

HPC

Monroe County Historic Preservation Commission AGENDA

Monday January 9, 2017 2:00 pm

Tavernier Fire House, 151 Marine Ave., Tavernier



Call to Order.

Roll Call.

Adoption of Minutes from the December 5, 2016 meeting.

Changes to the Agenda.

Applications for Special Certificate of Appropriateness:

1. MANGROVE REVOCABLE TRUST is proposing to install a new 10K Neptune elevator boat lift at 180 Sunrise Drive, within the Tavernier Historic District, Key Largo, Monroe County, Florida having real estate number: 00506150-000000 and legally described as:

Parcel 1:

Lots 27 through 31, inclusive, of Tavernier Cove, a subdivision, according to the plat thereof, recorded in Plat Book 1, Page 103, of the Public Records of Monroe County, Florida, together with the riparian and littoral rights appurtenant thereto, if any;

ALSO

That certain strip of land 10 x 25 feet marked "Reserved" at the South end of Tarpon Street, as shown on the plat of Tavernier Cove, a subdivision, according to the plat thereof, recorded in Plat Book 1, Page 103, of the Public Records of Monroe County, Florida;

ALSO

All that part of Promenade lying East of the Easterly line of Lots 27 and 28 of Tavernier Cove and South of the Northerly line of said Lot 27, extending Easterly to the waters of the Atlantic Ocean, as shown on plat recorded in Plat Book 1, Page 103, of the Public Records of Monroe County, Florida, together with the riparian and littoral rights appurtenant thereto, if any;

ALSO

A parcel of submerged land in the Straits of Florida, in Section 34, Township 62 South, Range 38 East, Monroe County, Florida, fronting Lots 27 and 28 and a portion of former Promenade, Tavernier Cove, on Key Largo, Monroe County, Florida, more particularly described as follows: From the intersection of the Northwest corner of Lot 31 and the Southerly side of Sunrise Drive as shown on the plat of Tavernier Cove, recorded in Plat Book 1, Page 103, of the Public Records of Monroe County, Florida, run Easterly along the said Southerly side of Sunrise Drive, a distance of 318 feet to the Easterly side of former Promenade, as shown on said plat, and the mean high tide line on the shore of the Straits of Florida and the Point of Beginning of the parcel hereinafter described; thence continue Easterly on prolongation of last described course, a distance of 200 feet; thence Southerly, at right angles to last described course, a distance of 100 feet; thence Westerly and parallel with the Southerly side of Sunrise Drive and its prolongation, a

Monroe County Historic Preservation Commission
AGENDA
Monday January 9, 2017 2:00 pm
Tavernier Fire House

distance of 200 feet to the said mean high tide line at the Southeast corner of said former Promenade; thence Northerly along said mean high tide line and Easterly side of former Promenade, a distance of 100 feet, more or less, to the Point of Beginning.

Parcel 2:

That strip of land approximately 10 feet x 50 feet marked “Driveway”, lying between Lots 27 and 29, as shown on plat recorded in Plat Book 1, Page 103, of the Public Records of Monroe County, Florida;

ALSO

All that part of Tarpon Street lying South of the Southerly line of Sunrise Drive, as shown on plat recorded in Plat Book 1, Page 103, of the Public Records of Monroe County, Florida.

Staff presentation and recommendation

Applicant presentation

Public testimony

Staff response

Applicant response

Board discussion

Motion

Monroe County Historic Preservation Commission
AGENDA
Monday January 9, 2017 2:00 pm
Tavernier Fire House

2. PETER AND SHARON ZANETTI are proposing to add 4 Bahama shutters, add a white wood trellis, install wood stockade fencing at the rear of the property, add an aluminum gate to complete enclosure beneath, and add a white wood picket fence at 169 Sunrise Drive within the Tavernier Historic District, Key Largo, Monroe County, Florida having real estate number: 00506040-000000 and legally described as:

Lot 17, TAVERNIER COVE, according to the Plat thereof as recorded in Plat Book 1, Page 103 of the Public Records of Monroe County, Florida.

Staff presentation and recommendation

Applicant presentation

Public testimony

Staff response

Applicant response

Board discussion

Motion

Other Business:

Discussion of recommendations from the Monroe County Survey Update Report

Adjournment.

ADA ASSISTANCE: If you are a person with a disability who needs special accommodations in order to participate in this proceeding, please contact the County Administrator's Office, by phoning (305) 292-4441, between the hours of 8:30 a.m. - 5:00 p.m., no later than five (5) calendar days prior to the scheduled meeting; if you are hearing or voice impaired, call "711".

File #: **2016-197**

Owner's Name: Mangrove Revocable Trust

Applicant: Mangrove Revocable Trust

Agent: Renee Blake

Type of Application: Historic Preservation

Key: Key Largo

RE: 00506150.000000

Additional Information added to File 2016-197

THIS INSTRUMENT PREPARED BY AND RETURN TO:
Debi Wachendorfer
Island Acquisition Title Company dba Florida Title of the Keys
85960 Overseas Hwy., Ste 1
Islamorada, Florida 33036
Property Appraisers Parcel Identification (Folio) Numbers: 00506150-000000 A/K 1624012

04/14/2015 4:15PM
DEED DOC STAMP CL: Krys \$20,475.00

Doc# 2024310
Bk# 2735 Pg# 23

Space Above This Line For Recording Data

THIS WARRANTY DEED, made the 2nd day of April, 2015 by **CHARLES F. SPOSATO**, a married man, joined by his spouse **KARA R. SPOSATO**, herein called the grantor, to **EDWIN BARRY YOUNG** and **LISA LEE YOUNG**, as Trustees of the **MANGROVE REVOCABLE TRUST**, with full power and authority to protect, conserve, sell, lease, encumber or otherwise manage and dispose of the real property described herein pursuant to the provisions of Section 689.071, Florida Statutes, and all other applicable statutes of the State of Florida, and duly authorized to accept and execute trusts within said state as Trustee the following described real estate in the County of Monroe, State of Florida whose post office address is 8414 Swananoah Rd., Dallas, TX 75209, hereinafter called the Grantees:
(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in MONROE County, State of Florida, viz.:

SEE LEGAL DESCRIPTION ATTACHED AS EXHIBIT "A"

Subject to easements, restrictions and reservations of record and to taxes for the year 2015 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantees that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2014.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness #1 Signature

BRETT A. NEWMAN
Witness #1 Printed Name

[Signature]
Witness #2 Signature

Debra L. Wachendorfer
Witness #2 Printed Name

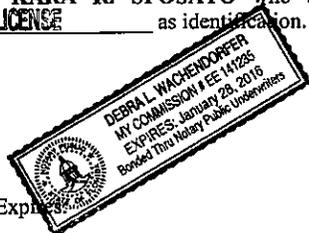
[Signature]
CHARLES F. SPOSATO
P.O. Box 1258, Tavernier, FL 33070

[Signature]
KARA R. SPOSATO
P.O. Box 1258, Tavernier, FL 33070

STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 2nd day of April, 2015 by **CHARLES F. SPOSATO** and **KARA R. SPOSATO** who are personally known to me or have produced **FLORIDA DRIVER'S LICENSE** as identification.

SEAL



[Signature]
Notary Public

Debra L. Wachendorfer
Printed Notary Name

My Commission Expires

EXHIBIT A

LEGAL DESCRIPTION

Parcel 1:

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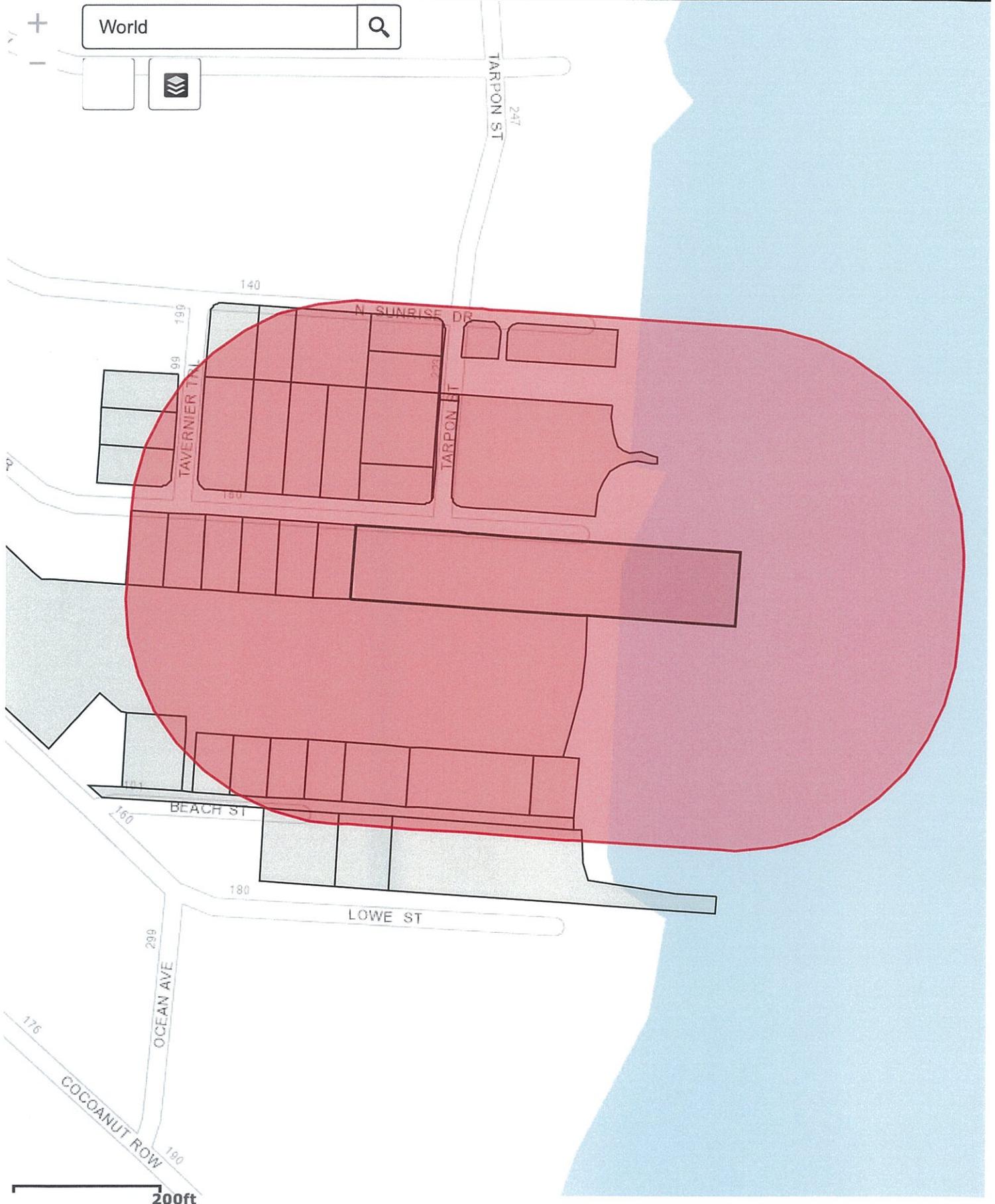
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NAME	ADD1	ADD2	CITY	STATE	ZIP
DEVANNEY FAMILY TRUST	C/O DEVANNEY JOHN W III AND MARY S TRUSTEE	208 TARPON ST	TAVERNIER	FL	33070
BALLAST TRAIL LLC		50 S POINTE DR APT 2502	MIAMI BEACH	FL	33139-4789
BOEKEL GARRET TEN AND GAIL		3 LITTLE HARBOR WAY	DEERFIELD BEACH	FL	33441-3606
MANGROVE REVOCABLE TRUST	C/O YOUNG EDWIN BARRY AND LISA LEE TRUSTEES	8414 SWANANOAH RD	DALLAS	TX	75209-2838
MONROE COUNTY		500 WHITEHEAD STREET	KEY WEST	FL	33040
PEREZ LISMEIBOL		2969 SW 20TH ST	MIAMI	FL	33145-2341
SPOSATO CHARLES F		P O BOX 1258	TAVERNIER	FL	33070
CUMMINGS KELLY ANNE		153 TAVERNIER TRL	TAVERNIER	FL	33070-2544
BRODKIN GARY		1206 MOCKINGBIRD RD	KEY LARGO	FL	33037
SAIGER GLENN S AND VIRGINIA S		81981 OVERSEAS HWY	ISLAMORADA	FL	33036
GAINES LOUIS AND JOAN G		7321 SW 108 TER	MIAMI	FL	33156
HOEFERT JAMES A AND KAREN L		114 POINT PLEASANT DR	KEY LARGO	FL	33037
NORMINGTON SHANNON L		162 SUNRISE DR	TAVERNIER	FL	33070
LONG CAROL ANN		152 SUNRISE DR	TAVERNIER	FL	33070
RAY HENDREN		119 GARDEN ST	TAVERNIER	FL	33070-2768
SPOSATO CHARLES F		P O BOX 1258	TAVERNIER	FL	33070
WELFLEY PAMELA JOANN REVOCABLE TRUST AG 10/3/2012		PO BOX 565	LORIDA	FL	33857-0565
TIITF/STATE OF FLORIDA		%DNR DOUGLAS BLDG	TALLAHASSEE	FL	32399-3000
203 TARPON STREET LLC		PO BOX 1258	TAVERNIER	FL	33070-1258
HOEFERT JOSHUA RYAN AND DAHLIA MAYE		415 PALM DR	KEY LARGO	FL	33037-3878
WAKEMAN SUSAN C ESTATE	C/O WAKEMAN CHARLES JOHN P/R	14500 SW 88TH AVE APT 201	PALMETTO BAY	FL	33176-8004
WILSON CHRISTINE		5151 COLLINS AVE APT 1625	MIAMI BEACH	FL	33140-2776
VONNEGUT ROBERT B		PO BOX 1505	TAVERNIER	FL	33070-1505
GONZALEZ JILL B		220 TARPON ST	TAVERNIER	FL	33070-2534
MONROE COUNTY FLORIDA		500 WHITEHEAD STREET	KEY WEST	FL	33040
CUELLAR GUSTAVO AND MILAGROS		142 N SUNRISE DR	TAVERNIER	FL	33070-2524
HOWE JOHN R		149 SUNRISE DR	TAVERNIER	FL	33070-2527
MARTIN CYNTHIA R		207 TARPON ST	TAVERNIER	FL	33070-2533
DOT/ST.OF FL	(STATE OF FLORIDA SRD)		TALLAHASSEE	FL	32399
TIITF/STATE OF FLORIDA PUBLIC LAND		%DNR DOUGLAS BLDG	TALLAHASSEE	FL	32399-3000
MONROE COUNTY		500 WHITEHEAD ST	KEY WEST	FL	33040-6581
MITCHELL RONALD AND KRISTI		1122 GRAND ST	KEY LARGO	FL	33037-4122
MCMAHON HAROLD		198 LOWE ST	TAVERNIER	FL	33070-2563
STENVIK JOHN E AND CHRISTINE D		3001 NE 47TH ST	LIGHTHOUSE POINT	FL	33064-7137
MILLAN JUSTINA		251 E 32ND ST APT 7A	NEW YORK	NY	10016-6304
EKBLOM JAMIE L		178 BEACH RD	TAVERNIER	FL	33070-2508
GONZALEZ LINO R AND BILMA P		571 SE 6TH ST	HIALEAH	FL	33010-5356
YOUNG HENRY P JR		195 LOWE ST	TAVERNIER	FL	33070-2519
BROWN BETTE J		191 LOWE ST	TAVERNIER	FL	33070-2519
SUMMERS JOHN B III		188 BEACH RD	TAVERNIER	FL	33070



SPONs - Web App



25.005 -80.518 Degrees

End of Additional File 2016-197

APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



16306672
RECEIVED
2016-197
NOV 22 2016
pd CK 7195
Monroe Co. Planning Dept
Key Largo
KJS

Historic Preservation Committee Special Certificate of Appropriateness

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review by the Historic Preservation Committee

Historic Preservation Committee Special Certificate of Appropriateness Fee: \$200.00

Date of Application: 09/20/16
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

Mangrove Rev Trust Ed Young / Renee Blalock
Applicant (Name of Person, Business or Organization) Name of Person Submitting this Application

94401 Overseas Hwy Tavernier FL 33070
Mailing Address (Street, City, State and Zip Code)

3058539400 3058798437
Work Phone Home Phone Cell Phone Email Address

Property Owner / Petitioner: (Business/Corp must include documents showing who has legal authorized to sign.)

Mangrove Revocable Trust Lisa Young
(Name/Entity) Contact Person

PO Box 195369, Dallas TX 75219
Mailing Address (Street, City, State and Zip Code)

817-614-2979 682-429-1937 lisayoungfc@gmail.com
Work Phone Home Phone Cell Phone Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

27-31 Tavernier Cove
Block Lot Subdivision Key

00506150-000000 1624012
Real Estate (RE) Number Alternate Key Number

180 Sunrise Dr Key Largo FL 92
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Correct fee (check or money order payable to Monroe County Planning & Environmental Resources)
- Current Property Record Card(s) from the Monroe County Property Appraiser
- Photograph of property and building from roadway
- Photographs of adjacent properties
- Written summary of the scope of work to be carried out or copy of building permit application
- Site plan and Exterior building elevations
- Illustrations of manufactured products to be used, such as roofing, shutters, doors and windows

Boathift plans Attached

If applicable, the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Notarized Agent Authorization Letter

APPLICATION

Is there a pending code enforcement proceeding involving all or a portion of this parcel?

Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

* * * * *

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

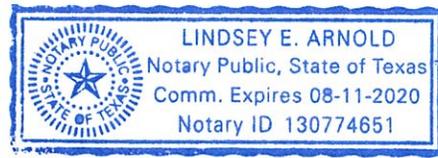
By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Handwritten Signature] Date: 9/21/16
STATE OF TEXAS
COUNTY OF TARRANT

Sworn to and subscribed before me this 21 day of SEPTEMBER, 2016,
by Edwin B. Young, who is personally known to me OR produced
(PRINT NAME OF PERSON MAKING STATEMENT)
_____ as identification.
(TYPE OF ID PRODUCED)

Lindsey Elaine Arnold
Signature of Notary Public



Print, Type or Stamp Commissioned Name of Notary Public
My commission expires:

Send complete application package to:
Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050

AGENT AUTHORIZATION FORM

Date of Authorization: 11 / 10 / 16
Month Day Year

I hereby authorize Renee Blake (Print Name of Agent) be listed as authorized agent

representing Mangrove Rev. Trust/Ed Young (Print Name of Property Owner(s) the Applicant(s)) for the application submission

of Building Permit for new boat lift (List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet) Attached

27-31 Tavernier Cove Tavernier
Lot Block Subdivision Key (Island)

00506150-000000 1624012
Real Estate (RE) Number Alternate Key Number

180 Sunrise Dr Key Largo FL 33070
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Authorized Agent Contact Information:

94401 Overseas Hwy Tavernier FL 33037
Mailing Address (Street, City, State and Zip Code)

305 853 9400 305 879 8437 Renee@NeptuneAtlantic.com
Work Phone Home Phone Cell Phone Email Address BOATLIFTS.com

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Signature]

Printed Name of Property Owner: Edward Young

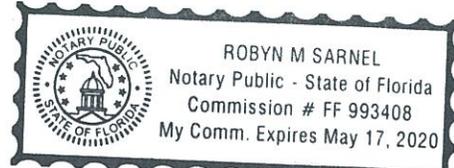
STATE OF FLORIDA COUNTY OF

Sworn to and subscribed before me this 15th day of NOVEMBER, 2016,

by EDWARD YOUNG, who is personally known to me OR produced
(Print Name of Person Making Statement)

DC as identification.
(Type of ID Produced)

[Signature]
Signature of Notary Public



Print, Type or Stamp Commissioned Name of Notary Public

My commission expires:



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
 Marathon (305) 289-2550
 Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 1624012 Parcel ID: 00506150-000000

Ownership Details

Mailing Address:

MANGROVE REVOCABLE TRUST
 C/O YOUNG EDWIN BARRY AND LISA LEE TRUSTEES
 8414 SWANANOAH RD
 DALLAS, TX 75209-2838

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 500P

Affordable Housing: No

Section-Township-Range: 34-62-38

Property Location: 180 SUNRISE DR KEY LARGO

Subdivision: TAVERNIER COVE

Legal Description: LOTS 27 THRU 31 AND ADJ BAY BTM AND PROMENADE LYING ELY OF LOTS 27-28 AND THE RESERVED PARCEL BETWEEN LOTS 29-30 AND TARPON ST AND DRIVEWAY S OF SUNRISE DR (RES 168-2005) TAVERNIER COVE NO 1 KEY LARGO PB1-103 OR414-550 OR667-409 OR1138-709/12 OR1138-713/16 OR1415-445D/C OR1795-1661/65 OR2143-950//52 OR2735-23/24

Click Map Image to open interactive viewer



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

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Ownership Details

Mailing Address:
MANGROVE REVOCABLE TRUST
C/O YOUNG EDWIN BARRY AND LISA LEE TRUSTEES
8414 SWANANOAH RD
DALLAS, TX 75209-2838

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 500P
Affordable Housing: No
Section-Township-Range: 34-62-38
Property Location: 180 SUNRISE DR KEY LARGO
Subdivision: TAVERNIER COVE
Legal Description: LOTS 27 THRU 31 AND ADJ BAY BTM AND PROMENADE LYING ELY OF LOTS 27-28 AND THE RESERVED PARCEL BETWEEN LOTS 29-30 AND TARPON ST AND DRIVEWAY S OF SUNRISE DR (RES 168-2005) TAVERNIER COVE NO 1 KEY LARGO PB1-103 OR414-550 OR667-409 OR1138-709/12 OR1138-713/16 OR1415-445D/C OR1795-1661/65 OR2143-950//52 OR2735-23/24

Click Map Image to open interactive viewer

1/15/2016



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

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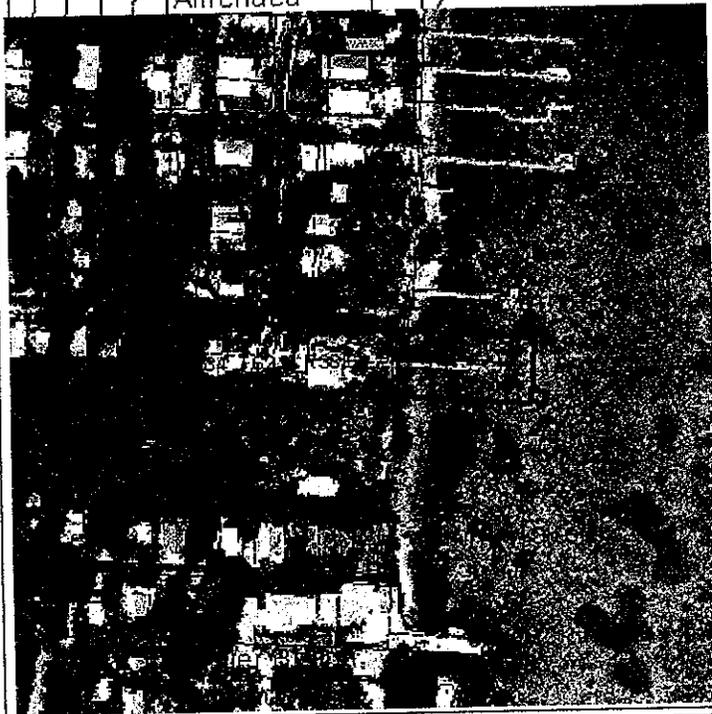
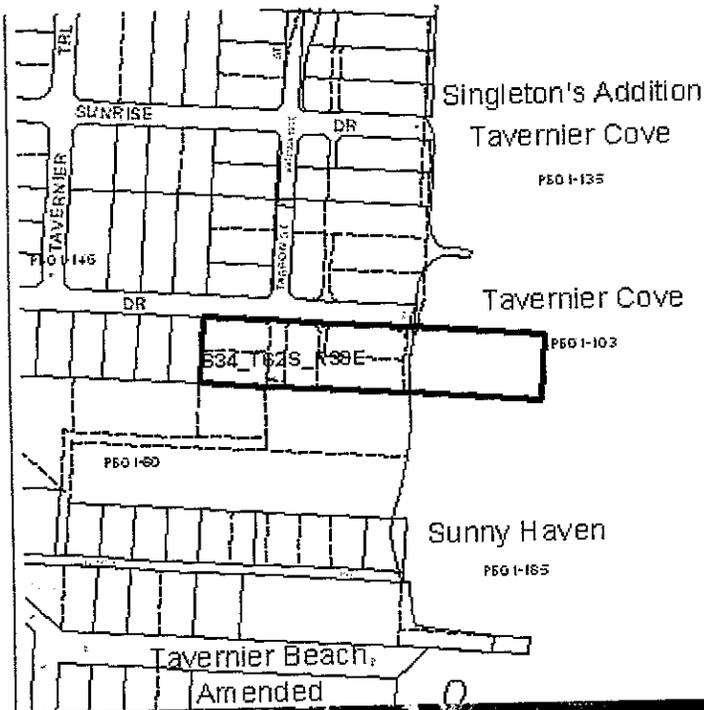
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Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
010W - RES WATERFRONT	0	0	31,200.00 SF
9500 - SUBMERGED			0.47 AC

Building Summary

Number of Buildings: 2
 Number of Commercial Buildings: 0
 Total Living Area: 5764
 Year Built: 2004

Building 1 Details

Building Type R1
 Effective Age 5
 Year Built 2004
 Functional Obs 0

Condition A
 Perimeter 510
 Special Arch 0
 Economic Obs 0

Quality Grade 700
 Depreciation % 3
 Grnd Floor Area 4,508

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type IRR/CUSTOM

Roof Cover METAL

Foundation CONC PILINGS

Heat 1

Heat 2

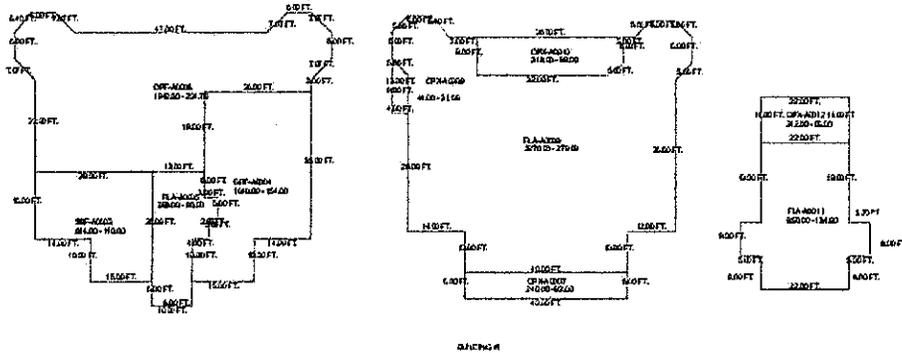
Bedrooms 4

Heat Src 1

Heat Src 2

Extra Features:

- 2 Fix Bath 1
- 3 Fix Bath 1
- 4 Fix Bath 3
- 5 Fix Bath 0
- 6 Fix Bath 0
- 7 Fix Bath 0
- Extra Fix 4
- Vacuum 0
- Garbage Disposal 0
- Compactor 0
- Security 0
- Intercom 0
- Fireplaces 0
- Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	SBF		1	2004					614
2	GBF	13:CUSTOM	1	2004					1,040
3	FLA	13:CUSTOM	1	2004		Y			388
4	OPF		1	2004					1,942
5	OPX		1	2004					240
6	FLA	13:CUSTOM	1	2004		Y			3,270
7	OPX		1	2004					44
8	OPX		1	2004					318
9	FLA	13:CUSTOM	1	2004		Y			850
10	OPX		1	2004					242

Building 2 Details

Building Type R1
 Effective Age 5
 Year Built 2005
 Functional Obs 0

Condition A
 Perimeter 210
 Special Arch 0
 Economic Obs 0

Quality Grade 550
 Depreciation % 3
 Grnd Floor Area 1,256

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

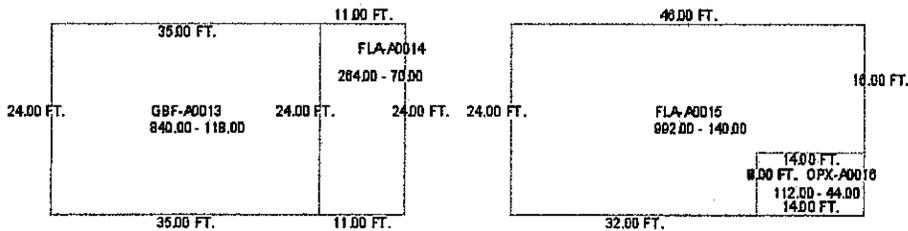
Roof Type IRR/CUSTOM
 Heat 1
 Heat Src 1

Roof Cover METAL
 Heat 2
 Heat Src 2

Foundation CONC PILINGS
 Bedrooms 2

Extra Features:

2 Fix Bath	1	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0



BUILDING#2

Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	GBF	13:CUSTOM	1	2005				840
2	FLA	13:CUSTOM	1	2005	Y			264
3	FLA	13:CUSTOM	1	2005	Y			992
4	OPX		1	2005				112

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT4:PATIO	3,064 SF	0	0	2004	2005	4	50

2	FN2:FENCES	1,280 SF	320	4	2004	2005	5	30
3	FN2:FENCES	1,800 SF	300	6	2004	2005	5	30
4	FN2:FENCES	348 SF	87	4	2004	2005	4	30
5	RW2:RETAINING WALL	308 SF	154	2	2004	2005	3	50
6	PT2:BRICK PATIO	130 SF	10	13	2004	2005	2	50
7	PO4:RES POOL	750 SF	0	0	2004	2005	4	50
8	HT2:HOT TUB	1 UT	0	0	2004	2005	5	50
9	DK4:WOOD DOCKS	766 SF	0	0	2004	2005	3	40
10	PT2:BRICK PATIO	6,976 SF	0	0	2005	2006	2	50
11	PT4:PATIO	1,472 SF	0	0	2005	2006	4	50
12	BL:BOAT LIFT	1 UT	0	0	2003	2006	4	20

Appraiser Notes

CONSERVATION EASEMENT FILED IN OR2174-2292/2296 PRESERVING CERTAIN AREAS IN THEIR NATURAL CONDITION.

FOR THE 2006 TAX ROLL LOT 28 (RE 00506160-000000 AK 1624021) AND LOT 29 (RE 00506170-000000 AK 1624039) AND LOT 30 (RE 00506180-000000 AK 1624047) AND LOT 31 (RE 00506190-000000 AK 1624055) AND PROMENADE BETWEEN THE OCEAN AND S'LY LINE OF LOTS 27-28 (RE 00506280-000000 AK 1624144) AND THE BAY BTM WHICH IS ADJACENT AND S'LY OF LOTS 27-28 (RE 00090360-000000 AK 1102326) AND THE RESERVED PARCEL WHICH LIES BETWEEN LOTS 29 & 30 (RE 00506290-000000 AK 1624512) ARE NOW COMBINED WITH THIS PARCEL, DONE FOR ASSESSMENT PURPOSES. 2/3/06 LG

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	3302381	06/16/2003	10/15/2004	1		FENCE
	3301634	09/22/2003	10/15/2004	30,000		DOCK
	03305746	06/18/2004	10/15/2004	200,000		ENCLOSE BF W/GUEST HOUSE
	02301201	11/14/2002	10/15/2004	275,000		SFR
	04301728	06/18/2004	10/15/2004	1		POOL AND SPA

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2016	1,264,273	258,202	971,507	2,493,982	2,493,982	0	2,493,982
2015	1,229,263	230,140	1,037,722	2,497,125	1,865,885	25,000	1,840,885
2014	1,016,525	198,763	923,177	2,138,465	1,851,076	25,000	1,826,076
2013	968,565	204,789	650,366	1,823,720	1,823,720	25,000	1,798,720
2012	977,866	211,308	692,554	1,881,728	1,875,500	25,000	1,850,500
2011	925,061	217,332	678,481	1,820,874	1,820,874	25,000	1,795,874
2010	1,136,354	223,509	1,068,414	2,428,277	2,428,277	25,000	2,403,277
2009	1,248,002	229,877	1,068,414	2,546,293	2,546,293	25,000	2,521,293
2008	1,513,004	236,053	1,483,946	3,233,003	3,233,003	25,000	3,208,003
2007	1,929,609	225,700	1,595,546	3,750,855	3,750,855	25,000	3,725,855
2006	2,071,390	228,498	1,456,046	3,755,934	3,755,934	25,000	3,730,934
2005	880,935	132,143	567,000	1,580,078	1,580,078	0	1,580,078

2004	0	0	53,550	53,550	53,550	0	53,550
2003	0	0	53,550	53,550	53,550	0	53,550
2002	0	0	53,550	53,550	53,550	0	53,550
2001	0	0	53,550	53,550	53,550	0	53,550
2000	0	0	53,550	53,550	53,550	0	53,550
1999	0	0	53,550	53,550	53,550	0	53,550
1998	0	0	53,550	53,550	53,550	0	53,550
1997	0	0	53,550	53,550	53,550	0	53,550
1996	0	0	53,550	53,550	53,550	0	53,550
1995	0	0	53,550	53,550	53,550	0	53,550
1994	0	0	50,400	50,400	50,400	0	50,400
1993	0	0	44,100	44,100	44,100	0	44,100
1992	0	0	44,100	44,100	44,100	0	44,100
1991	0	0	44,100	44,100	44,100	0	44,100
1990	0	0	42,525	42,525	42,525	0	42,525
1989	0	0	40,950	40,950	40,950	0	40,950
1988	0	0	31,500	31,500	31,500	0	31,500
1987	0	0	28,350	28,350	28,350	0	28,350
1986	0	0	28,350	28,350	28,350	0	28,350
1985	0	0	28,350	28,350	28,350	0	28,350
1984	0	0	28,350	28,350	28,350	0	28,350
1983	0	0	27,783	27,783	27,783	0	27,783
1982	0	0	27,783	27,783	27,783	0	27,783

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
4/2/2015	2735 / 23	2,925,000	<u>WD</u>	<u>02</u>
8/11/2005	2143 / 950	3,350,000	WD	Q
5/22/2002	1795 / 1661	1	<u>WD</u>	<u>M</u>

This page has been visited 118,888 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176



180 Sunrise — Street view



180 Sunrise - Front View



Dock 180 Sunrise Dr.



180 Sunrise Dr. Tavernier FL
From the OCEAN.



Adjacent property (South)

These property's cannot be
seen from Street. Only Trees.



Adjacent property (North.)
Cannot see from Road.



