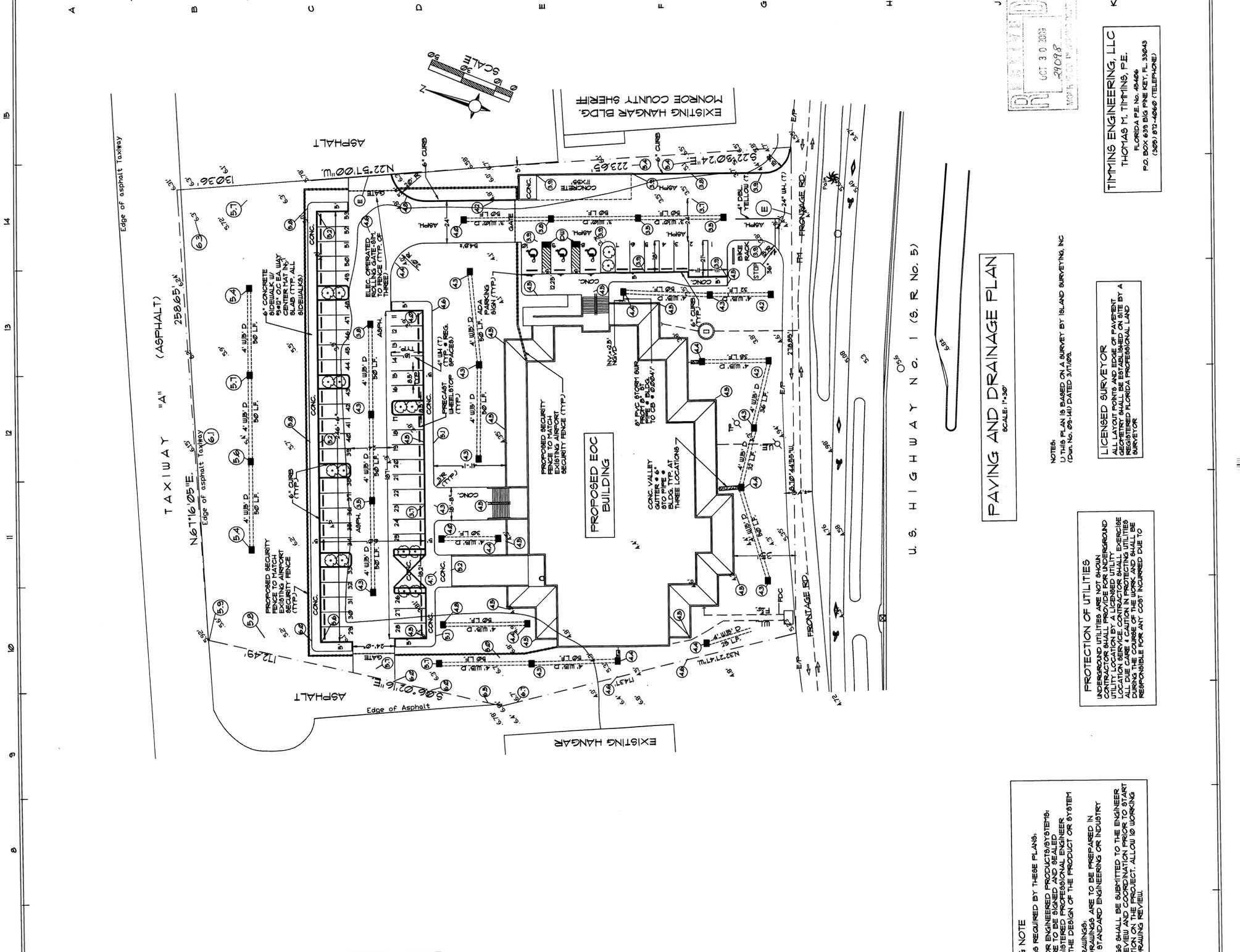
Architect hereby expressly reserves his common law copyright and other property rights in these drawings. These drawings shall not be reproduced without the permission of the architect. No part of these drawings may be used by any party without first obtaining written permission and assignment of all rights.

• REVISIONS  
 10-20-09 RELOCATE LOAD ZONE

• sheet title  
 PAVING & DRAINAGE PLAN

• scale: 1"=50'

• drawn:  
 • checked:  
 • approved:  
 • date: 9-25-09  
 • project no. 817-09  
 • sheet **C3**



**PAVING AND DRAINAGE PLAN**  
 SCALE: 1"=50'

NOTES:  
 U THIS PLAN IS BASED ON A SURVEY BY ISLAND SURVEYING, INC (Draw No. 09-14) DATED 3/17/09.

**LICENSED SURVEYOR**  
 THOMAS M. TIMPINS, P.E.  
 FLORIDA P.E. NO. 48466  
 P.O. BOX 699 BIG PINE KEY, FL 33043  
 (352) 872-4666 (TELEPHONE)

**PROTECTION OF UTILITIES**  
 UNDERGROUND UTILITIES ARE NOT SHOWN. CONTRACTOR SHALL PROVIDE FOR UNDERGROUND UTILITIES. ALL LATER UTILITIES SHALL BE IDENTIFIED ON SITE BY A LICENSED SURVEYOR. CONTRACTOR SHALL EXERCISE ALL DUE CARE & CAUTION IN PROTECTING UTILITIES DURING THE COURSE OF THE PROJECT. ALLOW TO WORK RESPONSIBLE FOR ANY COST INCURRED DUE TO

**SHOP DRAWING NOTE**  
 FOR SHOP DRAWINGS REQUIRED BY THESE PLANS:  
 1) MANUFACTURED OR ENGINEERED PRODUCTS SYSTEMS: SHOP DRAWINGS ARE TO BE SIGNED BY A LICENSED PROFESSIONAL ENGINEER RESPONSIBLE FOR THE DESIGN OF THE PRODUCT OR SYSTEM.  
 2) OTHER SHOP DRAWINGS: ARE TO BE PREPARED IN ACCORDANCE WITH STANDARD ENGINEERING OR INDUSTRY PRACTICE.  
 ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND COORDINATION PRIOR TO START OF ANY CONSTRUCTION ON THE PROJECT. ALLOW TO WORK DATA FOR SHOP DRAWINGS REVIEW.

**DRAINAGE DATA**

**WATER QUANTITY**

Category	Value
PRE-DEVELOPMENT	25 YEAR PRE-DEVELOPMENT ELEVATION = 4.64' NGVD
POST-DEVELOPMENT	25 YEAR POST-DEVELOPMENT ELEVATION = 5.96' NGVD
Retention	VOLUME TO BE RETAINED IS THAT VOLUME BETWEEN THE 25 YEAR PRE-DEVELOPMENT ELEVATION + 4.64' NGVD AND THE 25 YEAR POST-DEVELOPMENT ELEVATION + 5.96' NGVD
Retention	VOLUME FROM WATER QUANTITY = (1022 X 1022 X 15' 10.5") / 2 = 8198 CU. FT.

