

**Monroe County Art in Public Places Committee**  
**Meeting Agenda**  
**Monday – April 18, 2016 – 4:00 pm**  
**Marathon Gov't Center, 1<sup>st</sup> floor conference room**  
Marathon

**1. Call to Order**

**2. Chair's remarks**

**3. Approval of Minutes of March 21, 2016**

**4. Current Projects – Status Update:**

- a) **Marathon Court House** – Artwork budget is **\$14,200**. Selected **artist: Colin Selig**. Contract approved on March 23 by the BOCC. Style and colors confirmed. When contract is executed by both BOCC and artist – fabrication and delivery will be determined.
- b) **Bi-Annual RFQ** – Revisions complete by the Asst. County Attorney. Deadline pending - would like to offer 2 free workshops for potential applicants – need to choose dates.
- c) **Public Works** – Magnolia Street renovation (MM 100), Artwork to be sited at the Murray E. Nelson Gov't & Cultural Center. Public Art Budget: \$10,391.21, **Art Budget: \$8,800**. Staff to prepare draft RFP and seek non-voting members from County Administrator.
- d) **Bernstein Park**, Stock Island renovations: Bill Horn, architect. Plans attached. Contractor selected by Staff now being recommended to the BOCC for approval. Budget: aprox. \$5 million.
- e) **Marathon Library** – Budget: aprox. \$6 million. Design phase in process. Follow-up meetings with architect, County team and School district stakeholders ongoing. Architect: Synalovski, Romanik Saye; Eduardo Diaz & Meryl Romanik
- f) **Cudjoe Key Fire Station** – Property purchase complete. 60-90 days to select and hire Architect. Aprox. Budget \$3.3 million.
- g) **Freeman Justice Center Complex**: Additional office space situated under new public works facility behind the complex on Thomas Street. Budget: aprox \$1.5 million. 'Chiller tower' project , Engineer hired, awaiting preliminary drawings.

**5. Projects Slated for 2016/ 2017:**

- **Plantation Key Court House** – Design and scope of work ongoing (2016/2017) Staff is receiving email updates from Project Manager Doug Sposito.
- **Key West Senior Center**- Bill Horn, architect *Project Budget was \$528,714. Public Art Budget: \$5,287.14 Art Budget \$ 4,500*. Status update: in holding pattern while property is further evaluated. Project mgmt may recommend a new site.
- **Higgs Beach, Key West** – budget aprox. \$1-3 million. No public art funding until planned Nature Center proceeds. Road move is now in design phase.
- **Big Pine Key Swimming Hole** – County may acquire additional acreage (20 acres of wetlands.) Project Mgmt will update with plans and scope of work by end of 2016.

**6. Other business –**

- **Conflict of Interest policy** – revisions posted on keysarts.com
- **FAPAP Conference – Reminder** - May 4-6 in Venice, Florida – Sue
- **Stock Island Fire Station** – curbside signage options - Sue
- **Conch Key Fire Station** – lighting solutions - Beth
- **Key West Airport** – Conference room and addt'l special project - Liz

**7. Projects on hold** (no funds allocated) by BOCC as of March 18, 2009: NO CHANGE

- Old Tavernier School, Marathon EOC, Jefferson Brown Bldg/Old Historic Jail

**8. Public Input**

**9. Adjourn**

**Attachments:**

Minutes from AIPP meeting 3/21/2016

Bernstein Park plans

**NEXT MEETING: Monday, May 16<sup>th</sup> in Key West (note 2<sup>nd</sup> floor Conference room)**

**ADA ASSISTANCE:** If you are a person with a disability who needs special accommodations in order to participate in this proceeding, please contact the County Administrator's Office, by phoning (305) 292-4441, between the hours of 8:30 a.m. - 5:00 p.m., no later than five (5) calendar days prior to the scheduled meeting; if you are hearing or voice impaired, call 711". **PUBLIC INPUT:** Any person that wishes to be heard on any agenda item shall notify administrative staff prior to the start of the meeting at 305-295-4369 or info@keysarts.com.

**Monroe County Art in Public Places Committee**  
**Meeting Minutes**  
**Monday – March 21, 2016 – 4:00 pm**  
**Gato Building, 1<sup>st</sup> floor conference room**  
Key West, Florida

In attendance were Committee members: Sue D'Antonio, Jeffrey Harwell, Dave Andrews, Beth Kaminstein, Nance Frank. Public attendee: Eric Anderson. Staff: Liz Young and Kimberly Rettenwander.

Meeting was called to order at 4:00 p.m.

Sue welcomed the meeting attendees. Dave introduced Eric Anderson as a potential committee member. Eric works from home as a consultant for a Chicago Company.

**Approval of Minutes of February 22, 2016**

**Motion:** Beth, moved to approve the February 22, 2016 minutes; seconded by Dave. The motion was passed unanimously.

**Review the status of proposals for Marathon Court House** – The artist, Colin Selig was called allowing members to review the color and style selections. Committee had opportunity to ask Colin questions regarding the color chart and style for the benches. **Motion:** Nance: The style of Chaise Hemi Wave for both the bench and the loveseat with the direction of High/low back to be determined by the artist. Color: # 5018 for the bench and # 6034 for the loveseat. **Second:** Dave and all in unanimous agreement. Jeff asked that in the future, with color decisions, that we order a "sample" of color choices on the material to be used in order to get a realistic view of the color.

**Current Projects – Status Update:**

**Bi-Annual RFQ** – Liz reviewed the "selection criteria" for RFP's. **Motion: Beth,** To approve the criteria as stated with the revision that it include 60 points as being the minimum average score for consideration in accepting a proposal. **Second: Nance. Motion Approved**

**Public Works**–The AIPP funds have shifted to a new MEN account. **Budget \$ 8800.00.** Dave spoke to new chair of FKLCC regarding signage/artwork at Murray E. Nelson Gov't & Cultural Center. Liz to speak with County Attorney regarding "Art as an improvement" as other funds may be available to allocate for this project. Sue to check with Roman as he will appoint the two non-voting members for this project.

**Bernstein Park,** No update

**Marathon Library – \$ 6 million** has been allocated for a new building next to the Switlik Elementary School by 2017 that will integrate school kids and senior citizens into the plan. Sue presented the "Bubble" plan and updated Committee. There will be a center open Atrium with glass perfect for public art. They are open to assisting AIPP with placement of public art. Librarians urged Sue to consider specific parameters. Sue explained that they cannot dictate the subject matter chosen or proposed. Discussion of who qualified and how our process works.

**Cudjoe Fire Station.** A **\$ 3 million** new project in the 2017-18 fiscal year. Located Oceanside with Overseas Hwy frontage (former Bayshore Nursery) Staff will seek Architect and budget information from Project Mgmt.

**Freeman Justice Center Complex:** no update

**Projects Slated for 2016/2017:**

**Plantation Key Court House** – Design and scope of work ongoing (2016/2017) Staff is receiving email updates from Project Manager Doug Sposito.

**Key West Senior Center** - Bill Horn, architect, **Budget: \$ 528,714.00.** *Public Art Budget: \$ 5,287.14*  
*Art Budget \$ 4,500.00.* No change in status. Property under further evaluation. On hold for 30-60 days.

**Higgs Beach, Key West – Budget aprox. \$ 1-3 million.** Awaiting road relocation.

**Big Pine Key Swimming Hole** – update from Project Mgmt by end of 2016.

**Other business:**

**Conflict of Interest policy** – Policy currently states 5 years period. **Motion:** Beth, to adopt the policy from 5 to 2 years. **2<sup>nd</sup>** Dave. All in favor

**Revised Artist Contract-** Liz read contract. Form changes were discussed. The new assistant attorney has brought the process up to standard with the changes.

**FAPAP Conference** – May 4-6 Venice, FL: Sue, Liz and Cris will attend. Sue reviewed reasons to go. Beth and Jeffrey are still considering attending.

**Conch Key Fire Station** – \$1200.00 to \$1800.00 budget. Beth will contact Jolly to discuss details and cost. Liz will forward Jolly's contacts to Beth.

**Stock Island Fire Station-** Curbside signage options. Sue still researching design options and will bring choices to the committee. Liz will contact artist for his input.

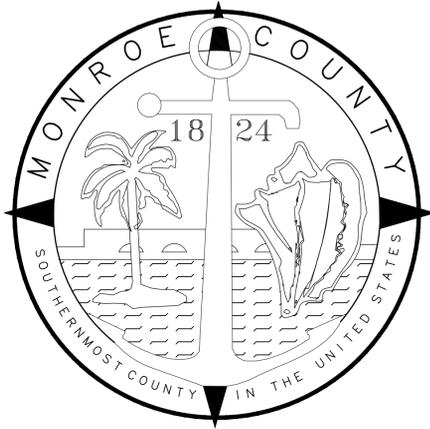
**Key West Airport** –Liz explained recent plan to build conference rooms that will create new walls for AIPP.

**Public Input** – None

**Adjourn – Motion to adjourn:** Nance, **2<sup>nd</sup>** Dave. The meeting was adjourned at 5:18 p.m.

Respectfully submitted by:

Kimberly Rettenwander, Business Manager



# BERNSTEIN PARK

STOCK ISLAND  
MONROE COUNTY, FL.

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MONROE COUNTY, FLORIDA

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ROMAN GASTESI



WILLIAM P. HORN  
ARCHITECT, P.A.

915 EATON ST.  
KEY WEST,  
FLORIDA  
33040

TEL (305) 296-8302  
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THESE DRAWINGS MAY  
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DATE

12-31-14 DD.  
06-01-15 CD'S  
06-19-15 BLDG. DEPT.  
10-05-15 BIDDING

REVISIONS

DRAWN BY

EMA EVK

PROJECT  
NUMBER

1320

## GENERAL NOTES

- Project Description** The Contractor shall furnish all labor and materials required and necessary to provide a complete habitable, weatherproof, safe and secure finish building, suitable for human occupancy in accordance with Specifications, Drawing and Project Documents.
- The Florida Building Code 2010 Edition, as amended by Governing Local Ordinances and requirements of the State of Florida "Coastal Zone Protection Act", together with applicable requirements of governing public agencies and the following listed codes shall apply to this project.  
Florida Existing Building Code, 2010 Edition  
National Electric Code 2008 Edition  
Florida Plumbing Code, 2010 Edition  
Florida Mechanical Code, 2010 Edition  
Florida Fuel Gas Code, 2010 Edition  
FEMA: Coordinate all building items required to be a minimum of one foot above flood elevation (or higher if drawings so indicate) for project and other FEMA regulations that apply to the project.
- Contractor shall visit the site to become familiar with existing conditions and requirements of construction prior to bidding.
- Contractor shall complete new work in conformance with these drawings. Notify Architect if conflicts appear or are uncovered during the progress of the work prior to any field modifications or construction. Deviations from permitted drawings without Architects prior written approval shall be at the Contractors responsibility. Contractor is to verify all dimensions of project prior to proceeding with construction. Notify architect of any conflicts or problems so solutions can be achieved prior to construction. In event of conflict between drawings and specifications the most stringent requirements shall apply. Verification shall include, but is not limited to, coordination of site work, existing conditions, buildings and utilities. Contractor to physically lay out setbacks on site, locate all building exterior limits and verify that all buildings fit prior to starting construction. Verify that building's architectural plan and foundation plan dimensions and elevations work on the actual site prior to starting any construction. Notify architect of any conflicts so solution can be worked out prior to construction.
- Live Loads used in design:**  
A. Roof..... 20 PSF  
B. Floor..... 100 PSF  
C. Wind Velocity..... Structural design shall comply with code requirements and wind loads as stipulated by the Florida code and the Florida fire prevention code as adopted by the state fire marshal. Design shall be based on ASCE 7 with wind speeds determined from figure 26.5-1B 180 MPH ASCE 7 (Latest Edition) EXP. D, FL. BUILDING CODE 2010. Should any conflicting statement or alternate wind load requirements be found in the drawings or specifications it is in error and shall be disregarded.
- Engineer's approval must be secured for all structural substitutions.
- Verify all openings through floors, roof and walls with mechanical and electrical contractor's. Verification of locations, sizes, lintle and required connections are contractor's complete responsibility.
- Prior to installation of mechanical and electrical equipment or other items to be attached to the structure, engineer's approval of connections and supports shall be obtained, unless specifically detailed on architectural and structural drawings. Respective sub-contractor shall furnish all hangers, connections, etc., required for installation of his items.
- Provide all embedded items in structure as noted on architectural, mechanical, electrical as well as structural drawings. Miscellaneous embedded items and anchor bolts shall be furnished by steel supplier and installed by concrete contractor.
- Provide temporary bracing and precautions necessary to withstand all construction and/or wind loads until all field connections are completed and shear walls and decks are in place. All shoring is the responsibility of the contractor including use of a specialty engineer if required.
- Submit shop and erection drawings for all items required by the drawing or elsewhere in the specifications for written approval. The manufacture or fabrication of any items prior to written approval of shop drawings will be entirely at the risk of the contractor. All references to standards to be of the latest issue applicable.
- This project is in a coastal salt water environment. Contractor shall consider this in selections of materials used in the exterior and non-air conditioned areas. All materials shall be salt resistant.
- Manufactured assemblies, such as roofing, soffits, panels, storefront, doors, windows and other external assemblies incorporated into the project shall require detailed shop drawing submittals. Miami Dade N.O.A.S providing tested assembly installation details and windload compliance are required. Manufacturers recommendations and requirements (including warranty requirements) shall be incorporated along with the latest industry standards and best practices.
- Waterproofing, vapor barriers, waterstop, air seals, etc. shall be as indicated in the Specifications and as per manufacturer and industry standards. Contractor to provide all fire blocking as required by Code.

## BUILDING CODE ANALYSIS

OCCUPANCY CLASSIFICATIONS: MAIN BUILDING (COMMUNITY CENTER) A-3 MAINTENANCE BUILDING, (DETACHED) S-2			
OCCUPANCY SEPARATIONS: NONE REQUIRED			
TYPE OF CONSTRUCTION: TYPE 5-B, UNPROTECTED, SPRINKLERED			
BUILDING HEIGHT: CODE MAX. 40'-0" ZONING MAX. 35'-0" PROPOSED. 34'-6"			
BUILDING AREA:	MAIN BUILDING ENCLOSED ASSEMBLY, SPRINKLERED	CODE MAX. 12,000 S.F.	PROPOSED 6,651 S.F.
	MAINTENANCE BUILDING ENCLOSED STORAGE, NOT SPRINKLERED	9,000 S.F.	960 S.F.
	NUMBER OF STORIES:	CODE MAX. 2 STORIES	PROPOSED 2 STORIES
DESIGN CRITERIA:	MAIN BUILDING	2 STORIES	2 STORIES
	MAINTENANCE BUILDING	1 STORY	1 STORY
THE FLORIDA BUILDING CODE 2010 EDITION, AS AMENDED BY GOVERNING LOCAL ORDINANCES AND REQUIREMENTS OF THE STATE OF FLORIDA "COASTAL ZONE PROTECTION ACT", TOGETHER WITH APPLICABLE REQUIREMENTS OF GOVERNING PUBLIC AGENCIES AND THE FOLLOWING LISTED CODES SHALL APPLY TO THIS PROJECT. NATIONAL ELECTRIC CODE, 2008 EDITION FLORIDA PLUMBING CODE, 2010 EDITION FLORIDA MECHANICAL CODE, 2010 EDITION FLORIDA FUEL GAS CODE, 2010 EDITION. WIND LOADING SHALL BE BASED ON ASCE 7-10 180 MPH EXPOSURE "D" WIND LOADING. THE ENTIRE BUILDING SHALL HAVE A FULL FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM IN ACCORDANCE WITH THE FLORIDA FIRE PROTECTION CODE, NFPA 13 AND OTHER APPLICABLE CODES. CONTRACTOR TO PROVIDE COMPLETE SHOP DRAWINGS OF SYSTEM FOR REVIEW AND APPROVAL PREPARED BY A LICENCED FIRE SPRINKLER CONTRACTOR. (SIGNED AND SEALED BY A LICENCED FLORIDA ENGINEER)			

## BUILDING DATA

NEW CONSTRUCTION - MAIN BLDG 2 STORY ; MAINTENANCE BLDG 1 STORY			
MAIN BLDG	GROUND FLOOR	ENCLOSED = 1,627 S.F.	
		COVERED = 3,988 S.F.	
	FIRST FLOOR	ENCLOSED = 5,024 S.F.	
		COVERED = 592 S.F.	
MAINTENANCE BLDG -		ENCLOSED = 960 S.F.	
		COVERED = 592 S.F.	
NEW CONSTRUCTION TOTAL		ENCLOSED = 7,611 S.F.	
		COVERED = 4,580 S.F.	

## SITE DATA

SITE AREA:	303,529 S.F. (6.968 ACRES)
LAND USE DISTRICT:	MU ( MIXED USE )
USE:	PUBLIC BUILDING (COMMUNITY CENTER)
FLOOD ZONE:	AE +8'-0" (PANEL #12087CIS28K)
SETBACKS:	10'-0" FRONT (5th AVENUE) 20'-0" REAR (MANGROVE LINE) 10'-0" SIDE (5th AVENUE) 10'-0" SIDE (SHRIMP ROAD)
OPEN SPACE RATIO:	
MIN. REQUIRED:	0.20
PROVIDED:	0.98
FLOOR AREA RATIO:	
MAX. ALLOWED:	0.30
PROVIDED:	0.03

## INDEX OF SHEETS

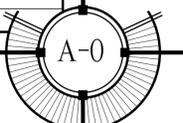
SHT. No.	DESCRIPTION	SHT. No.	DESCRIPTION	SHT. No.	DESCRIPTION
A-0	COVER SHEET	S-13	MAINTENANCE BUILDING	P-1	GROUND FLOOR
A-1	SITE PLAN	S-14	SHADE PAVILION	P-2	FIRST FLOOR PLUMBING PLAN
A-1.1	DEMOLITION PLAN	S-15	MISCELLANEOUS SITE STRUCT'S	P-3	PLUMBING ROOF PLAN
A-1.2	MAINTENANCE BUILD-PLAY GROUND	S-16	GENERAL NOTES AND SPEC'S	P-4	ROOF MAINTENANCE BLDG.
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A-1.4	PAVILION FLOOR PLAN-ELEVATIONS	E-1	ELEC. SITE PLAN	P-6	WATER PIPING ISOMETRIC
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A-5.2	RENDERINGS	E-10	GROUND FLOOR EMERGENCY LIGHT'G	C-4	ENLARGED DRAINAGE PLAN
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A-6.1	WALL & ROOF SECTIONS	E-12	SECOND FLOOR EMERGENCY LIGHT'G	C-6	STORMWATER POLLUTION PREVENTION PLAN
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A-7	WINDOW SCHEDULE	E-14	ELEC. PLAN PARKING #2	C-7	CIVIL DETAILS
A-7.1	DOOR SCHEDULE	E-15	ELEC. PLAN FIELDS & WALKWAY	C-8	CIVIL DETAILS
A-8	MAINTENANCE BUILDING PLAN	E-16	PHOTOMETRIC PLAN SOFTBALL	C-9	CIVIL DETAILS
A-8.1	MAINTENANCE BLDG-SECTION-ELEV'S	E-17	PHOTOMETRIC LARGE SOCCER PLAN	C-10	SPECIFICATION
LS-1	FIRST FLOOR LIFE SAFETY PLAN	E-18	PHOTOMETRIC SMALL SOCCER PLAN	C-11	SPECIFICATION
ID-1	GROUND FLOOR TILE PLAN 1/4"	E-19	ELEC. BASKETBALL COURT	C-12	SPECIFICATION
ID-1.1	FIRST FLOOR TILE PLAN 1/4"	E-20	VERTICAL SPILLAGE PLAN		
ID-2	FINISH SCHEDULE & INTERIOR ELEV.	E-21	HORIZONTAL SPILLAGE PLAN	L-1	MASTER LANDSCAPE PLAN
ID-3	BATHROOMS ELEVATIONS	E-22	POLE DETAILS	L-2	DEMOLITION PLAN
ID-3.1	BATHROOMS ELEVATIONS	E-23	SPEC'S	L-3	BLDG. AREA PLANT. PLAN
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S-2	GROUND LEVEL	E-26	ELEC. RISER DIAGRAM	L-6	PLANT SCHEDULE & DETAILS
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S-6	UPPER ROOF FRAMING	E-30	FIRE RATED WALL SECTION & DETAILS	IRR-3	IRRIG. NOTES & SCHEDULES
S-7	WALL DETAILS	M-1	VENTILATION FAN SCHEDULE		
S-8	DESIGN PRESSURES	M-2	ROOF DETAILS	SU-1	SURVEY
S-9	SCHEMATIC STRUCTURAL SECTION	M-3	GROUND FLOOR	SU-2	SURVEY
S-10	SECTION AND STAIR DETAILS	M-4	FIRST FLOOR MECHANICAL	SU-3	SURVEY
S-11	BEAM AND COLUMNS DETAILS	M-5	ROOF PLAN	SU-4	SITE SURVEY
S-12	ELEVATOR STRUCTURAL SECT'S	M-6	MAINTENANCE BLDG. PLAN		

- Contractor to take all precautions to prevent mold from growing in or on the building. Do not use materials that have mold on them for construction, close up building each night to keep water out, do not install A/C ducts until building is dried in and take all other possible efforts to prevent mold from growing.
- All penetrations of fire rated construction shall be treated with dampers, seals, collars, or other UL rated assemblies intended for this purpose.
- Provide a full building fire sprinkler system in accordance with NFPA 13. Provide a full shop drawing submittal signed and sealed by a Florida registered specialty Engineer including hydraulic calculations and verification by field test of adequate existing water quantity and pressure. Submittal shall include tap and extension of new line from the existing 6" water line serving the existing fire hydrant ±50'-0" west of the proposed building to be served, see site plan.
- Provide lightning protection in conformance with NFPA 780. See sheet A-4.
- FLOOD PROOF CONSTRUCTION:** The ground level of the Office Building and the Maintenance Building, both have enclosed spaces that are protected by "flood proof construction" to a height of 3'-0" above finish floor (F.F.L.=EI. 5.6; Flood=EI. 8.0; Floodproofing=EI. 9.0). These areas are provided with concrete construction; manufactured waterstops at all joints; protection with seals at any penetrations of the concrete construction including backflow prevention devices at waste lines, water lines and drain lines. Door openings including overhead doors shall be equipped with manufactured aluminum flood panel assemblies including mounting tracks, seals and bracing per the manufactured assembly. All components of the flood proof construction, including backflow devices, waterstop materials and seals shall be designed to withstand all hydraulic loading based on project conditions. All manufactured components of the flood proof construction assembly shall be submitted as shop drawings including details of installation and shall document suitability for this project.

## NOTE - FGBC Certification

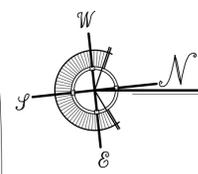
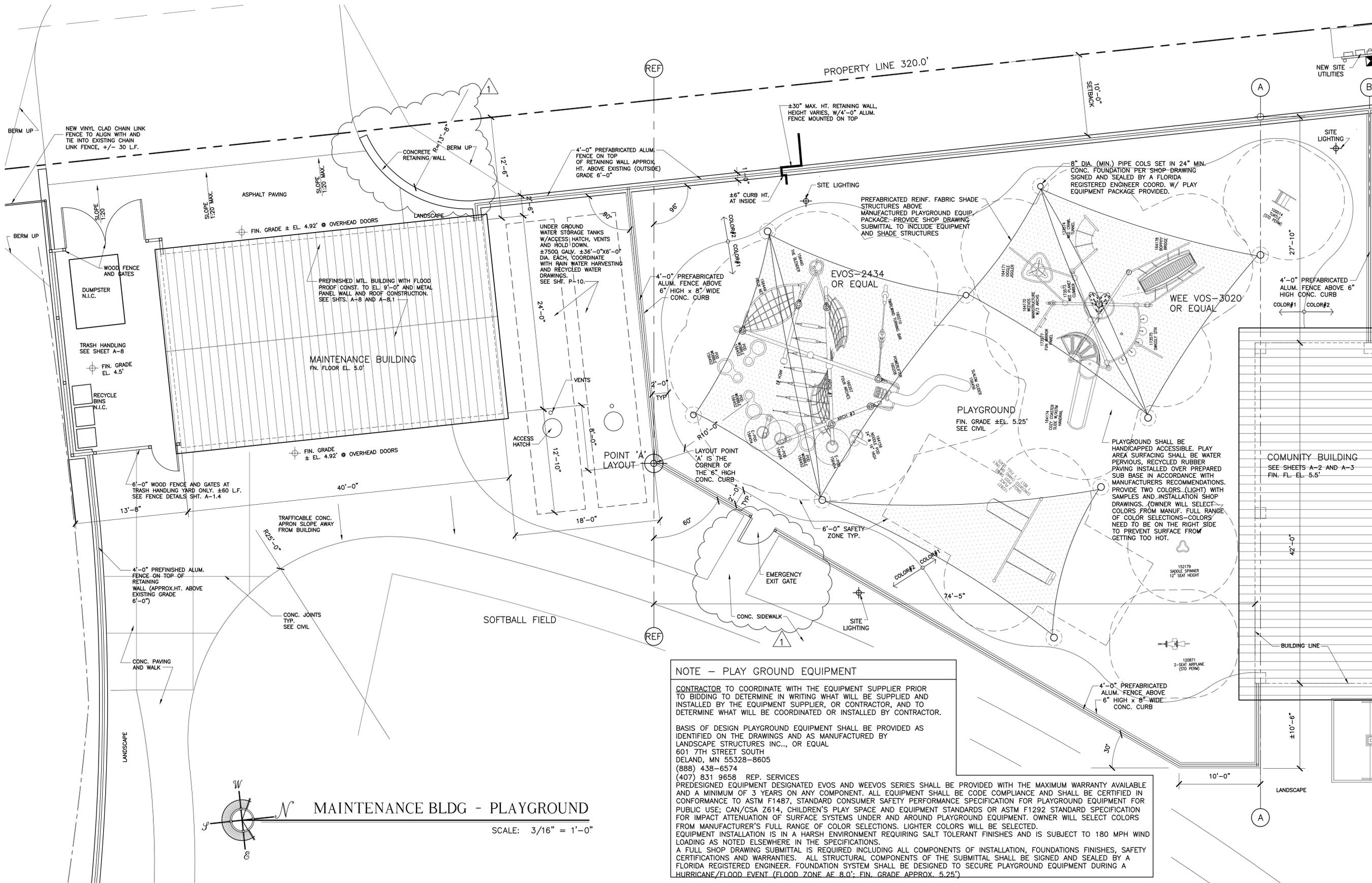
This building has been designed and shall be constructed in a manner suitable to achieve Florida Green Building Coalition certification. A checklist of targeted points/credits along with the FGBC Reference Guide is included in the specifications. A documentation package of construction, including methods and materials indicating compliance with requirements for each credit achieved, per the reference guide, will be required for submittal to FGBC at the end of the project as part of the certification process. The contractor will be responsible for understanding all requirements of certification during the construction process and will be required to submit documentation for numerous credits.