BUILDING – FLOODPLAIN – DEVELOPMENTAL PERMIT APPLICATION
MONROE COUNTY GROWTH MANAGEMENT DIVISION
 (Effective 10/1/14)

INTERNAL USE ONLY	DATE:	Rec'd by:	PERMIT #	
	<input type="checkbox"/> Emergency	<input type="checkbox"/> Fast Track	<input type="checkbox"/> Over Counter	Property Appraiser
	<input type="checkbox"/> DEMO (<input type="checkbox"/> Asbestos) <input type="checkbox"/> Revision (A -B -C -D ____)			YEAR BUILT
			BLD Value	

JOB SITE INFORMATION:

RE# (Parcel id#) 00506150-000000	Job Address: 180 Sunrise Drive, Key Largo, FL 33037
Legal Description Lot 27 - 31 Block/Unit	Location Information: Key: 1624012 MM 91 Subdiv

OWNER INFORMATION : Preferred Method of Contact: Phone Email Mail

Name Mangrove Revocable Trust	Phone:
Mailing Address C/O Edwin Barry Young	()
Address 8414 Swananoah Road	
City, State, Zip Dallas, TX 75209-2838	
Fee Simple Titleholder's N/A	Phone:
(if applicable - other than owner), Address,	()
City, State, Zip	
Mortgage Lender's N/A	
Name and Address	
Email Address: RENEE@NEPTUNEATLANTICBOATLIFTS.COM	

CONTRACTOR INFORMATION: Preferred Method of Contact: Phone Email

OWNER BUILDER ALL OWNER BUILDERS MUST APPEAR IN PERSON - F.S.489.103(7) Check if Owner Builder >>>

Contractor Requests Information Update (Qualifier/Contractor/Address Change Form)

Contractor Business Name NEPTUNE ATLANTIC BOAT LIFTS	
Qualifier STANLEY GARBUTT	Phone (305) 853 - 9400
License # CGC1521567	Email
Mailing Address 94401 OVERSEAS HWY, TAVERNIER FL 33070	
Drawings by Name NEPTUNE ATLANTIC BOAT LIFTS LLC	Phone (305) 853 - 9400
Architect / Engineer/Contractor	
Mailing Address 94401 OVERSEAS HWY, TAVERNIER FL 33070	
Agent Name RENEE BLAKE COLEMAN	Phone (305) 879 - 8437
Mailing Address 94401 OVERSEAS HWY, TAVERNIER FL	
Email RENEE@NEPTUNEATLANTICBOATLIFTS.COM	Preferred Method of Contact: <input type="radio"/> Phone <input checked="" type="radio"/> Email

Debris Removed by Applicant Specialty Contractor - Contractor Name:

Bonding Co Name N/A

Mailing Address

Private Provider N/A

Mailing Address

Type of Service Plan Review & Inspections Plan Review only Inspections only

SUB CONTRACTOR(s)(if applicable): Provide Sub Contractor Authorization for each.

ELECTRICAL - TBD	

SUBMITTED WITH APPLICATION:

TWO (2) SETS of PLANS * Environmental (Page 4) ATF (Page 5)
 Contract Statement displaying legitimate total cost Residential Site Plan Checklist

* All plans prepared shall have the preparer's signature, printed name, date and contact information printed on them.
 Acceptable preparers: architects, engineers, qualifier for contractor business or owner if owner builder permit.

JOB DETAILS:

Please be advised that for work not indicated, that is later determined by examination of plans or onsite, required fees related to that discipline will be charged following the "Work Commencing Before Permit Issuance" penalty fee policy. (Fee Resolution Section G; MC Code Ch 6).

TOTAL COST FOR WORK: \$ \$8,900.00

Please Note:
 Job value provided may be audited using ICC Building Valuation Data methodology

Estimated Total Sq Ft:

TYPE:	CHANGE IN OCCUPANCY/USE:	LOCATION ON PROPERTY:	WILL NEW GROUND BE DISTURBED W/ DEVELOPMENT?	CONSTRUCTION:		
<input checked="" type="checkbox"/> Residential/Duplex/MH <input type="checkbox"/> Commercial / MultiFam	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Interior <input checked="" type="checkbox"/> Exterior <input type="checkbox"/> BOTH	(Change in footprint): <input type="checkbox"/> Yes (ENVIR) <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> New <input type="checkbox"/> Repair/Renov.		
SUBs - Work Acknowledgment	ELECTRIC: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	MECH/FUEL/GAS: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Elevator: <input type="checkbox"/> Yes	PLUMBING: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			
Plumbing Sewer Lateral Tie In	<input type="checkbox"/> Grinder Pump <input type="checkbox"/> Lift Station <input type="checkbox"/> Gravity	<input type="checkbox"/> Residential/Duplex/MH <input type="checkbox"/> Commercial / MultiFam	Electric Permit Associated w/ Plumbing Sewer Lateral Tie In	<input type="checkbox"/> Grinder Pump <input type="checkbox"/> Lift Station		
AC REPLACEMENT	Same Location (inside footprint): <input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> Condenser Only <input type="checkbox"/> Air Handler & Condenser (Calcs reqd) <input type="checkbox"/> Package Unit	TONNAGE: Current: _____ Proposed: _____	SEER: Current: _____ Proposed: _____		
DEMO	RECONNECT/ SAFETY ELECTRICAL	FENCE	ROOF	SIGN	SOLAR UNIT	SPA
<input type="checkbox"/> Full / All of Structure <input type="checkbox"/> Partial (Detail below)(PLAN)	<input type="checkbox"/> YES	LOCATION: Under House <input type="checkbox"/> YES <input type="checkbox"/> NO FENCE TYPE: <input type="checkbox"/> Concrete <input type="checkbox"/> With Electric <input type="checkbox"/> Chain/Iron/Wood/PVC	<input type="checkbox"/> New <input type="checkbox"/> Re-Roof <input type="checkbox"/> Re-Cover	<input type="checkbox"/> Change of Face/ Copy Only (NoEXAM) <input type="checkbox"/> Construction Change	<input type="checkbox"/> Photo-voltaic (No PLUMB)	<input type="checkbox"/> Portable <input type="checkbox"/> Inside footprint (No ENVIR)

DETAIL SCOPE OF WORK:

installation of a new 10K Neptune elevator boat lift, attached to existing 10" OD wood pilings, driven firmly into firm rock with a vibratory hammer.

JOBS INVOLVING ENVIRONMENTAL COMPONENTS

MUST submit PAGE 4 of Application

(Boat Davits-Lifts, Docking Facility, Dock/Seawall Repair, Seawall (w/o Dock), Retaining Wall, Clearing/Grubbing, Dredging, Excavation, Fill, Riprap, Hazardous Tree, Invasive Exotics, Tree Rem/Trim, Landscaping, and Land Development Permit for Chickees by Miccosukee or Seminole Indians)

WORK COMMENCING WITHOUT PERMIT (ATF)

MUST submit PAGE 5 of Application

Floodplain Information can be found online FEMA Flood Map Service Center (<https://msc.fema.gov/portal>)

WARNING TO OWNER

YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING NOTICE OF COMMENCEMENT.

(FL Building Code 105.8)

A certified copy of the recorded Notice of Commencement or a notarized statement from the owner of the property or the owner's authorized agent (including any contractor that has been authorized below) stating that a Notice of Commencement has been filed for recording to the Monroe County Clerk's Office for recording along with a copy of the Notice of Commencement submitted for recording, must be submitted to Building Department and posted on the job site before the first inspection. (FS 713.13(1)(a), 713.13(1)(d))

ASBESTOS AGREEMENT: (Initial If Applicable: _____)

As owner/contractor/agent of record for the construction applied for in this application, I agree that I will comply with the provisions of the Florida Statute 469.003 and to notify the DEP of my intent to demolish/remove a structure at the above address and remove asbestos, when applicable, in accordance with state and federal law.

SOLID WASTE ASSESSMENT:

Upon completion of the project for which I have made application for a Building Permit, I must pay the pro-rated residential solid waste assessment, or show proof of commercial service with a franchised commercial collector prior to issued Certificate of Occupancy.

OUTSIDE LOCAL, STATE and FEDERAL AGENCIES:

In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies."

OWNER'S AFFIDAVIT:

- Application is hereby made to obtain a permit to do the work and installations as indicated.
- I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction.
- I understand that a separate permit (sub on a permit) must be secured for Electrical, Plumbing, Signs, A/C, etc. as appropriate.
- I hereby certify that all of the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner (print): EBJong

Qualifier (print): _____

Signature: _____

Signature: _____

Date: _____

Date: _____

NOTARY Signature as to Owner : _____

NOTARY Signature as to Qualifier _____

This _____ day of _____, 20____, he/she is personally known to me or has produced _____ as identification and who did (did not) take an oath.

This _____ day of _____, 20____, he/she is personally known to me or has produced _____ as identification and who did (did not) take an oath.

My Commission Expires on: _____

My Commission Expires on _____



Permit#: _____

Environmental ~ Required Information

CHECK JOB TYPE (*=Requires an Existing Conditions Report):

- BLASTING * BOAT DAVITS/ LIFTS CLEARING/GRUBBING * DOCK DREDGING
 EXCAVATION * FILL * RIPRAP RETAINING WALL SEAWALL w/ or w/o DOCK
 Land Development Permit for Chickees by Miccosukee or Seminole Indians *

CHECK JOB TYPE - Does NOT Require an Existing Conditions Report:

- LANDSCAPING TREE REMOVAL/TRIMMING

CHECK JOB TYPE (Field inspection may be required):

- INVASIVE EXOTICS (Less than 10 stems) HAZARDOUS

If review determines otherwise Exotic or Hazard, additional fees will be added and due for payment upon permit issuance.

JOB DETAILS

- Existing Conditions Report Submitted? YES NO
 Mitigation Plan Submitted? YES NO
 Barge work required? YES NO

- Construction debris will be removed by:
 Applicant
 Specialty Contractor (Name): _____

List amount of material:	VOLUME (in cubic yards):	MATERIAL	
		Waterward of M.H.W.	Landward of M.H.W.
Excavated		<input type="checkbox"/>	<input type="checkbox"/>
Dredged		<input type="checkbox"/>	<input type="checkbox"/>
Filled		<input type="checkbox"/>	<input type="checkbox"/>
Deposited		<input type="checkbox"/>	<input type="checkbox"/>

DETAILED SCOPE OF WORK:

Install a new 10K Elevator boat lift Attached to existing dock/pilings.

OTHER OUTSIDE AGENCY PERMITS/APPROVALS:

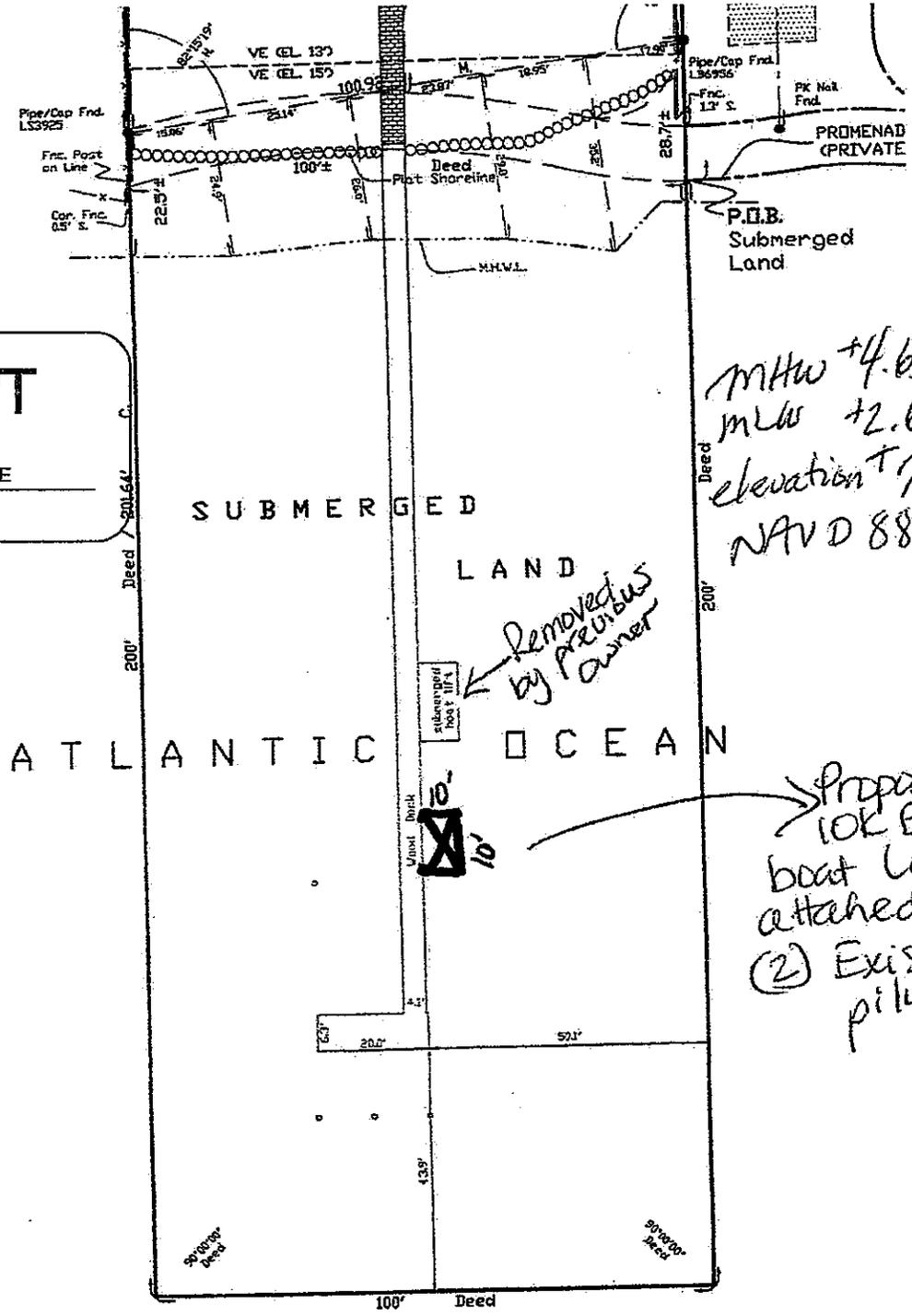
ACOE Permit #	DEP Permit #	
FWS Permit #	Other:	



EXEMPT

File Number:
44-0201914-002-EE

RECEIVED
ELECTRONICALLY
5/2/2016
South District



MHW +4.65
MLW +2.61
elevation +7.80
NAVD 88

Removed by previous owner

Proposed 10K Elevator boat lift attached to (2) Existing pilings



ABBREVIATIONS/LEGEND

<p>Fnd. - Found R. - Road Fr. - Wood frame Fin.Flr. - finished floor El. - Elevation CB - concrete block Bal. - Balcony Fnc. - fence Res. - residence PK - PARKER WALN FASTENER M.C. - Magnetic Nail M.L.S. - not in service LPGT - liquid petroleum gas tank U.G.E. - Underground Electric U.G.T. - Underground Telephone WL - Barbed wireline Nod./N.R. - Node/Non-Rodded N.S.E.W. - North, South, East, West P.O.C. - Point of Commencement P.O.B. - Point of Beginning P.C.P. - Permanent Control Point P.C.C. - Point of Compound Curve P.R.C. - Point of Reverse Curvature P.C./P.T. - Point of Curvature/Tangency P.R.M. - Permanent Reference Monument NAD - National Geodetic Vertical Datum NAD83 - North American Vertical Datum M.H.W.L. - Mean High Water Line</p>	<p>D. - Deed L.S. - Land Surveyor L.B. - Licensed Business Pl. - Plot M. - Measured C. - Calculated zone. - Concrete corn. - corner FP - fence post A/C - air conditioner Cond. - Conduit F.S. - frame shed M.S. - metal shed P.S. - plastic shed C.B.S. - conc. block shed Add. - addition Pl. - planter R.D.W. - right of way M.F.T. - wood palm table C.F.T. - conc. fish table T.R. - telephone riser L.P. - light/lamp pole G.A. - guy anchor M.H.W.L. - mean high water line S.M.L. - sea level M.L.W. - mean low water</p>	<p>○ - Nail / PK Nail Found ○ - Nail/PK Nail LB #7882 not ○ - Pipe Found ○ - Pipe/Cap LB #7882 not ○ - Rubber Found ○ - Wood UBBY Pole ○ - Overhead electric lines ○ - Overhead telephone lines ○ - Overhead cable television ○ - Chain-link fence ○ - Wood fence ○ - Plastic fence ○ - Metal fence ○ - Water valve ○ - Water meter ○ - Rock ○ - Concrete 2x4x8 ○ - Cast</p> <p>Note: All pipes set are 7/8" (outside diameter) with cap stamped LB #7882 All PK nail/MAG nail or 30d spikes set are with caps stamped LB #7882 Unless otherwise indicated, all pipes found are 7/8" (outside diameter) Unless indicated points have No Identification</p>	<p>MASSEY-RICHARDS SURVEY PHONE (305) Section 34, Township 62 South, Key Largo, Monroe Co Drawing No.: 12570</p>
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EXEMPT