**WATER QUALITY**

VOLUME TO BE RETAINED:  
 1) 25 X (1022 X 1022 X 15' 10.5") / 2 = 8198 CU. FT.  
 2) 25 X (1022 X 1022 X 15' 10.5") / 2 = 8198 CU. FT.

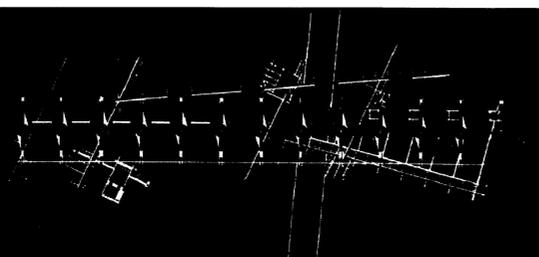
**LEGEND**

- EXISTING GRADE
- PROPOSED GRADE
- CATCH BASIN (S.M. TO MONROE CO. STD. DETAILS D22, D23) WITH LOCATION OF EXPLORATION TRENCH, TRENCH DEPTH, WIDTH, AND LENGTH ARE NOTED ON PLAN
- EDGE OF PAVEMENT
- STOP SIGN (ALL SIZES) PER FOOT SPECIFICATIONS. SUBMIT SHOP DRAWINGS OF SIGN & POST.
- E.O.C. PARCEL LINE
- PROVIDE DETECTABLE WARNING STRIP AS REQUIRED PER CHAPTER II OF THE 2007 FLORIDA BUILDING CODE. SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.
- DETAIL NO.
- REFERENCE SHEET NO.
- FLAGPOLE LOCATION
- TEMPORARY POWER LOCATION

**SHEET NOTES:**  
 1) ASPHALT PAVEMENT IS 1 1/2" THICK AND SHALL CONFORM TO FOOT SPECIFICATIONS. SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.  
 2) PROVIDE DETECTABLE WARNING STRIP AS REQUIRED PER CHAPTER II OF THE 2007 FLORIDA BUILDING CODE. SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.  
 3) SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.  
 4) PROVIDE DETECTABLE WARNING STRIP AS REQUIRED PER CHAPTER II OF THE 2007 FLORIDA BUILDING CODE. SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.  
 5) SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.  
 6) PROVIDE DETECTABLE WARNING STRIP AS REQUIRED PER CHAPTER II OF THE 2007 FLORIDA BUILDING CODE. SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.  
 7) SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.  
 8) PROVIDE DETECTABLE WARNING STRIP AS REQUIRED PER CHAPTER II OF THE 2007 FLORIDA BUILDING CODE. SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.  
 9) SUBMIT SHOP DRAWINGS OF METHODS & MATERIALS TO BE USED.



**Architects and Planners**  
ISK Reeves V. FAIA  
Kevin Richter, AIA  
Ian A. Reeves, Assoc. AIA  
333 N. Knowles Ave  
White Oak, Texas 75781  
(409) 641-1100  
1515 Heritage Street  
P.O. Box 1000  
259-467-9944  
Concrete Reinforcing  
No. AAC00187



**MONROE COUNTY E.O.C.**

**MONROE COUNTY**

**MAJOR CONDITIONAL USE APPLICATION**

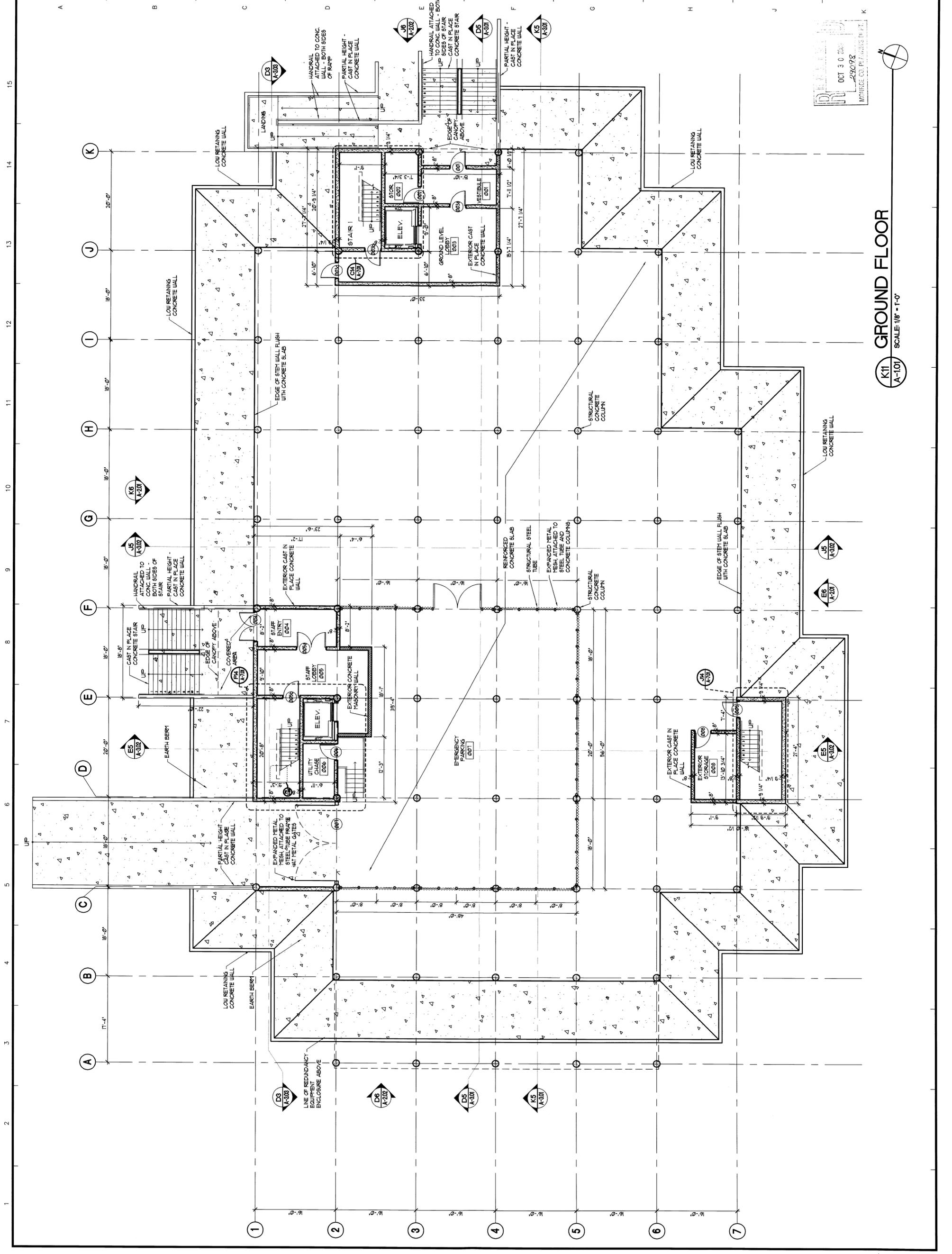
ARCHITECT HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DRAWINGS. THESE DRAWINGS AND NOT BE REPRODUCED WITHOUT WRITTEN CONSENT OF THE ARCHITECT. FOR ANY REUSE OF THESE DRAWINGS BY ANY PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT.