BERNSTEIN PARK  
STOCK ISLAND  
MONROE COUNTY, FL.









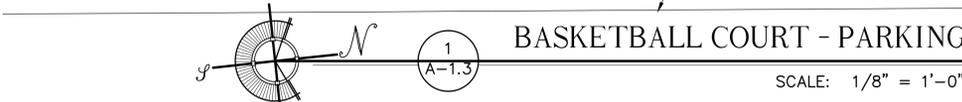
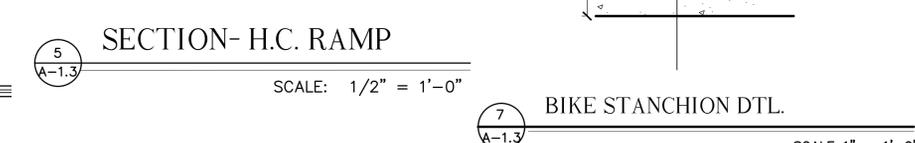
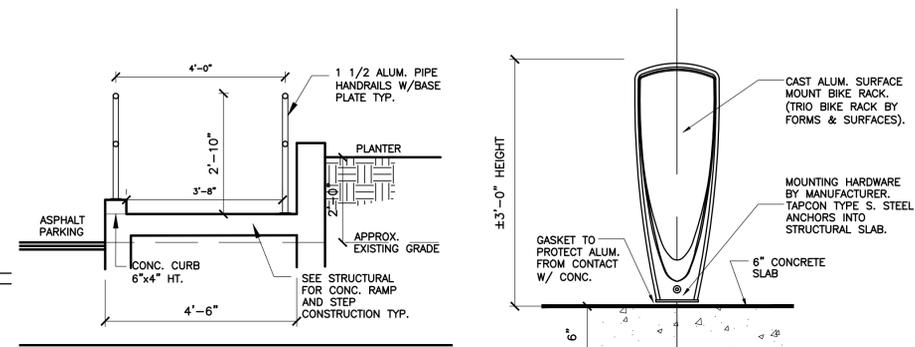
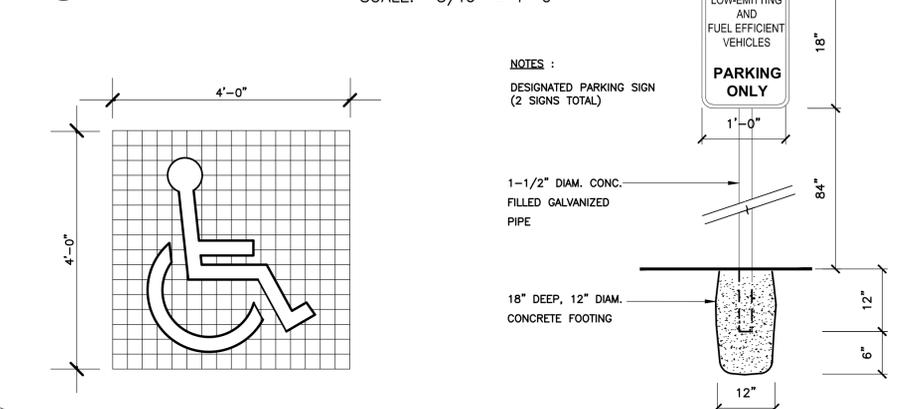
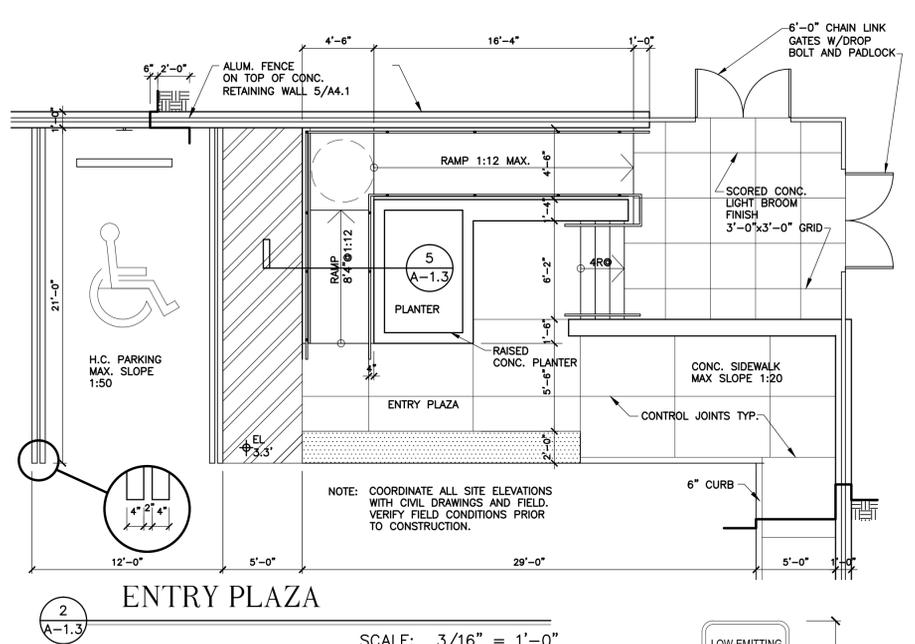
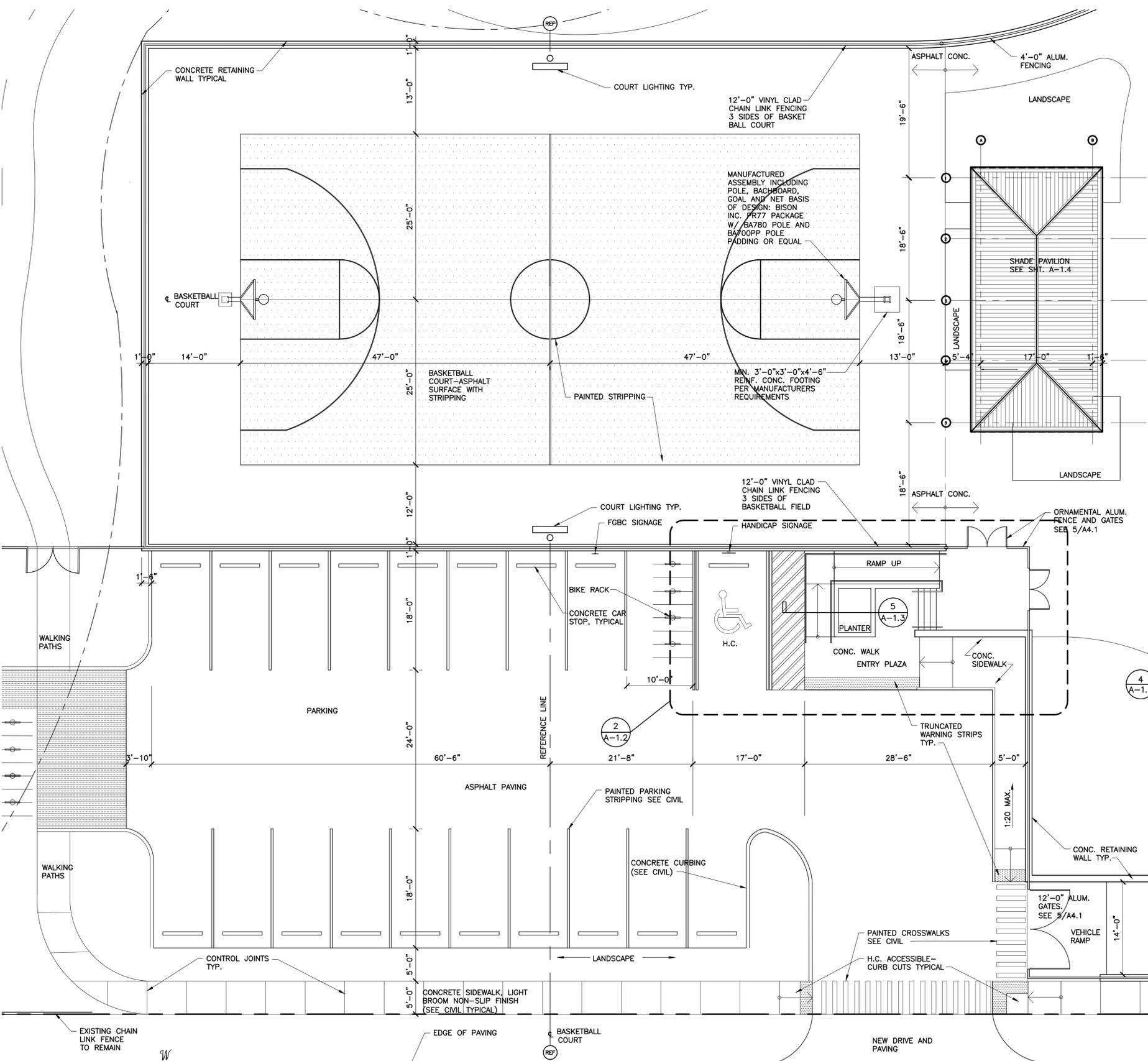
**MAINTENANCE BLDG - PLAYGROUND**

SCALE: 3/16" = 1'-0"

**NOTE - PLAY GROUND EQUIPMENT**

CONTRACTOR TO COORDINATE WITH THE EQUIPMENT SUPPLIER PRIOR TO BIDDING TO DETERMINE IN WRITING WHAT WILL BE SUPPLIED AND INSTALLED BY THE EQUIPMENT SUPPLIER, OR CONTRACTOR, AND TO DETERMINE WHAT WILL BE COORDINATED OR INSTALLED BY CONTRACTOR.

BASIS OF DESIGN PLAYGROUND EQUIPMENT SHALL BE PROVIDED AS IDENTIFIED ON THE DRAWINGS AND AS MANUFACTURED BY LANDSCAPE STRUCTURES INC., OR EQUAL  
601 7TH STREET SOUTH  
DELAND, MN 55328-8605  
(888) 438-6574  
(407) 831-9658 REP. SERVICES  
PREDESIGNED EQUIPMENT DESIGNATED EVOS AND WEEVOS SERIES SHALL BE PROVIDED WITH THE MAXIMUM WARRANTY AVAILABLE AND A MINIMUM OF 3 YEARS ON ANY COMPONENT. ALL EQUIPMENT SHALL BE CODE COMPLIANCE AND SHALL BE CERTIFIED IN CONFORMANCE TO ASTM F1487, STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATION FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE; CAN/CSA Z614, CHILDREN'S PLAY SPACE AND EQUIPMENT STANDARDS OR ASTM F1292 STANDARD SPECIFICATION FOR IMPACT ATTENUATION OF SURFACE SYSTEMS UNDER AND AROUND PLAYGROUND EQUIPMENT. OWNER WILL SELECT COLORS FROM MANUFACTURER'S FULL RANGE OF COLOR SELECTIONS. LIGHTER COLORS WILL BE SELECTED.  
EQUIPMENT INSTALLATION IS IN A HARSH ENVIRONMENT REQUIRING SALT TOLERANT FINISHES AND IS SUBJECT TO 180 MPH WIND LOADING AS NOTED ELSEWHERE IN THE SPECIFICATIONS.  
A FULL SHOP DRAWING SUBMITTAL IS REQUIRED INCLUDING ALL COMPONENTS OF INSTALLATION, FOUNDATIONS FINISHES, SAFETY CERTIFICATIONS AND WARRANTIES. ALL STRUCTURAL COMPONENTS OF THE SUBMITTAL SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER. FOUNDATION SYSTEM SHALL BE DESIGNED TO SECURE PLAYGROUND EQUIPMENT DURING A HURRICANE/FLOOD EVENT (FLOOD\_ZONE AE 8.0; FIN. GRADE APPROX. 5.25')



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DESIGN

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PEREZ ENGINEERING  
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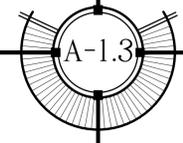
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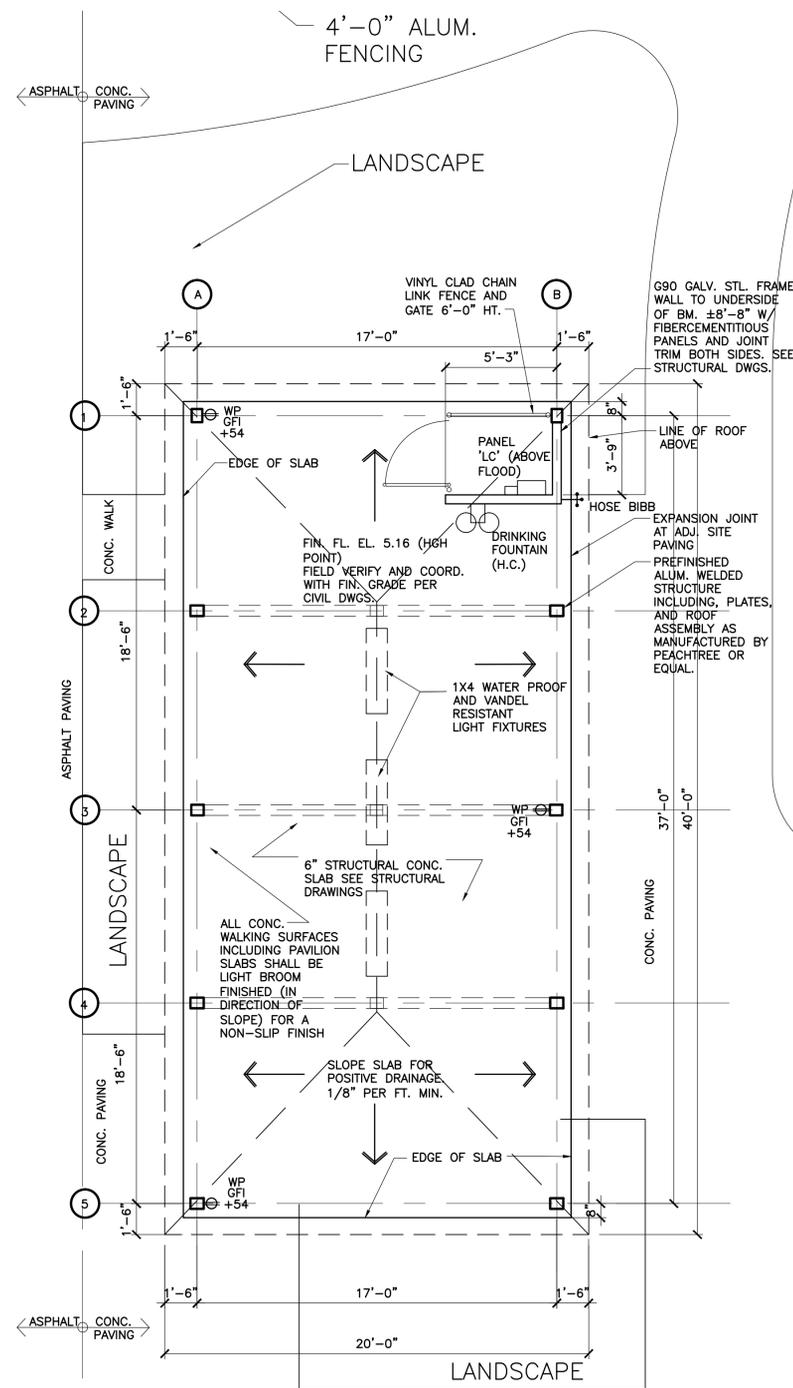
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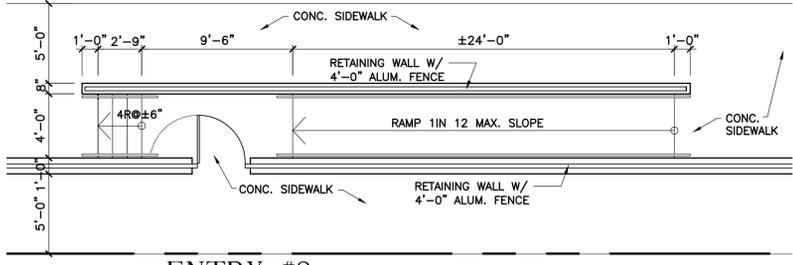
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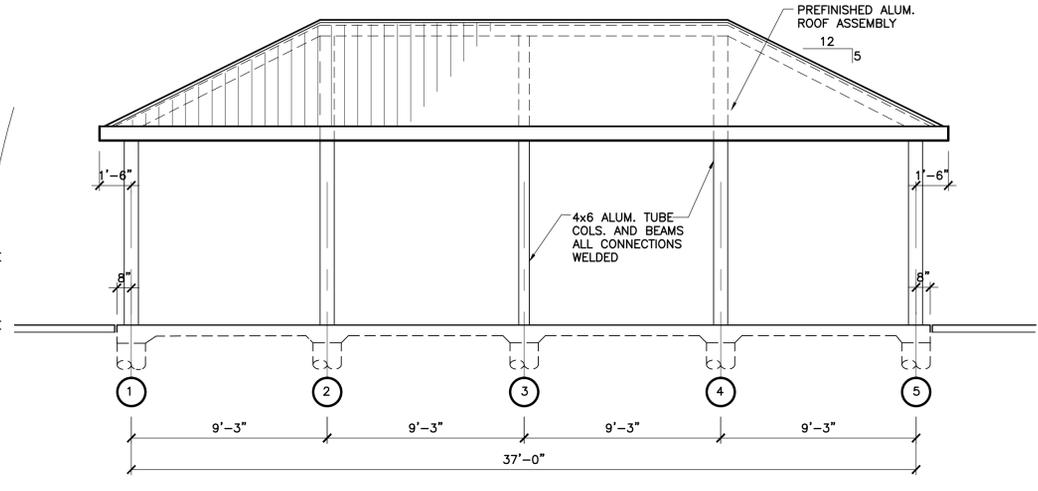




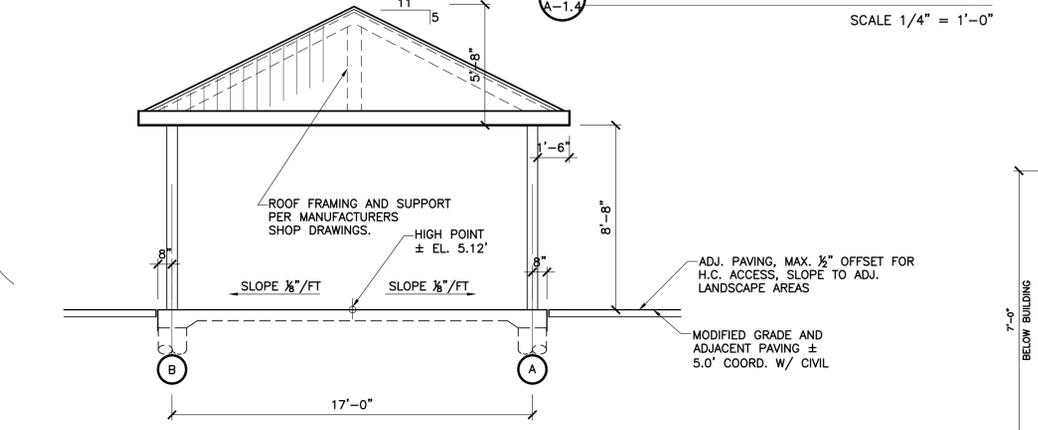
1 PAVILION FLOOR PLAN  
SCALE: 1/8" = 1'-0"



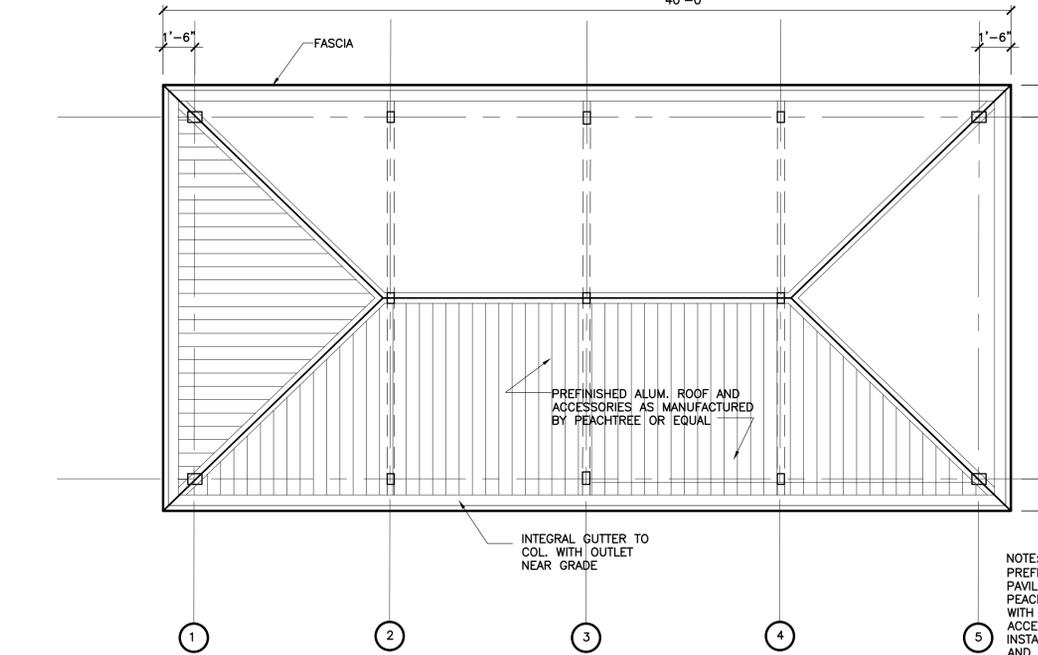
8 ENTRY #3  
SCALE: 3/16" = 1'-0"



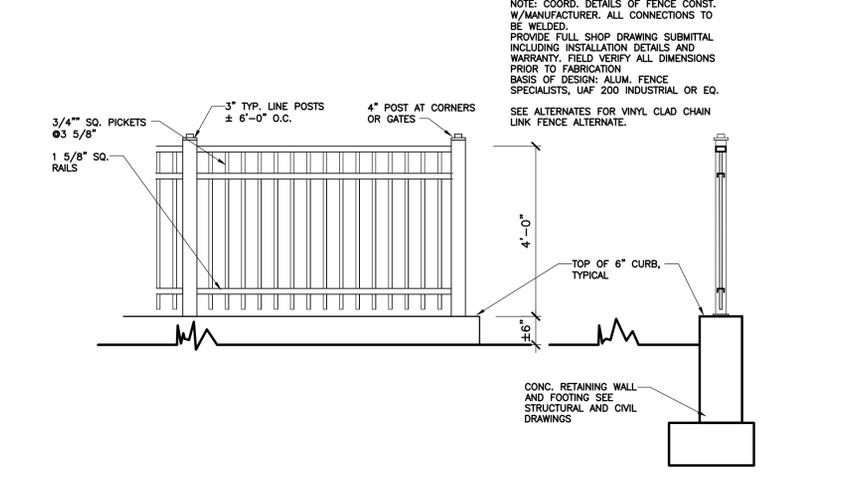
2 SIDE ELEVATION  
SCALE 1/4" = 1'-0"



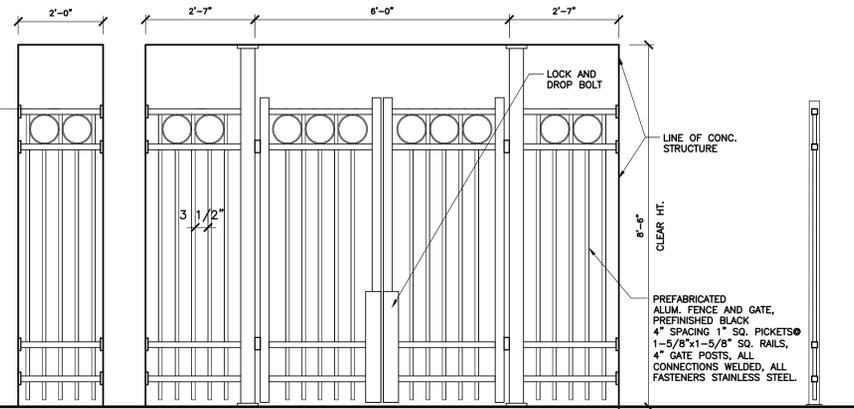
3 END ELEVATION  
SCALE 1/4" = 1'-0"



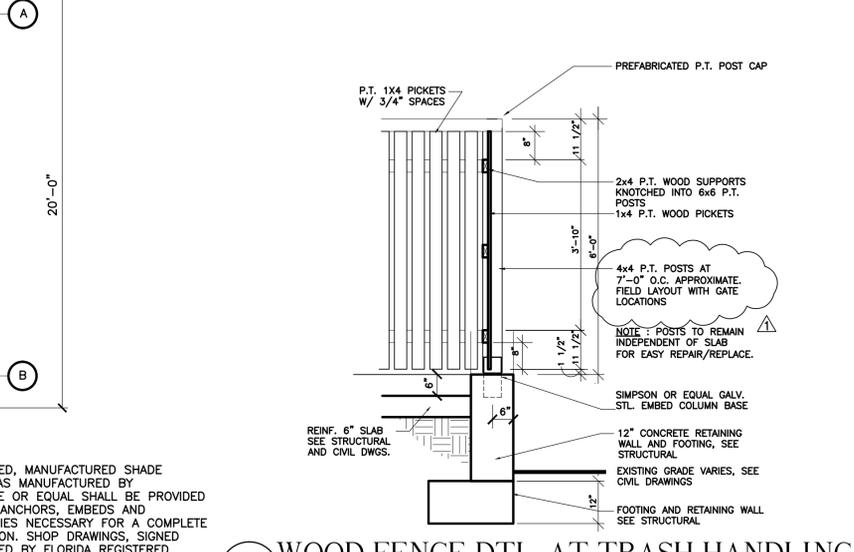
4 PAVILION ROOF PLAN  
SCALE 1/4" = 1'-0"



5 ORNAMENTAL ALUM. FENCE @ RETAINING WALL-TYP.  
SCALE 1/2" = 1'-0"



6 ORNAMENTAL ALUM. FENCE/GATES BELOW BUILDING  
SCALE 1/2" = 1'-0"



7 WOOD FENCE DTL. AT TRASH HANDLING  
SCALE 1/2" = 1'-0"

NOTE: COORD. DETAILS OF FENCE CONST. W/MANUFACTURER. ALL CONNECTIONS TO BE WELDED. PROVIDE FULL SHOP DRAWING SUBMITTAL INCLUDING INSTALLATION DETAILS AND WARRANTY. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. BASIS OF DESIGN: ALUM. FENCE SPECIALISTS, UAF 200 INDUSTRIAL OR EQ. SEE ALTERNATES FOR VINYL CLAD CHAIN LINK FENCE ALTERNATE.

NOTE: PREFINISHED, MANUFACTURED SHADE PAVILION AS MANUFACTURED BY PEACHTREE OR EQUAL SHALL BE PROVIDED WITH ALL ANCHORS, EMBEDS AND ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION. SHOP DRAWINGS, SIGNED AND SEALED BY FLORIDA REGISTERED ENGINEER SHALL BE PROVIDED.