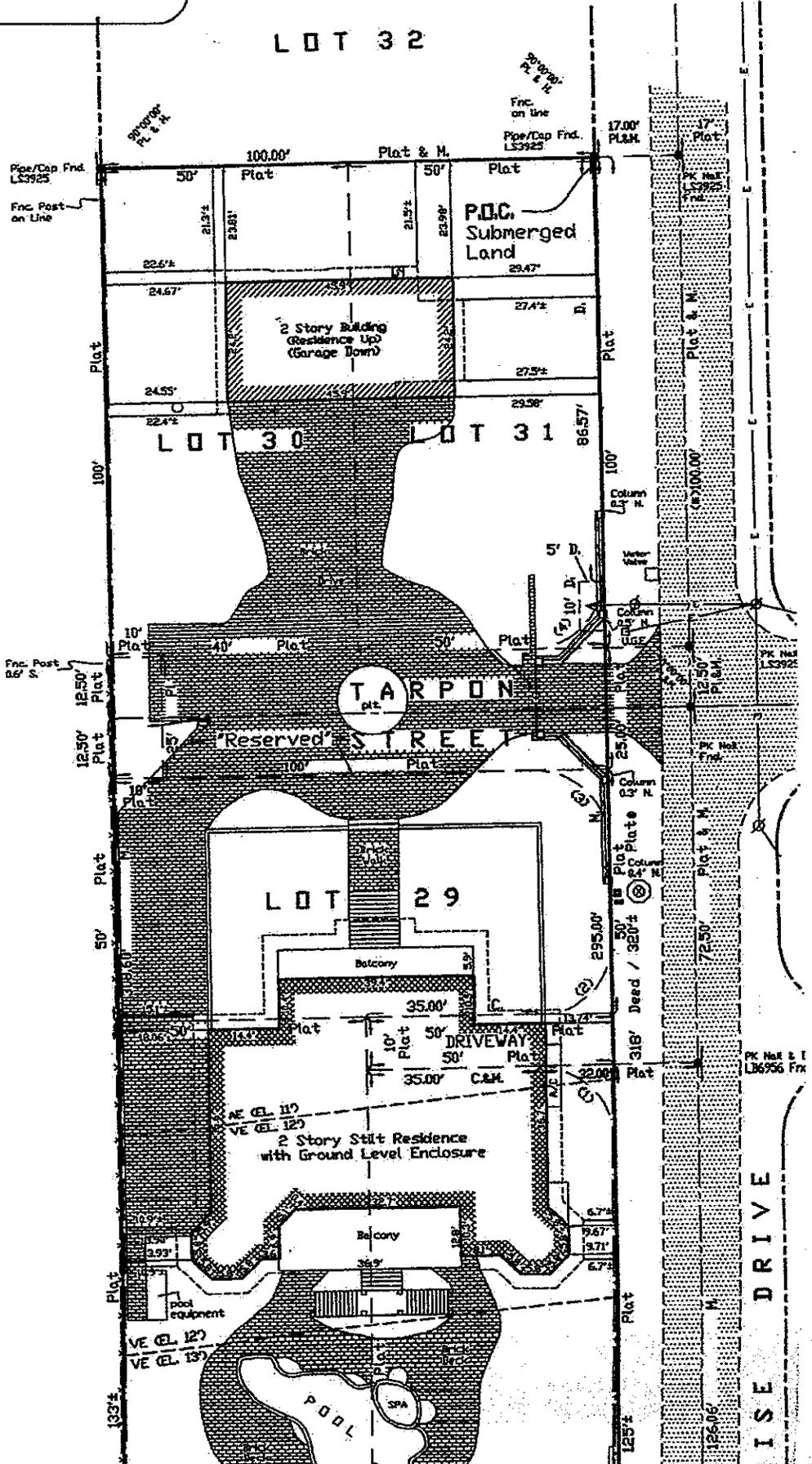
File Number:
44-0201914-002-EE

RECEIVED
ELECTRONICALLY
5/2/2016
South District



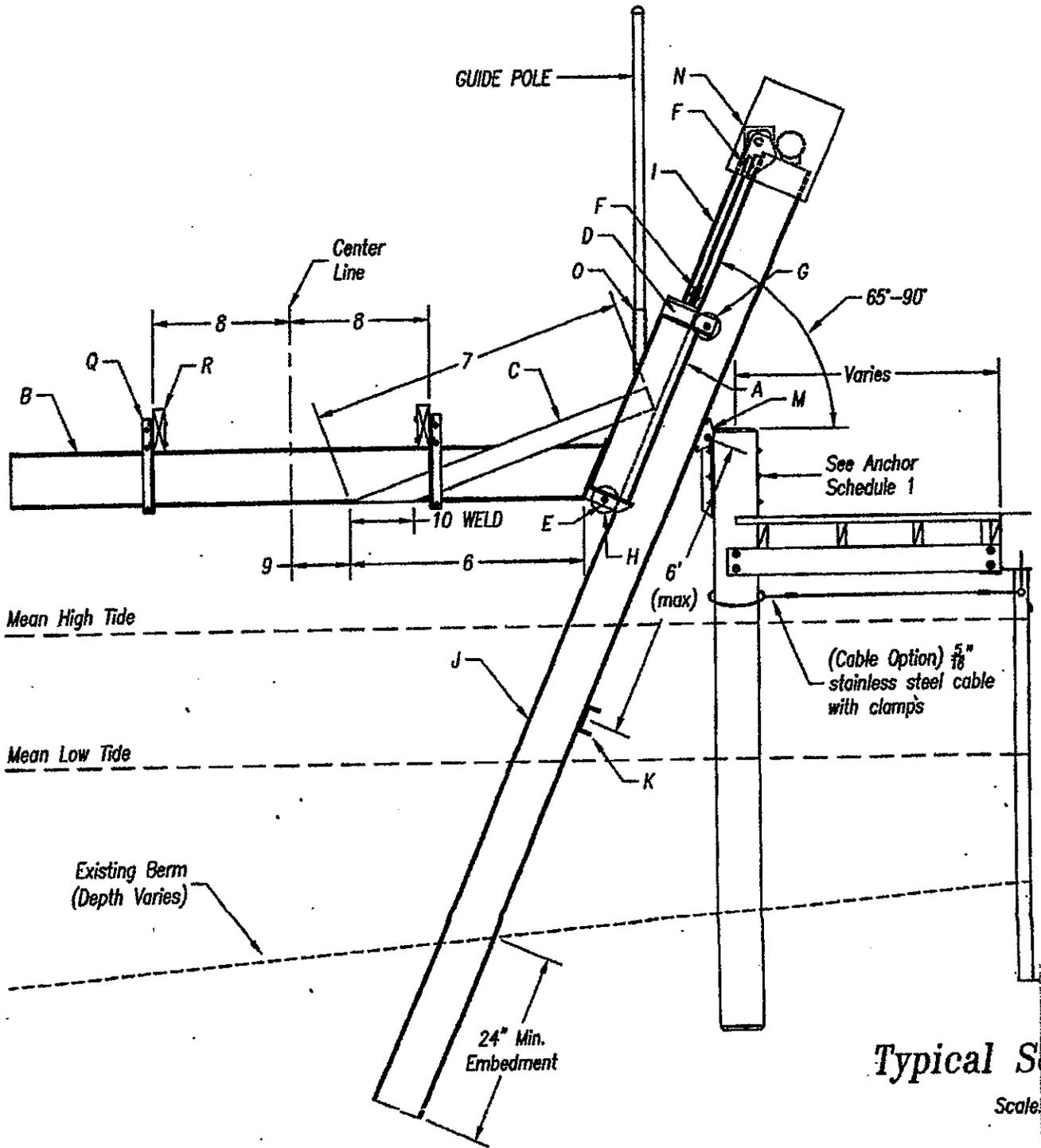
NOT PART OF THIS PLAT

LOT 32



I SE DRIVE

Piling mt



Typical S
Scale

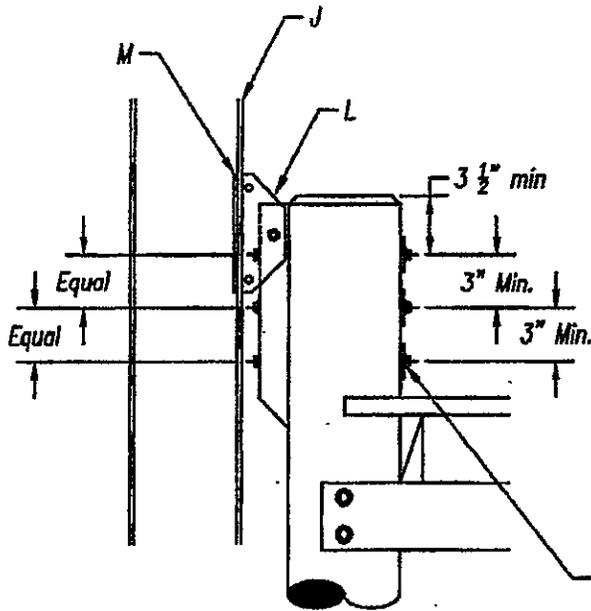
JAN 14 2016

DATE	NOTES/REVISIONS

NOT VALID UNLESS SIGNED WITH ORIGINAL ENGINEER'S SIGNATURE AND RAISED EMBOSSED SEAL

MARK E. WEBER, P.E.
LICENSE #53895 | CA 30702

MW, ENGINEERING
6810 NORTH STATE RD
COCONUT CREEK, FL 3
Mob: 561-305-0476 | Ofc: 954
WWW.MwEngineering



(3) $\frac{3}{4}$ " thru bolts with
 $3" \times 3\frac{1}{4}"$ thick aluminum
square washers

Existing Seawall, Dock and
Dock Piles To Remain

(Cable Option) $\frac{1}{2}$ " stainless steel
eye bolt attached to existing seawall
cap, min. 3" embedment and 6"
min from any concrete face

ANCHOR SCHEDULE 1

SLOPED TRACK BEAM

(3) $\frac{3}{4}$ " thru bolts (except for 5K elevator which required
(2) $\frac{3}{4}$ " thru bolts only), $3\frac{1}{2}$ " mini. from top of pile, 3"
apart min., centered with $3" \times 3\frac{1}{4}"$ thick aluminum square
washers

VERTICAL TRACK BEAM (See Connection Detail)

(4) $\frac{3}{4}$ " thru bolts, $3\frac{1}{2}$ " min. from top of pile, 3"
min., centered with $3" \times 3\frac{1}{4}"$ thick aluminum square washers

Section @ Dock

$\frac{3}{8}" = 1' = 0"$

, INC AD 7 073 317-8143 et	Proposed Elevators 5,000 lb to 24,000 lb	NEPTUNE BOAT LIFTS 228 SW 21 Terrace Fort Lauderdale, Florida 33312 Phone: 954-524-3616 Fax: 954-524-3604	SCALE: 3/2
			DATE: 05.12.2015
			DRAWN BY: WRT
			CHECKED BY: WM
			JOB No: Elevator 32.dwg
			Sheet 2

Components

	Lift Capacity (in Pounds)	5,000	7,000	10,000	12,000	14,000	15,000	17,000	20,000	
A	Carrige Boom (2 Required per Lift Arm)	AS C 6"x3.6		AS C 8"x4.3	AS C 10"x5.3			AS C 12"x7.4		
B	Cradle Arm	AA I - 6"x4.7		AA I 8"x7.1	AA I 10"x8.7	AA I 10"x10.286		AA I 12"x11.7	AA I	
C	Gusset Plate (2 Required per Lift Arm)	$\frac{1}{2}$ "x3" Flat Bar		$\frac{1}{2}$ "x4" Flat Bar	$\frac{1}{2}$ "x5" Flat Bar			$\frac{1}{2}$ "x6" Flat Bar		
D	Upper Carrige Angle (2 Required per Lift Arm)	$\frac{1}{2}$ "x2"x3" Angle		$\frac{1}{2}$ "x3"x4" Angle			$\frac{1}{2}$ "x4"x6" Angle			
E	Lower Carrige Angle (2 Required per Lift Arm)	$\frac{1}{2}$ "x2"x3" Angle		$\frac{1}{2}$ "x3"x4" Angle			$\frac{1}{2}$ "x4"x6" Angle			
F	Pully Plate (2 Required per Lift Arm)	$\frac{1}{2}$ "x6" Flat Bar		$\frac{1}{2}$ "x6" Flat Bar	$\frac{1}{2}$ "x6" Flat Bar			$\frac{1}{2}$ "x8" Flat Bar		
G	Upper Guide Wheel (4 Required per Lift Arm)	4" Diameter		5"x2"x $\frac{1}{2}$ " I.D.	6" Diameter			6" Diameter		
H	Lower Guide Wheel (1 Required per Lift Arm)	4" Diameter		4"x5-3/4"x 1-1/8" I.D.	6" Diameter			6" Diameter		
I	Cable Size (Stainless Steel)	$\frac{1}{8}$ " Diameter 7x19 SS 304								
J	Guide Track	AA I - 6"x4.7	AA I - 8"x6.3	AA I - 8"x7.1	AA I - 10"x8.7	AA I - 10"x10.286		AA I 12"x11.7	AA I	
K	Guide Track To Guide Track Brace	AA CS 4"x1.8		AA CS 5"x2.2	AA CS 6"x2.8					
L	Attachment Bracket	(2) $\frac{1}{2}$ "x2"x3" Angles with welded $\frac{1}{2}$ " Thick Inner Plate			(2) $\frac{1}{2}$ "x3"x3" Angles with welded $\frac{1}{2}$ " Thick Inner Plate			(2) $\frac{1}{2}$ "x3"x3 welded $\frac{1}{2}$ " Tr		
M	Track Mount Connector (2 Required per Lift Arm)	$\frac{1}{2}$ "x2"x4" Angle & $\frac{1}{2}$ " Bolts			$\frac{1}{2}$ "x3"x4" Angle & $\frac{1}{2}$ " Bolts			$\frac{1}{2}$ "x3"x6" Angle & $\frac{1}{2}$ "		
N	Motor Size (Horse Power/Voltage)									
O	Guide Post Socket	2" Diameter Schedule 80 Pipe						3" Diameter Schedule		
P	Cross Brace (Telescoped)	2" Diameter 80 & 1-1/2" Schedule 40								
Q	Bunk Bracket Support (2 Each Side of Lift Arm)	$\frac{1}{2}$ "x2"x2"								
R	Bunk Boards	3"x8" Pressure Treated Southern Yellow Pine #1				3"x10" Pressure Treated Southern Yellow Pine #1				

JAN 14 2016

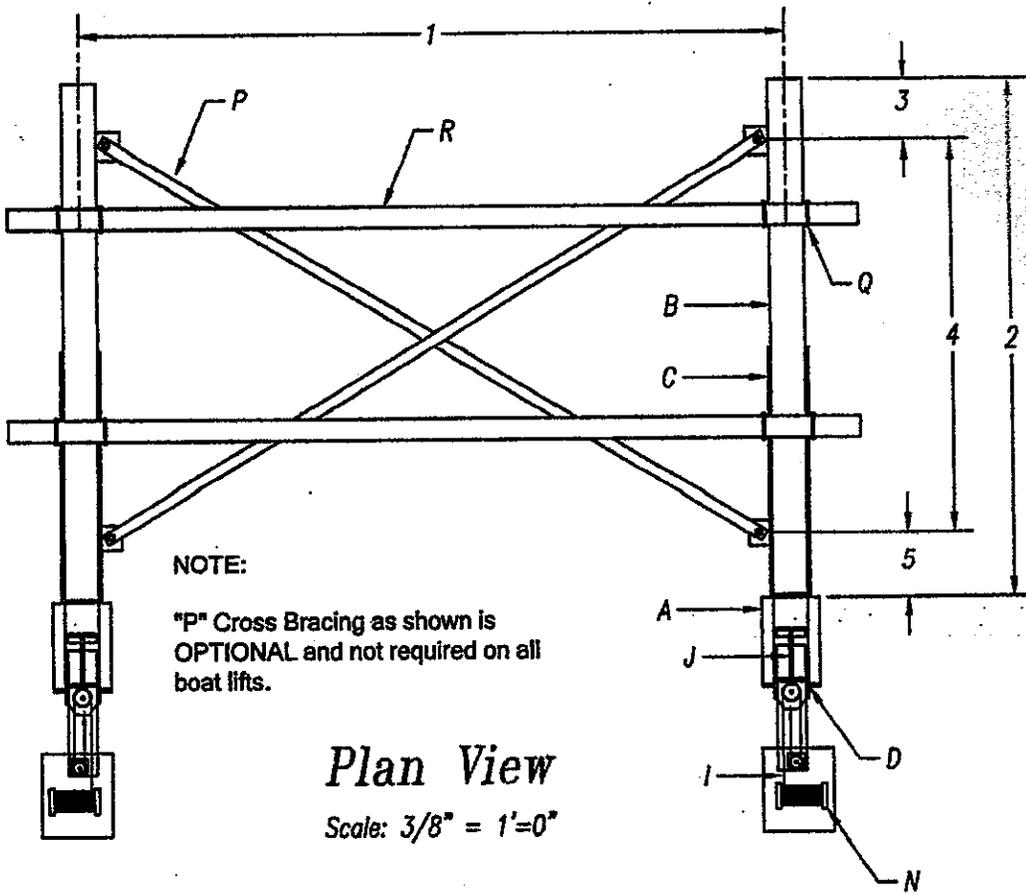
DATE	NOTES/REVISIONS

NOT VALID UNLESS SIGNED WITH
ORIGINAL ENGINEER'S SIGNATURE
AND RAISED EMBOSSED SEAL


 MARK E. WEBER, P.E.
 LICENSE #53895 | CA 30702

MW, ENGINEERING
 6810 NORTH STATE RD
 COCONUT CREEK, FL 3
 Mob: 561-305-0476 | Ofc: 954
 WWW.MwEngineering

4,000
4.3
8" Flat Bar
1/4" Diameter (19 SS 304)
14.3
gles with Inner Plate
ts
Pipe