- TENSORS

- sheet title

**GROUND FLOOR PLAN**

- scale 1/8" = 1'-0"
- drawn by [signature]
- checked by [signature]
- approved by [signature]
- date 09/22/2009
- project no. 817-09
- sheet A-101

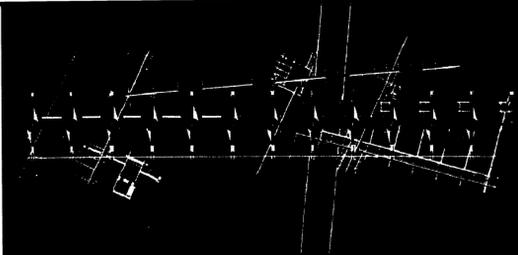


PROJECT NO. 817-09  
DATE: 09/22/2009  
DRAWN BY: [signature]  
CHECKED BY: [signature]  
APPROVED BY: [signature]

**K11 GROUND FLOOR**  
SCALE: 1/8" = 1'-0"



**Architects and Planners**  
 ISK Reeves V. FAIA  
 Kevin Rafteran, AIA  
 Ian A. Reeves, Assoc. AIA  
 333 N. Krowles Ave.  
 Suite 1000  
 Fort Worth, TX 76102  
 817-335-1100  
 Fax: 817-335-1101  
 Corporate Registration  
 No. AAC00197



**MONROE COUNTY E.O.C.**

**MONROE COUNTY**

**MAJOR CONDITIONAL USE APPLICATION**

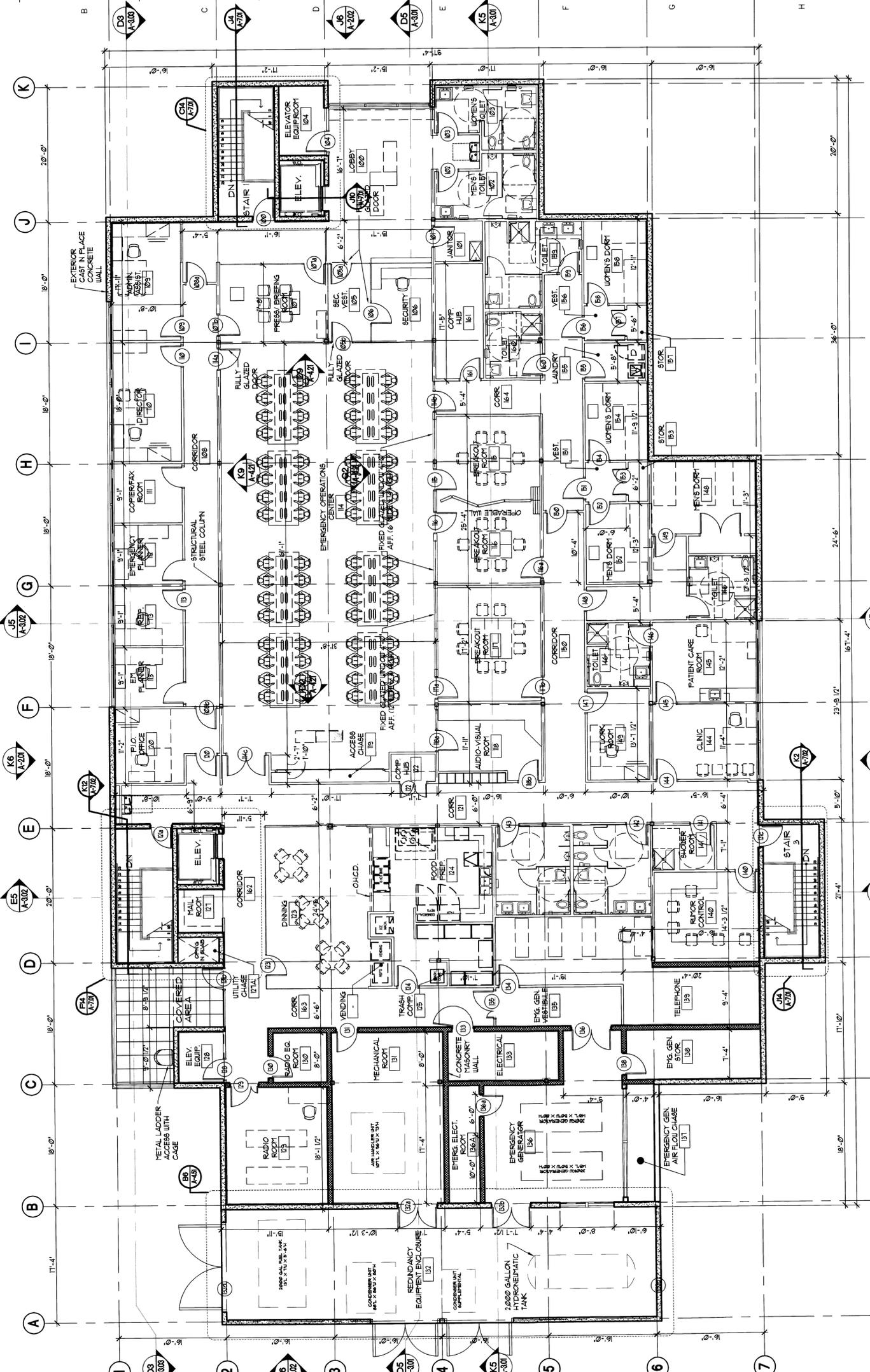
Architect hereby expressly reserves the right to make any changes to these drawings without the written consent of the architect. The architect's consent is not required for any party to be assigned to any party without first obtaining written permission and consent.

• revisions

• sheet title

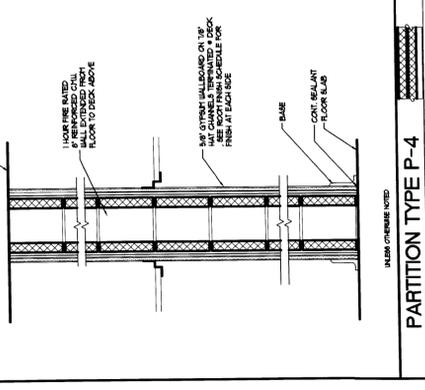
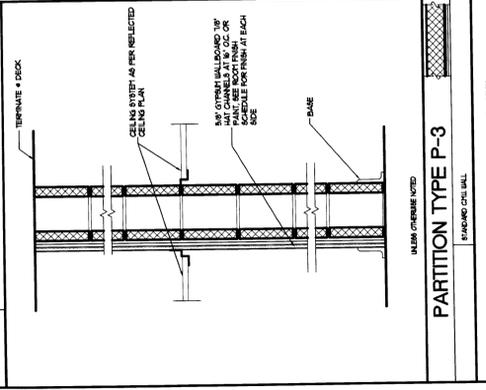
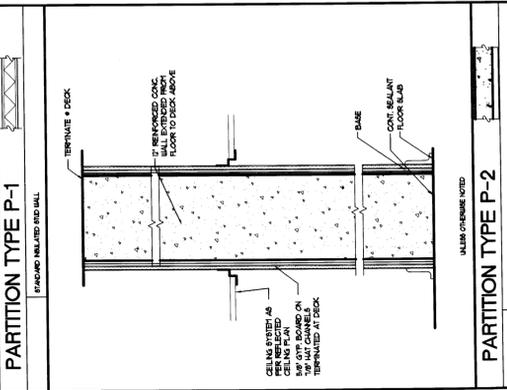
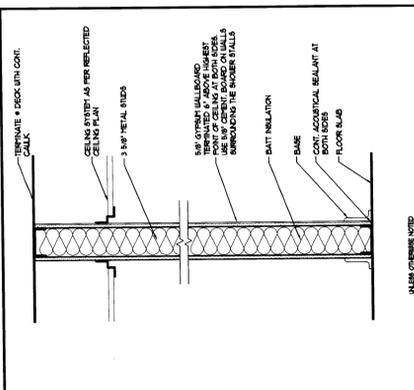
**FIRST FLOOR PLAN**