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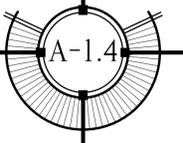
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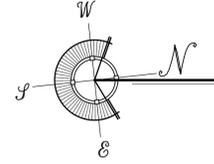
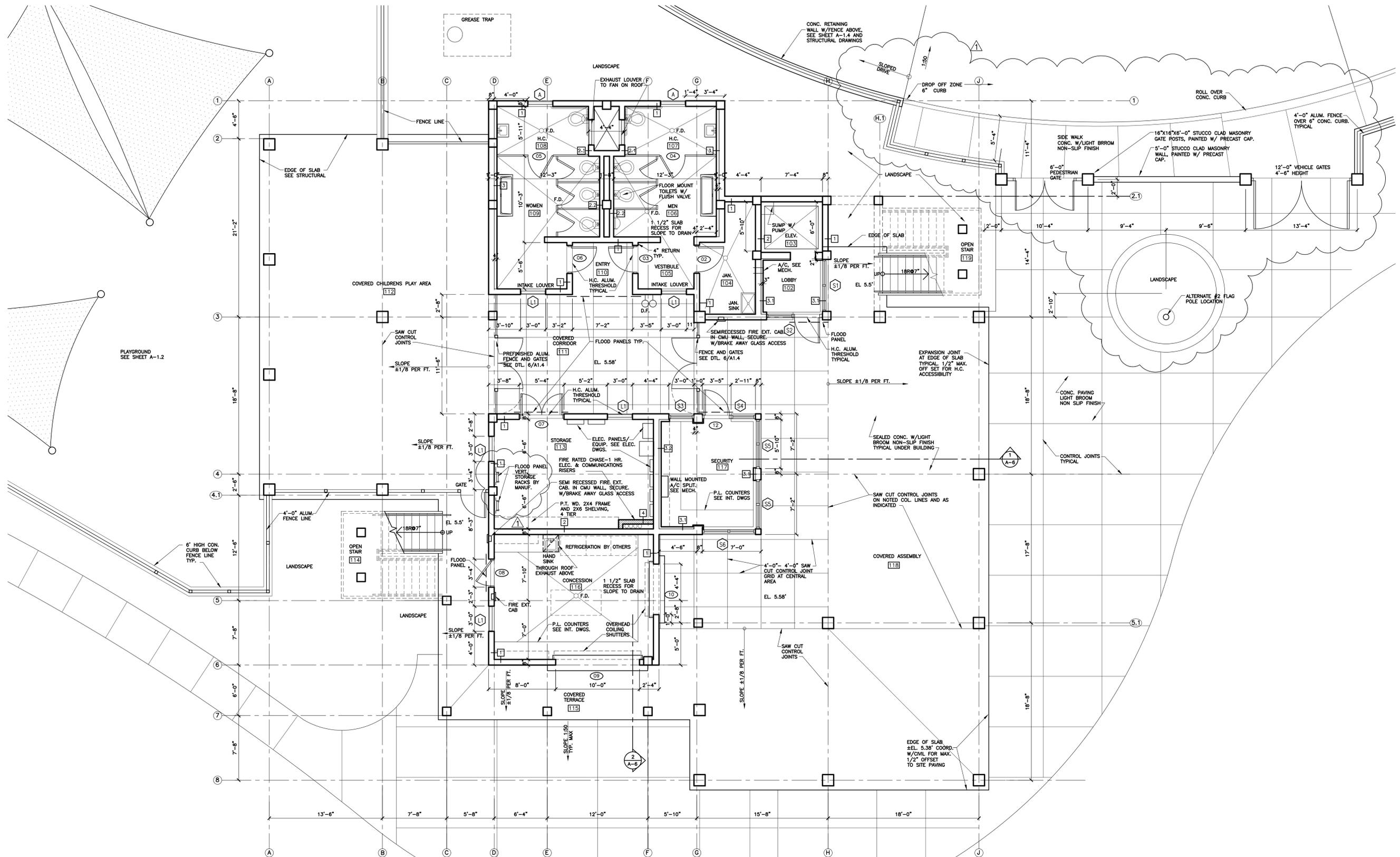
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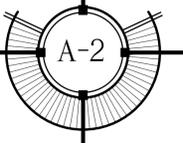






**GROUND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

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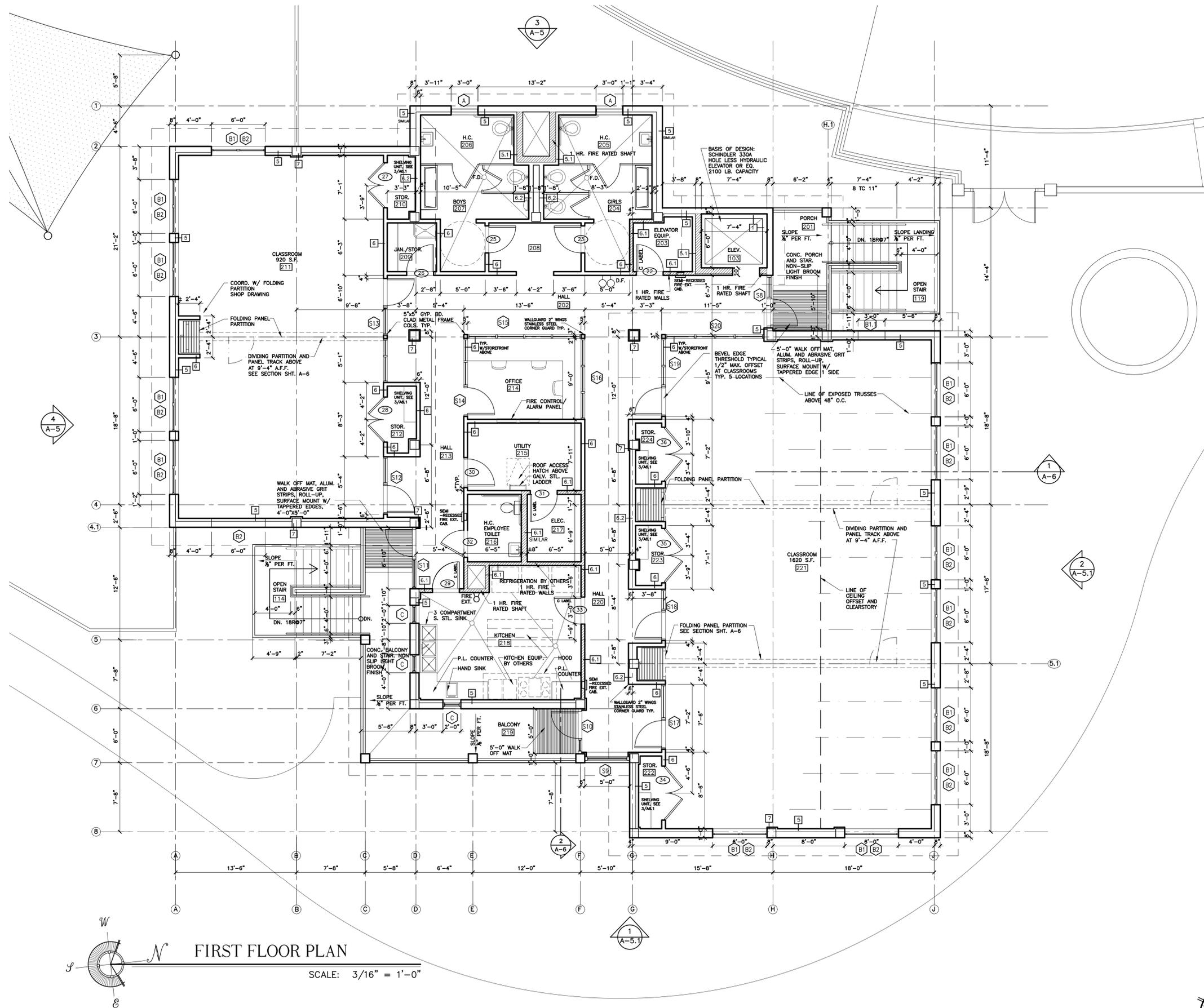
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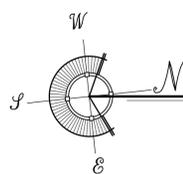
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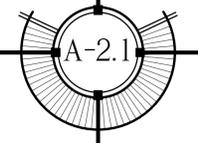
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**FIRST FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

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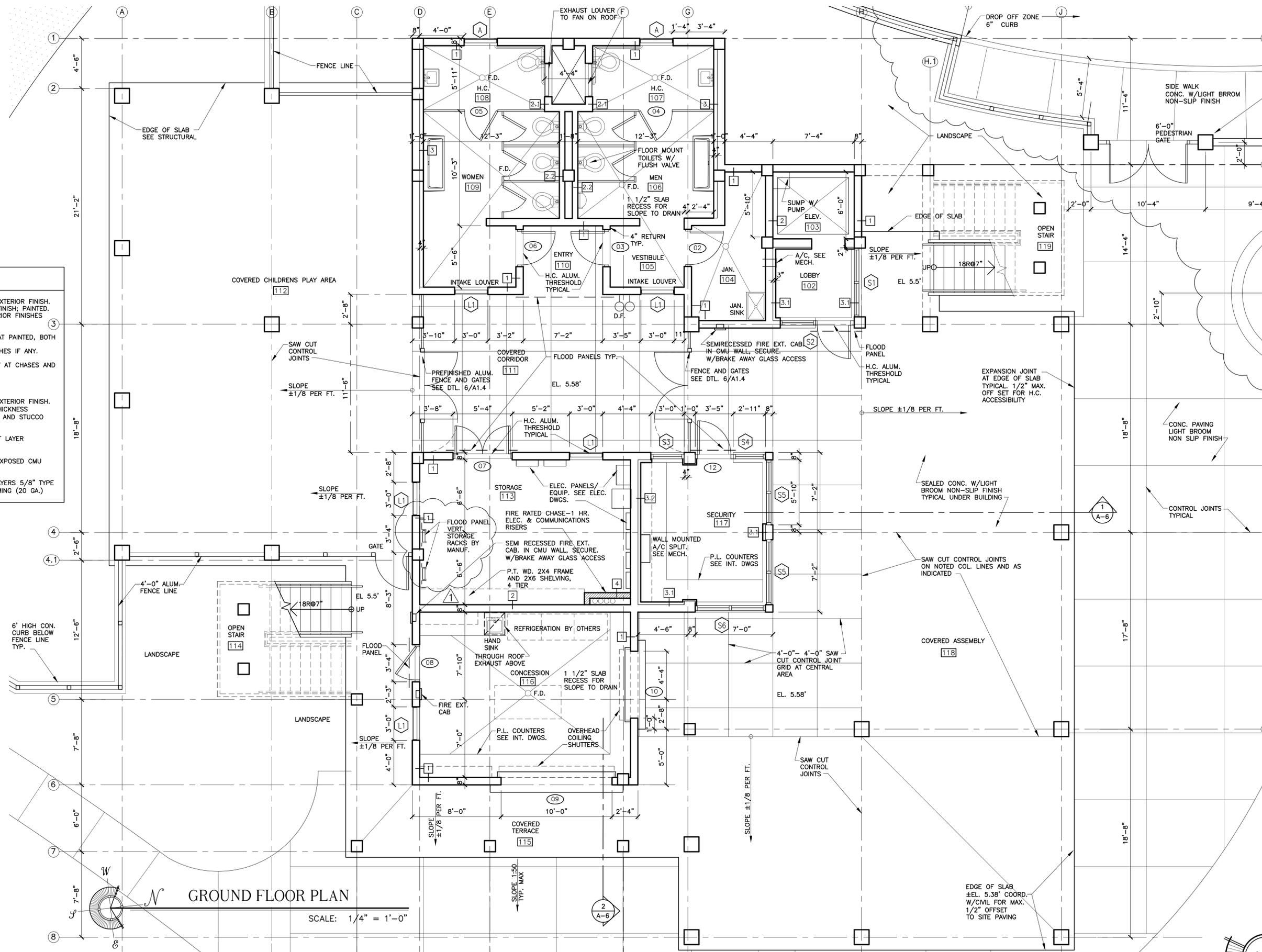
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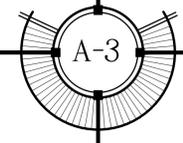
**WALL TYPES**

- 1 8" CMU EXTERIOR WALL W/ 3/4" STUCCO EXTERIOR FINISH. PAINTED AND STUCCO SKIM COAT INTERIOR FINISH; PAINTED. SEE FINISH SCHEDULE FOR ADDITIONAL INTERIOR FINISHES SUCH AS TILE WAINSCOTT, IF ANY.
- 2 8" CMU INTERIOR WALL W/STUCCO SKIM COAT PAINTED, BOTH SIDES. SEE FINISH SCHEDULE FOR ADDITIONAL FINISHES IF ANY.
- 2.1 SAME WITH STUCCO SKIM COAT 1 SIDE ONLY AT CHASES AND CONSEALED SPACES
- 2.2 SAME WITH 6" CMU
- 3 8" CMU EXTERIOR WALL W/ 3/4" STUCCO EXTERIOR FINISH. GALV. STL. FURRING @16" TO SUITE WALL THICKNESS INDICATED. 1/2" FIBER CEMENTITIOUS BOARD AND STUCCO SKIM COAT, PAINTED INTERIOR FINISH
- 3.1 SAME W/3 LAYERS, 3/4" RIDGID INSUL. (1ST LAYER CONTINUOUS) IN FURRED SPACE
- 3.2 SAME W/ STUCCO SKIM COAT PAINTED ON EXPOSED CMU INTERIOR SIDE OF ASSEMBLY
- 4 1 HR. FIRE RATED CHASE ASSEMBLY - 2 LAYERS 5/8" TYPE X GYP. BD. 1 SIDE 3 5/8" GALV. STL. FRAMING (20 GA.)

GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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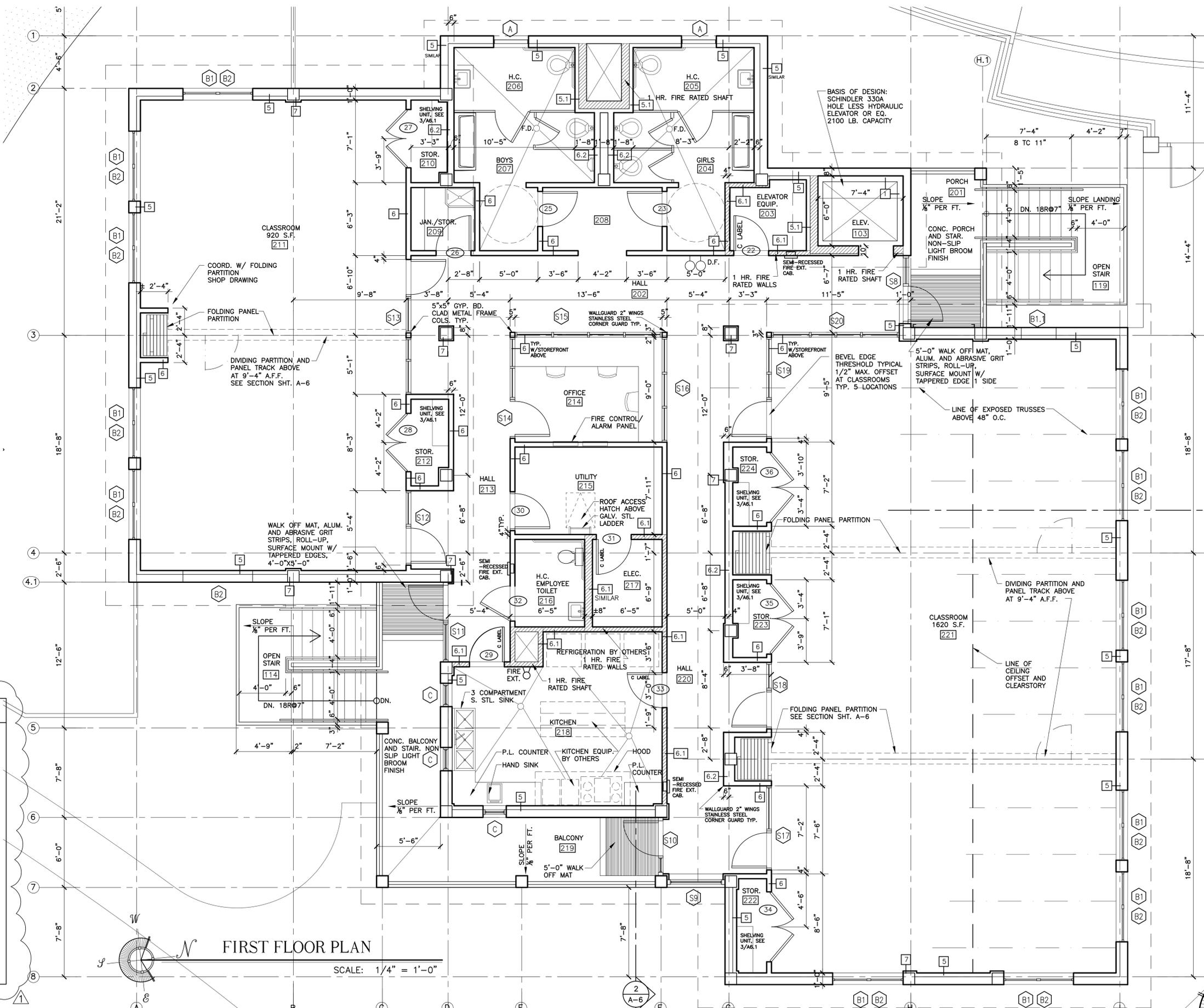
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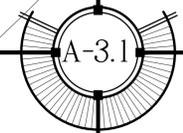


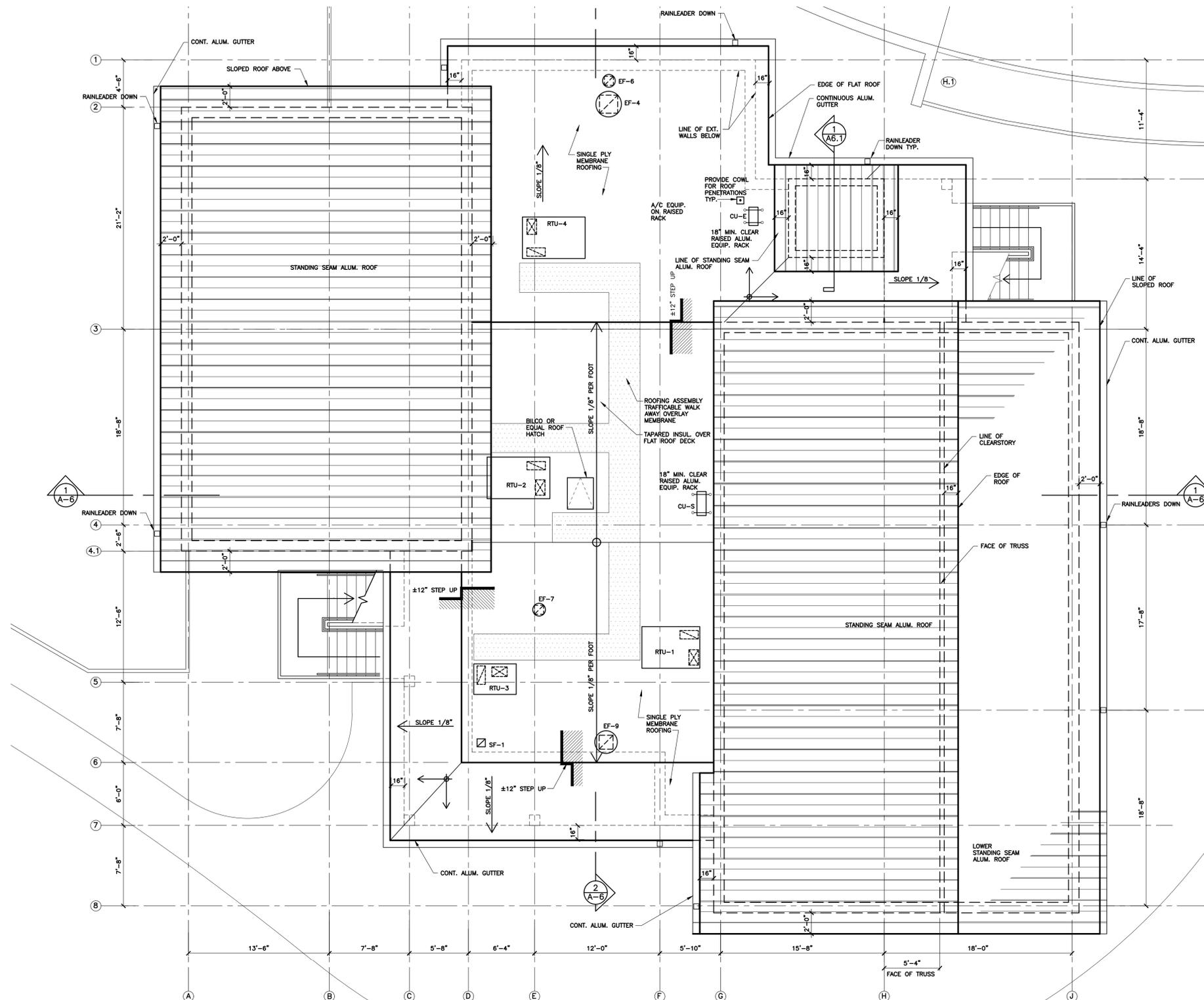
**WALL TYPES**

- 5 8" CMU EXTERIOR WALL W/ 3/4" STUCCO EXTERIOR FINISH. PAINTED. INTERIOR; 2 1/2" GALV. STL. FRAMING @ 16" O.C. SET 1/2" FROM THE INSIDE FACE OF BLOCK W/ TOP AND BOTTOM TRACKS AND PLASTIC CLIP ANGLE BRACES AT QUARTER POINTS TO FORM A 3" CAVITY TO BE FILLED WITH SPRAY APPLIED CLOSED CELL INSULATION. INTERIOR FINISH TO BE 5/8" GYP. BD. PAINTED. SEE FINISH SCHEDULE FOR USE OF MOISTURE RESISTANT GYP. BD. OR BACKER BD. FOR TILE INSTALLATIONS.
- 5.1 8" CMU CHASE WALL - SAME AS ABOVE WITHOUT EXTERIOR FINISH.
- 6 INTERIOR PARTITION, TYPICAL - 5/8" GYP. BD. PAINTED EACH SIDE 3 5/8" GALV. STL. FRAMING (20 GA.) AT 16" O.C. SEE FINISH SCHEDULE FOR USE OF MOISTURE RESISTANT GYP. BD. OR BACKER BD. FOR TILE INSTALLATION.
- 6.1 INTERIOR PARTITION, 1 HOUR FIRE RATED - SAME AS ABOVE WITH 5/8" TYPE X GYP. BD. EACH SIDE OR 2 LAYERS ONE SIDE AT CHASES
- 6.2 INTERIOR PARTITION - SAME AS ABOVE WITH 6" GALV. STL. FRAMING OR STAGGERED STUDS TO ACHIEVE THE WALL THICKNESS INDICATED.
- 7 1 1/2" GALV. STL. FURRING @ 16" O.C. WITH 5/8" GYP. BD. FINISH. PAINTED. AT EXTERIOR WALLS, PROVIDE 1 1/2" SPRAY APPLIED INSUL. PER WALL TYPE 5

NOTE: PROVIDE STAINLESS STEEL CORNER GUARDS AT OUTSIDE CORNERS INDICATED IN PLAN

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**ROOFING NOTES**

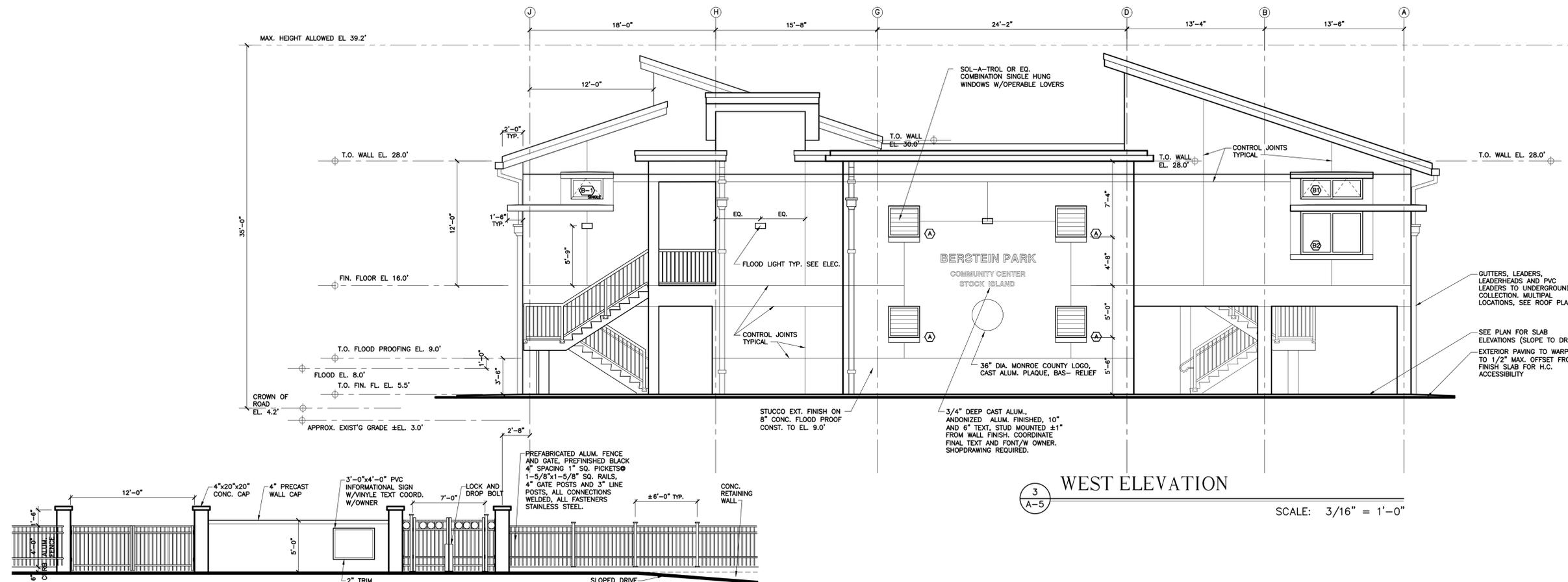
**STANDING SEAM ALUM. ROOFING ASSEMBLY.**  
BASIS OF DESIGN: ENGLERT SERIES 1300 OR EQUAL 0.040 ALUM ROOFING ASSEMBLY TO INCLUDE MANUFACTURERS STANDARD DETAILS AND N.O.A. COMPLIANT INSTALLATION. ROOFING SHALL BE INSTALLED OVER GRACE OR EQUAL HIGH TEMP., SELF ADHESIVE MEMBRANE ON 1/2" COVER BD. OVER 4 LAYERS, 1 1/2" POLY ISO RICID INSULATION BD. (R-38 MIN.) OVER ACOUSTICAL METAL DECK SUPPORTED AT 48" D.C. A FULL SHOP DRAWING SUBMITTAL INCLUDING MANUFACTURERS DETAILS AND ACCESSORIES AS WELL AS PROJECT SPECIFIC INSTALLATION DETAILS SHALL BE PROVIDED.