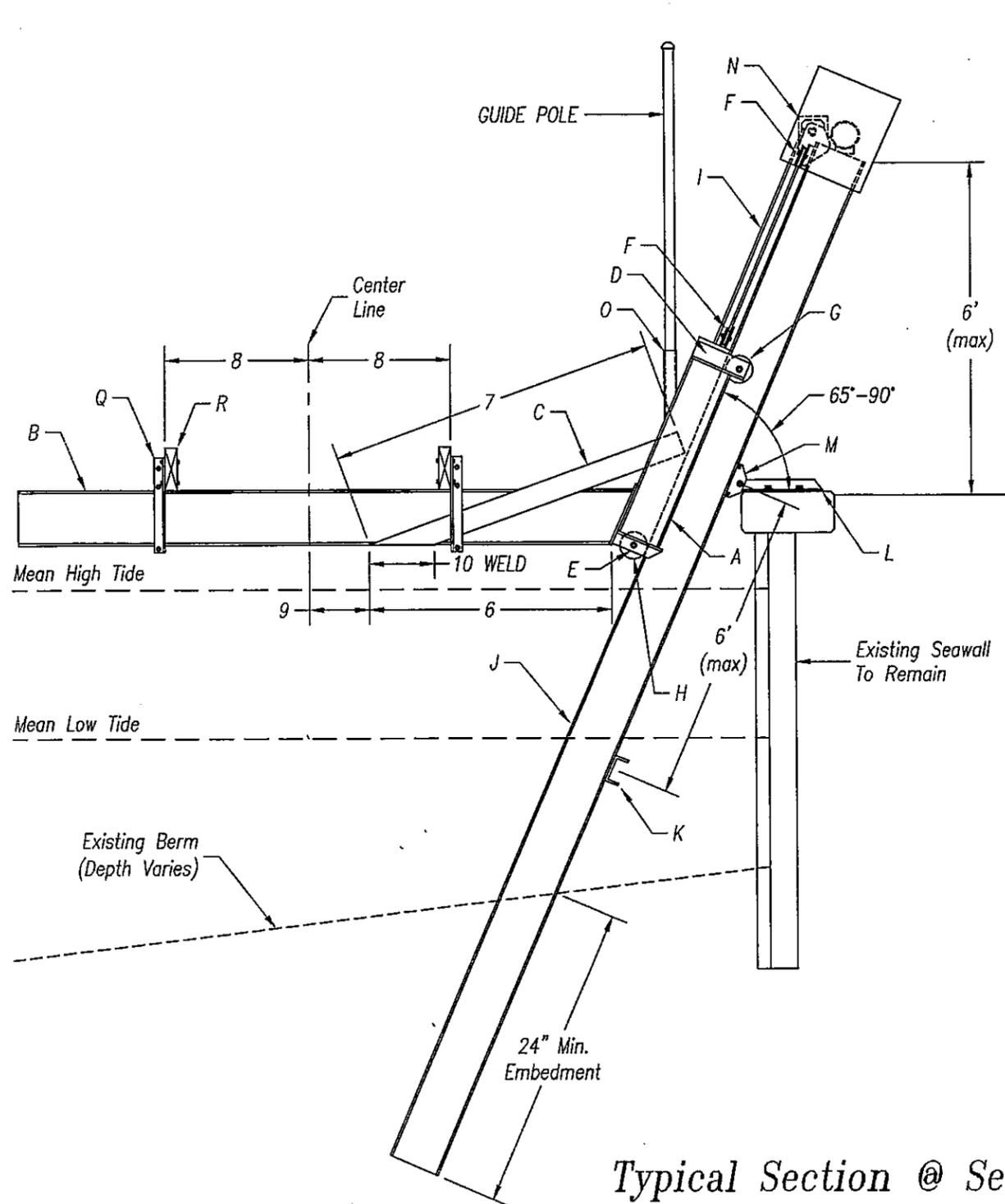
Dimensions										
Lift Capacity (In Pounds)	5,000	7,000	10,000	12,000	14,000	15,000	17,000	20,000	24,000	
Dimension Mark	1	10'	10'	10'	10'	10'	10'	10'	10'	10'
	2	7'	7'	8'	8'	8'	8'	10'	10'	10'
	3	6"	6"	6"	6"	6"	6"	6"	6"	6"
	4	6'	6'	6'	6'	6'	6'	6'	6'	6'
	5	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"
	6	2'-8"	2'-8"	2'-8"	2'-11"	2'-11"	2'-11"	3'-3"	3'-3"	3'-3"
	7	4'	4'	4'-6"	5'	5'	5'	6'	6'	6'
	8	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"
	9	13"	13"	13"	13"	13"	13"	13"	13"	13"
	10	8"	8"	8"	8"	8"	8"	8"	8"	10"

INC
D 7
073
17-8143
at

Proposed Elevators
5,000 lb
to
24,000 lb

NEPTUNE BOAT LIFTS
228 SW 21 Terrace
Fort Lauderdale, Florida 33312
Phone: 954-524-3616
Fax: 954-524-3604

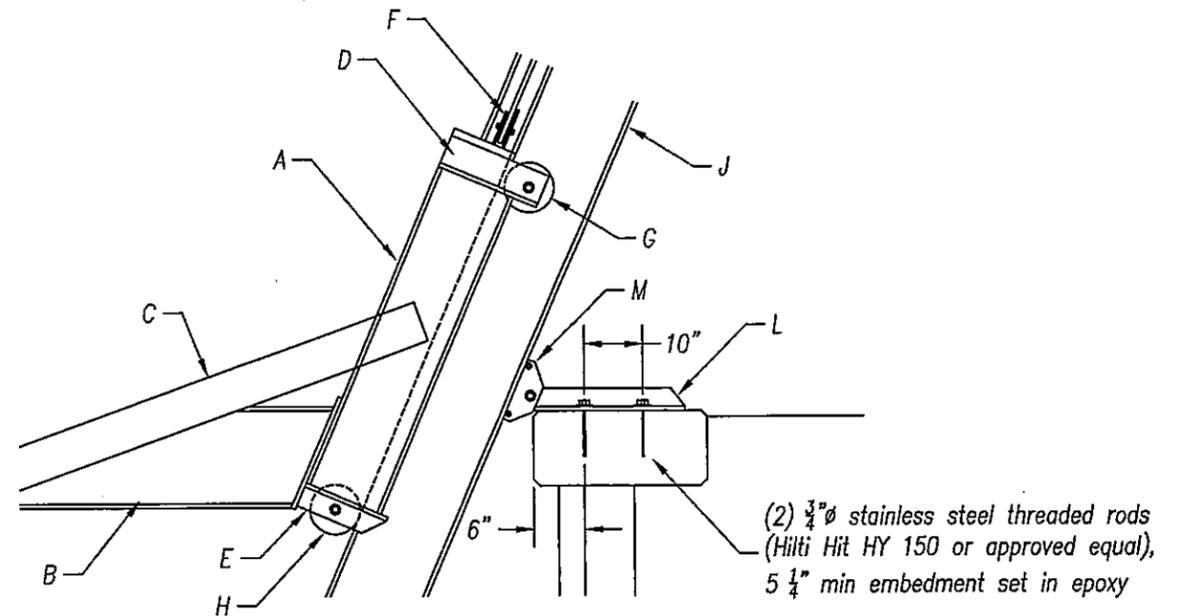
SCALE: 3/2
DATE: 05.12.2015
DRAWN BY: WRT
CHECKED BY: WM
JOB No: Elevator 32.dwg
Sheet 3



Typical Section @ Seawall

Scale: 3/8" = 1'-0"

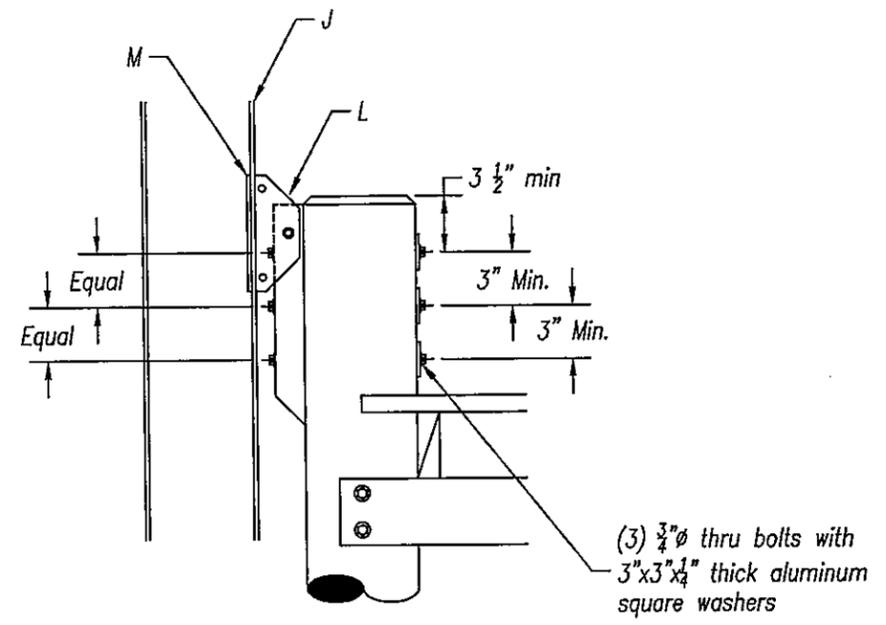
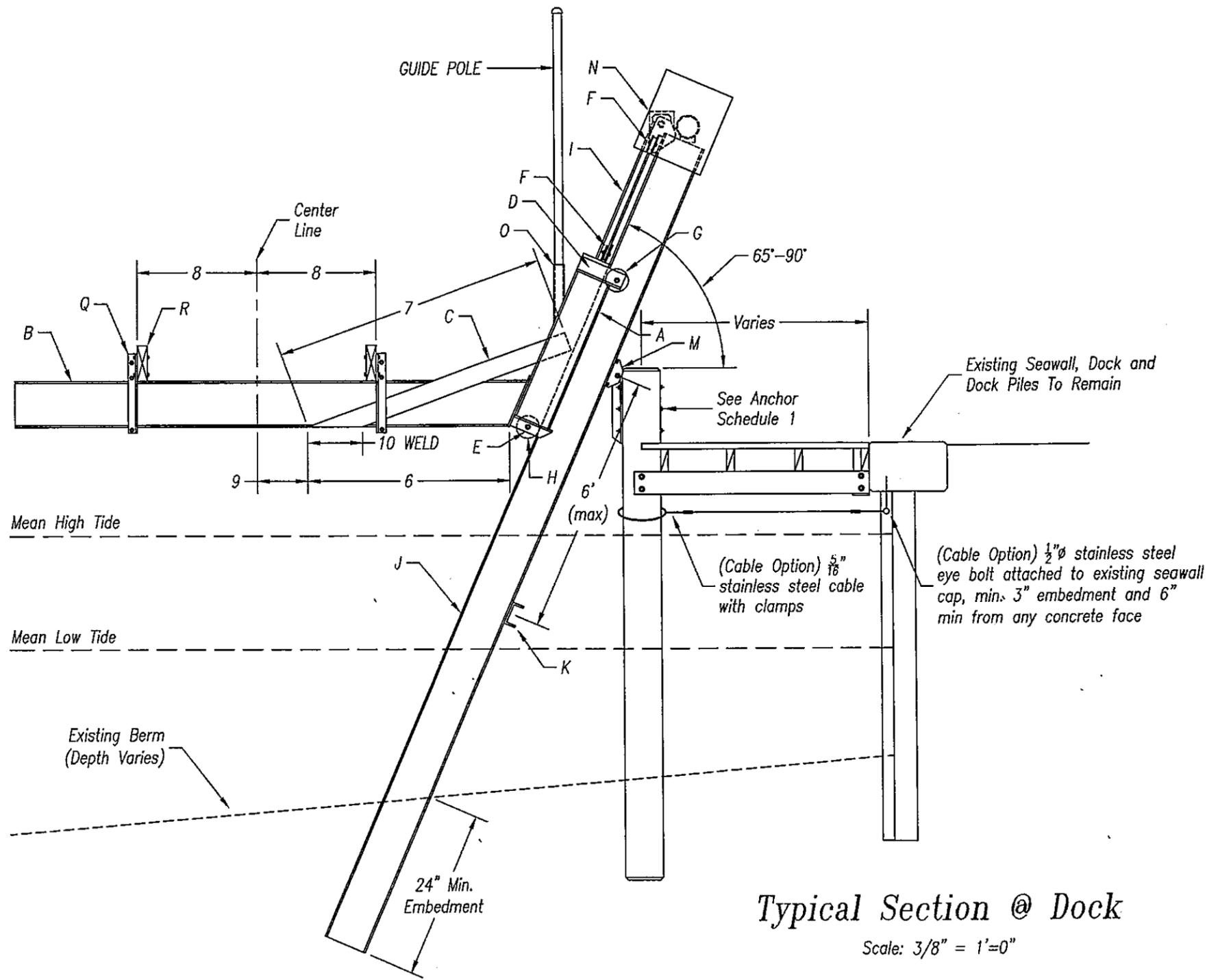
FEB 29 2016



General Notes:

- Design in accordance with Florida Building Code, 5th Edition (2014).
- This lifting structure has been designed to withstand wind loads associated with speeds of $V (ult) = 175$ MPH, (3 Second Gust) Exposure 'D' without a boat on the lift per ASCE 7-10 using above ground sign/wall method. The lifting structure including boat has been designed to withstand wind speeds of $V (ult) = 73$ MPH in Exposure 'D'.
- Boats shall not be stored on lift during high wind events.
- Do not scale drawings for dimensions.
- Licensed Contractor to verify location of existing utilities prior to commencing work.
- The Licensed contractor to install and remove all shoring and bracing as required for the proper installation of the work.
- Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
- Aluminum: Material 6061 T6 Aluminum, all welds are min. 1/4" full fillet weld using 5556 filler alloy, all welding must conform to AISC steel construction manual 13th ED as inspected and verified by others. The contractor is responsible to insulate aluminum members from dissimilar metals to prevent electrolysis.
- Aluminum members in contact with concrete and wood shall be protected by "Koppers Bituminous Paint" or Polyethylene Tape UHMW (ultra high molecular weight), 11.7 mils (0.30 mm) min. total thickness in accordance with current Florida Building Code.
- All anchors to be Hilti Brand or Approved Equal. All bolts shall be hot dipped galvanized or stainless steel & meet the requirements of ASTM A304 with hardened washers and hex nuts. Washers shall be used between wood & bolt head & between wood & nut. Where generic fasteners are labeled in details, capacities shall be equal to or greater than Hilti Kwik Bolt II or Red Head thru bolts SAE Grade 5 or better. Embedment depths specified herein are depths into solid substrate and do not included thickness of other finishes.
- MW Engineering has no control of the manufacturing, performance or installation of this product. These generic plans were engineered in accordance with accepted engineering practices and data provided by the manufacturer.

DATE	NOTES/REVISIONS	NOT VALID UNLESS SIGNED WITH ORIGINAL ENGINEER'S SIGNATURE AND RAISED EMBOSSED SEAL	MW, ENGINEERING, INC 6810 NORTH STATE ROAD 7 COCONUT CREEK, FL 33073 Mob: 561-305-0476 Ofc: 954-617-8143 WWW.MwEngineering.net	Proposed Elevators 5,000 lb to 24,000 lb	NEPTUNE BOAT LIFTS 228 SW 21 Terrace Fort Lauderdale, Florida 33312 Phone: 954-524-3616 Fax: 954-524-3604	SCALE: 3/2 DATE: 05.12.2015 DRAWN BY: WRT CHECKED BY: WM JOB No: Elevator 32.dwg
		MARK E. WEBER, P.E. LICENSE #53895 CA 30702				Sheet 1



Typical Section @ Dock

Scale: 3/8" = 1'-0"

FEB 29 2016

ANCHOR SCHEDULE 1

SLOPED TRACK BEAM

(3) 3/4" thru bolts (except for 5K elevator which required (2) 3/4" thru bolts only), 3 1/2" mini. from top of pile, 3" apart min., centered with 3"x3"x1/4" thick aluminum square washers

VERTICAL TRACK BEAM (See Connection Detail)

(4) 3/4" thru bolts, 3 1/2" min. from top of pile, 3" apart min., centered with 3"x3"x1/4" thick aluminum square washers

DATE	NOTES/REVISIONS

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MARK E. WEBER, P.E.
LICENSE #53895 | CA 30702