- scale: 1/8" = 1'-0"
- drawn: AH
- checked: SB
- approved: BRV, PMA
- date: 08/20/09
- project no: 817-09
- sheet: A-102



**FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"







## MEMORANDUM

### MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

*We strive to be caring, professional and fair*

To: Monroe County Development Review Committee &  
Townasley Schwab, Senior Director of Planning & Environmental Resources

From: Joseph Haberman, AICP, Principal Planner

Date: January 6, 2010

Subject: *Proposed Ordinance to the Board of County Commissioners to amend Monroe County Code Section 130-83, Improved subdivision district (IS), Section 130-99, Urban residential-mobile home district (URM), Section 130-100, Urban residential mobile home-limited district (URM-L) and Section 130-164, Maximum nonresidential land use intensities and district open space*

---

**Meeting: January 12, 2010**

---

1  
2 I REQUEST  
3

4 The Planning & Environmental Resources Department is proposing amendments to the text  
5 of §130-83, §130-99, §130-100 and §130-164 of the Monroe County Code. The purposes of  
6 the proposed amendments are to provide consistency between regulations provided land  
7 development code and policies in the comprehensive plan.  
8

9 II RELEVANT PRIOR COUNTY ACTIONS:  
10

11 The Monroe County Year 2010 Comprehensive Plan became effective on January 2, 1996.  
12 Policies 101.4.3, 101.4.4 and 101.4.21, which are those pertinent to this proposed ordinance,  
13 were established at that time.  
14

15 III REVIEW  
16

17 The current regulations within the land development code establishing the permitted uses in the  
18 Improved Subdivision (IS), Urban Residential Mobile Home (URM) and Urban Residential  
19 Mobile Home – Limited (URM-L) districts are not consistent with the Policies 101.4.3, 101.4.4  
20 and 101.4.21 of the Year 2010 Comprehensive Plan. Particularly, the comprehensive plan  
21 policies that state the purposes of the Residential Medium (RM) future land use category  
22 (Policy 101.4.3), in which the IS district is consistent, and the Residential High (RH) future  
23 land use category (Policy 101.4.4), in which the URM and URM-L districts are consistent, do  
24 not allow for new nonresidential uses and marinas regardless of their characteristics, locations  
25 or proximity to US 1. Furthermore, the comprehensive plan policy that provides the allowed  
26 density and intensity standards for future land use categories (Policy 101.4.21) states that the  
27 maximum nonresidential floor area ratio for both the RM and RH categories is 0.  
28

1 The policies are as follows:  
2

3 **Policy 101.4.3**

4 The principal purpose of the Residential Medium land use category is to recognize those portions of  
5 subdivisions that were lawfully established and improved prior to the adoption of this plan and to  
6 define improved subdivisions as those lots served by a dedicated and accepted existing roadway,  
7 have an approved potable water supply, and have sufficient uplands to accommodate the residential  
8 uses. Development on vacant land within this land use category shall be limited to one residential  
9 dwelling unit for each such platted lot or parcel which existed at the time of plan adoption.  
10 However, Monroe County shall adopt Land Development Regulations which allow nonresidential  
11 uses that were listed as a permitted use in the Land Development Regulations that were in effect  
12 immediately prior to the institution of the 2010 Comprehensive Plan (pre-2010 LDR's), and that  
13 lawfully existed on such lands on January 4, 1996 to develop, redevelop, reestablish and/or  
14 substantially improve provided that the uses are limited in intensity, floor area, density and to the  
15 type of use that existed on January 4, 1996 or limited to what the pre-2010 LDR's allowed,  
16 whichever is more restricted. Lands within this land use category shall not be further subdivided.  
17

18 **Policy 101.4.4**

19 The principal purpose of the Residential High category is to provide for high density single-family,  
20 multi-family, and institutional residential development, including mobile homes and manufactured  
21 housing, located near employment centers. In addition, Monroe County shall adopt Land  
22 Development Regulations which allow nonresidential uses that were listed as a permitted use in the  
23 Land Development Regulations that were in effect immediately prior to the institution of the 2010  
24 Comprehensive Plan, and that lawfully existed on such lands on January 4, 1996 to develop,  
25 redevelop, reestablish and/or substantially improve provided that the use is limited in intensity, floor  
26 area, density and to the type of use that existed on January 4, 1996 or limited to what the pre-2010  
27 LDR's allowed, whichever is more restricted.  
28

Future Land Use Densities and Intensities			
Future Land Use Category And Corresponding Zoning	Allocated Density (per acre)	Maximum Net Density (per buildable acre)	Maximum Intensity (floor area ratio)
...			
Residential Medium (RM) (IS zoning)	approx. 0.5-8 du (1 du/lot) 0 rooms/spaces	N/A N/A	0
Residential High (RH) (IS-D(e), URM(e), and UR(f) zoning)	approx. 3-16 du (1-2 du/lot) 10 rooms/spaces	12 du 20 rooms/spaces	0
Notes: (a) "N/A" means that maximum net density bonuses shall not be available. (b) The allocated densities for submerged lands, salt ponds, freshwater ponds, and mangroves shall be 0 and the maximum net densities bonuses shall not be available. (c) The allocated density for CFV zoning shall be 1 dwelling unit per lot and the maximum net density bonuses shall not be available. (d) Maximum net density bonuses shall not be available to the SS district. (e) The allocated density for IS-D and URM zoning shall be 2 and 1 dwelling units per lot, respectively and the maximum net density bonuses shall not be available.			

- (f) The maximum net density for the UR district shall be 25 for units where all units are designated as affordable housing.
- (g) For properties consisting of hammocks, pinelands or disturbed wetlands within the Mixed Use/ Commercial and Mixed Use/ Commercial Fishing land use categories, the floor area ratio shall be 0.10 and the maximum net residential density bonuses not apply.
- (h) Uses under the categories of Agriculture, Education, Institutional, Public Facilities, and Public Buildings and Uses, which have no directly corresponding zoning, may be incorporated into new or existing zoning districts as appropriate.
- (i) The Maximum Net Density is the maximum density allowable with the use of TDRs.