**SINGLE PLY-FULLY ADHERED MEMBRANE ROOFING ASSEMBLY.**  
BASIS OF DESIGN: FIBERTITE-SM-FB 60 MIL ROOFING ASSEMBLY OR EQUAL, 52 OZ. PER SQ. YD./NOMINAL 60 MIL THICK MEMBRANE IN CONFORMANCE WITH ASTM D6754-02 STANDARD SPECIFICATION FOR KNEE BASED SHT. ROOFING WITH 4 OZ. PER SQ. YD. NON WOVEN POLYESTER FELT, HEAT BONDED TO THE BACK SIDE WITH 3IN SELVEDGE EDGE FOR FIELD WELDING. ASSEMBLY SHALL BE FULLY ADHERED PER THE MANUFACTURERS RECOMMENDATIONS AND SHALL INCORPORATE ASSEMBLY PREFINISHED COMPATIBLE FLASHING PRODUCTS. INSTALLATION SHALL BE OVER 1/2" COVER BOARD OVER TAPERED POLY ISO INSULATION BD. MIN. THICKNESS 4 1/2", MAX. THICKNESS 8" WITH A MIN. AVERAGE R-VALUE OF R-38, OVER GALV. STEEL DECK SUPPORTED AT 48" O.C. PROVIDE A FULL SHOP DRAWING SUBMITTAL INCLUDING N.O.A. COMPLIANCE WITH PROJECT WINDLOADS AND ALL ACCESSORIES AND DETAILS REQUIRED FOR A COMPLETE WATERTIGHT INSTALLATION.

**LIGHTNING PROTECTION.**  
PROVIDE A FULL COVERAGE LIGHTNING PROTECTION SYSTEM IN ACCORDANCE WITH NFPA 780 AND APPLICABLE CODES. PROVIDE A FULL SHOP DRAWING SUBMITTAL INCLUDING GROUNDING CABLE RUNS AND ROD PLACEMENT PREPARED BY A LICENSED SPECIALTY SUBCONTRACTOR. TO PROVIDE A FULLY FUNCTIONAL SYSTEM SEE SHEET M-5.

**ROOF TOP EQUIPMENT:**  
A/C PACKAGE UNITS TO INCLUDE A WEATHER TIGHT HOUSING AND ASSEMBLY FOR SUPPORT OF THE EQUIP. CURB SHALL BE OF SUFFICIENT HEIGHT TO MEET ALL CODE CLEARANCE REQUIREMENTS AND ACCOMMODATE INSULATION (8" MAX) AND MAINTAIN A MINIMUM CLEAR HEIGHT OF 8" TO ALLOW FOR UPTURNED MEMBRANE ROOFING AND FLASHING COORD. ALL PENETRATIONS WITH STRUCTURAL.



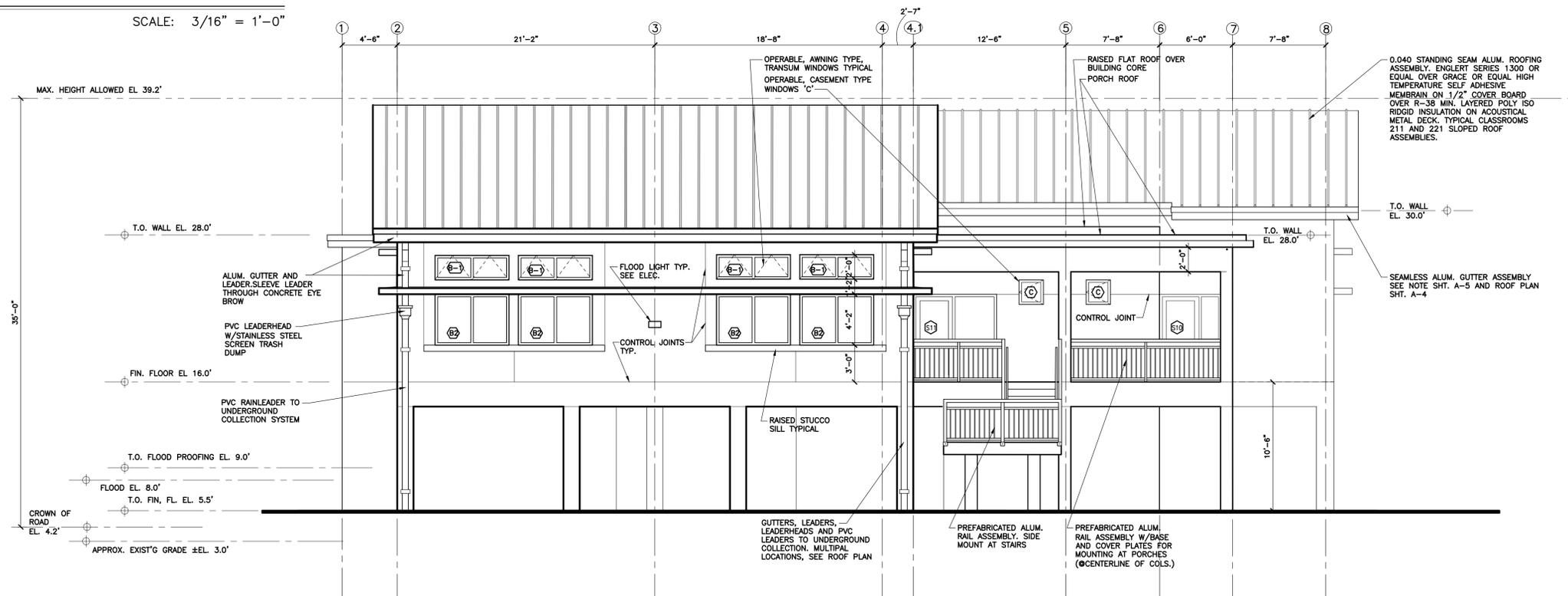


WEST ELEVATION

SCALE: 3/16" = 1'-0"

ENTRY GATES - ELEVATION

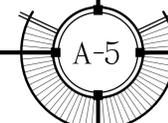
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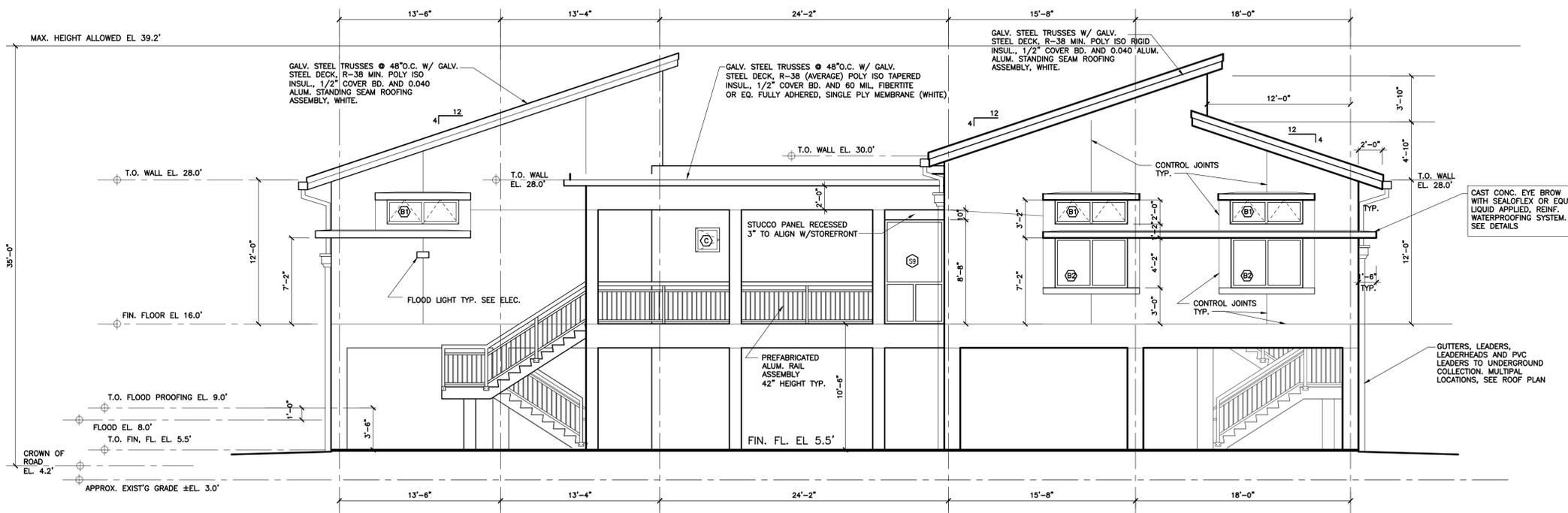
SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

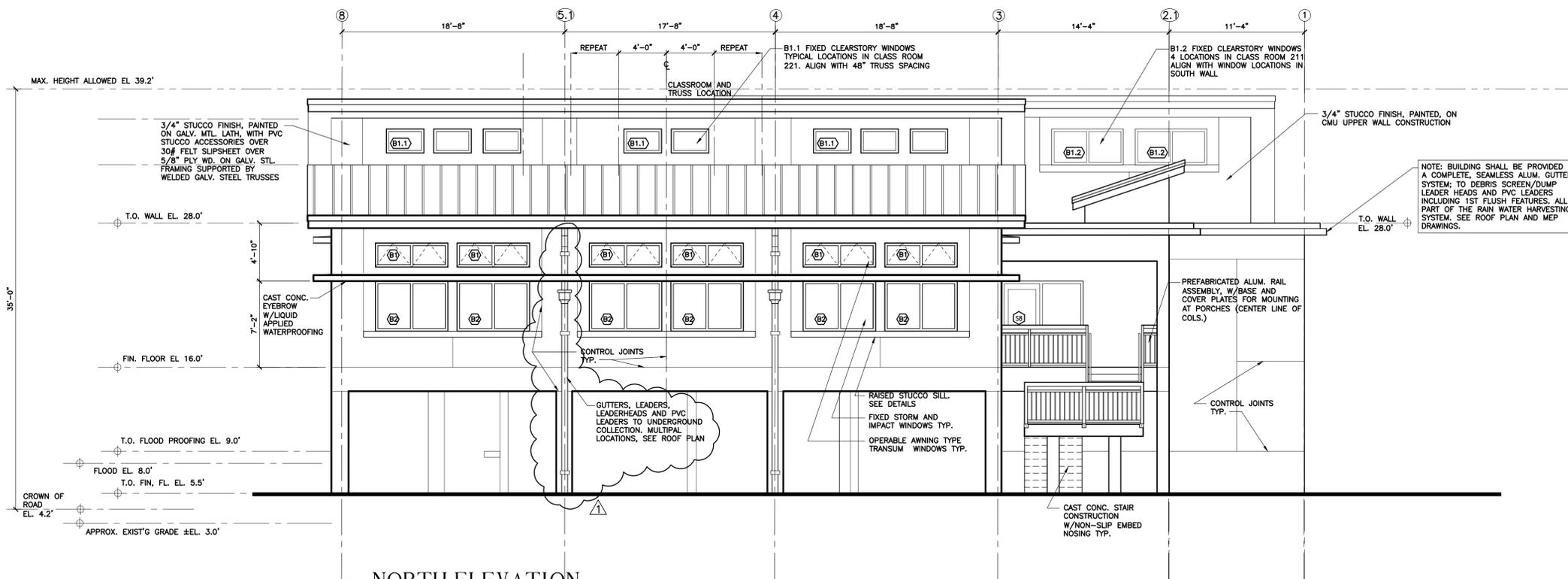
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NOTE: ALTERNATE #3 PROVIDE BAR JOISTS AT SLOPED ROOF  
FROM LINE 'A' TO 'D' AND AT FLAT ROOF AREAS. SEE  
ROOF PLAN SHT. A-4

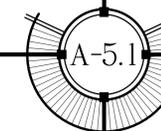


1  
A-5.1  
EAST ELEVATION  
SCALE: 3/16" = 1'-0"



2  
A-5.1  
NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

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CONCEPTUAL RENDERING



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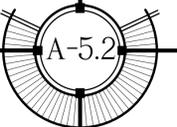
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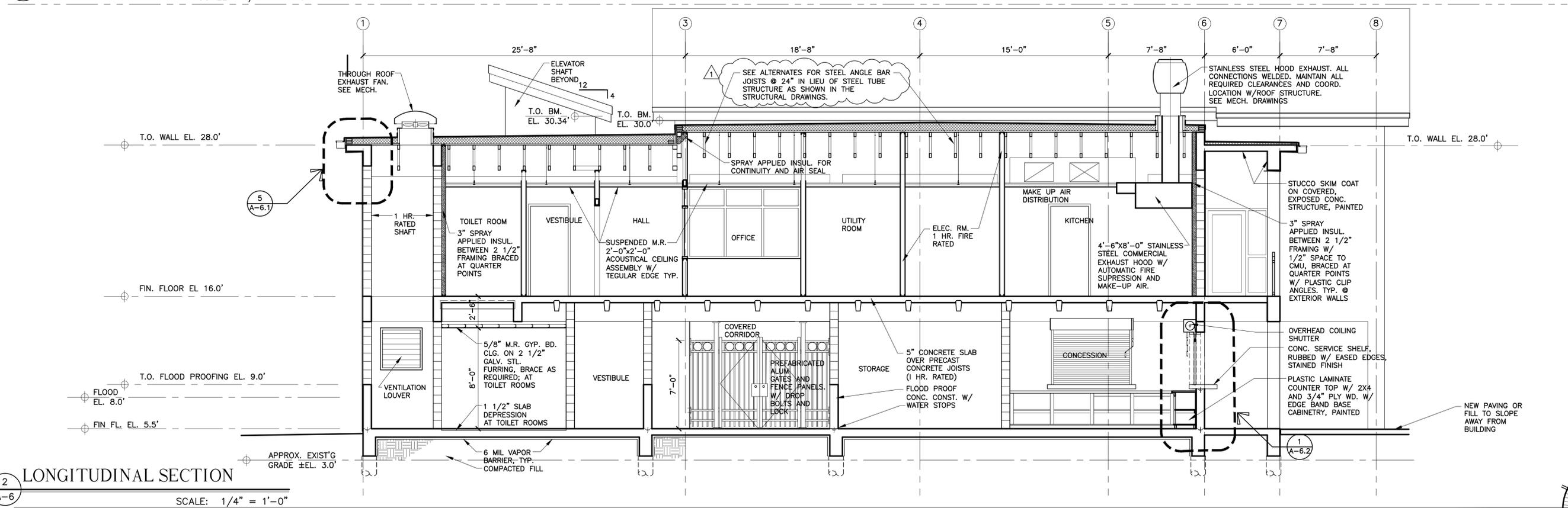
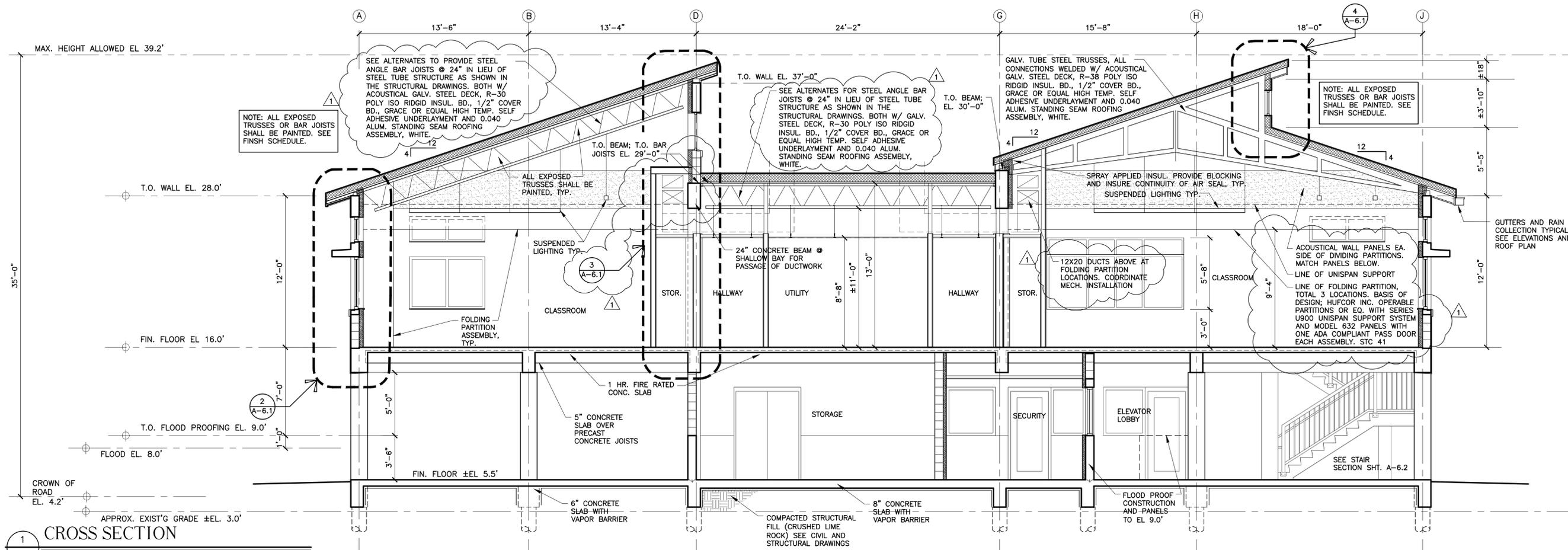
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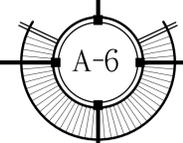
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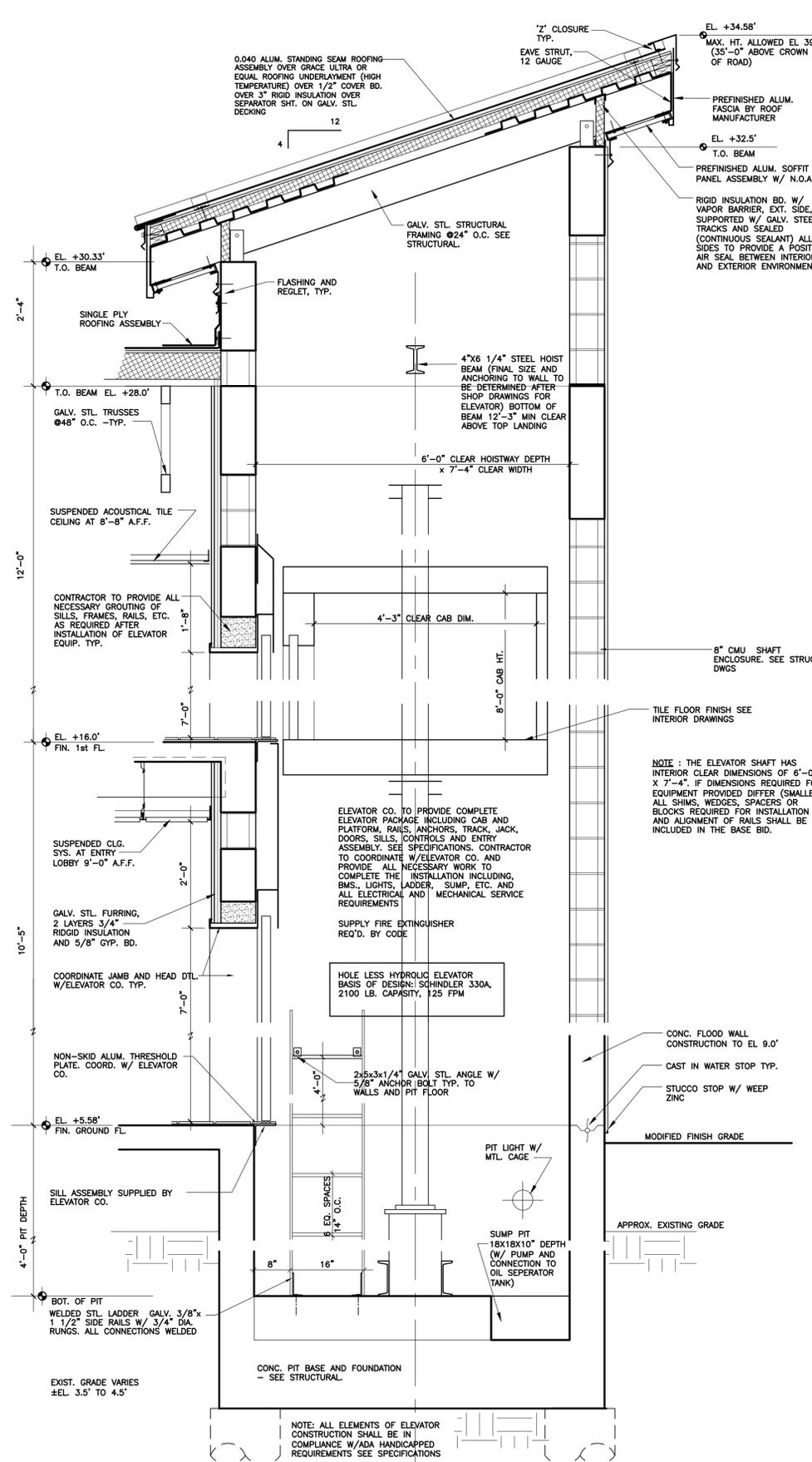
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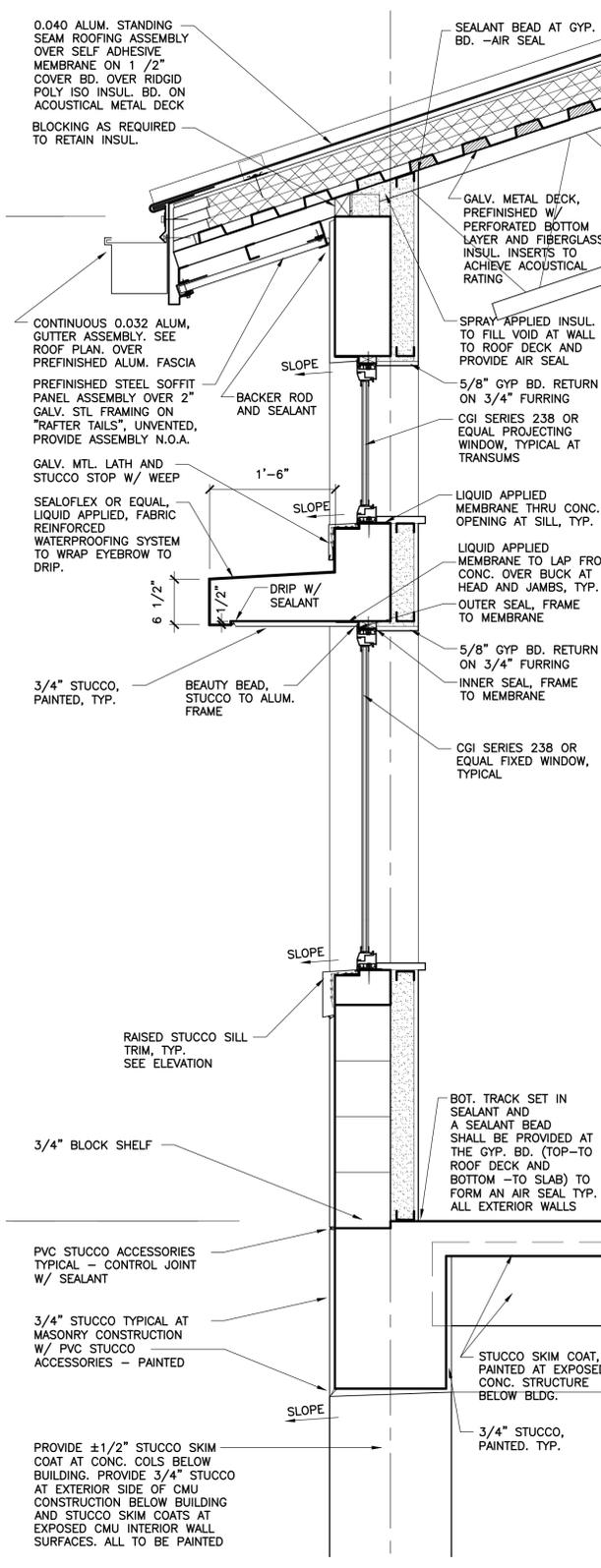


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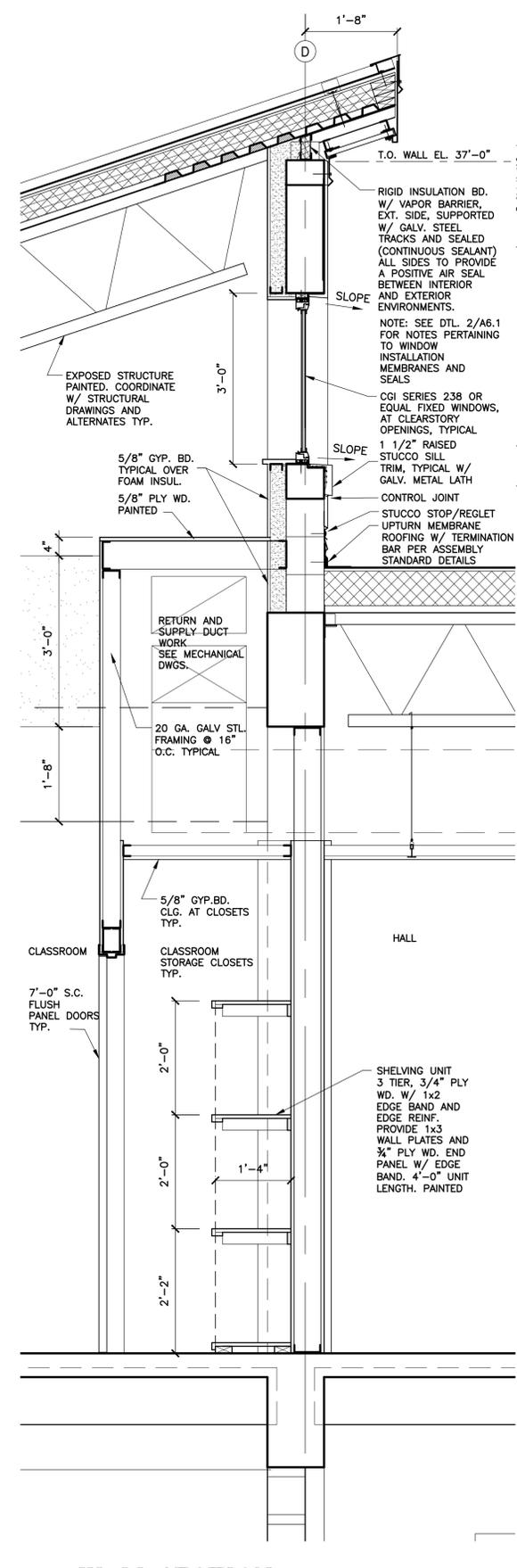




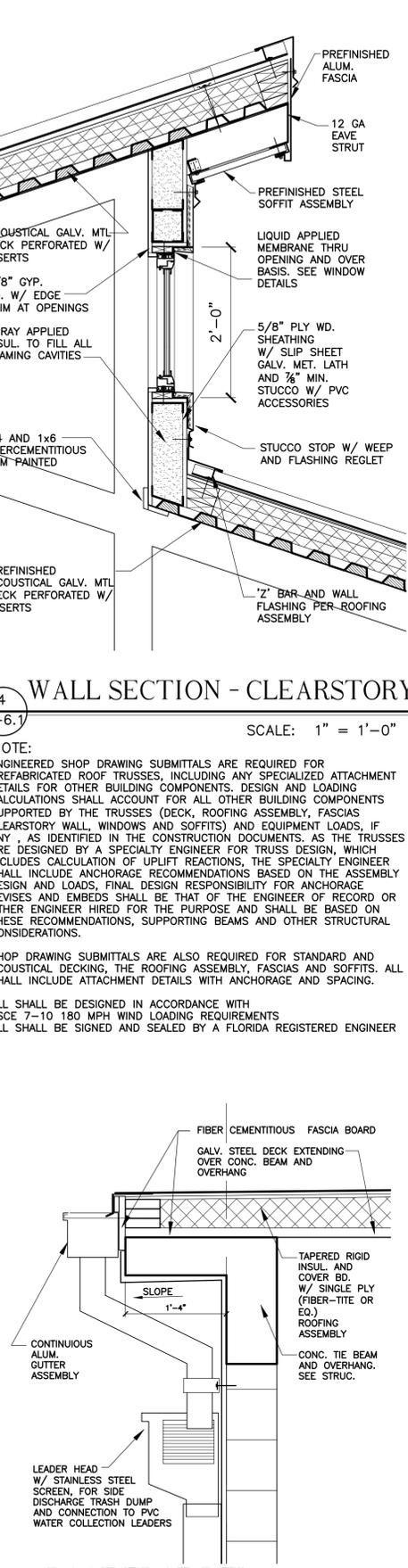
**1 ELEVATOR SECTION**  
 SCALE: 3/4" = 1'-0"



**2 WALL SECTION**  
 SCALE: 1" = 1'-0"



**3 WALL SECTION**  
 SCALE: 3/4" = 1'-0"



**5 ROOF EDGE DTL.**  
 SCALE: 1" = 1'-0"

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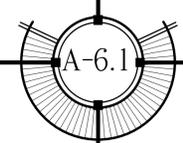
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**CONSTRUCTION NOTES : BUILDING SHELL**

IT IS INTENDED TO INCORPORATE FEATURES TO CONTROL THE PASSAGE/MOVEMENT OF AIR, WATER VAPOR AND HEAT. THIS INVOLVES AIR SEALS, VAPOR CONTROL BARRIERS, INCLUDING PROVISION FOR BREATHABLE ASSEMBLIES AND INSULATION, PROPERLY INSTALLED WITHOUT BREAKS AND GAPS.