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6810 NORTH STATE ROAD 7
COCONUT CREEK, FL 33073
Mob: 561-305-0476 | Ofc: 954-617-8143
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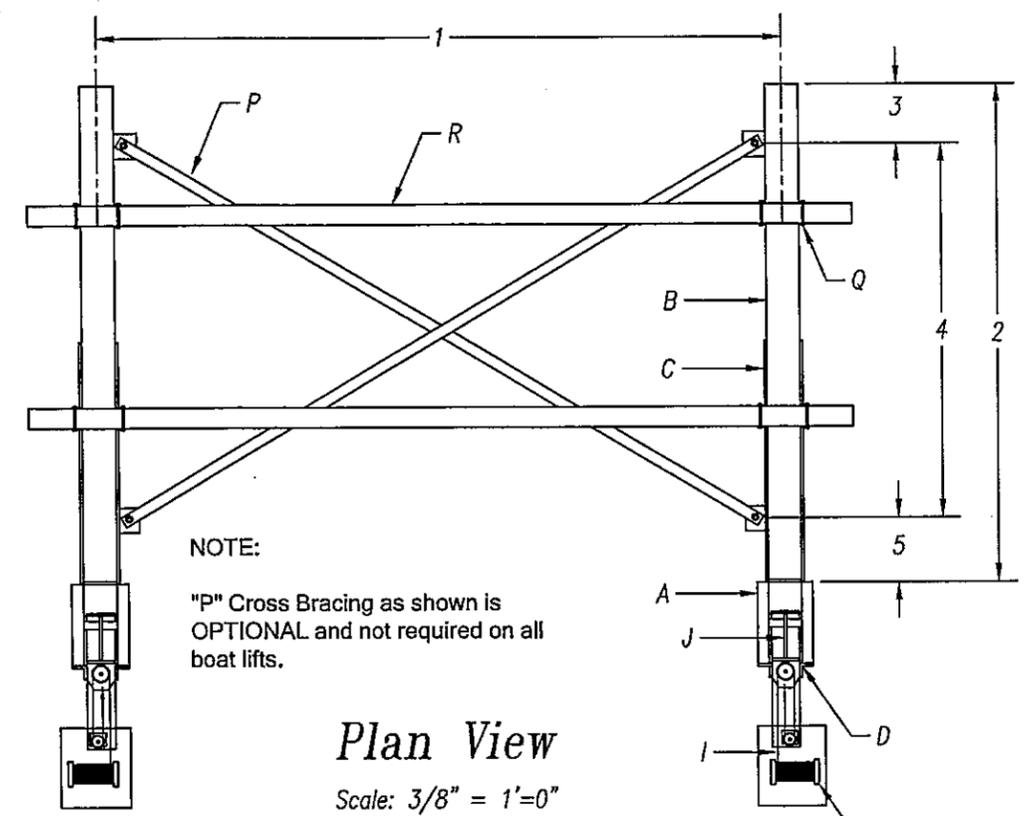
Proposed Elevators
5,000 lb
to
24,000 lb

NEPTUNE BOAT LIFTS
228 SW 21 Terrace
Fort Lauderdale, Florida 33312
Phone: 954-524-3616
Fax: 954-524-3604

SCALE: 3/2
DATE: 05.12.2015
DRAWN BY: WRT
CHECKED BY: WM
JOB No: Elevator 32.dwg
Sheet 2

Components

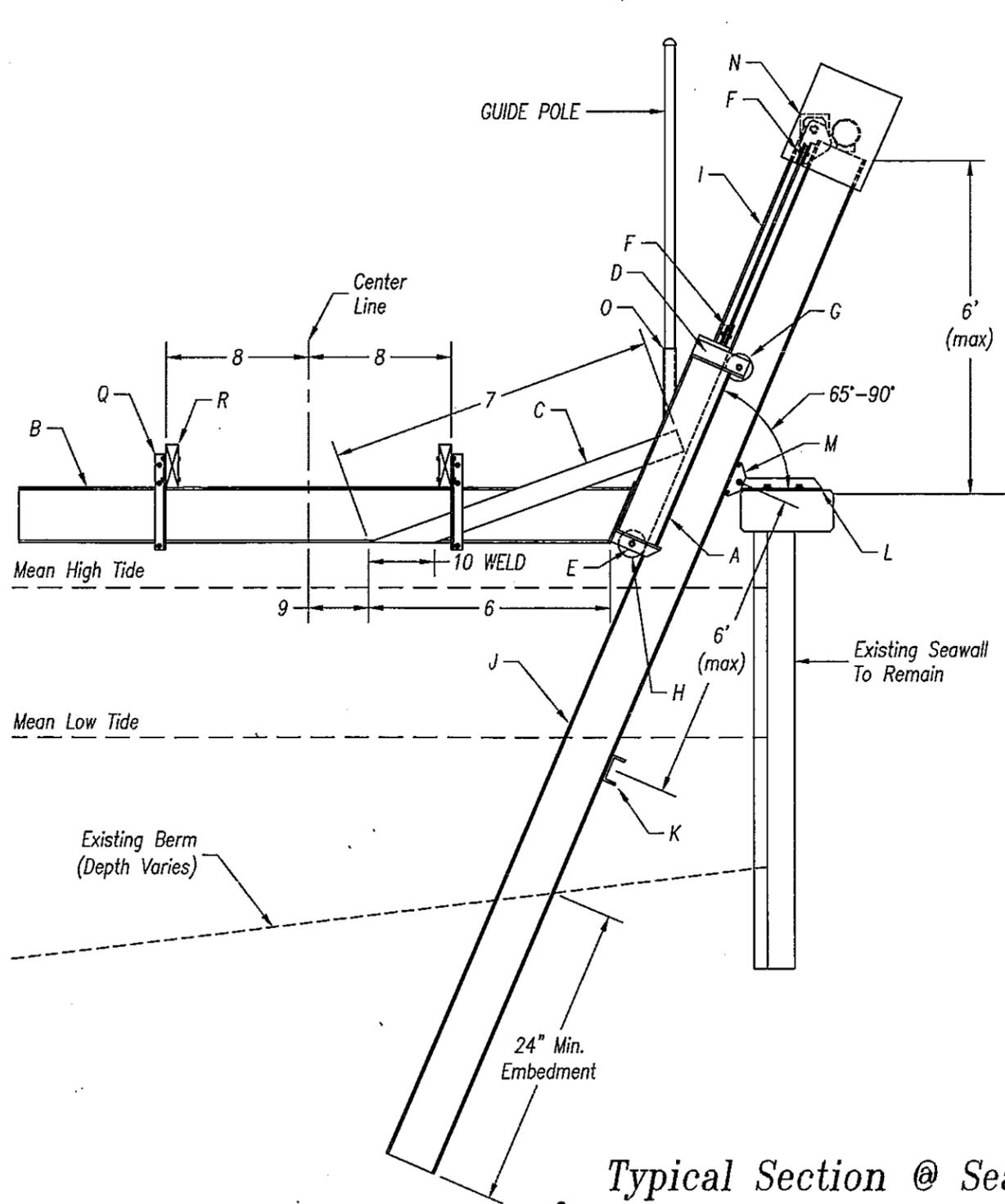
Lift Capacity (In Pounds)	5,000	7,000	10,000	12,000	14,000	15,000	17,000	20,000	24,000
A Carriage Boom (2 Required per Lift Arm)	AS C 6"x3.6		AS C 8"x4.3	AS C 10"x5.3			AS C 12"x7.4		
B Cradle Arm	AA I - 6"x4.7	AA I 8"x7.1	AA I 10"x8.7	AA I 10"x10.286		AA I 12"x11.7	AA I 12"x14.3		
C Gusset Plate (2 Required per Lift Arm)	3/8"x3" Flat Bar		1/2"x4" Flat Bar	1/2"x5" Flat Bar			1/2"x6" Flat Bar	1/2"x8" Flat Bar	
D Upper Carriage Angle (2 Required per Lift Arm)	3/8"x2"x3" Angle		3/8"x3"x4" Angle			3/8"x4"x6" Angle			
E Lower Carriage Angle (2 Required per Lift Arm)	3/8"x2"x3" Angle		3/8"x3"x4" Angle			3/8"x4"x6" Angle			
F Pulley Plate (2 Required per Lift Arm)	3/8"x6" Flat Bar		1/2"x6" Flat Bar	1/2"x6" Flat Bar			1/2"x8" Flat Bar		
G Upper Guide Wheel (4 Required per Lift Arm)	4" Diameter		5"x2"x3/4" I.D.			6" Diameter			
H Lower Guide Wheel (1 Required per Lift Arm)	4" Diameter		4"x5-3/4"x1-1/8" I.D.			6" Diameter			
I Cable Size (Stainless Steel)	5/16" Diameter 7x19 SS 304							3/8" Diameter 7x19 SS 304	
J Guide Track	AA I - 6"x4.7	AA I - 8"x6.3	AA I - 8"x7.1	AA I - 10"x8.7	AA I - 10"x10.286	AA I 12"x11.7	AA I 12"x14.3		
K Guide Track To Guide Track Brace	AA CS 4"x1.8		AA CS 5"x2.2	AA CS 6"x2.8					
L Attachment Bracket	(2) 3/8"x2"x3" Angles with welded 1/2" Thick Inner Plate			(2) 3/8"x3"x3" Angles with welded 1/2" Thick Inner Plate			(2) 3/8"x3"x3" Angles with welded 3/4" Thick Inner Plate		
M Track Mount Connector (2 Required per Lift Arm)	3/8"x2"x4" Angle & 3/4" Bolts			3/8"x3"x4" Angle & 3/4" Bolts			1/2"x3"x6" Angle & 3/4" Bolts		
N Motor Size (Horse Power/Voltage)									
O Guide Post Socket	2" Diameter Schedule 80 Pipe					3" Diameter Schedule 80 Pipe			
P Cross Brace (Telescoped)	2" Diameter 80 & 1-1/2" Schedule 40								
Q Bunk Bracket Support (2 Each Side of Lift Arm)	1/2"x2"x2"								
R Bunk Boards	3"x8" Pressure Treated Southern Yellow Pine #1			3"x10" Pressure Treated Southern Yellow Pine #1					



		Dimensions								
Lift Capacity (In Pounds)		5,000	7,000	10,000	12,000	14,000	15,000	17,000	20,000	24,000
Dimension Mark	1	10'	10'	10'	10'	10'	10'	10'	10'	10'
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	3	6"	6"	6"	6"	6"	6"	6"	6"	6"
	4	6'	6'	6'	6'	6'	6'	6'	6'	6'
	5	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"
	6	2'-8"	2'-8"	2'-8"	2'-11"	2'-11"	2'-11"	3'-3"	3'-3"	3'-3"
	7	4'	4'	4'-6"	5'	5'	5'	6'	6'	6'
	8	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"
	9	13"	13"	13"	13"	13"	13"	13"	13"	13"
	10	8"	8"	8"	8"	8"	8"	8"	8"	10"

NOTE:
"P" Cross Bracing as shown is OPTIONAL and not required on all boat lifts.

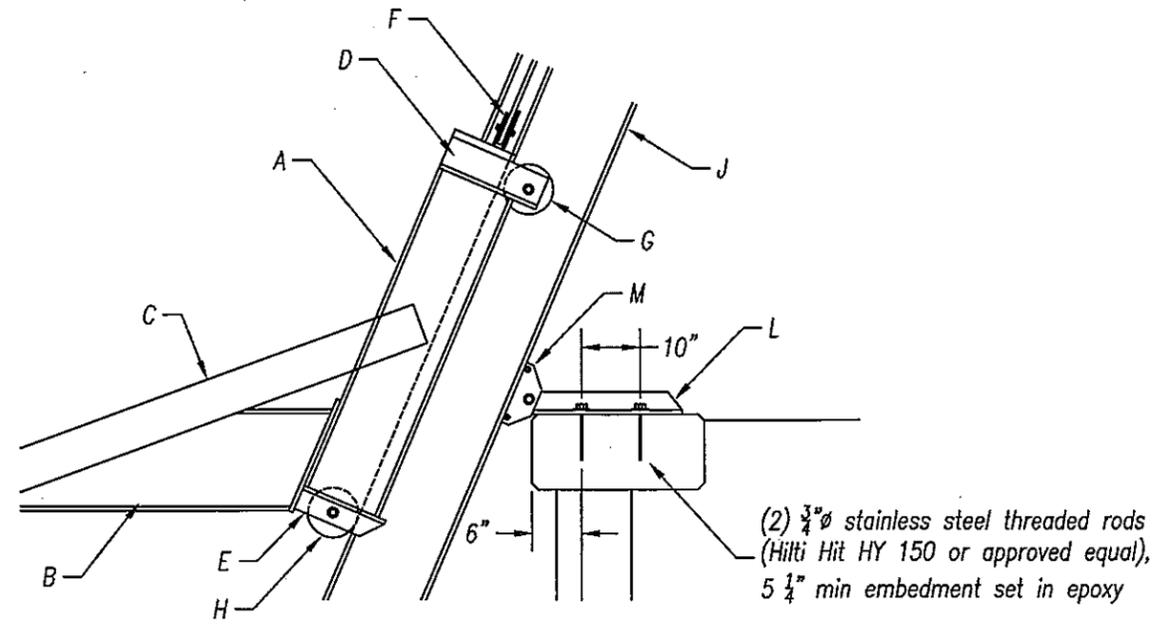
FEB 29 2016



Typical Section @ Seawall

Scale: 3/8" = 1'-0"

JUL 11 2016



General Notes:

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		MARK E. WEBER, P.E. LICENSE #53895 CA 30702				

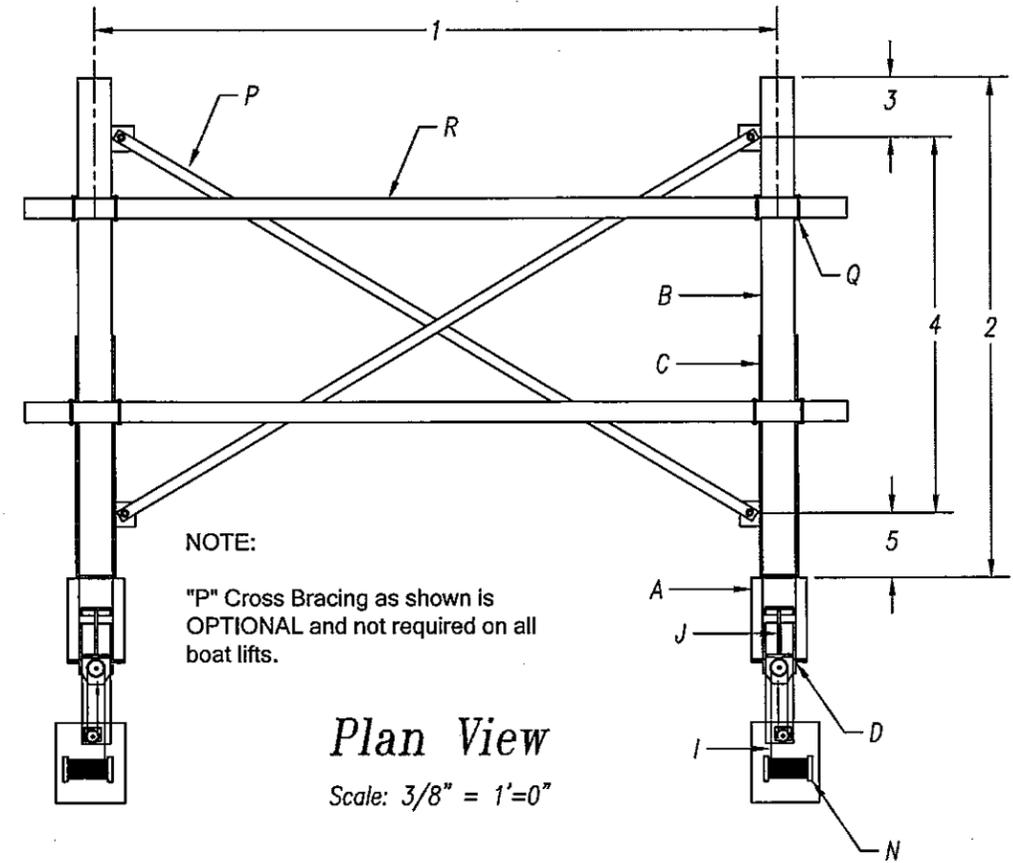
Components

	Lift Capacity (In Pounds)	5,000	7,000	10,000	12,000	14,000	15,000	17,000	20,000	24,000	
A	Carriage Boom (2 Required per Lift Arm)	AS C 6"x3.6	AS C 8"x4.3	AS C 10"x5.3			AS C 12"x7.4				
B	Cradle Arm	AA I - 6"x4.7	AA I 8"x7.1	AA I 10"x8.7	AA I 10"x10.286		AA I 12"x11.7	AA I 12"x14.3			
C	Gusset Plate (2 Required per Lift Arm)	3/8"x3" Flat Bar	1/2"x4" Flat Bar	1/2"x5" Flat Bar			1/2"x6" Flat Bar	1/2"x8" Flat Bar			
D	Upper Carriage Angle (2 Required per Lift Arm)	3/8"x2"x3" Angle		3/8"x3"x4" Angle			3/8"x4"x6" Angle				
E	Lower Carriage Angle (2 Required per Lift Arm)	3/8"x2"x3" Angle		3/8"x3"x4" Angle			3/8"x4"x6" Angle				
F	Pulley Plate (2 Required per Lift Arm)	3/8"x6" Flat Bar	1/2"x6" Flat Bar	1/2"x6" Flat Bar			1/2"x8" Flat Bar				
G	Upper Guide Wheel (4 Required per Lift Arm)	4" Diameter		5"x2"x3/4" I.D.			6" Diameter				
H	Lower Guide Wheel (1 Required per Lift Arm)	4" Diameter		4"x5-3/4"x 1-1/8" I.D.			6" Diameter				
I	Cable Size (Stainless Steel)	5/16" Diameter 7x19 SS 304							3/8" Diameter 7x19 SS 304		
J	Guide Track	AA I - 6"x4.7	AA I - 8"x6.3	AA I - 8"x7.1	AA I - 10"x8.7	AA I - 10"x10.286		AA I 12"x11.7	AA I 12"x14.3		
K	Guide Track To Guide Track Brace	AA CS 4"x1.8		AA CS 5"x2.2		AA CS 6"x2.8					
L	Attachment Bracket	(2) 3/8"x2"x3" Angles with welded 1/2" Thick Inner Plate			(2) 3/8"x3"x3" Angles with welded 1/2" Thick Inner Plate			(2) 3/8"x3"x3" Angles with welded 3/4" Thick Inner Plate			
M	Track Mount Connector (2 Required per Lift Arm)	3/8"x2"x4" Angle & 3/4" Bolts			3/8"x3"x4" Angle & 3/4" Bolts			1/2"x3"x6" Angle & 3/4" Bolts			
N	Motor Size (Horse Power/Voltage)										
O	Guide Post Socket	2" Diameter Schedule 80 Pipe					3" Diameter Schedule 80 Pipe				
P	Cross Brace (Telescoped)	2" Diameter 80 & 1-1/2" Schedule 40									
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R	Bunk Boards	3"x8" Pressure Treated Southern Yellow Pine #1				3"x10" Pressure Treated Southern Yellow Pine #1					

NOTE:

"P" Cross Bracing as shown is
OPTIONAL and not required on all
boat lifts.