1  
2 The inconsistencies between the IS district and RM category and between the URM and URM-  
3 L districts and RH category must be corrected. Since the policies of the comprehensive plan  
4 supersede the regulations of the land development code, staff is suggesting the following  
5 amendments. In addition, staff is recommending amendments to correct errors and provide  
6 better readability within the sections, all of which do not pertain to correcting a comprehensive  
7 plan/land development code inconsistency.  
8

9 Note: Existing non-residential uses in the RM and RH categories that were lawfully-established  
10 would not be affected by the proposed amendments. Those uses are allowed to improve and  
11 possibly substantially improve or reestablish in accordance with Policies 101.4.3 and 101.4.4 or  
12 in accordance with the nonconformity provisions of the land development code. However,  
13 staff is recommending amendments to the existing land development code language to directly  
14 state the language as provided in the comprehensive plan's Policies 101.4.3 and 101.4.4 word-  
15 for-word. Under the current land development code regulations, reestablishment is limited  
16 only to specific types, intensities and sizes of commercial retail and office. The comprehensive  
17 plan provides no limitations; therefore such limitations are not consistent with the  
18 comprehensive plan.  
19

20 **(deletions are ~~stricken through~~ and additions are underlined):**

21  
22 **Sec. 130-83. Improved subdivision district (IS).**

23 (a) The following uses are permitted as of right in the improved subdivision district:

- 24 (1) In ~~those improved subdivision~~ IS districts with no subdistrict indicator, detached  
25 dwellings of all types;  
26 (2) In ~~those improved subdivision~~ IS districts with an M subdistrict ~~indicator~~ indicators,  
27 only detached dwellings of masonry construction;  
28 (3) In ~~those improved subdivision district~~ IS districts with a D subdistrict ~~indicator~~  
29 indicators:  
30 a. Detached dwellings of all types; and  
31 b. Duplexes;  
32 (4) Home occupations-Special use permit required;  
33 (5) Accessory uses;  
34 (6) Collocations on existing antenna-supporting structures, pursuant to section 146-5(3);  
35 (7) Satellite earth stations less than two meters in diameter, as accessory uses, pursuant to  
36 section 146-5(6); and  
37 (8) Wastewater nutrient reduction cluster systems that serve less than ten residences.

38 (b) Vacation rental use is prohibited ~~in all IS districts and subdistricts~~, except in:

- 39 (1) IS districts with V subdistrict indicators ~~IS-V districts (as set forth in section 130-83)~~;  
40 and  
41 (2) In gated communities that have:

- 1 a. Controlled access; and  
 2 b. A homeowner's or property owner's association that expressly regulates or  
 3 manages vacation rental uses.
- 4 (c) The following uses are permitted as minor conditional uses in the improved subdivision district,  
 5 subject to the standards and procedures set forth in chapter 110, article III:  
 6 (1) Parks and community parks;  
 7 ~~(2) Public parks;~~  
 8 ~~(3) (2) Schools; and~~  
 9 (4) ~~(3)~~ Satellite earth stations greater than or equal to two meters in diameter, as accessory  
 10 uses, pursuant to section 146-5(6).
- 11 (d) The following uses are permitted as major conditional uses in the improved subdivision district,  
 12 subject to the standards and procedures set forth in chapter 110, article III:  
 13 ~~(1) Commercial retail of low and medium intensity and office uses or any combination~~  
 14 ~~thereof of less than 2,500 square feet of floor area, provided that:~~  
 15 a. ~~The parcel of land on which the commercial retail use is to be located abuts the~~  
 16 ~~right of way of U.S. 1, or a dedicated right of way to serve as a frontage road for~~  
 17 ~~U.S. 1;~~  
 18 b. ~~The structure must be located within 200 feet of the centerline of U.S. 1;~~  
 19 c. ~~The commercial retail use does not involve the sale of petroleum products;~~  
 20 d. ~~The commercial retail use does not involve the outside storage or display of~~  
 21 ~~goods or merchandise;~~  
 22 e. ~~There is no direct access to U.S. 1 from the parcel of land on which the~~  
 23 ~~commercial retail use is to be located;~~  
 24 f. ~~The structure in which the commercial retail use is to be located is separated~~  
 25 ~~from the U.S. 1 right of way by a class C bufferyard;~~  
 26 g. ~~The structure in which the commercial retail use is to be located is separated~~  
 27 ~~from any existing residential structure by a class C bufferyard; and~~  
 28 h. ~~No signage other than one identification sign of no more than four square feet~~  
 29 ~~shall be placed in any yard or on the wall of the structure in which the commercial~~  
 30 ~~retail use is to be located except for the yard or wall that abuts the right of way for~~  
 31 ~~U.S. 1;~~
- 32 ~~(2) (1) Stealth wireless communications facilities, as accessory uses, pursuant to section~~  
 33 ~~146-5(5);~~  
 34 ~~(3) (2) Land use overlays A, INS, PF, subject to the provisions of article IV of this chapter;~~  
 35 ~~and~~  
 36 ~~(4) (3) Wastewater treatment facilities and wastewater treatment collection systems serving~~  
 37 ~~uses located in any land use district, provided that:~~  
 38 a. ~~The wastewater treatment facility and wastewater treatment collection systems~~  
 39 ~~are in compliance with all federal, state, and local requirements;~~  
 40 b. ~~The wastewater treatment facility, wastewater treatment collection systems and~~  
 41 ~~accessory uses shall be screened by structures designed to be architecturally~~  
 42 ~~consistent with the character of the surrounding community and shall minimize the~~  
 43 ~~impact of any outdoor storage, temporary or permanent; and~~  
 44 c. ~~In addition to any district boundary buffers set forth in chapter 114, article IV, a~~  
 45 ~~planting bed, eight feet in width, to be measured perpendicular to the exterior of the~~  
 46 ~~screening structure shall be established with the following:~~  
 47 1. ~~One native canopy tree for every 25 linear feet of screening structure;~~  
 48 ~~and one understory tree for every ten linear feet of screening structure;~~  
 49 2. ~~The required trees shall be evenly distributed throughout the planting~~  
 50 ~~bed;~~

1 3. The planting bed shall be installed as set forth in chapter 114, article IV,  
2 and maintained in perpetuity; and

3 4. A solid fence may be required upon determination by the planning  
4 director.

5 (4) Lawfully established nonresidential uses that were listed as a permitted use in the land  
6 development regulations that were in effect immediately prior to the institution of the 2010  
7 Comprehensive Plan, and that lawfully existed on such lands on January 4, 1996, may  
8 develop, redevelop, reestablish and/or substantially improve provided that the uses are  
9 limited in intensity, floor area, density and to the type of use that existed on January 4, 1996  
10 or limited to what the land development regulations that were in effect immediately prior to  
11 the institution of the 2010 Comprehensive Plan allowed, whichever is more restricted.