**THE FOLLOWING NOTES CLARIFY THESE FEATURES**

**SEALS**

1. PROVIDE AN INNER (INSIDE) AND OUTER (EXTERIOR) SEAL (SEALANT AND BACKER ROD) AT ALL EXTERIOR WALL AND ROOF PENETRATIONS SUCH AS WINDOWS, DOORS, LOUVERS OR VENTS, PIPING AND CONDUITS. THE INNER SEAL ACTS AS AN AIR SEAL TO AVOID PRESSURE DIFFERENTIAL ACTING ON THE OUTER SEAL.
2. PROVIDE A CONTINUOUS BEAD OF SEALANT AT THE TOP AND BOTTOM OF GYP. BD. INTERIOR WALL FINISH OF EXTERIOR WALLS.
3. PROVIDE CONT. RIGID. INSUL. BD. OR METAL AIR SEAL SET IN SEALANT FROM TOP OF WALL TO UNDERSIDE OF ROOF DECK ISOLATING OVERHANG SOFFITS. FROM BUILDING INTERIOR

**WATER VAPOR**

THE EXTERIOR CMU WALLS WITH SEALS AND PAINTED STUCCO EXTERIOR FINISH PROVIDES THE VAPOR BARRIER FOR THIS PROJECT. PAINTS AND FINISHES ARE SELECTED TO ALLOW THE WALL ASSEMBLY TO BREATHE, ALLOWING WATER VAPOR FROM ANY SOURCE WITHIN THE WALL ASSEMBLY TO ESCAPE

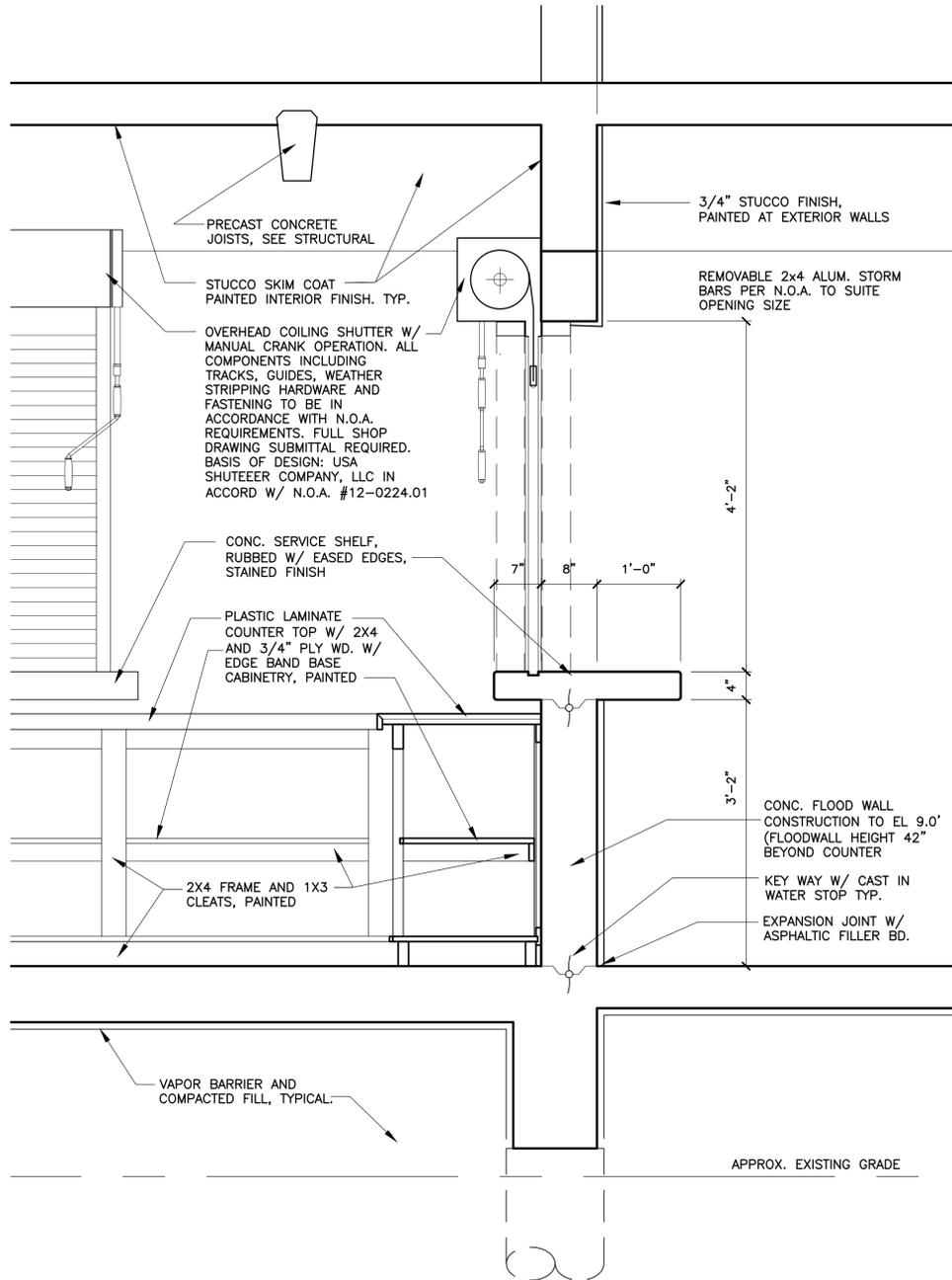
1. PROVIDE LIQUID APPLIED MEMBRANE FLASHING WRAPPED OVER BLOCKING OR BUCKS AT OPENING ASSEMBLIES TO RECEIVE INNER AND OUTER SEAL AS ABOVE.
2. INSURE THAT ALL WALL PENETRATIONS SUCH AS HOSE BIBS, CONDUITS, BOXES AND ELECTRICAL DEVICES ARE PROVIDE WITH A CONTINUOUS SEAL.

**INSULATION**

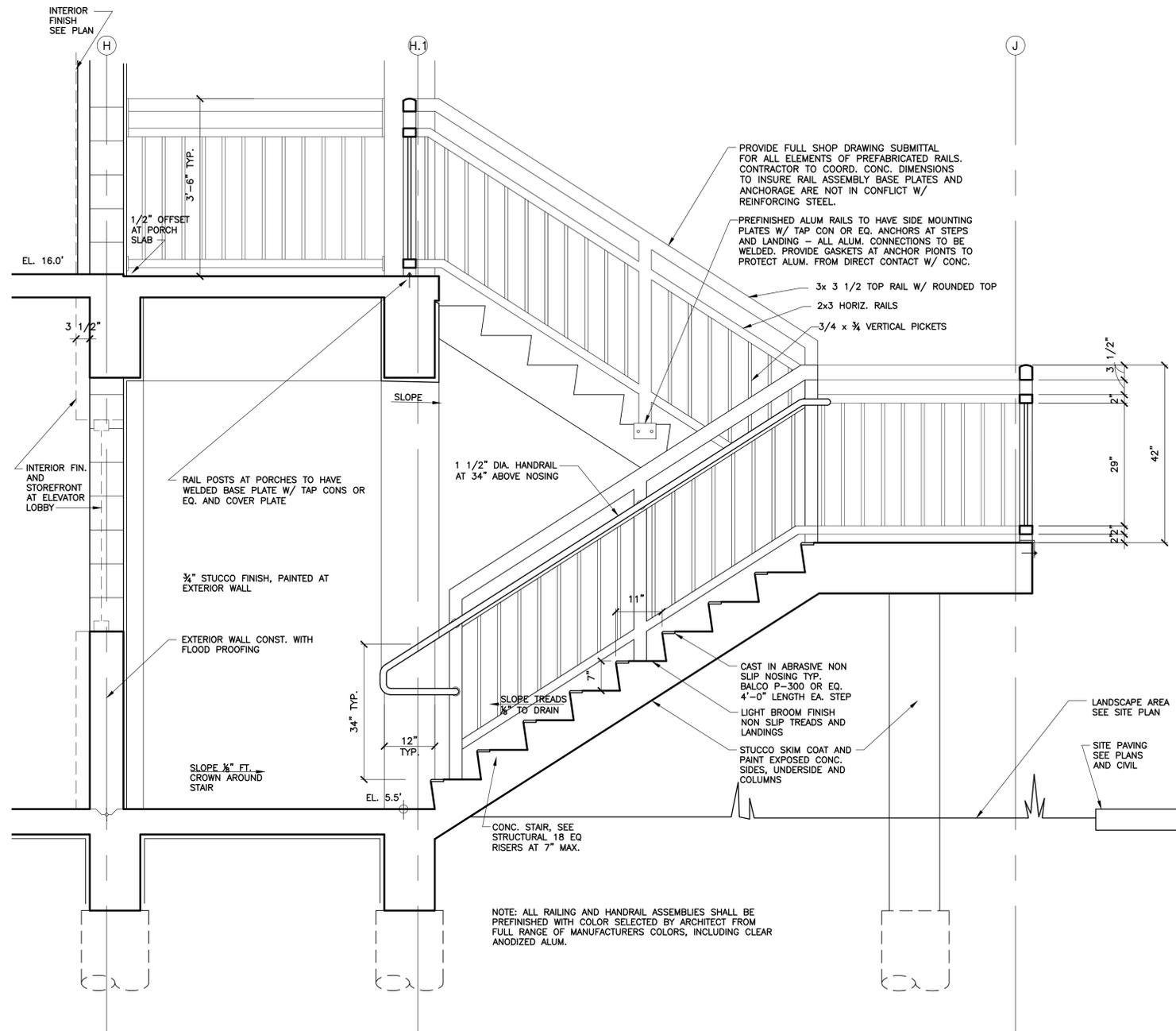
ALL INSULATION PRODUCTS WILL BE FREE OF FORMALDEHYDE. PROVIDE A MANUFACTURERS CUT SHEET FOR EACH INSULATION PRODUCT USED IN THE BUILDING INDICATING THAT IT CONTAINS NO FORMALDEHYDE

RIGID INSULATION AT ROOF AND EXTERIOR WALLS IS NOT INTENDED TO CREATE A VAPOR BARRIER AND SHOULD BE SEMI-PERMEABLE. AN AIR SEAL IS DESIRED AND INSULATION SHALL BE SEALED TO PENETRATIONS, BOXES, PIPES, ETC.

ALL INSULATION SHALL BE INSTALLED WITH CARE TO INSURE NO GAPS IN THE LAYER, ESPECIALLY AT BATT INSULATION. IF USED.



**1 WALL SECTION - CONCESSION**  
A-6.2 SCALE: 1" = 1'-0"



**2 SECTION - STAIR 120**  
A-6.2 STAIR 115 SIMILAR SCALE: 3/4" = 1'-0"

**BERNSTEIN PARK**  
STOCK ISLAND  
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MITCHELL PLANNING & DESIGN

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SEAL

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10-05-15 BIDDING

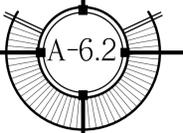
REVISIONS

DRAWN BY

EMA EVK

PROJECT NUMBER

1320



WINDOW SCHEDULE								
BASIS OF DESIGN: CGI SERIES 238 PROJECTING, CASEMENT AND FIXED WINDOW; SOL-A-TROL SERIES 535-SINGLE HUNG WITH OPERABLE EXTERIOR LOUVER; SAFTIFIRST, SUPERLITE II-XL, GPX HURRICANE SYSTEM								
	SIZE (M.O.)	TYPE	FINISH	GLAZING	FRAME MAT.	MANUF.	N.O.A	REMARKS
A	3 <sup>0</sup> x3 <sup>0</sup>	SINGLE HUNG WITH OPERABLE LOUVER	PREFINISHED	CLEAR	ALUMINUM	SOL-A-TROL	12-0305.02 (+90/-100)	
B1	2 <sup>0</sup> x6 <sup>0</sup>	PROJECTING TRANSOM		CLEAR-LOW 'E'		CGI SERIES 238	14-0915.08(+110/-195)	
B1.1	2 <sup>0</sup> x3 <sup>0</sup>	FIXED WINDOW		CLEAR-LOW 'E'		CGI SERIES 238	14-0903.06(+110/-120)	
B1.2	3 <sup>0</sup> x6 <sup>0</sup>	FIXED WINDOW		CLEAR-LOW 'E'		CGI SERIES 238	14-0903.06(+110/-120)	
B2	4 <sup>2</sup> x6 <sup>0</sup>	FIXED WINDOW		CLEAR-LOW 'E'		CGI SERIES 238	14-0903.06(+110/-120)	
C	2 <sup>0</sup> x2 <sup>0</sup>	FIXED WINDOW		CLEAR-LOW 'E'		SAFTIFIRST	HVHZ PROTOCAL	45 MIN. FIRE RATED SEE NOTES BELOW @ TYPE 'C'
D	5 <sup>4</sup> x5 <sup>4</sup>	SINGLE HUNG WITH OPERABLE LOUVER		CLEAR		SOL-A-TROL	12-0305.02 (+90/-100)	

LOUVER SCHEDULE								
BASIS OF DESIGN: GREENHECK FAN CORP. MODEL EACA-60ID ALUM. LOUVER SYSTEM WITH DAMPER								
	WIDTH	HEIGHT	THICK	MATERIAL	DESCRIPTION	MANUF.	N.O.A	REMARKS
(L1)	3'-0"	3'-0"		PREFINISHED ALUM.	IMPACT LOUVER W/ MANUAL STORM DAMPER	GREEN HECK	13-0919.05 (+/-110)	WITH BIRD AND INSECT SCREENS
(L2)	2'-8"	2'-8"		PREFINISHED ALUM.	IMPACT LOUVER W/ MANUAL STORM DAMPER	GREEN HECK	13-0919.05 (+/-110)	WITH BIRD AND INSECT SCREENS
(L2.1)	4'-6"	4'-6"		PREFINISHED ALUM.	IMPACT LOUVER W/ MANUAL STORM DAMPER	GREEN HECK	13-0919.05 (+/-110)	WITH BIRD SCREEN GRAVITY DAMPER AND EXHAUST FAN

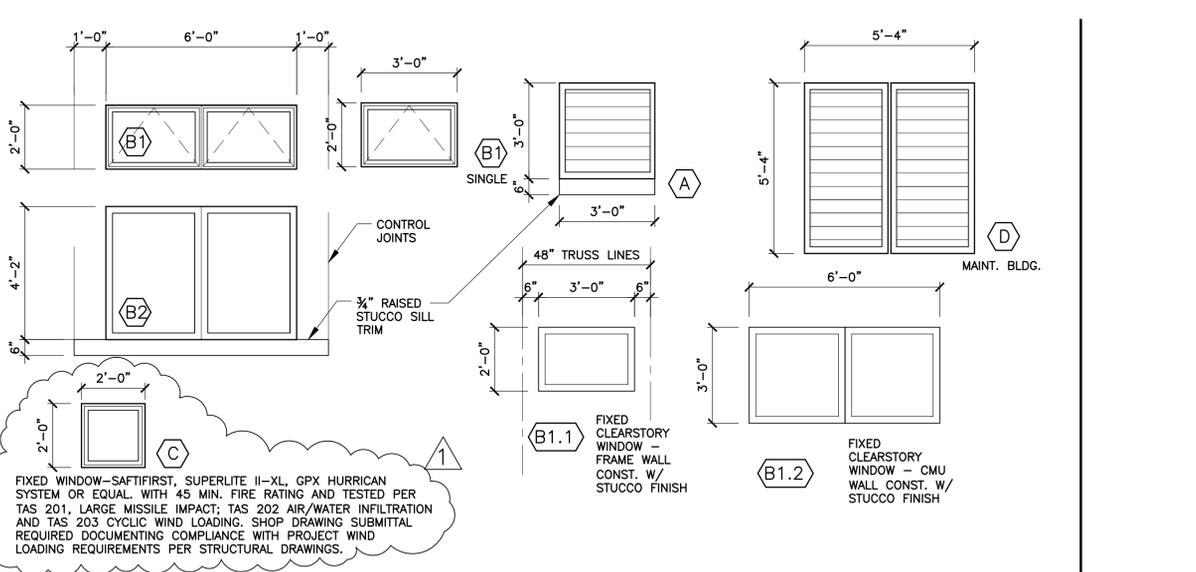
STOREFRONT ASSEMBLY SCHEDULE										
NO.	SIZE			DOOR		FRAME		N.O.A.	DESCRIPTION	
	WIDTH	HEIGHT	THICK	MATERIAL	TYPE	MAT.	FINISH			
S-1	6'-2"	3'-10"	2 1/2"x5"	ALUM.		ALUM.	PREFINISH	10-0902.06 (+/-90)		
S-2	6'-8"	7'-4"	2 1/2"x5"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH	10-0902.06 (+/-90)	SINGLE DOOR (HVHZ PROTOCOLS +70/-90) W/SIDE LIGHT	
S-3	3'-0"	7'-4"	2 1/2"x5"	ALUM.		ALUM.	PREFINISH	10-0902.06 (+/-90)		
S-4	6'-4"	7'-4"	2 1/2"x5"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH	10-0902.06 (+/-90)	SINGLE DOOR (HVHZ PROTOCOLS +70/-90) W/SIDE LIGHT	
S-5	5'-10"	7'-4"	2 1/2"x5"	ALUM.		ALUM.	PREFINISH	10-0902.06 (+/-90)		
S-6	5'-10"	7'-4"	2 1/2"x5"	ALUM.		ALUM.	PREFINISH	10-0902.06 (+/-90)		
S-7	6'-4"	7'-4"	2 1/2"x5"	ALUM.		ALUM.	PREFINISH	10-0902.06 (+/-90)		
S-8	5'-10"	7'-4"	2 1/2"x5"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH	10-0902.06 (+/-90)	SINGLE DOOR (HVHZ PROTOCOLS +70/-90) W/SIDE LIGHT	
S-9	5'-0"	8'-8"	2 1/2"x5"	ALUM.		ALUM.	PREFINISH	10-0902.06 (+/-90)		
S-10	5'-0"	7'-4"	2 1/2"x5"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH	10-0902.06 (+/-90)	SINGLE DOOR (HVHZ PROTOCOLS +70/-90) W/SIDE LIGHT	
S-11	6'-10"	7'-4"	2 1/2"x5"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH	10-0902.06 (+/-90)	SINGLE DOOR (HVHZ PROTOCOLS +70/-90) W/SIDE LIGHT	
S-12	6'-8"	8'-8"	1 3/4"x4"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH			INTERIOR
S-13	11'-7"	8'-8"	1 3/4"x4"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH			
S-14	8'-7"	8'-8"	1 3/4"x4"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH			
S-15	12'-6"	5'-8"	1 3/4"x4"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH			
S-16	8'-11"	5'-8"	1 3/4"x4"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH			
S-17	7'-4"	8'-8"	1 3/4"x4"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH			
S-18	5'-8"	8'-8"	1 3/4"x4"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH			
S-19	8'-7"	8'-8"	1 3/4"x4"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH			
S-20	10'-11"	5'-8"	1 3/4"x4"	PREFINISHED ALUM.	1 3/4" SINGLE LIGHT	ALUM.	PREFINISH			

BASIS OF DESIGN: EXTERIOR STOREFRONT - YKK AP AMERICA INC. YHS 50 FS AND MODEL 50H PROTEK ENTRANCES  
 INTERIOR STOREFRONT - YKK AP AMERICA INC. YES 40

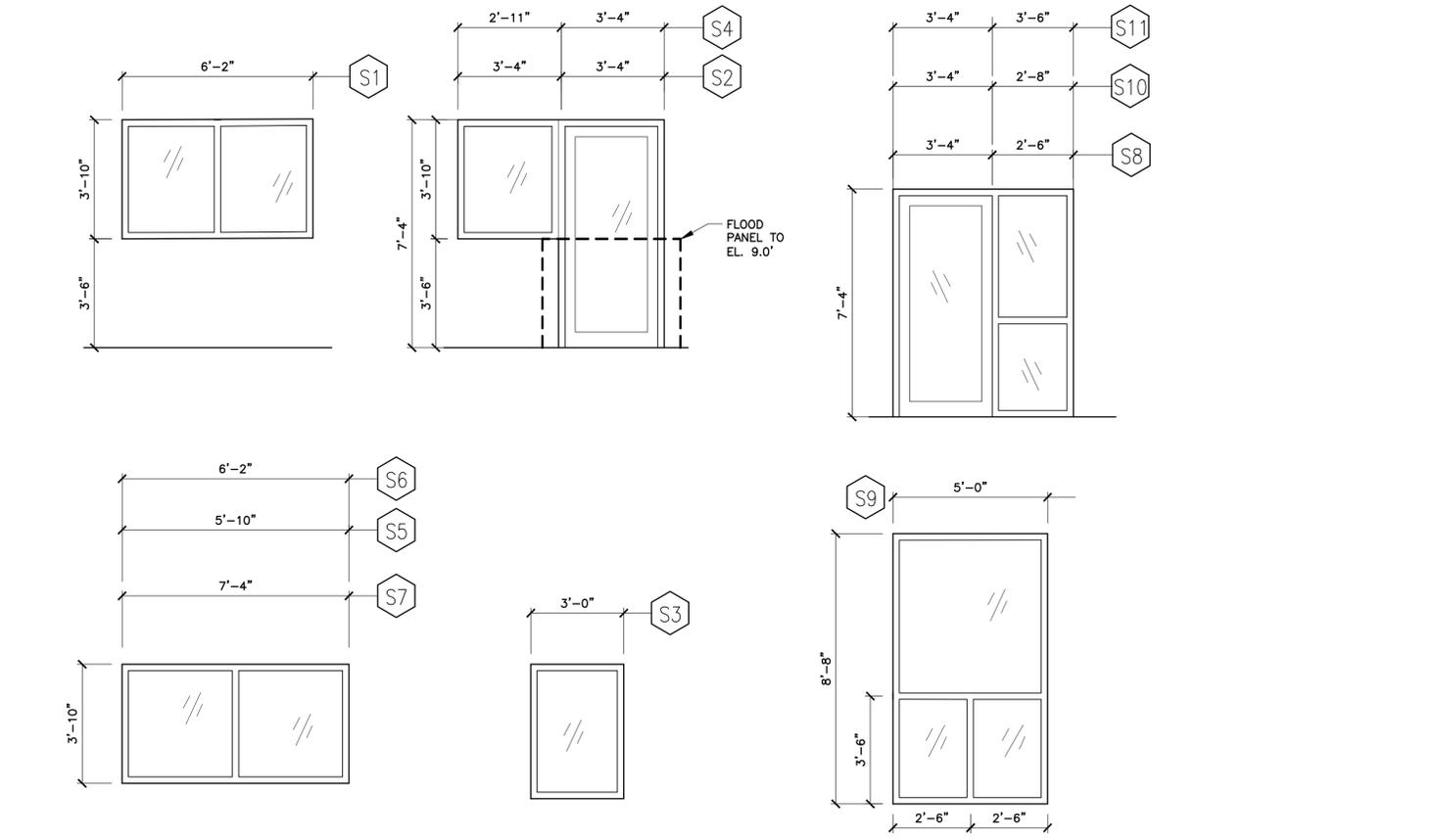
NOTES:

- ALL OPERABLE WINDOWS AND FIXED LOUVERS SHALL HAVE INSECT AND BIRD SCREENS. LOUVERS THAT ARE INSTALLED IN CONJUNCTION WITH EXHAUST FANS SHALL HAVE BIRD SCREEN ONLY. (LOUVER L-2.1)
- ALL OPENING ASSEMBLIES SHALL CONFORM TO IMPACT AND STORMPROOF REQUIREMENTS PER ASCE 7-(LATEST EDITION), CHAPTER 16 OF THE FLORIDA BUILDING CODE 2010 EDITION AND OTHER CODES AND PUBLIC AGENCIES HAVING JURISDICTION.
- ALUM. STOREFRONT FRAMES, WINDOWS AND LOUVERS SHALL BE PREFINISHED WITH COLOR TO BE SELECTED BY THE ARCHITECT FROM MANUFACTURERS FULL RANGE OF COLOR SELECTIONS INCLUDING CLEAR ANODIZED ALUM COLOR.
- DOORS SHALL BE PREFINISHED WITH A SINGLE ACCENT COLOR TO BE SELECTED BY THE ARCHITECT FROM THE MANUFACTURERS FULL RANGE OF COLOR SELECTIONS.
- STOREFRONT ENTRY DOOR SHALL HAVE HARDWARE BY THE ASSEMBLY MANUFACTURER TO INCLUDE BUTTS, PULLS, DEADBOLTS WITH INSIDE THUMB TURN OPERATION, CONCEALED CLOSURE WITH HOLD OPEN, MUTES, STOPS, THRESHOLD AND WEATHERSTRIPPING, ALL IN ACCORDANCE WITH STORMPROOF ASSEMBLY REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER. DOORS SHALL BE PROVIDED WITH "BEST LOCKS" INTEGRATED INTO THE OWNERS KEYING SYSTEM. A FULL SHOP DRAWINGS SUBMITTAL IS REQUIRED AND SHALL INCLUDE ALL COMPONENTS OF THE STOREFRONT, WINDOW AND LOUVER ASSEMBLIES, INCLUDING NOA'S FOR EACH MANUFACTURED PRODUCT, INDICATING TESTED COMPLIANCE WITH LOADING AND IMPACT REQUIREMENTS AS WELL AS SIZE, TYPE AND SPACING OF THE ANCHORS TO MEET LOADING REQUIREMENTS. ACCESSORY COMPONENTS SUCH AS BLOCKING, FLASHING AND SEALS AND ADJACENT CONSTRUCTION SHALL BE INDICATED, WHETHER PROVIDED BY THE ASSEMBLY MANUFACTURER OR OTHERS.
- SEE STRUCTURAL FOR DESIGN PRESSURES.
- ALL EXPOSED GLAZING SHALL BE IMPACT RESISTANT LAMINATED GLAZING CLEAR WITH LOW 'E' COATING; U VALUE 0.65 AND SHGC 0.30 OR LESS.