JUL 11 2015



		Dimensions									
Lift Capacity (In Pounds)		5,000	7,000	10,000	12,000	14,000	15,000	17,000	20,000	24,000	
Dimension Mark	1	10'	10'	10'	10'	10'	10'	10'	10'	10'	
	2	7'	7'	8'	8'	8'	8'	10'	10'	10'	
	3	6"	6"	6"	6"	6"	6"	6"	6"	6"	
	4	6"	6"	6"	6"	6"	6"	6"	6"	6"	
	5	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	
	6	2'-8"	2'-8"	2'-8"	2'-11"	2'-11"	2'-11"	3'-3"	3'-3"	3'-3"	
	7	4'	4'	4'-6"	5'	5'	5'	6'	6'	6'	
	8	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	
	9	13"	13"	13"	13"	13"	13"	13"	13"	13"	
	10	8"	8"	8"	8"	8"	8"	8"	8"	10"	

File #: **2016-199**

Owner's Name: Zanetti, Peter & Sharon

Applicant: Zanetti, Peter & Sharon

Agent: N/A

Type of Application: Historic Preservation

Key: Key Largo

RE: 00506040.000000

Additional Information added to File 2016-199

This Instrument Prepared by and Return to:

Debi Wachendorfer
Island Acquisition Title Company dba Florida Title of the Keys
85960 Overseas Hwy., Ste 1
Islamorada, Florida 33036
Our File No.: 16-IS-55
Property Appraisers Parcel Identification (Folio) Number: 00506040-000000 A/K 1623890
Florida Documentary Stamps in the amount of \$3,815.00 have been paid hereon.

Space above this line for Recording Data

WARRANTY DEED

THIS WARRANTY DEED, made the 2 day of September, 2016 by JOSHUA RYAN HOEFERT and DAHLIA MAYE HOEFERT, husband and wife, whose post office address is 415 Palm Dr., Key Largo, FL 33037 herein called the Grantors, to PETER M. ZANETTI and SHARON A. ZANETTI, husband and wife whose post office address is 169 Sunrise Dr., Tavernier, FL 33070, hereinafter called the Grantees:
(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of a)

WITNESSETH: That the Grantors, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in MONROE County, State of Florida, viz.:

Lot 17, TAVERNIER COVE, according to the Plat thereof as recorded in Plat Book 1, Page 103 of the Public Records of Monroe County, Florida.

Subject to easements, restrictions and reservations of record and taxes for the year 2016 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantors hereby covenant with said Grantees that the Grantors are lawfully seized of said land in fee simple; that the Grantors have good right and lawful authority to sell and convey said land, and hereby warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2015.

IN WITNESS WHEREOF, the said Grantors have signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness #1 Signature

BRETT A. NEWMAN
Witness #1 Printed Name

[Signature]
Witness #2 Signature

JANICE A. NAGEL
Witness #2 Printed Name

[Signature] (Seal)
JOSHUA RYAN HOEFERT

[Signature] (Seal)
DAHLIA MAYE HOEFERT

STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 2 day of September, 2016, by JOSHUA RYAN HOEFERT and DAHLIA MAYE HOEFERT who are personally known to me or have produced FLORIDA DRIVER'S LICENSE as identification.

SEAL



My Commission Expires

[Signature]
DEBRA L. WACHENDORFER
Printed Notary Name

MONROE COUNTY
OFFICIAL RECORDS



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Website tested on IE8, IE9, & Firefox.
Requires Adobe Flash 10.3 or higher

Maps are now launching the new map application version.

Alternate Key: 1623890 Parcel ID: 00506040-000000

Ownership Details

Mailing Address:
ZANETTI PETER M AND SHARON A
169 SUNRISE DR
TAVERNIER, FL 33070-2554

Property Details

PC Code: 00 - VACANT RESIDENTIAL
Millage Group: 500P
Affordable Housing: No
Section-Township-Range: 34-62-38
Property Location: 169 SUNRISE DR KEY LARGO
Subdivision: TAVERNIER COVE
Legal Description: LT 17 TAVERNIER COVE NO 1 KEY LARGO PB1-103 OR413-508 OR821-697D/C OR840-602 OR1072-2453 OR2096-1255 OR2672-651/52 OR2674-897/98C OR2814-210

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
P10D - PERMITTED SFR DRY	50	150	7,500.00 SF

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	05301527	03/05/2014	02/02/2016	150,000		SFR

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2016	0	0	86,247	86,247	62,291	0	86,247
2015	0	0	56,629	56,629	56,629	0	56,629
2014	0	0	56,564	56,564	1,372	0	56,564
2013	0	0	26,721	26,721	1,248	0	26,721
2012	0	0	1,569	1,569	1,135	0	1,569
2011	0	0	1,032	1,032	1,032	0	1,032
2010	0	0	2,063	2,063	2,063	0	2,063
2009	0	0	12,375	12,375	12,375	0	12,375
2008	0	0	22,500	22,500	22,500	0	22,500
2007	0	0	37,500	37,500	37,500	0	37,500
2006	0	0	37,500	37,500	37,500	0	37,500
2005	0	0	16,875	16,875	16,875	0	16,875
2004	0	0	16,875	16,875	16,875	0	16,875
2003	0	0	16,875	16,875	16,875	0	16,875
2002	0	0	12,675	12,675	12,675	0	12,675
2001	0	0	12,675	12,675	12,675	0	12,675
2000	0	0	12,675	12,675	12,675	0	12,675
1999	0	0	12,675	12,675	12,675	0	12,675
1998	0	0	12,675	12,675	12,675	0	12,675
1997	0	0	12,675	12,675	12,675	0	12,675
1996	0	0	12,675	12,675	12,675	0	12,675
1995	0	0	12,675	12,675	12,675	0	12,675
1994	0	0	16,875	16,875	16,875	0	16,875
1993	0	0	16,875	16,875	16,875	0	16,875
1992	0	0	16,875	16,875	16,875	0	16,875
1991	0	0	16,875	16,875	16,875	0	16,875
1990	0	0	11,250	11,250	11,250	0	11,250
1989	0	0	7,875	7,875	7,875	0	7,875
1988	0	0	7,875	7,875	7,875	0	7,875
1987	0	0	10,500	10,500	10,500	0	10,500
1986	0	0	10,500	10,500	10,500	0	10,500

1985	0	0	10,500	10,500	10,500	0	10,500
1984	0	0	10,500	10,500	10,500	0	10,500
1983	0	0	5,110	5,110	5,110	0	5,110
1982	0	0	5,110	5,110	5,110	0	5,110

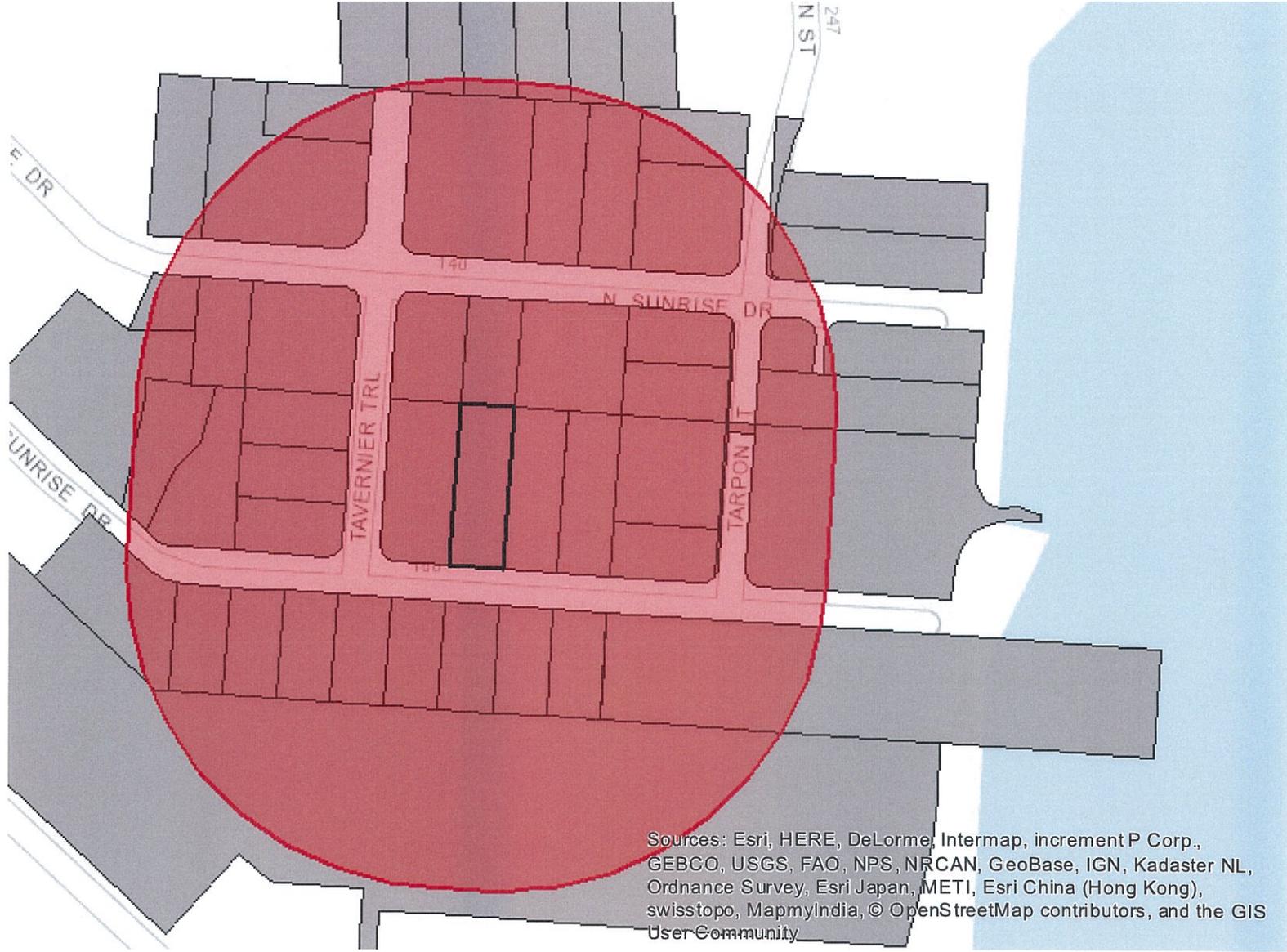
Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
9/1/2016	2814 / 210	545,000	WD	01
3/7/2014	2674 / 897	100	QC	11
2/24/2014	2672 / 651	87,800	QC	30
3/22/2005	2096 / 1255	50,000	WD	Q
8/1/1981	840 / 602	14,660	WD	U

This page has been visited 13,824 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176

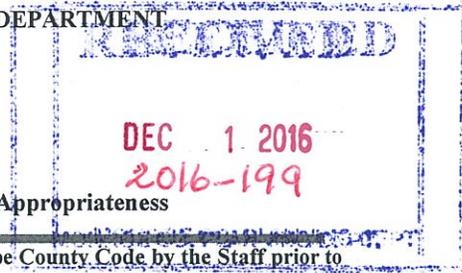


Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

RECHAR	NAME	ADD1	ADD2	UNIT	CITY	STATE	ZIP
00506070-000000	203 TARPON STREET LLC		PO BOX 1258		TAVERNIER	FL	33070-1258
00506310-000000	ALEX CARMEN MICAELA		148 SUNRISE DR		TAVERNIER	FL	33070-2528
00506000-000000	ALLEN ALICE CARROLL		133 SUNRISE DR		TAVERNIER	FL	33070-2527
0009020-000000	BALLAST TRAIL LLC		50 S POINTE DR APT 2502		MIAMI BEACH	FL	33139-4789
00506780-000000	BRODKIN GARY		1206 MOCKINGBIRD RD		KEY LARGO	FL	33037
00506820-000000	CUELLAR GUSTAVO AND MILAGROS		142 N SUNRISE DR		TAVERNIER	FL	33070-2524
00506470-000000	CUMMINGS KELLY ANNE		153 TAVERNIER TRL		TAVERNIER	FL	33070-2544
00506130-000000	DEVANNEY JOHN W III AND MARY S TRUSTEE		208 TARPON ST		TAVERNIER	FL	33070
00506260-000000	DOT/ST.OF FL	(STATE OF FLORIDA SRD)			TALLAHASSEE	FL	32399
00555450-000000	ENGEL DAVID K AND JAMIE ALLEN		138 OCEAN VIEW DR		TAVERNIER	FL	33070-2602
00506580-000000	FLORIDA KEYS ELECTRIC COOPERATIVE ASSOCIATION INC		PO BOX 700377		TAVERNIER	FL	33070-0377
00506790-000000	GAINES LOUIS AND JOAN G		7321 SW 108 TER		MIAMI	FL	33156
00506750-000000	GONZALEZ JILL B		220 TARPON ST		TAVERNIER	FL	33070-2534
00555440-000000	HAGENBUCHER ROBERT CARL		1448 CHAMPIONS GREEN DR		GULF BREEZE	FL	32563-3574
00555480-000000	HARRIS CHRISTIANNE MARIE		126 OCEAN VIEW DR		TAVERNIER	FL	33070-2602
00506050-000000	HOEFFERT JAMES A AND KAREN L		114 POINT PLEASANT DR		KEY LARGO	FL	33037
00506040-000000	HOEFFERT JOSHUA RYAN AND DAHLIA MAYE		415 PALM DR		KEY LARGO	FL	33037-3878
00506460-000000	HOWE JOHN R		149 SUNRISE DR		TAVERNIER	FL	33070-2527
00506620-000000	KROLL DENNIS J		141 N SUNRISE DR		TAVERNIER	FL	33070-2523
00506630-000000	KROLL DENNIS J		141 N SUNRISE DR		TAVERNIER	FL	33070-2523
00506320-000000	LOHMAYER GEORGE STEPHEN		140 SUNRISE DR		TAVERNIER	FL	33070-2528
00506330-000000	LOHMAYER GEORGE STEPHEN		140 SUNRISE DR		TAVERNIER	FL	33070
00506300-000000	LONG CAROL ANN		152 SUNRISE DR		TAVERNIER	FL	33070
00506150-000000	MANGROVE REVOCABLE TRUST	C/O YOUNG EDWIN BARRY AND LISA LEE TRUSTEES	8414 SWANANOAHR RD		DALLAS	TX	75209-2838
00506860-000000	MARINERS HOSPITAL INC		91500 OVERSEAS HWY		TAVERNIER	FL	33070-2547
00506080-000000	MARTIN CYNTHIA R		207 TARPON ST		TAVERNIER	FL	33070-2533
00506710-000300	MONROE COUNTY		500 WHITEHEAD STREET		KEY WEST	FL	33040
00506070-000100	MONROE COUNTY FLORIDA		500 WHITEHEAD STREET		KEY WEST	FL	33040
00506030-000100	NATIVE RENTAL PROPERTIES LLC		154 FONTAINE DR		TAVERNIER	FL	33070-2310
00506230-000000	NORNINGTON SHANNON L		162 SUNRISE DR		TAVERNIER	FL	33070
00506730-000000	PALOMO ANDRES		12095 SW 62ND AVE		MIAMI	FL	33156-5656
00506810-000000	PEREZ LISMEIBOL		2969 SW 20TH ST		MIAMI	FL	33145-2341
00506660-000000	PFANDER KATRINA KARR AND JOSEPH A		155 N SUNRISE DR		TAVERNIER	FL	33070-2523
00506670-000000	POE DIANNE R		PO BOX 158		TAVERNIER	FL	33070-0158
00506830-000000	RAY HENDREN		119 GARDEN ST		TAVERNIER	FL	33070-2768
00506480-000000	RAY HENDREN		119 GARDEN ST		TAVERNIER	FL	33070-2768
00506700-000000	REMBISZ AMY		235 TARPON ST		TAVERNIER	FL	33070-2534
00506220-000000	SAIGER GLENN S AND VIRGINIA S		81981 OVERSEAS HWY		ISLAMORADA	FL	33036
00506710-000200	SANCHEZ DALIA AND GILBERT LUIS		12640 VIRTUDES ST		CORAL GABLES	FL	33156-6350
00555490-000000	SBARRO FRANK E		122 OCEAN VIEW DR		TAVERNIER	FL	33070-2602
00506210-000000	SPOSATO CHARLES F		P O BOX 1258		TAVERNIER	FL	33070
00506200-000000	SPOSATO CHARLES F		P O BOX 1258		TAVERNIER	FL	33070
00506030-000000	STAFFIN EDWARD S AND IRENE		17161 STARFISH LN W		SUMMERLAND KEY	FL	33042-3620
00506020-000000	STAFFIN EDWARD S AND IRENE T		17161 STARFISH LN W		SUMMERLAND KEY	FL	33042-3620
00555470-000000	STEPUTIS KYLE R AND KRISTINA J		130 OCEAN VIEW DR		TAVERNIER	FL	33070-2602
00555460-000000	SUSTIEL OFFER		12851 MUSTANG TR		SOUTHWEST RANCHES	FL	33330-3840
00506790-000100	TIIT/STATE OF FLORIDA		%DNR DOUGLAS BLDG		TALLAHASSEE	FL	32399-3000
00506780-000100	TIIT/STATE OF FLORIDA PUBLIC LAND		%DNR DOUGLAS BLDG		TALLAHASSEE	FL	32399-3000
00506490-000000	VONNEGUT ROBERT B		PO BOX 1505		TAVERNIER	FL	33070-1505
00506600-000000	WAGNER WILLIAM III AND CYNTHIA L		137 N SUNRISE DR		TAVERNIER	FL	33070-2523
00506680-000000	WAKEMAN FAYE A ESTATE	C/O WAKEMAN CHARLES J P/R	14500 SW 88TH AVE APT 201		PALMETTO BAY	FL	33176-8004
00506060-000000	WAKEMAN SUSAN C ESTATE	C/O WAKEMAN CHARLES JOHN P/R	14500 SW 88TH AVE APT 201		PALMETTO BAY	FL	33176-8004
00506240-000000	WELFLEY PAMELA JOANN REVOCABLE TRUST AG 10/3/2012		PO BOX 565		LORIDA	FL	33857-0565
00506800-000000	WILSON CHRISTINE		5151 COLLINS AVE APT 1625		MIAMI BEACH	FL	33140-2776

End of Additional File 2016-199

APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



Historic Preservation Committee Special Certificate of Appropriateness

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review by the Historic Preservation Committee

pd. CK 1192

Historic Preservation Committee Special Certificate of Appropriateness Fee: \$200.00

Date of Application: 11 / 29 / 2016
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

<u>PETER & SHARON ZANETTI</u>	<u>PETER ZANETTI</u>
<small>Applicant (Name of Person, Business or Organization)</small>	<small>Name of Person Submitting this Application</small>
<u>169 SUNRISE DR TAVERNIER FL 33070</u>	
<small>Mailing Address (Street, City, State and Zip Code)</small>	
<u>305.771.2684</u>	<u>p.zanetti@me.com</u>
<small>Work Phone</small>	<small>Home Phone</small>
<u>305.771.2684</u>	<u>p.zanetti@me.com</u>
<small>Cell Phone</small>	<small>Email Address</small>

Property Owner / Petitioner: (Business/Corp must include documents showing who has legal authorized to sign.)