12 ~~(e) The following lawfully established nonresidential uses in the suburban residential land use~~  
13 ~~district, which were rendered nonconforming by the 2010 Comprehensive Plan, but listed as~~  
14 ~~permitted uses in the land development regulations that were in effect immediately prior to the~~  
15 ~~institution of the 2010 Comprehensive Plan (pre 2010 LDRs) and lawfully existed on such lands on~~  
16 ~~January 4, 1996, which are damaged or destroyed may be permitted to be redeveloped, make~~  
17 ~~substantial improvements, or be reestablished as an amendment to a major conditional use, subject~~  
18 ~~to the standards and procedures set forth in chapter 110, article III: Commercial retail of low- and~~  
19 ~~medium intensity or office uses or any combination thereof of less than 2,500 square feet of floor~~  
20 ~~area, provided that:~~

21 ~~(1) The parcel of land on which the commercial retail use is to be located abuts the right-of-~~  
22 ~~way of U.S. 1, or a dedicated right-of-way to serve as a frontage road for U.S. 1;~~

23 ~~(2) The structure must be located within 200 feet of the centerline of U.S. 1;~~

24 ~~(3) The commercial retail use does not involve the sale of petroleum products;~~

25 ~~(4) The commercial retail use does not involve the outside storage or display of goods or~~  
26 ~~merchandise;~~

27 ~~(5) There is no direct access to U.S. 1 from the parcel of land on which the commercial~~  
28 ~~retail use is to be located;~~

29 ~~(6) The structure in which the commercial retail use is to be located is separated from the~~  
30 ~~U.S. 1 right-of-way by a class C bufferyard;~~

31 ~~(7) The structure in which the commercial retail use is to be located is separated from any~~  
32 ~~existing residential structure by a class C bufferyard;~~

33 ~~(8) No signage other than one identification sign of no more than four square feet shall be~~  
34 ~~placed in any yard or on the wall of the structure in which the commercial retail use is to be~~  
35 ~~located except for the yard or wall that abuts the right of way for U.S. 1; and~~

36 ~~(9) The use is limited in intensity, floor area, density and to the type of use that existed on~~  
37 ~~January 4, 1996, or limited to the permitted uses and/or the provisions for minor or major~~  
38 ~~conditional uses allowed in the pre 1996 LDRs for this district, whichever is more~~  
39 ~~restrictive.~~

40  
41 **Sec. 130-99. Urban residential-mobile home district (URM).**

42 (a) The following uses are permitted, as of right in the urban residential-mobile home district:

43 (1) Mobile homes;

44 (2) Detached residential dwellings;

45 (3) Recreational vehicles as provided in F.S. ch. 513;

46 (4) Home occupations-Special use permit required;

47 (5) Accessory uses;

48 (6) Tourist housing uses, including vacation rental uses, are prohibited except in gated  
49 communities that have:

50 a. Controlled access; and

- 1                    ~~b. A homeowner's or property owner's association that expressly regulates or~~  
2                    ~~manages vacation rental uses;~~  
3                    ~~(7) (6) Collocations on existing antenna-supporting structures, pursuant to section 146-~~  
4                    ~~5(3);~~  
5                    ~~(8) (7) Satellite earth stations less than two meters in diameter, as accessory uses,~~  
6                    ~~pursuant to section 146-5(6); and~~  
7                    ~~(9) (8) Wastewater nutrient reduction cluster systems that serve less than ten residences.~~  
8                    (b) Vacation rental use is prohibited, except in:  
9                    (1) In gated communities that have:  
10                    a. Controlled access; and  
11                    b. A homeowner's or property owner's association that expressly regulates or  
12                    manages vacation rental uses.  
13                    ~~(b) (c)~~ The following are permitted as minor conditional uses in the urban residential-mobile  
14                    home district (URM), subject to the standards and procedures set forth in chapter 110, article III:  
15                    (1) Replacement of an existing antenna-supporting structure pursuant to section 146-5(2);  
16                    (2) Stealth wireless communications facilities, as accessory uses, pursuant to section 146-  
17                    5(5); and  
18                    (3) Satellite earth stations greater than or equal to two meters in diameter, as accessory  
19                    uses, pursuant to section 146-5(6).  
20                    ~~(e) (d)~~ The following uses are permitted as major conditional uses in the urban residential-mobile  
21                    home district, subject to the standards and procedures set forth in chapter 110, article III:  
22                    (1) ~~Marinas, provided that:~~  
23                    ~~a. The parcel proposed for development has access to water at least four feet~~  
24                    ~~below mean sea level at mean low tide;~~  
25                    ~~b. The sale of goods and services is limited to fuel, food, boating, diving and~~  
26                    ~~sport fishing products;~~  
27                    ~~c. Vessels docked or stored shall not be used for live aboard purposes; and~~  
28                    ~~d. All outside storage areas are screened from adjacent uses by a solid fence, wall~~  
29                    ~~or hedge at least six feet in height;~~  
30                    ~~e. Each nonwaterside perimeter setback of the parcel proposed for development~~  
31                    ~~must have a class C bufferyard within a side yard setback of ten feet;~~  
32                    (2) ~~Commercial retail of low and medium intensity and office uses or any combination~~  
33                    ~~thereof of less than 2,500 square feet of floor area, provided that:~~  
34                    ~~a. The parcel of land on which the commercial retail use is to be located abuts the~~  
35                    ~~right of way of U.S. 1;~~  
36                    ~~b. The structure must be located within 200 feet of the centerline of U.S. 1;~~  
37                    ~~c. The commercial retail use does not involve the sale of petroleum products;~~  
38                    ~~d. The commercial retail use does not involve the outside storage or display of~~  
39                    ~~goods or merchandise;~~  
40                    ~~e. There is no direct access to U.S. 1 from the parcel of land on which the~~  
41                    ~~commercial retail use is to be located;~~  
42                    ~~f. The structure in which the commercial retail use is to be located is separated~~  
43                    ~~from the U.S. 1 right of way by a class C bufferyard;~~  
44                    ~~g. The structure in which the commercial retail use is to be located is separated~~  
45                    ~~from any existing residential structure by a class C bufferyard; and~~  
46                    ~~h. No signage other than one identification sign of no more than four square feet~~  
47                    ~~shall be placed in any yard or on the wall of the structure in which the~~  
48                    ~~commercial retail use is to be located except for the yard or wall that abuts the~~  
49                    ~~right of way for U.S. 1;~~  
50                    (3) (1) Parks and community parks; and  
51                    (4) (2) Land use overlays A, E, PF, subject to the provisions of article IV of this chapter.

1 (3) Wastewater treatment facilities and wastewater treatment collection systems serving  
2 uses located in any land use district, provided that:

3 a. The wastewater treatment facility and wastewater treatment collection systems  
4 are in compliance with all federal, state, and local requirements;

5 b. The wastewater treatment facility, wastewater treatment collection systems and  
6 accessory uses shall be screened by structures designed to be architecturally  
7 consistent with the character of the surrounding community and shall minimize the  
8 impact of any outdoor storage, temporary or permanent; and

9 c. In addition to any district boundary buffers set forth in chapter 114, article IV, a  
10 planting bed, eight feet in width, to be measured perpendicular to the exterior of the  
11 screening structure shall be established with the following:

12 1. One native canopy tree for every 25 linear feet of screening structure;  
13 and one understory tree for every ten linear feet of screening structure;

14 2. The required trees shall be evenly distributed throughout the planting  
15 bed;

16 3. The planting bed shall be installed as set forth in chapter 114, article IV,  
17 and maintained in perpetuity; and

18 4. A solid fence may be required upon determination by the planning  
19 director.