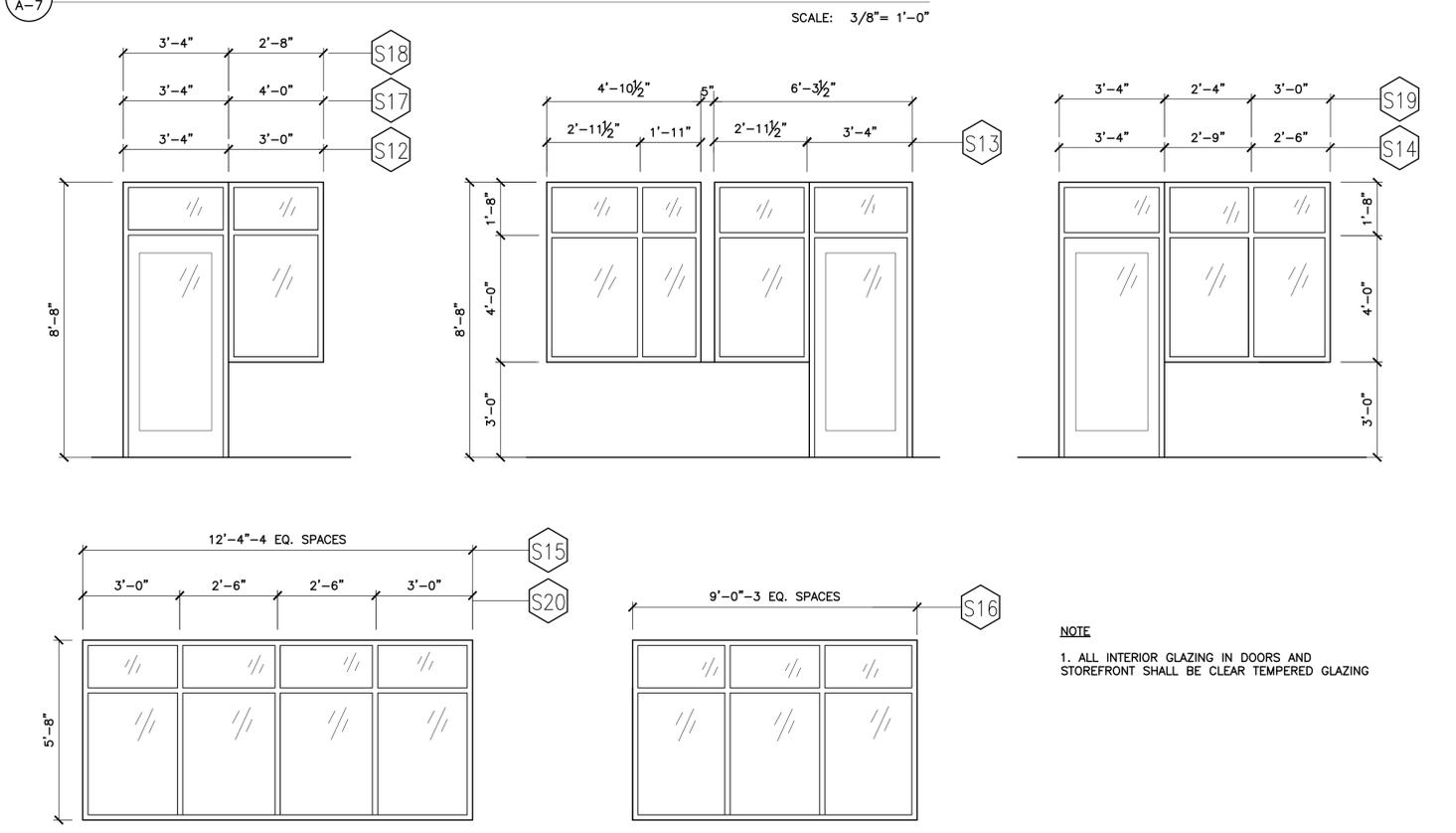
SEE SHEET S-8 FOR CALCULATED WIND LOADS AT OPENINGS



2 WINDOW ELEVATIONS SCALE: 3/8" = 1'-0"



1 EXTERIOR STOREFRONT ELEVATIONS SCALE: 3/8" = 1'-0"



3 INTERIOR STOREFRONT ELEVATIONS SCALE: 3/8" = 1'-0"

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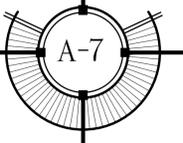
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REVISIONS

DRAWN BY  
 EMA EVK

PROJECT NUMBER  
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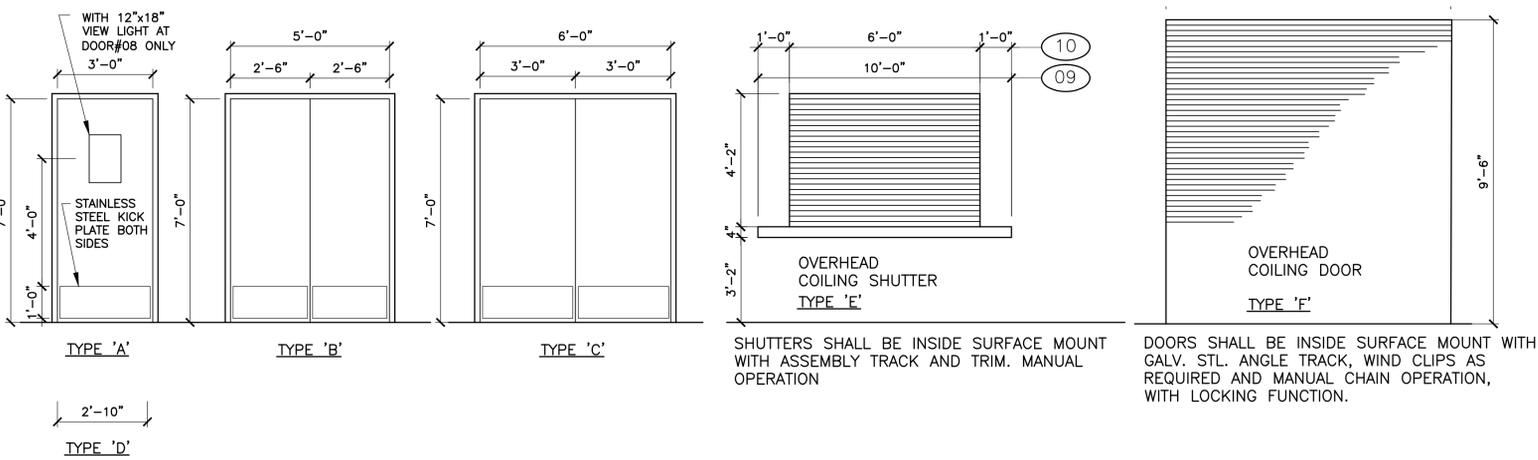


# DOOR SCHEDULE

NO.	DESCRIPTION	SIZE			DOOR			FRAME			HARDWARE	LABEL	N.O.A. TEST LOAD	REMARKS
		WIDTH	HEIGHT	THICK	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HARDWARE				
02	JAN.	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	3			INTERIOR DOOR	
03	VESTIBULE MEN	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	5-8		#12-0921.12 (+/-90)		
06	WOMEN	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	5-8		#12-0921.12 (+/-90)		
07	STORAGE	2'-6" PAIR	7'-0"	1 3/4"	GALV. METAL	PAINT	B	GALV. METAL	PAINT	1		#12-0921.12 (+/-90)		
08	CONCESSION	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	1		#12-0921.12 (+/-90)	W/CLOSURE & HOLD OPEN	
09	CONCESSION	6'-0"	7'-2"	1 3/4"	GALV. METAL	PAINT	E	GALV. METAL	PAINT	BY MANUF.W/LOCK		#12-0224.01 (+/-120)	OVERHEAD COILING SHUTTER W/ REMOVABLE STORM BARS	
10	CONCESSION	10'-0"	7'-2"	1 3/4"	GALV. METAL	PAINT	E	GALV. METAL	PAINT	BY MANUF.W/LOCK		#12-0224.01 (+/-120)	OVERHEAD COILING SHUTTER W/ REMOVABLE STORM BARS	
22	EQUIP.	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	2	45 MIN.-C		CLOSURE	
23	GIRLS	3'-0"	7'-0"	1 3/4"	WOOD	STAIN	A	GALV. METAL	PAINT	5-A				
25	BOYS	3'-0"	7'-0"	1 3/4"	WOOD	STAIN	A	GALV. METAL	PAINT	5-A				
26	JAN./STORAGE	3'-0"	7'-0"	1 3/4"	WOOD	STAIN	A	GALV. METAL	PAINT	3				
27	STORAGE 210	2'-6" PAIR	7'-0"	1 3/4"	WOOD	STAIN	B	GALV. METAL	PAINT	3-A				
28	STORAGE 212	2'-6" PAIR	7'-0"	1 3/4"	WOOD	STAIN	B	GALV. METAL	PAINT	3-A				
29	KITCHEN	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	2-A			CLOSURE	
30	UTILITY	3'-0"	7'-0"	1 3/4"	WOOD	STAIN	A	GALV. METAL	PAINT	3				
31	ELEC.	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	3	45 MIN.-C		CLOSURE	
32	EMPLOYEE TOILET	3'-0"	7'-0"	1 3/4"	WOOD	STAIN	A	GALV. METAL	PAINT	5				
33	KITCHEN	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	2-A			CLOSURE	
34	STORAGE 222	3'-0" PAIR	7'-0"	1 3/4"	WOOD	STAIN	C	GALV. METAL	PAINT	3-A				
35	STORAGE 223	3'-0" PAIR	7'-0"	1 3/4"	WOOD	STAIN	C	GALV. METAL	PAINT	3-A				
36	STORAGE 224	3'-0" PAIR	7'-0"	1 3/4"	WOOD	STAIN	C	GALV. METAL	PAINT	3-A				
M-1	WORK ROOM	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	1		#12-0921.12 (+/-90)		
M-2	GARAGE	9'-0"	9'-6"	1 3/4"	GALV. METAL	PAINT	F	GALV. METAL	PAINT	BY MANUFACTURER		#13-1121.06 (+/-65)	OVERHEAD COILING DOOR	
M-3	EQUIP. ROOM	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	1				
M-4	H.C. TOILET	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	5				

NOTES:  
 1. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT AND STORM PROOF AND HAVE WEATHERSTRIPPING AND INSULATION.  
 2. ALL FIRE RATED DOORS TO HAVE LABELS NOTING RATING AND HAVE CLOSURES.  
 3. ALL EXTERIOR GALV. METAL DOORS SHALL BE 16 GA. MINIMUM DOOR CONSTRUCTION AND 14 GA. MIN. FRAME CONSTRUCTION.

SEE SHEET S-8 FOR CALCULATED WIND LOADS AT OPENINGS

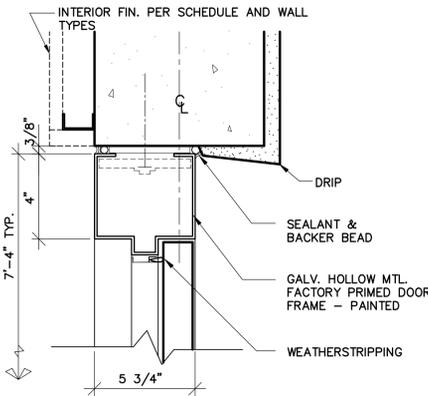


NOTES:  
 1. ALL HARDWARE SHALL BE BRUSHED STAINLESS STEEL FINISH  
 2. ALL HARDWARE TO BE HANDICAP COMPLIANT  
 3. ALL HARDWARE TO BE ANSI GRADE 1 FOR HEAVY COMMERCIAL OR BETTER.  
 4. ALL LOCKS SHALL BE AS MANUFACTURED BY BEST LOCK COMPANY AND SHALL BE KEYPED IN ACCORDANCE WITH THE OWNERS INSTRUCTIONS AND SHALL INCLUDE A MASTER AND GRAND MASTER KEYING SYSTEM. COORDINATE WITH OWNER PRIOR TO BIDDING.  
 ALL LOCKS SHALL BE INSTALLED BY THE CONTRACTOR AND INCLUDED IN THE BASE BID.

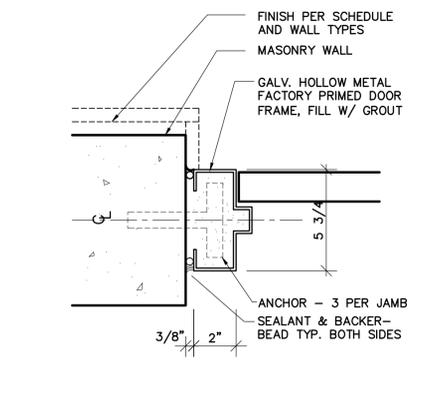
### HARDWARE SETS

SET NO. 1-ENTRY	SET NO. 2-A SAME WITH CLOSURE	SET NO. 4 PASSAGE	SET NO. 5-A SAME WITH
1 1/2 PAIR BUTTS 4 1/2"	SET NO. 3 STORAGE	1 1/2" PAIR BUTTS 4 1/2"	NO PRIVACY LOCK
1 ENTRY LOCK-MORTISE-FREE INSIDE OPERATION	1 1/2 PAIR BUTTS 4 1/2"	1 LATCHSET - MORTISE LEVER (H.C.)	PUSH PLATE AND PULL HANDLE
1 SET WEATHER STRIPPING	1 LATCHSET-MORTISE LEVER (H.C.)	1 WALL STOP	
1 DEADBOLT LOCK W/ THUMB TURN	1 DEAD BOLT LOCK	2 KICKPLATES	
3 SILENCERS	3 SILENCERS	3 SILENCERS	
THRESHOLD	2 KICKPLATES	1 CLOSER CONCEALED	
WALL STOP	SET NO. 2 TYPICAL-OFFICE	SET NO. 5 TOILETS-H.C.	
2 KICK PLATES	1 1/2 PAIR BUTTS 4 1/2"	1 1/2 PAIR BUTTS 4 1/2"	
	OFFICE LOCK MORTISE LEVER-H.C.	PRIVACY LOCK MORTISE LEVER-H.C.	
	1 WALL STOP	1 WALL STOP WITH HOLDER	
	3 SILENCERS	3 SILENCERS	
	2 KICKPLATES	1 CLOSER	
	SET NO. 3-A SAME WITH	SET NO. 5-B SAME WITH	
	3 PAIR BUTTS, DROP BOLTS	NO PRIVACY LOCK	
	● INACTIVE LEAF AND NO CLOSER	1 DEAD BOLT-KEY OPERATION, EXTERIOR SIDE ONLY	
		PUSH PLATE AND PULL HANDLE	

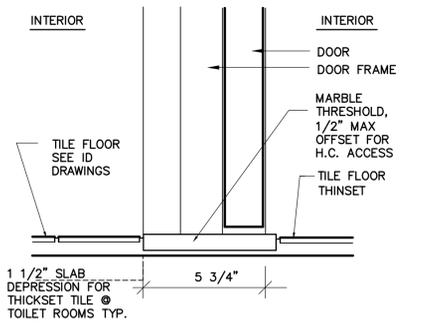
### DOOR ELEVATIONS



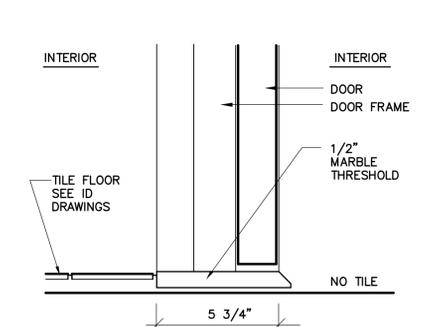
1 HEAD DETAIL  
 A-7.1 EXT. DOOR FRAME-METAL 3"=1'-0"



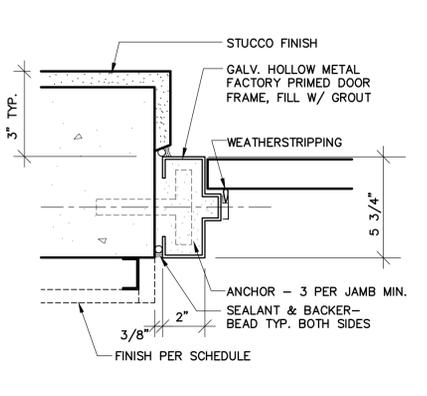
3 JAMB DETAIL HEAD SIMILAR  
 A-7.1 INTERIOR DOOR FRAME-METAL AT CMU CONSTRUCTION 3"=1'-0"



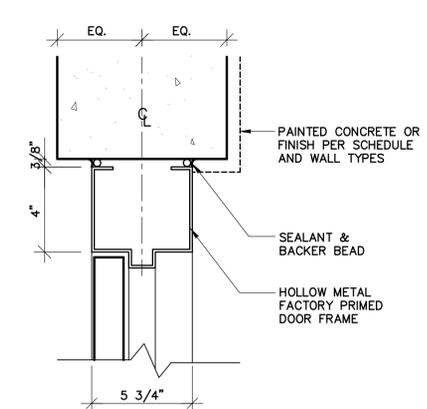
5 THRESHOLD DETAIL  
 A-7.1 MARBLE 3"=1'-0"



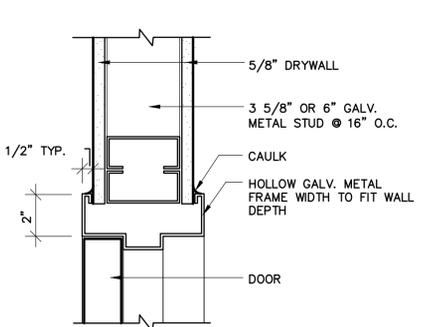
7 THRESHOLD DETAIL  
 A-7.1 3"=1'-0"



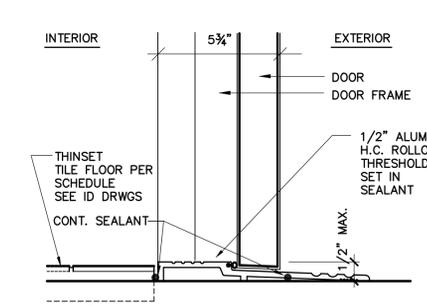
2 JAMB DETAIL HEAD SIMILAR  
 A-7.1 EXT. DOOR FRAME-METAL 3"=1'-0"



4 HEAD DETAIL  
 A-7.1 INTERIOR DOOR FRAME-METAL AT CMU CONSTRUCTION 3"=1'-0"



6 JAMB DETAIL HEAD SIMILAR  
 A-7.1 HEAD DETAIL AT METAL FRAME PARTITIONS SIMILAR 3"=1'-0"



8 THRESHOLD DETAIL  
 A-7.1 FOR USE @ EXTERIOR DOORS WITH WEATHER STRIPPING, @ FIRE RATED DOORS AND AS PER SCHEDULE 3"=1'-0"

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LANDWISE  
 DESIGN

MITCHELL PLANNING & DESIGN

INNOVATIVE ENGINEERING  
 GROUP INC.

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DATE  
 12-31-14 DD.  
 06-01-15 CD'S  
 06-19-15 BLDG. DEPT.  
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REVISIONS

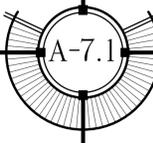
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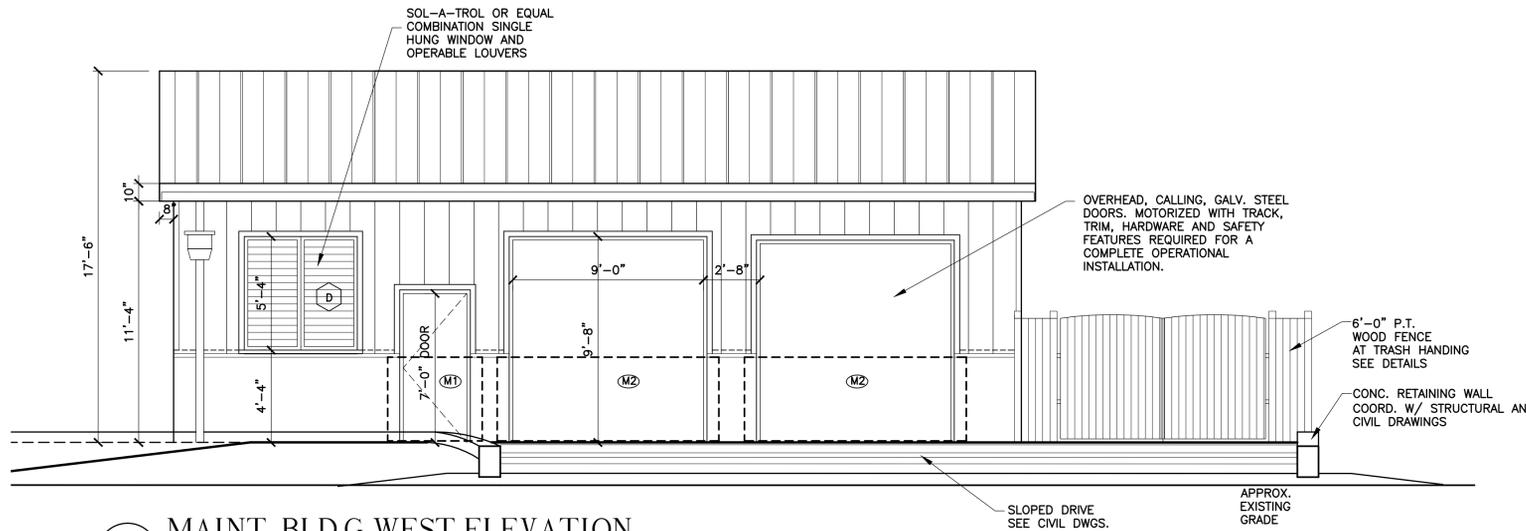
BERNSTEIN PARK  
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 MONROE COUNTY, FL.