20 (4) Lawfully established nonresidential uses that were listed as a permitted use in the land  
21 development regulations that were in effect immediately prior to the institution of the 2010  
22 Comprehensive Plan, and that lawfully existed on such lands on January 4, 1996, may  
23 develop, redevelop, reestablish and/or substantially improve provided that the uses are  
24 limited in intensity, floor area, density and to the type of use that existed on January 4, 1996  
25 or limited to what the land development regulations that were in effect immediately prior to  
26 the institution of the 2010 Comprehensive Plan allowed, whichever is more restricted.

27 ~~(d) The following lawfully established nonresidential uses in the urban residential mobile home~~  
28 ~~land use district, which were rendered nonconforming by the 2010 Comprehensive Plan, but~~  
29 ~~listed as permitted uses in the land development regulations that were in effect immediately prior~~  
30 ~~to the institution of the 2010 Comprehensive Plan (pre-2010 LDR's) and lawfully existed on such~~  
31 ~~lands on January 4, 1996, which are damaged or destroyed may be permitted to be redeveloped,~~  
32 ~~make substantial improvements, or be reestablished as an amendment to a major conditional use,~~  
33 ~~subject to the standards and procedures set forth in chapter 110, article III:~~

34 ~~(1) Marinas, provided that:~~

35 ~~a. The parcel has access to water at least four feet below mean sea level at mean~~  
36 ~~low tide;~~

37 ~~b. The sale of goods and services is limited to fuel, food, boating, diving, and~~  
38 ~~sport fishing producers;~~

39 ~~c. Vessels docked or stored shall not be used for live-aboard purposes;~~

40 ~~d. All outside storage areas are screened from adjacent uses by a solid fence, wall~~  
41 ~~or hedge at least six feet in height; and~~

42 ~~e. The use is limited in intensity, floor area, density and to the type of use that~~  
43 ~~existed on January 4, 1996, or limited to the permitted uses and/or the provisions~~  
44 ~~for minor or major conditional uses allowed in the pre-1996 LDR's for this~~  
45 ~~district, whichever is more restrictive;~~

46 ~~(2) Commercial retail of low and medium intensity or office uses or any combination~~  
47 ~~thereof of less than 2,500 square feet of floor area, provided that:~~

48 ~~a. The parcel of land on which the commercial retail use is to be located abuts the~~  
49 ~~right of way of U.S. 1, or a dedicated right of way to serve as a frontage road for~~  
50 ~~U.S. 1;~~

51 ~~b. The commercial retail use does not involve the sale of petroleum products;~~

- ~~e. The commercial retail use does not involve the outside storage or display of goods or merchandise with the exception that outside sales and display for nurseries may be permitted with the stipulation that required open space and required bufferyards may not be used for display and sales;~~
- ~~d. The structure in which the commercial retail use is to be located is separated from the U.S. 1 right of way by a class C bufferyard;~~
- ~~e. The structure in which the commercial retail use is to be located is separated from any existing residential structure by a class C bufferyard;~~
- ~~f. No signage other than one identification sign of no more than four square feet shall be placed in any yard or on the wall of the structure in which the commercial retail use is to be located except for the yard or wall that abuts the right of way for U.S. 1; and~~
- ~~g. The use is limited in intensity, floor area, density and to the type of use that existed on January 4, 1996, or limited to the permitted uses and/or the provisions for minor or major conditional uses allowed in the pre-1996 LDR's for this district, whichever is more restrictive.~~

**Sec. 130-100. Urban residential mobile home-limited district (URM-L).**

(a) The following uses are permitted as of right in the urban mobile home-limited URM-L district:

- (1) Mobile homes;
- (2) Recreational vehicles, as provided in F.S. ch. 513;
- (3) Home occupations-Special use permit required;
- (4) Accessory uses;
- ~~(5) Tourist housing uses, including vacation rental uses, are prohibited except in gated communities that have:~~
  - ~~a. Controlled access; and~~
  - ~~b. A homeowner's or property owner's association that expressly regulates or manages vacation rental uses;~~
- ~~(6) (5) Collocations on existing antenna-supporting structures, pursuant to section 146-5(3);~~
- ~~(7) (6) Satellite earth stations less than two meters in diameter, as accessory uses, pursuant to section 146-5(6); and~~
- ~~(8) (7) Wastewater nutrient reduction cluster systems that serve less than ten residences.~~

(b) Vacation rental use is prohibited, except in:

- (1) In gated communities that have:
  - a. Controlled access; and
  - b. A homeowner's or property owner's association that expressly regulates or manages vacation rental uses.

~~(b) (c)~~ The following uses are permitted as minor conditional uses in the urban mobile home-limited district (~~URM-L~~), subject to the standards and procedures set forth in chapter 110, article III:

- (1) Replacement of an existing antenna-supporting structure pursuant to section 146-5(2);
- (2) Stealth wireless communications facilities, as accessory uses, pursuant to section 146-5(5); and
- (3) Satellite earth stations greater than or equal to two meters in diameter, as accessory uses, pursuant to section 146-5(6).

~~(e) (d)~~ The following uses are permitted as major conditional uses in the urban mobile home-limited URM-L district subject to the standards and procedures set forth in chapter 110, article III:

- ~~(1) Marinas, provided that:~~

- a. The marina is primarily intended and designed to serve the residents of the district in which it is located;
- b. The parcel proposed for development has access to water of at least four feet below mean sea level at mean low tide;
- c. The sale of goods and services is limited to fuel, food, boating, and diving and sport fishing products;
- d. Vessels docked or stored shall not be used for live aboard purposes; and
- e. All outside storage areas are screened from adjacent uses by a solid fence, wall or hedge at least six feet in height;

(2) ~~Commercial retail of low intensity of less than 2,500 square feet of floor area, provided that:~~

- a. ~~The parcel of land on which the commercial retail use is to be located abuts the right of way of U.S. 1;~~
- b. ~~The primary structure must be located within 200 feet of the centerline of U.S. 1;~~
- c. ~~The commercial retail use does not involve the sale of petroleum products;~~
- d. ~~The commercial retail use does not involve the outside storage of merchandise;~~
- e. ~~There is no direct access to U.S. 1 from the parcel of land on which the commercial retail use is to be located;~~
- f. ~~The structure in which the commercial retail use is to be located is separated from the U.S. 1 right of way by a class C bufferyard;~~
- g. ~~The structure in which the commercial retail use is to be located is separated from any existing residential structure by a class C bufferyard; and~~
- h. ~~No signage other than one identification sign of no more than four square feet shall be placed in any yard or on the wall of the structure in which the commercial retail use is to be located except for the yard or wall that abuts the right of way of U.S. 1;~~

(3) (1) Land use overlays A, E, INS, PF, PB, subject to the provisions of article IV of this chapter.

(2) Wastewater treatment facilities and wastewater treatment collection systems serving uses located in any land use district, provided that:

- a. The wastewater treatment facility and wastewater treatment collection systems are in compliance with all federal, state, and local requirements;
- b. The wastewater treatment facility, wastewater treatment collection systems and accessory uses shall be screened by structures designed to be architecturally consistent with the character of the surrounding community and shall minimize the impact of any outdoor storage, temporary or permanent; and
- c. In addition to any district boundary buffers set forth in chapter 114, article IV, a planting bed, eight feet in width, to be measured perpendicular to the exterior of the screening structure shall be established with the following:
  - 1. One native canopy tree for every 25 linear feet of screening structure; and one understory tree for every ten linear feet of screening structure;
  - 2. The required trees shall be evenly distributed throughout the planting bed;
  - 3. The planting bed shall be installed as set forth in chapter 114, article IV, and maintained in perpetuity; and
  - 4. A solid fence may be required upon determination by the planning director.

(3) Lawfully established nonresidential uses that were listed as a permitted use in the land development regulations that were in effect immediately prior to the institution of the 2010 Comprehensive Plan, and that lawfully existed on such lands on January 4, 1996, may

1 develop, redevelop, reestablish and/or substantially improve provided that the uses are  
 2 limited in intensity, floor area, density and to the type of use that existed on January 4, 1996  
 3 or limited to what the land development regulations that were in effect immediately prior to  
 4 the institution of the 2010 Comprehensive Plan allowed, whichever is more restricted.  
 5

6 **Sec. 130-164. Maximum nonresidential land use intensities and district open space.**

7 Maximum nonresidential land use intensities and district open space shall be in accordance with  
 8 the following table:  
 9

10 TABLE INSET:  
 11

<i>Land Use District</i>	<i>Maximum Floor Area Ratio</i>	<i>O.S.R. *</i>
<b>Urban commercial:</b>		
<b>Commercial retail:</b>		
Low intensity	0.45	0.20
Medium intensity	0.40	0.20
High intensity	0.35	0.20
Offices	0.45	0.20
Commercial recreation	0.15	0.20
Institutional	0.40	0.20
Outdoor recreational	0.15	0.20
Public buildings	0.35	0.20
<b>Urban residential:</b>		
Institutional	0.30	0.20
Public buildings and uses	0.30	0.20
<b>Urban residential mobile home and Urban residential mobile home-limited:</b>		
<b>Commercial retail:</b>		
Low intensity	**	0.20
Medium intensity	**	0.20
Offices	**	0.20
Nonresidential uses as permitted in sections 130-99(d)(4) and 130-100(d)(3)	***	0.20
<b>Suburban commercial:</b>		
<b>Commercial retail:</b>		
Low intensity	0.35	0.20
Medium intensity	0.25	0.20

	High intensity	0.15	0.20
	Offices	0.40	0.20
	Commercial recreational	0.10	0.20
	Institutional	0.30	0.20
	Outdoor recreational	0.10	0.20
	Public buildings and uses	0.30	0.20
	Light industry	0.30	0.20
Suburban residential:			
Commercial retail:			
	Low intensity	**	0.50
	Medium intensity	**	0.50
	Offices	**	0.50
	Public buildings and uses	0.25	0.50
	Institutional	0.25	0.50
Sparsely settled:			
	Public buildings and uses	0.20	0.20
Native area:			
	Public buildings and uses	0.20	0.20
Mainland native area:			
	Educational/research centers	0.30	0.20
Improved subdivision:			
Commercial retail:—			
	Low intensity—	0.25**	0.20
	Medium intensity—	0.20**	0.20
	Offices—	0.25**	0.20
	<u>Nonresidential uses as permitted in sections 130-99(d)(4) and 130-100(d)(3)</u>	***	<u>0.20</u>
Destination resort:			
	Commercial retail	**	0.20
	Institutional	0.30	0.20
Recreational vehicle:			
	Commercial retail	**	0.20
Commercial fishing area:			

	Commercial fishing	0.40	0.20
	Light industry	0.40	0.20
Commercial retail:			
	Low intensity	0.40	0.20
	Medium intensity	0.40	0.20
Commercial fishing village:			
	Commercial fishing	0.40	0.20
Commercial fishing special districts (all):			
Commercial retail:			
	Low intensity	0.35	0.20
	Medium intensity	0.25	0.20
	Commercial fishing	0.40	0.20
	Light industry	0.30	0.20
Mixed use:			
Commercial retail:			
	Low intensity	0.35	0.20
	Medium intensity	0.25	0.20
	High intensity	0.15	0.20
	Offices	0.40	0.20
	Commercial recreational	0.10	0.20
	Institutional	0.30	0.20
	Outdoor recreational	0.10	0.20
	Public buildings and uses	0.30	0.20
	Commercial fishing	0.40	0.20
	Light industry	0.30	0.20
Industrial:			
	Light industry	0.40	0.20
	Heavy industry	0.25	0.20
	Public buildings and uses	0.40	0.20
	Restaurants	0.30	0.20
	Offices	0.40	0.20
	Commercial fishing	0.40	0.20

<b>Maritime industrial industries:</b>			
Commercial retail:			
	Low intensity	0.30	0.20
	Medium intensity	0.30	0.20
	High intensity	0.40	0.20
	Offices	0.50	0.20
	Public buildings and uses	0.60	0.20
	Commercial fishing	0.45	0.20
	Light industry	0.35	0.20
<b>Heavy industry:—</b>			
<b>Military facilities:</b>			
	Military uses	0.50	0.20
Commercial retail:			
	Low intensity	0.30	0.20
	Medium intensity	0.30	0.20
	Offices	0.40	0.20
	Public buildings and uses	0.30	0.20
<b>Airport:</b>			
	Airport uses	0.10	0.20
<b>Parks and refuge:</b>			
	Public buildings and uses	0.20	0.90
* See additional open space ratio in this article: in accordance with section 118-12, the most restrictive of these ratios applies.			
**Where commercial uses are allowed as permitted uses, and no FAR is given, the maximum per lot stated in article III of this chapter shall prevail.			
*** <u>Lawfully-established non-residential uses may be redeveloped up to intensity, floor area, density and to the type of use that existed on January 4, 1996 or limited to what the land development regulations that were in effect immediately prior to the institution of the 2010 Comprehensive Plan allowed, whichever is more restricted</u>			

1  
2  
3  
4  
5  
6  
7

**IV RECOMMENDATION**

Staff has found that the proposed text amendment would be consistent with the provisions of §102-158(d)(5)(b): 1. Changed projections (e.g., regarding public service needs) from those on which the text or boundary was based; 2. Changed assumptions (e.g., regarding demographic trends); 3. Data errors, including errors in mapping, vegetative types and

1 natural features described in volume I of the plan; 4. New issues; 5. Recognition of a need for  
2 additional detail or comprehensiveness; or 6. Data updates. Specifically, staff has found that  
3 the proposed text amendments are necessary due to recognition of a need for additional detail  
4 or comprehensiveness.

5  
6 Therefore, staff recommends that the Board of County Commissioners amend the Monroe  
7 County Code as stated in the text of this staff report.