SCALE: 3/8" = 1'-0"

A-7.1

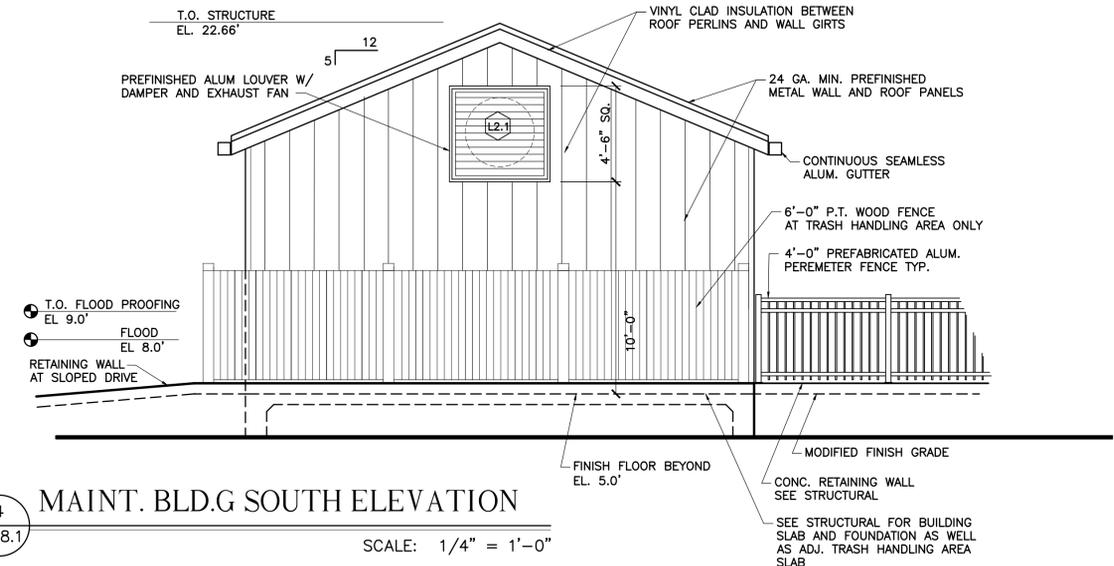






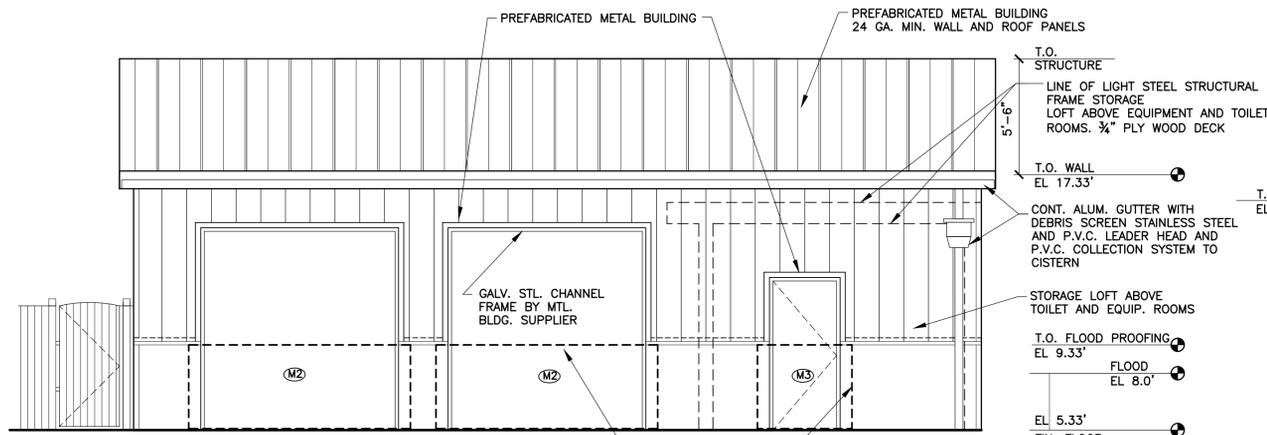
1 MAINT. BLD.G WEST ELEVATION

A-8.1 SCALE: 1/4" = 1'-0"



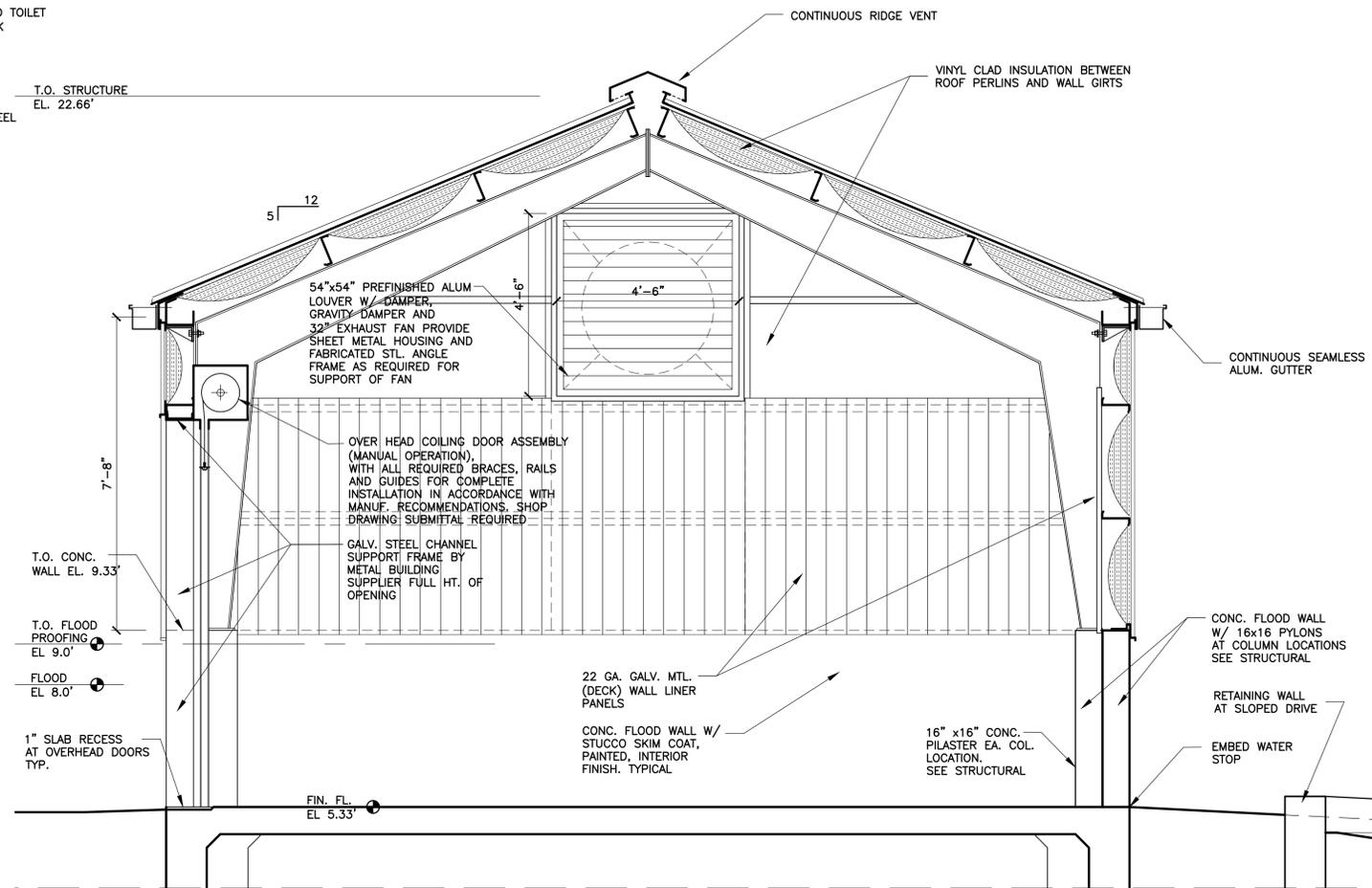
4 MAINT. BLD.G SOUTH ELEVATION

A-8.1 SCALE: 1/4" = 1'-0"



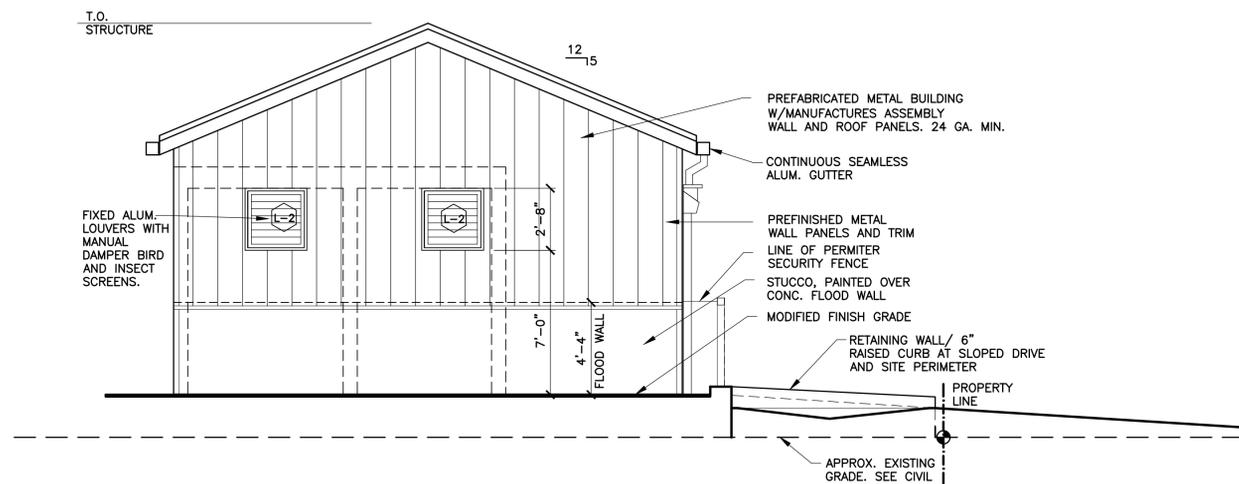
2 MAINT. BLD.G EAST ELEVATION

A-8.1 SCALE: 1/4" = 1'-0"



5 MAINT. BLD.G CROSS SECTION

A-8.1 SCALE: 1/2" = 1'-0"



3 MAINT. BLD.G NORTH ELEVATION

A-8.1 SCALE: 1/4" = 1'-0"





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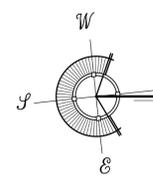
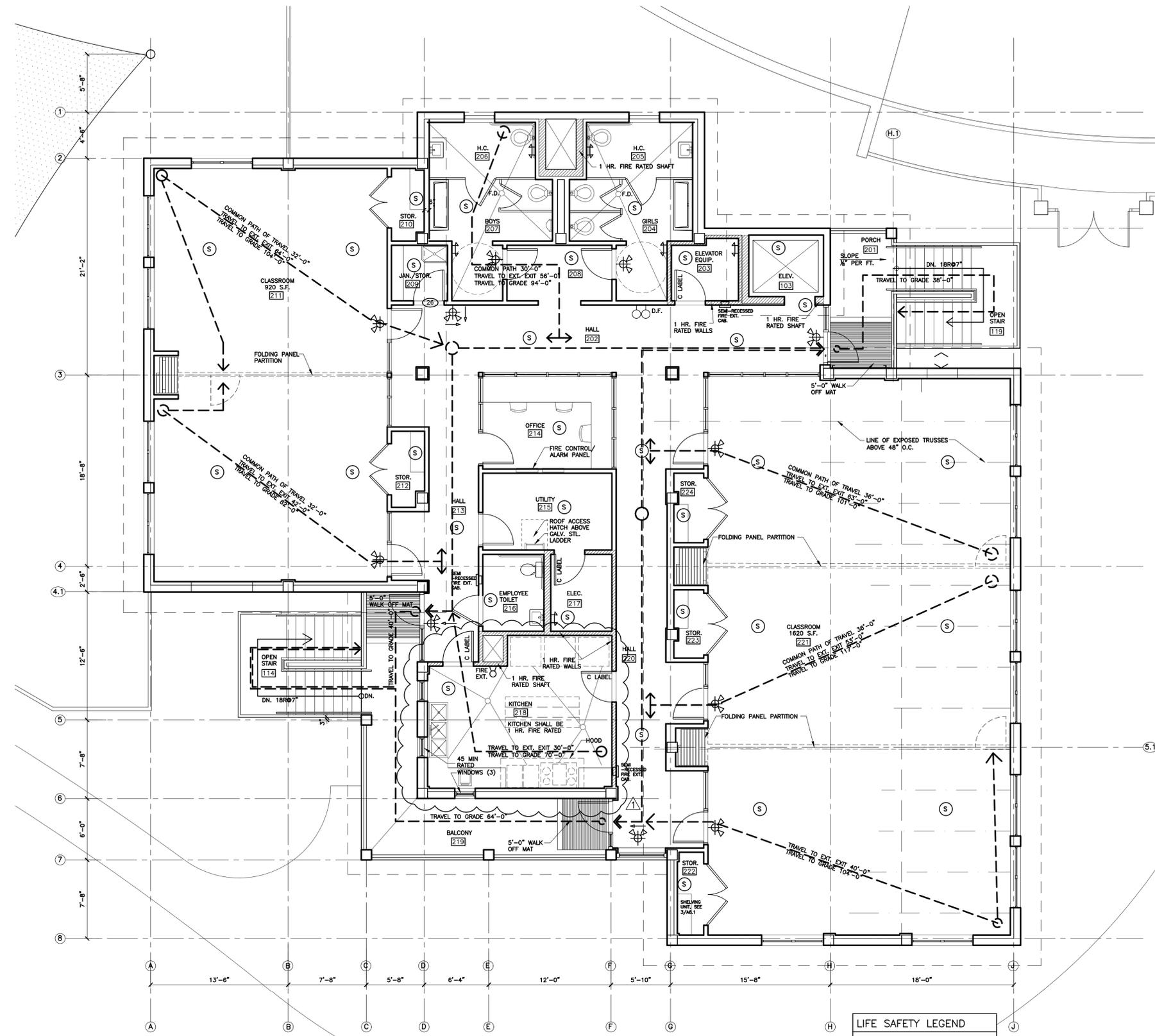
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BUILDING CODE ANALYSIS			
OCCUPANCY CLASSIFICATIONS:		MAIN BUILDING (COMMUNITY CENTER) A-3 MAINTENANCE BUILDING, (DETACHED) S-2	
OCCUPANCY SEPARATIONS:		NONE REQUIRED	
TYPE OF CONSTRUCTION:		TYPE 5-B, UNPROTECTED, SPRINKLERED	
BUILDING HEIGHT:		CODE MAX. 40'-0"	ZONING MAX. 35'-0" PROPOSED. 34'-6"
BUILDING AREA:	MAIN BUILDING ENCLOSED ASSEMBLY, SPRINKLERED	12,000 S.F.	6,651 S.F.
	MAINTENANCE BUILDING ENCLOSED STORAGE, NOT SPRINKLERED	9,000 S.F.	960 S.F.
NUMBER OF STORIES:	CODE MAX.	PROPOSED	
	MAIN BUILDING	2 STORIES	2 STORIES
DESIGN CRITERIA:	MAINTENANCE BUILDING	1 STORY	1 STORY
	THE FLORIDA BUILDING CODE 2010 EDITION, AS AMENDED BY GOVERNING LOCAL ORDINANCES AND REQUIREMENTS OF THE STATE OF FLORIDA "COASTAL ZONE PROTECTION ACT", TOGETHER WITH APPLICABLE REQUIREMENTS OF GOVERNING PUBLIC AGENCIES AND THE FOLLOWING LISTED CODES SHALL APPLY TO THIS PROJECT. NATIONAL ELECTRIC CODE, 2008 EDITION FLORIDA PLUMBING CODE, 2010 EDITION FLORIDA MECHANICAL CODE, 2010 EDITION FLORIDA FUEL GAS CODE, 2010 EDITION. WIND LOADING SHALL BE BASED ON ASCE 7-10 180 MPH EXPOSURE "D" WIND LOADING. THE ENTIRE BUILDING SHALL HAVE A FULL FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM IN ACCORDANCE WITH THE FLORIDA FIRE PROTECTION CODE, NFPA 13 AND OTHER APPLICABLE CODES. CONTRACTOR TO PROVIDE COMPLETE SHOP DRAWINGS OF SYSTEM FOR REVIEW AND APPROVAL PREPARED BY A LICENCED FIRE SPRINKLER CONTRACTOR. (SIGNED AND SEALED BY A LICENCED FLORIDA ENGINEER)		

TRAVEL DISTANCES:  
COMMON PATH: ASSEMBLY SPACES WITH LESS THAN 50 OCCUPANTS SHALL HAVE A MAX. OF 75'-0" OF COMMON PATH TRAVEL WITHIN A FULLY SPRINKLERED BUILDING SECTION 1014.3  
TRAVEL DISTANCE TO AN EXIT SHALL NOT EXCEED 250'-0" WITHIN A FULLY SPRINKLERED BUILDING FOR AN ASSEMBLY (A-3) OCCUPANCY. TABLE 1016.1

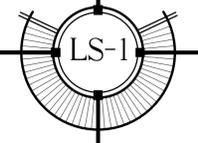


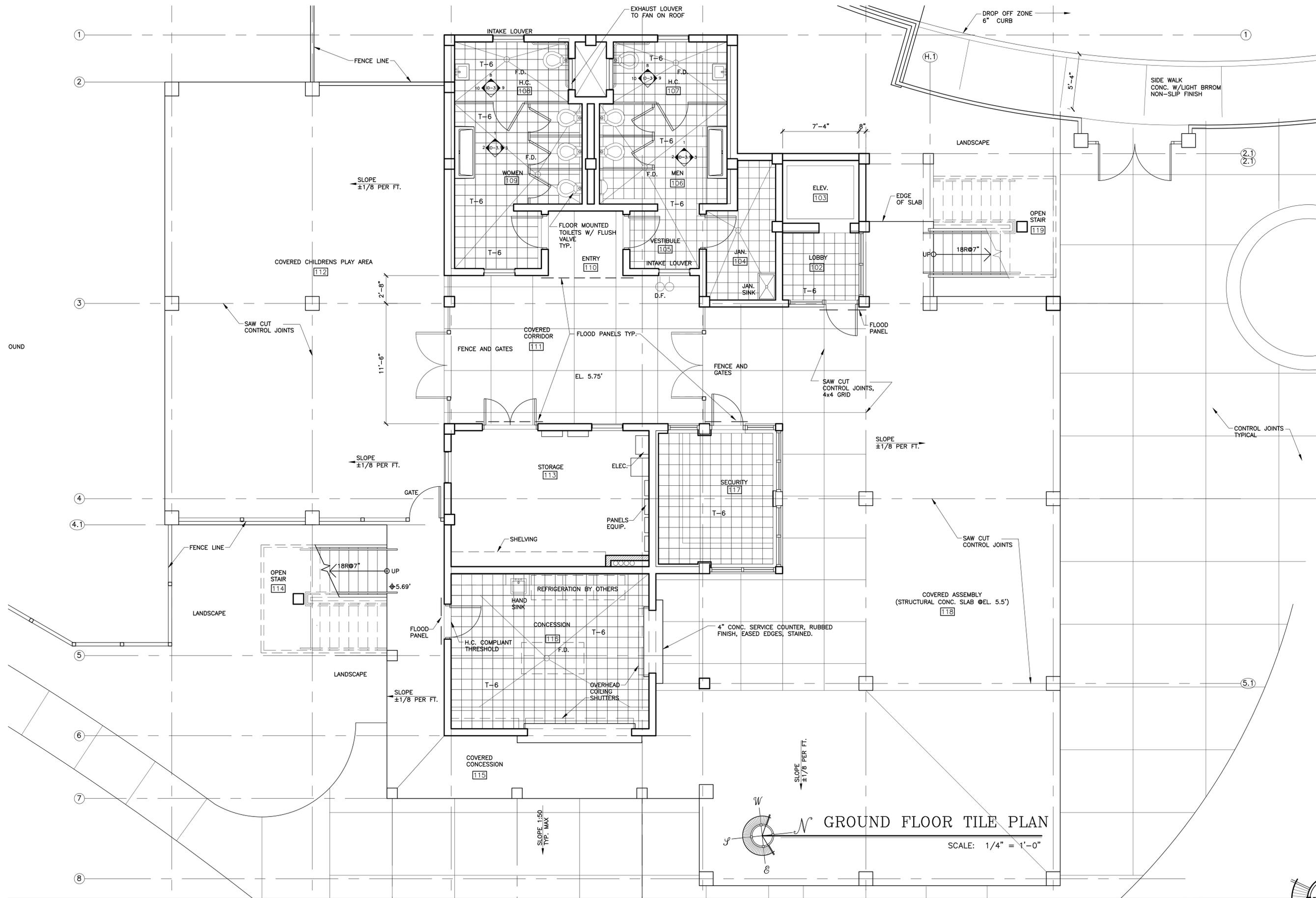
1ST FLOOR LIFE SAFETY PLAN

SCALE: 3/16" = 1'-0"

LIFE SAFETY LEGEND	
	EMERGENCY LIGHT
	COMBO EXIT LIGHT AND EMERGENCY LIGHT
	SMOKE DETECTOR

NOTE: COORDINATE WITH ELECTRICAL LIGHTING PLAN FOR FINAL EXIT/EMERGENCY LIGHTS LOCATION





BERNSTEIN PARK  
 STOCK ISLAND  
 MONROE COUNTY, FL.

GROUND FLOOR TILE PLAN  
 SCALE: 1/4" = 1'-0"

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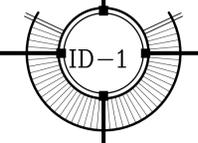
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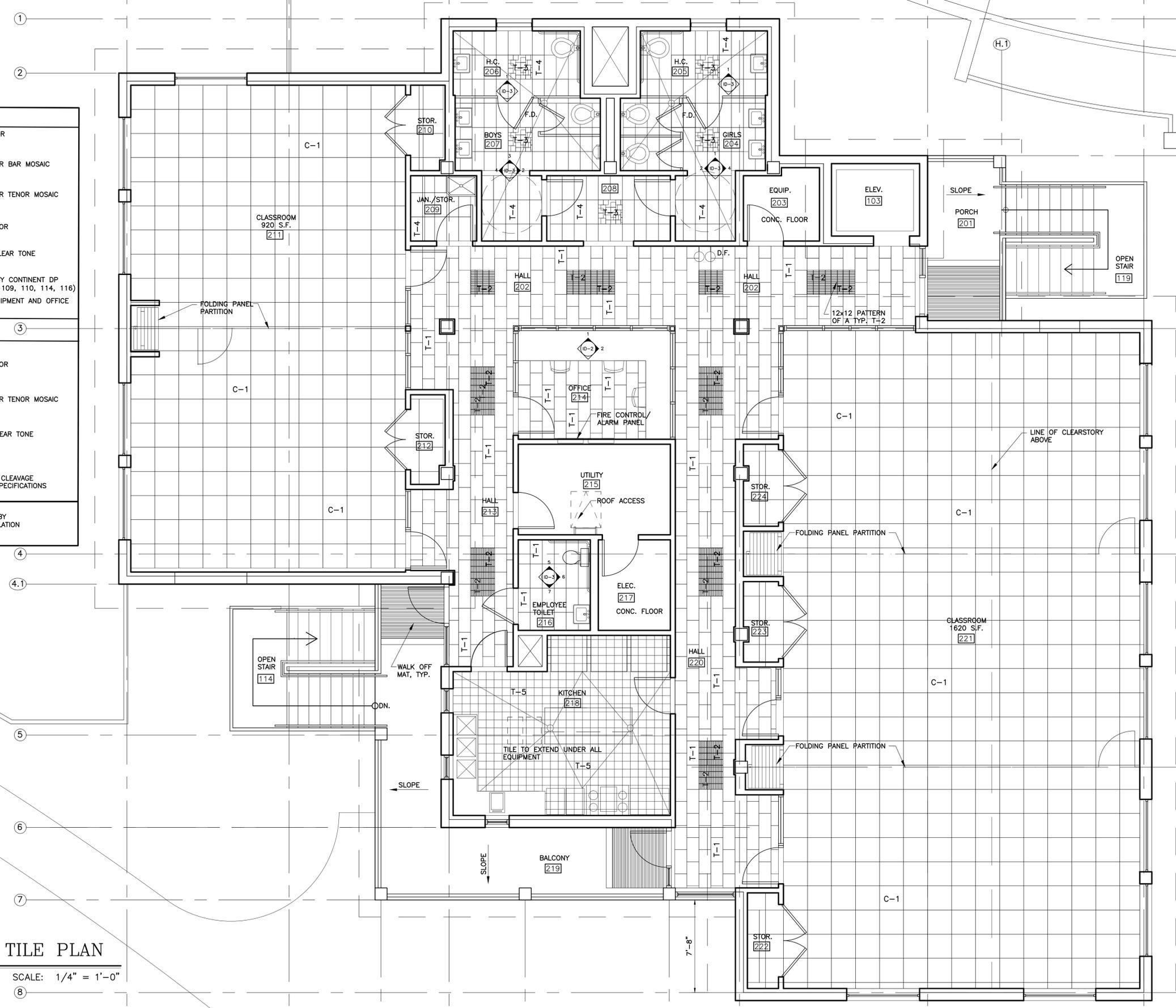
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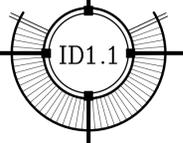
PROJECT  
NUMBER  
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FLOOR TILE	
T-1	12"x24" FLORIDA TILE OR EQ., STONE CHAMBER COLOR BY RHYME COLLECTION. V1 UNIFORM APPEARANCE (202, 213, 214, 218, 220)
T-2	12"x12" FLORIDA TILE OR EQ., STONE CHAMBER COLOR BAR MOSAIC BY RHYME COLLECTION. V1 UNIFORM APPEARANCE (202, 213, 220)
T-3	12"x12" FLORIDA TILE OR EQ., STONE CHAMBER COLOR TENOR MOSAIC BY RHYME COLLECTION. V1 UNIFORM APPEARANCE (204, 205, 206, 207, 208)
T-4	12"x24" FLORIDA TILE OR EQ., DESERT HARMONY COLOR BY RHYME COLLECTION. V1 UNIFORM APPEARANCE (204, 205, 206, 207, 208, 209, 216)
T-5	8"x8" FLORIDA TILE OR EQ., PURITAN GRAY COLOR CLEAR TONE BY METROPOLITAN QUARRY COLLECTION W/ STANDARD QUARRY TILE BASE. (218)
T-6	12"x12" FLORIDA TILE OR EQ., SIERRA CLAY COLOR BY CONTINENT DP COLLECTION. (101, 102, 104, 105, 106, 107, 108, 109, 110, 114, 116)
NOTE: TILE IN ROOMS 214 AND 218 TO EXTEND UNDER EQUIPMENT AND OFFICE COUNTERS	
WALL TILE	
T-4	12"x24" FLORIDA TILE OR EQ., DESERT HARMONY COLOR BY RHYME COLLECTION. V1 UNIFORM APPEARANCE (204, 205, 206, 207)
T-3	12"x12" FLORIDA TILE OR EQ., STONE CHAMBER COLOR TENOR MOSAIC BY RHYME COLLECTION. V1 UNIFORM APPEARANCE (204, 207, 216)
T-5	8"x8" FLORIDA TILE OR EQ., PURITAN GRAY COLOR CLEAR TONE BY METROPOLITAN QUARRY COLLECTION. (218)
NOTE: FLOOR TILE SHALL BE INSTALLED WITH AN UNCOUPLING OR CLEAVAGE MEMBRANE TO REDUCE THE POSSIBILITY OF CRACKS. SEE SPECIFICATIONS	
C-1	24"x24" PATCRAFT OR EQ., DESERT SHADE 00250 COLOR BY ENVERSE MODULAR 10341 COLLECTION. MONOLITHIC INSTALLATION



**FIRST FLOOR TILE PLAN**  
 SCALE: 1/4" = 1'-0"  
 ⑧

BERNSTEIN PARK  
STOCK ISLAND  
MONROE COUNTY, FL.



# FINISH SCHEDULE

	ROOM NAME	FLOOR	BASE		WALLS		CEILING		REMARKS
			CERAMIC TILE	CONC. SEALER	CERAMIC TILE	WOOD	2x2 ACoustical TILE	WATER RESISTANT 2x2 EXPOSED, PAINTED STRUCT.	
GROUND FLOOR	102	ENTRY LOBBY							CERAMIC TILE @ GROUND FLOOR TOILET ROOMS, ON METAL FRAME WALL CONST. SHALL BE MOUNTED OVER 5/8" FIBER-CEMENTITIOUS BD. IN LIEU OF MOISTURE RESISTANT GYP. BD. USED ELSEWHERE IN WET LOCATIONS. PROVIDE 1 1/2" SLAB DEPRESSION FOR
	103	ELEVATOR							ELEV. SHAFT INT. TO BE SEALED AND PAINTED
	104	JAN.							
	105	VESTIBULE							
	106	MEN							
	107	H.C.#1							
	108	H.C.#2							
	109	WOMEN							
	110	ENTRY							
	111	COVERED CORRIDOR							
	112	COVERED CHILDREN PLAY AREA							
	113	STORAGE							
	114	OPEN STAIR#1							
	115	COVERED CONCESSION							
	116	CONCESSION							
	117	SECURITY							
	118	COVERED ASSEMBLY							
	119	OPEN STAIR#2							
	FIRST FLOOR	201	PORCH						
202		HALL							
203		EQUIP.							
204		GIRLS							
205		H.C.#1							
206		H.C.#2							
207		BOYS							
208		VESTIBULE							
209		JAN./STOR.							
210		STORAGE							
211		CLASSROOM							VAULTED CLG. W/ PAINTED TRUSSES OR BAR JOISTS AND PREFINISHED (COLOR TO BE SELECTED) ACoustical METL. DECK
212		STORAGE							
213		HALL							
214		OFFICE							
215		UTILITY							
MAIN BLDG	M-101	MAINTENANCE SHED							CONC. FLOOD WALL W/ SKIM COAT & PAINT
	M-102	H.C. TOILET							
	M-103	EQUIP. ROOM							

**NOTE:** CERAMIC TILE IN SHOWER (M-102) SHALL BE MOUNTED OVER 5/8" FIBER-CEMENTITIOUS BD. IN LIEU OF 5/8" M.R. GYP. BD. ALL CERAMIC TILE MUST MEET INDUSTRY STANDARDS FOR C.O.F. Wet 0.60 and 0.80 Dry. ALL METAL FRAMING AND FURRING SHALL BE GALVANIZED AND SHALL BE PLACED AT 16" O.C. STUDS SHALL BE 20 GAUGE

ALL GROUND FLOOR EXPOSED EXTERIOR CONC. AND CMU SURFACES SHALL BE FINISHED AS FOLLOWS: CEILING - SKIM COAT STUCCO PAINTED COLS AND PERIMETERS BEAMS - 3/4" STUCCO, PAINTED FLOOD WALLS AND UNIT MASONRY - 3/4" STUCCO PAINTED.

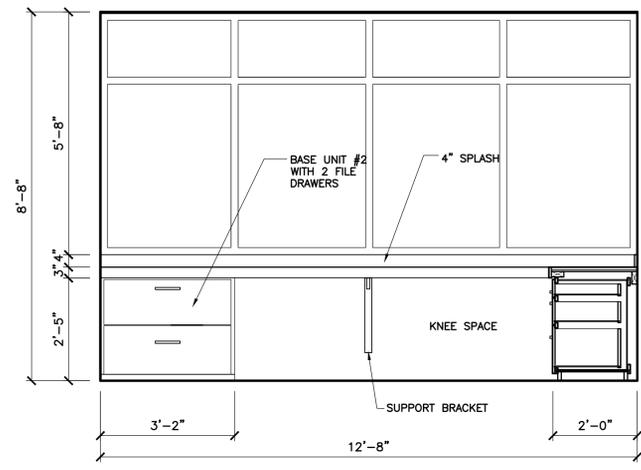
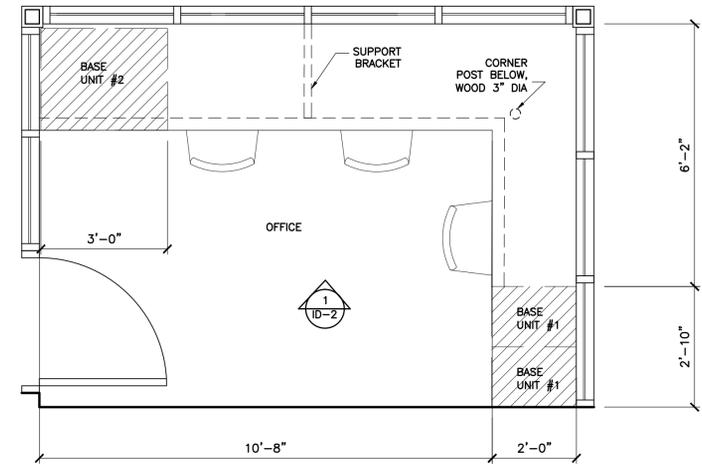
**LOW EMITTING MATERIALS** SEE FGBC REFERENCE GUIDE BOUND IN THE SPECIFICATIONS

ALL ADHESIVES, SEALANTS AND COATINGS USED IN THE PROJECT SHALL BE LOW VOC AND MEET THE LIMITS BELOW ESTABLISHED BY THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE #1168 AND ALL SEALANTS USED AS FILLERS MUST MEET THE REQUIREMENTS OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 8, RULE 51.

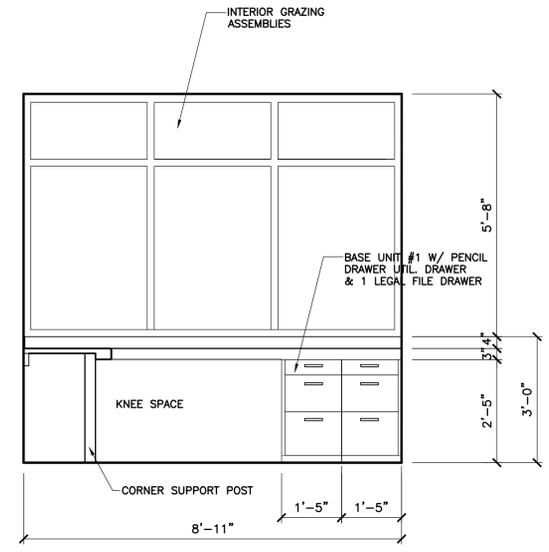
VOLATILE ORGANIC COMPOUND (VOC) LIMITS (GRAMS PER LITER) LESS WATER AND LESS EXEMPT COMPOUNDS

<b>ADHESIVES AND SEALANTS</b>		<b>PAINT AND COATINGS</b>
Indoor Carpet Adhesives	50	Interior Coating
Carpet Pad Adhesives	50	Non-Flat = 150 g/L
Outdoor Carpet Adhesives	150	Flat = 50 g/L
Wood Flooring Adhesive	100	
Rubber Floor Adhesives	60	Exterior Coating
Subfloor Adhesives	50	Non-Flat = 200 g/L
Ceramic Tile Adhesives	65	Flat = 100 g/L
VCT and Asphalt Tile Adhesives	50	
Dry Wall and Panel Adhesives	50	
Cove Base Adhesives	50	
Multipurpose Construction Adhesives	70	
Structural Glazing Adhesives	100	
Single Ply Roof Membrane Adhesives	250	

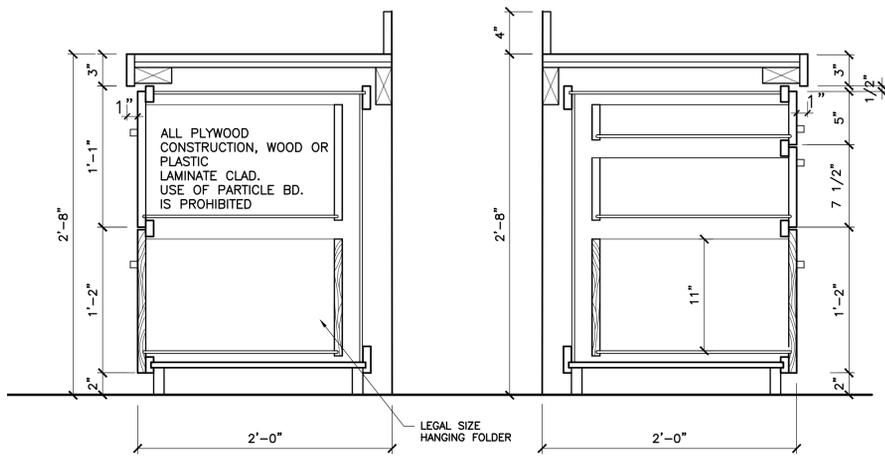
CONTRACTOR SHALL MAINTAIN AND MAKE AVAILABLE MATERIAL SAFETY DATA SHEETS OR ACCEPTABLE DOCUMENTATION HIGHLIGHTING THE STATED VOC EMISSIONS FOR EACH ADHESIVE, SEALANT, PAINT AND COATING USED IN THE BUILDING.



1 OFFICE ROOM-214  
SCALE: 1/2" = 1'-0"

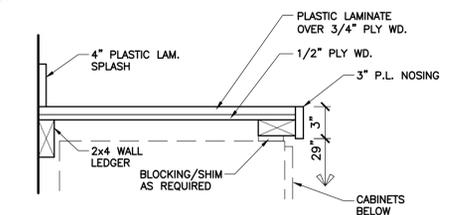


2 OFFICE ROOM-214  
SCALE: 1/2" = 1'-0"



3 SECTION @ BASE UNIT #2  
SCALE: 1 1/2" = 1'-0"

4 SECTION @ BASE UNIT #1  
SCALE: 1 1/2" = 1'-0"



**CABINETRY NOTE:**

ALL CABINET CONSTRUCTION TO COMPLY W/AMI SECTION 400 AND ITS DIVISION 400B "LAMINATE CLAD CABINETS." GRADE: LABORATORY. ALL CONSTRUCTION IS TO BE PLYWD. USE OF PARTICLE BD. IS PROHIBITED.

PROVIDE MANUFACTURERS CUT SHEETS FOR EACH COMPOSITE PRODUCT USED INDICATING THAT THE BONDING AGENT CONTAINS NO ADDED UREA-FORMALDEHYDE. THIS SHALL APPLY TO ALL WOOD PRODUCTS USED IN THE PROJECT INCLUDING PLY WOOD SHELVING, COUNTERS AND LUMBER THAT HAS BEEN TREATED AND DECKING.

P.L. SHALL BE AS FOLLOWS: HORIZ. SURFACES GP50 (0.050") VERT. SURFACES AND EDGES GP 28 (0.028")

SEMIEXPOSED SURFACES INCLUDING CABINET INTERIOR AND SHELVING GP 28 (0.028")

HARDWARE SHALL COMPLY W/ANSI/BHMA A156.9. HARDWARE SHALL BE STAINLESS STEEL, INCLUDING BALL BEARINGS DRAWER HARDWARE. ALL CONCEALED HINGES SHALL CARRY A 5 YEAR PULLOUT WARRANTY. EXPOSED HANDLES SHALL BE POLISHED CHROME PULLS. BY JAKO (SPLASH JAKO 5/8"x7-9/16" OR EQUAL

PROVIDE FULL SHOP DRAWING SUBMITTAL OF CABINETRY INCLUDING INSTALLATION DTLS. AND CLEARANCES FOR APPLIANCES. TILE FLOOR FIN. SHALL EXTEND UNDER ALL APPLIANCES AND BUILT-INS. (WALL TO WALL).

5 SECTION @ COUNTERTOP  
SCALE: NFS

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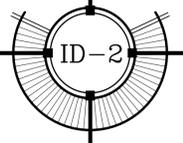
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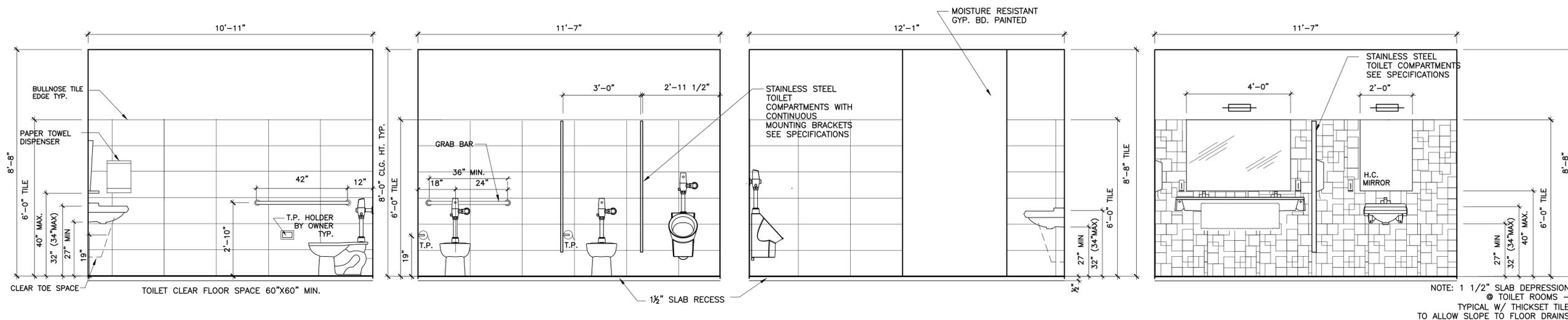
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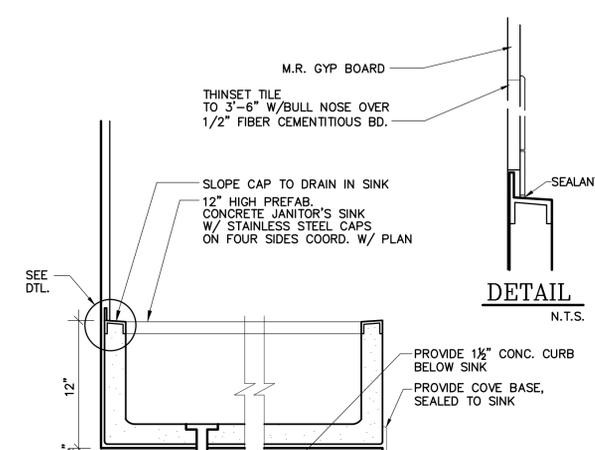
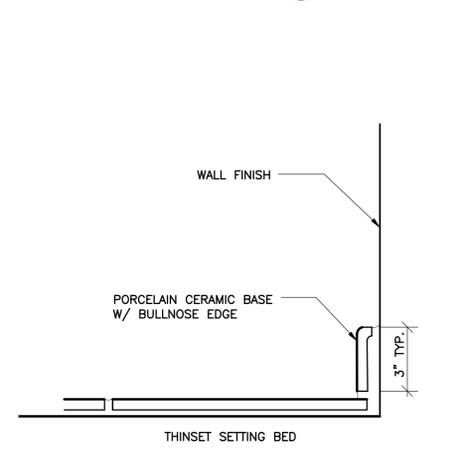
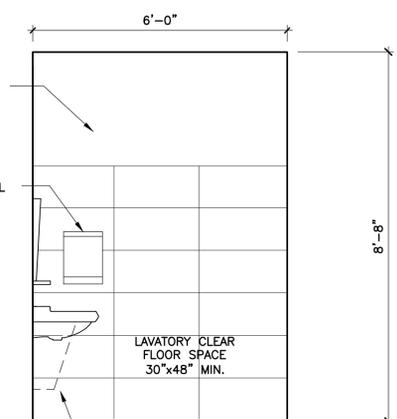
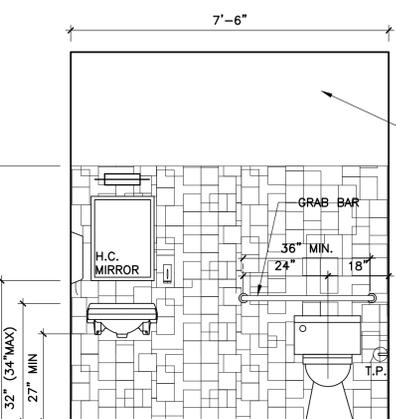
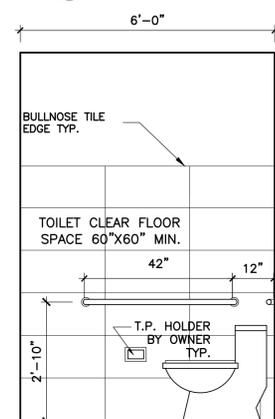
1 H.C. TOILET - ROOM 206  
205 OPPOSITE HAND SCALE: 1/2" = 1'-0"

2 H.C. AND BOYS TOILETS - ROOM 206, 207  
SCALE: 1/2" = 1'-0"

3 BOYS TOILETS - ROOM 207  
204, 205 OPPOSITE HAND SCALE: 1/2" = 1'-0"

4 H.C. AND BOYS TOILET - ROOM 206, 207  
204, 205 OPPOSITE HAND SCALE: 1/2" = 1'-0"

NOTE: 1 1/2" SLAB DEPRESSION @ TOILET ROOMS - TYPICAL W/ THICKSET TILE TO ALLOW SLOPE TO FLOOR DRAINS



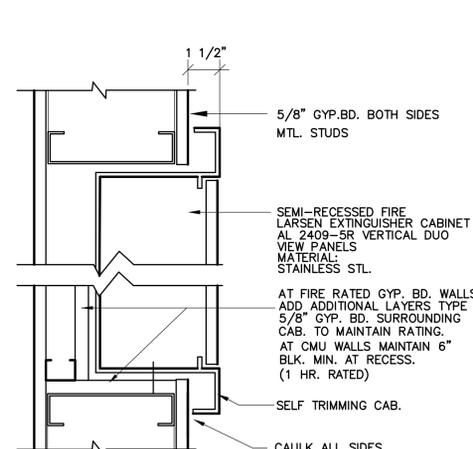
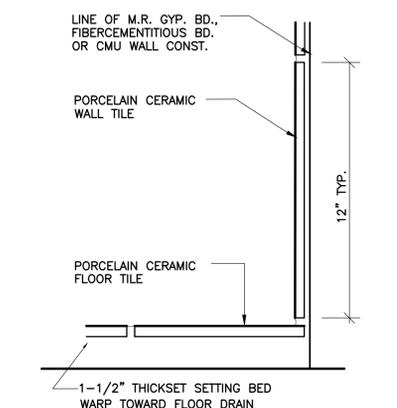
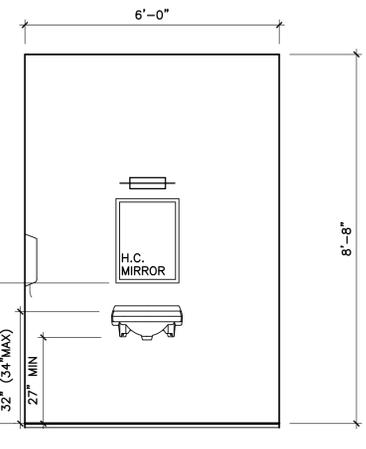
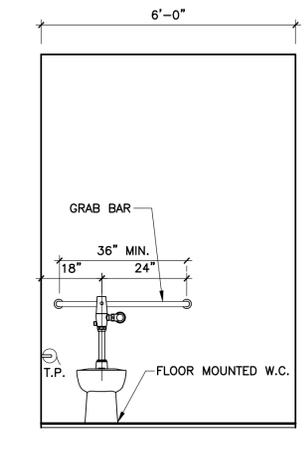
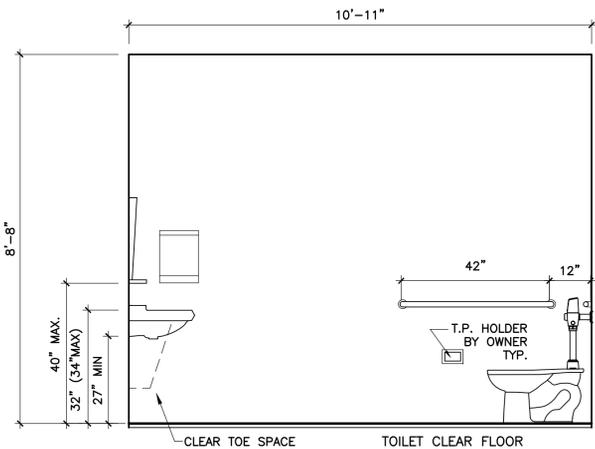
5 EMPLOYEE TOILET - ROOM 216  
SCALE: 1/2" = 1'-0"

6 EMPLOYEE TOILET - ROOM 216  
SCALE: 1/2" = 1'-0"

7 EMPLOYEE TOILET - ROOM 216;  
SCALE: 1/2" = 1'-0"

11-A TILE BASE-THINSET- B-1  
ROOM: 102, 103, 104, 116, 117, 202, 203, 209, 210, 213, 220  
3'=1'-0"

12 UTILITY SINK  
@ JANITOR ROOMS 1 1/2"=1'-0"



8 H.C. TOILET - ROOM 109  
108 OPPOSITE HAND SCALE: 1/2" = 1'-0"

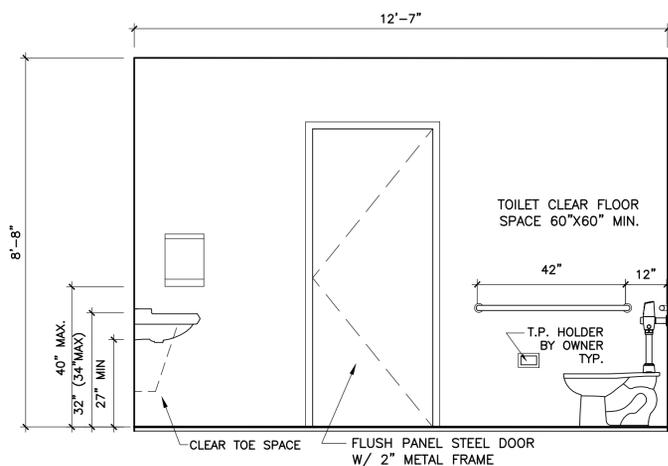
9 H.C. TOILET - ROOM 109  
108 OPPOSITE HAND SCALE: 1/2" = 1'-0"

10 H.C. TOILET - ROOM 109  
108 OPPOSITE HAND SCALE: 1/2" = 1'-0"

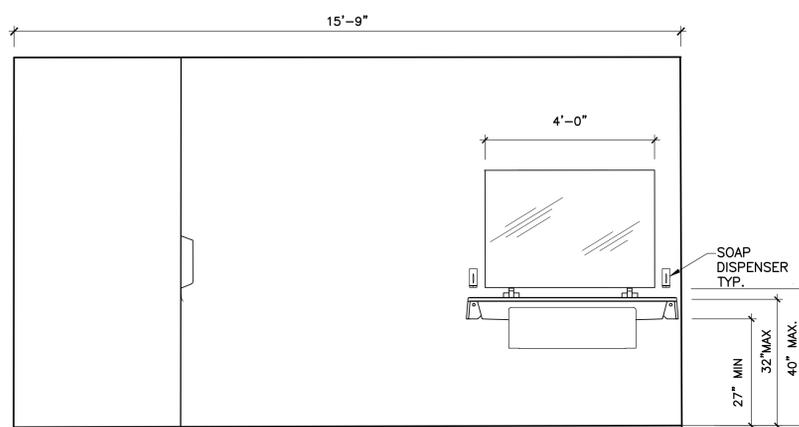
11 WALL BASE DETAIL -THICKSET-B-2  
ROOMS: 106, 107, 109, 108, 110, 204, 205, 206, 207, 216  
3'=1'-0"

13 FIRE EXT. CABINET  
3'=1'-0"

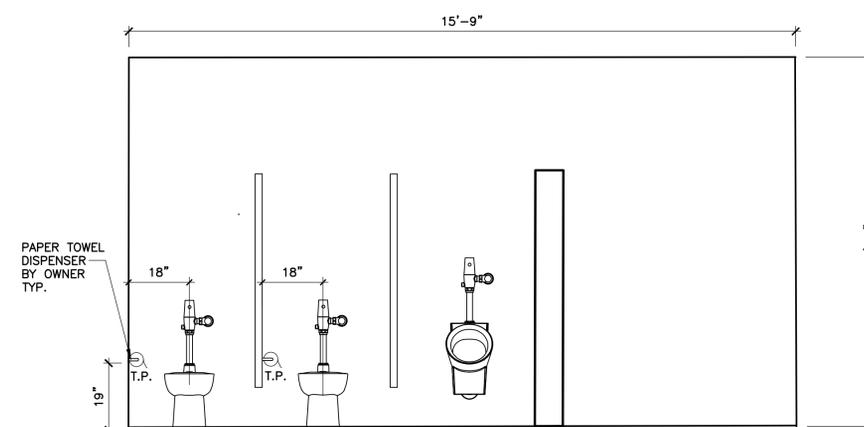
NOTES:  
1. TOILET RMS. 107, 108, 109, 110, 206, 207, 216 ARE PROVIDED WITH A 1-1/2" SLAB DEPRESSION TO ALLOW THICKSET FLOOR TILE TO SLOPE TO FLOOR DRAINS.



1 WOMEN TOILET - ROOM 110  
ID-3.1 OPPOSITE HAND ROOM-107 SCALE: 1/2" = 1'-0"

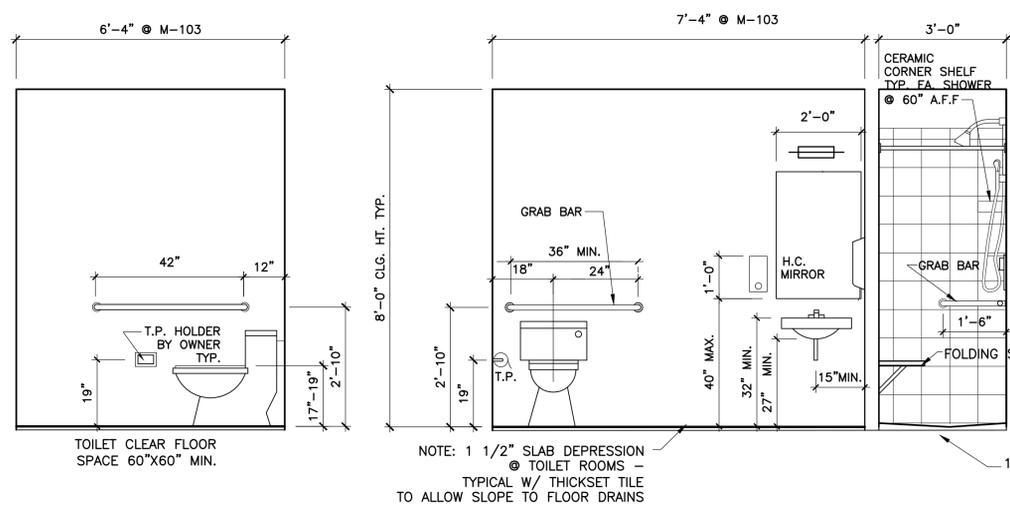


2 WOMEN TOILET - ROOM 110  
ID-3.2 OPPOSITE HAND ROOM-107 SCALE: 1/2" = 1'-0"



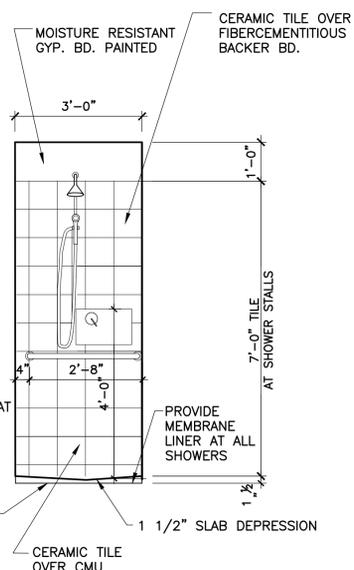
3 MEN TOILET - ROOM 107  
ID-3.3 SCALE: 1/2" = 1'-0"

NOTE: PROVIDE TILES IN BATHROOM MAINTENANCE BUILDING AS FLOOR: 8"x8" FLORIDA TILE OR EQ. PURITAN GRAY COLOR, BY METROPOLITAN QUARRY. V1 UNIFORM APPEARANCE. WALL: PROVIDE EPOXY PAINT SHOWER WALL: 8"x8" FLORIDA TILE OR EQ. PURITAN GRAY COLOR, BY METROPOLITAN QUARRY.



4 H.C. TOILET - ROOM M-103  
ID-3.4 SCALE: 1/2" = 1'-0"

5 H.C. TOILET - ROOM M-103  
ID-3.5 SCALE: 1/2" = 1'-0"



6 H.C. SHOWER - ROOM M-103  
ID-3.6 REAR WALL SCALE: 1/2" = 1'-0"