<u>PETER & SHARON ZANETTI</u>	<u>PETER ZANETTI</u>
<small>(Name/Entity)</small>	<small>Contact Person</small>
<u>169 SUNRISE DR TAVERNIER FL 33070</u>	
<small>Mailing Address (Street, City, State and Zip Code)</small>	
<u>305.771.2684</u>	<u>p.zanetti@me.com</u>
<small>Work Phone</small>	<small>Home Phone</small>
<u>305.771.2684</u>	<u>p.zanetti@me.com</u>
<small>Cell Phone</small>	<small>Email Address</small>

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

<u>1</u>	<u>17</u>	<u>TAVERNIER COVE</u>	<u>KEY LARGO</u>
<small>Block</small>	<small>Lot</small>	<small>Subdivision</small>	<small>Key</small>
<u>00506040-000000</u>			<u>1623890</u>
<small>Real Estate (RE) Number</small>		<small>Alternate Key Number</small>	
<u>169 SUNRISE DR TAVERNIER FL 33070</u>		<u>MM 91.5</u>	
<small>Street Address (Street, City, State & Zip Code)</small>		<small>Approximate Mile Marker</small>	

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Current Property Record Card(s) from the Monroe County Property Appraiser
- Photograph of property and building from roadway
- Photographs of adjacent properties
- Written summary of the scope of work to be carried out or copy of building permit application
- Site plan and Exterior building elevations
- Illustrations of manufactured products to be used, such as roofing, shutters, doors and windows

If applicable, the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Notarized Agent Authorization Letter

APPLICATION

Is there a pending code enforcement proceeding involving all or a portion of this parcel?

Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

* * * * *

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Signature] Date: 11-29-2016

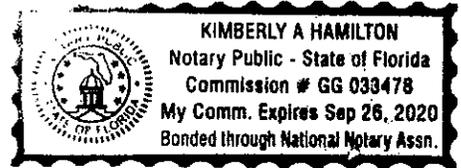
STATE OF FLORIDA
COUNTY OF MONROE

Sworn to and subscribed before me this 29 day of NOVEMBER, 20 16,

by Peter Zaneffi, who is personally known to me OR produced
(PRINT NAME OF PERSON MAKING STATEMENT)

Florida DL as identification.
(TYPE OF ID PRODUCED)

[Signature]
Signature of Notary Public



Print, Type or Stamp Commissioned Name of Notary Public
My commission expires: Sept 26, 2020

Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050

Summary

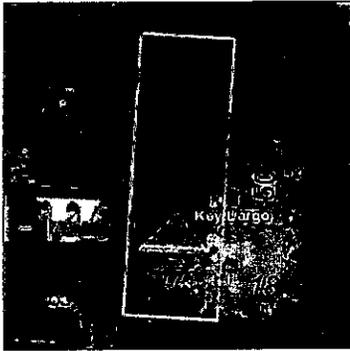
Parcel ID 00506040-000000
 Alternate Key 1623890
 Property Address 169 SUNRISE DR
 Key Name KEY LARGO
 Sec/Twp/Rng 34-62-38
 Legal Description LT 17 TAVERNIER COVE NO 1 KEY LARGO PB1-103 OR413-508 OR821-697D/C OR840-602 OR1072-2453 OR2096-1255 OR2672-651/52 OR2674-897/98C OR2814-210
 (Note: Not to be used on legal documents or any document to be recorded)
 Neighborhood 1681
 Subdivision TAVERNIER COVE
 Millage Group 500P
 Affordable Housing No
 Class 0000 - VACANT RESIDENTIAL



Owner

Primary Owner
 Zanetti Peter M And Sharon A
 169 Sunrise Dr
 Tavernier, FL 33070-2554

Map



Valuation

	2016	2015	2014	2013	2012
+ Building Value	\$0	\$0	\$0	\$0	\$0
+ Misc Improvement Value	\$0	\$0	\$0	\$0	\$0
+ Land Value	\$86,247	\$56,629	\$56,564	\$26,721	\$1,569
= Just (Market) Value	\$86,247	\$56,629	\$56,564	\$26,721	\$1,569
= Assessed Value	\$62,291	\$56,629	\$1,372	\$1,248	\$1,135
- School Exempt Value	\$0	\$0	\$0	\$0	\$0
= School Taxable Value	\$86,247	\$56,629	\$56,564	\$26,721	\$1,569

Land

Land Use Code	Frontage	Depth	Land Area
PERMITTED SFR DRY (P10D)	50	150	7500 SF

Sales

Sale Date	Book/Page	Price	Instrument	Qualification
9/1/2016	2814/210	\$545,000	WD	01
3/7/2014	2674/897	\$100	QC	11
2/24/2014	2672/651	\$87,800	QC	30
3/22/2005	2096/1255	\$50,000	WD	Q
8/1/1981	840/602	\$14,660	WD	U

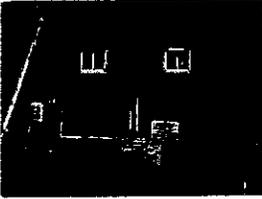
Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	05301527	03/05/2014	02/02/2016	\$150,000		SFR

View Tax Info

[View Taxes for this Parcel](#)

Photos



TRIM Notices

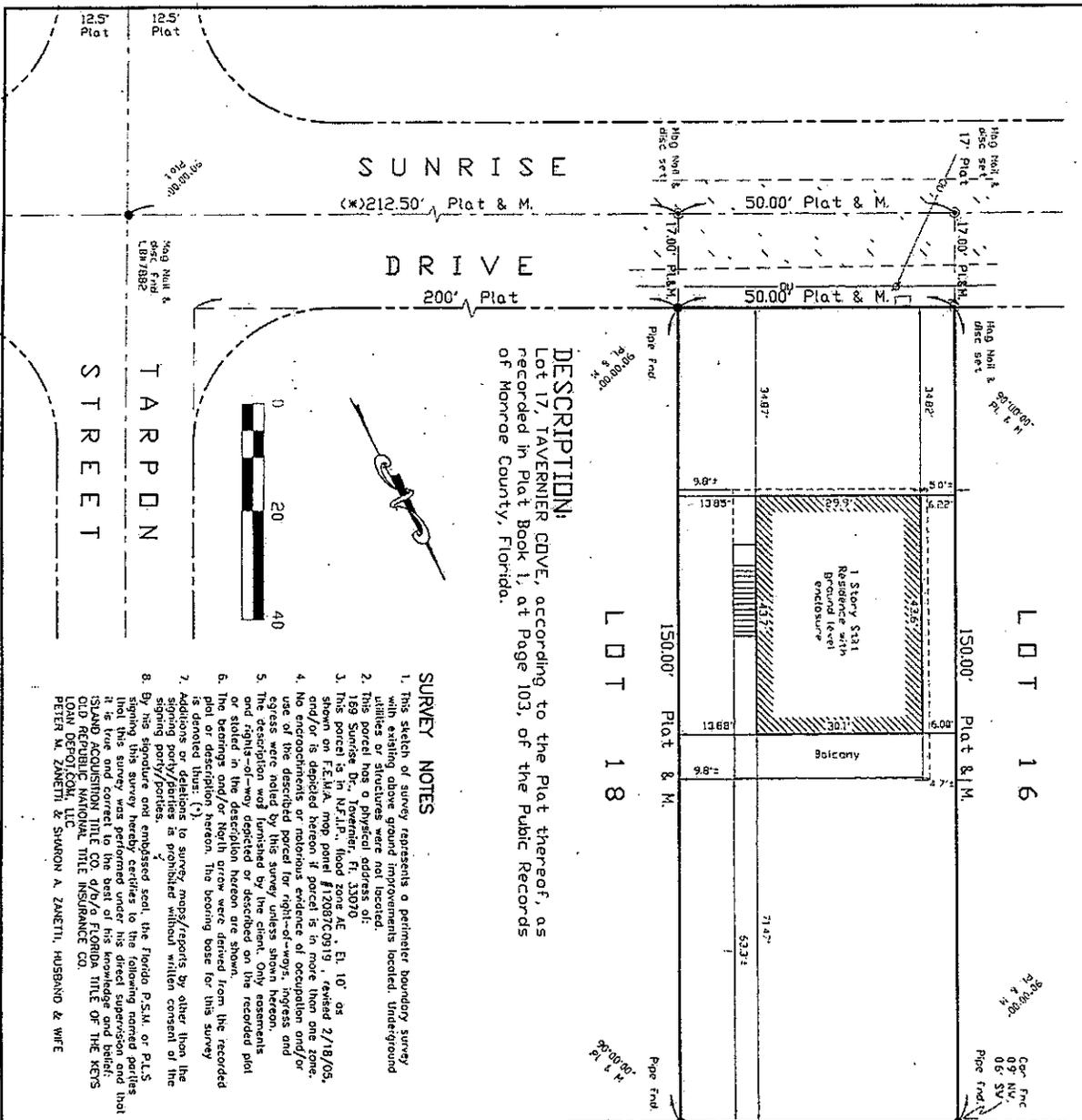
[TRIM Notice](#)

No data available for the following modules: Condominium Details, Building Summary, Buildings, Exemptions, Improvements, Appraiser Notes, Sketches.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

Last Data Upload: 11/25/2016 12:27:08 AM

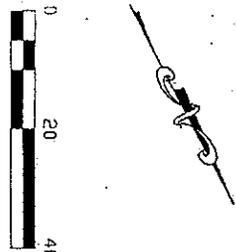
 Developed by
The Schneider Corporation



DESCRIPTION:
 Lot 17, TAVERNIER COVE, according to the Plat thereof, as recorded in Plat Book 1, at Page 103, of the Public Records of Monroe County, Florida.

SURVEY NOTES

1. This sketch of survey represents a perimeter boundary survey.
2. This parcel has a physical address of: 189 Sunrise Dr., Tavernier, FL 33070.
3. This parcel is in N.F.L.P., Flood Zone AE, E1, 10' as shown on F.E.M.A. map panel #12087C0919, revised 2/18/05, and/or is depicted hereon if parcel is in more than one zone. No encroachments or notorious evidence of occupation and/or use of the described parcel for right-of-ways, ingress and egress were noted by this survey, unless shown hereon.
4. All easements shown hereon are shown by their respective bearings and distances and depicted on the recorded plat.
5. The bearings and/or North arrow were derived from the recorded plat or description hereon. The bearing base for this survey is denoted thus: ()
6. The bearings and/or North arrow were derived from the recorded plat or description hereon.
7. Additions or deletions to survey maps/reports by other than the signing party/ parties is prohibited without written consent of the signing party/ parties.
8. By signing this survey hereby certifies to the following named parties that this survey was performed under his direct supervision and belief: ISLAND ACQUISITION TITLE CO. d/b/a FLORIDA TITLE OF THE KEYS OLD REPUBLIC NATIONAL TITLE INSURANCE CO. LLOYD DEPOSITUM, LLC PETER M. ZANETTI & SHARON A. ZANETTI, HUSBAND & WIFE



SINGLETONS ADDITION TO TAVERNIER COVE
 (P.B. 1, P. 135)

ABBREVIATIONS/LEGEND

P.S.W.	Professional Surveyor & Mapper
L.S.	Licensed Surveyor
U.S.	Unlicensed Surveyor
D.	Deeded
U.	Unimproved
Imp.	Improved
Imp. T.V.	Improved Tract
Imp. T.V. - 1/4	Improved Tract - 1/4
Imp. T.V. - 1/2	Improved Tract - 1/2
Imp. T.V. - 3/4	Improved Tract - 3/4
Imp. T.V. - 1	Improved Tract - 1
Imp. T.V. - 1 1/4	Improved Tract - 1 1/4
Imp. T.V. - 1 1/2	Improved Tract - 1 1/2
Imp. T.V. - 1 3/4	Improved Tract - 1 3/4
Imp. T.V. - 2	Improved Tract - 2
Imp. T.V. - 2 1/4	Improved Tract - 2 1/4
Imp. T.V. - 2 1/2	Improved Tract - 2 1/2
Imp. T.V. - 2 3/4	Improved Tract - 2 3/4
Imp. T.V. - 3	Improved Tract - 3
Imp. T.V. - 3 1/4	Improved Tract - 3 1/4
Imp. T.V. - 3 1/2	Improved Tract - 3 1/2
Imp. T.V. - 3 3/4	Improved Tract - 3 3/4
Imp. T.V. - 4	Improved Tract - 4
Imp. T.V. - 4 1/4	Improved Tract - 4 1/4
Imp. T.V. - 4 1/2	Improved Tract - 4 1/2
Imp. T.V. - 4 3/4	Improved Tract - 4 3/4
Imp. T.V. - 5	Improved Tract - 5
Imp. T.V. - 5 1/4	Improved Tract - 5 1/4
Imp. T.V. - 5 1/2	Improved Tract - 5 1/2
Imp. T.V. - 5 3/4	Improved Tract - 5 3/4
Imp. T.V. - 6	Improved Tract - 6
Imp. T.V. - 6 1/4	Improved Tract - 6 1/4
Imp. T.V. - 6 1/2	Improved Tract - 6 1/2
Imp. T.V. - 6 3/4	Improved Tract - 6 3/4
Imp. T.V. - 7	Improved Tract - 7
Imp. T.V. - 7 1/4	Improved Tract - 7 1/4
Imp. T.V. - 7 1/2	Improved Tract - 7 1/2
Imp. T.V. - 7 3/4	Improved Tract - 7 3/4
Imp. T.V. - 8	Improved Tract - 8
Imp. T.V. - 8 1/4	Improved Tract - 8 1/4
Imp. T.V. - 8 1/2	Improved Tract - 8 1/2
Imp. T.V. - 8 3/4	Improved Tract - 8 3/4
Imp. T.V. - 9	Improved Tract - 9
Imp. T.V. - 9 1/4	Improved Tract - 9 1/4
Imp. T.V. - 9 1/2	Improved Tract - 9 1/2
Imp. T.V. - 9 3/4	Improved Tract - 9 3/4
Imp. T.V. - 10	Improved Tract - 10
Imp. T.V. - 10 1/4	Improved Tract - 10 1/4
Imp. T.V. - 10 1/2	Improved Tract - 10 1/2
Imp. T.V. - 10 3/4	Improved Tract - 10 3/4
Imp. T.V. - 11	Improved Tract - 11
Imp. T.V. - 11 1/4	Improved Tract - 11 1/4
Imp. T.V. - 11 1/2	Improved Tract - 11 1/2
Imp. T.V. - 11 3/4	Improved Tract - 11 3/4
Imp. T.V. - 12	Improved Tract - 12
Imp. T.V. - 12 1/4	Improved Tract - 12 1/4
Imp. T.V. - 12 1/2	Improved Tract - 12 1/2
Imp. T.V. - 12 3/4	Improved Tract - 12 3/4
Imp. T.V. - 13	Improved Tract - 13
Imp. T.V. - 13 1/4	Improved Tract - 13 1/4
Imp. T.V. - 13 1/2	Improved Tract - 13 1/2
Imp. T.V. - 13 3/4	Improved Tract - 13 3/4
Imp. T.V. - 14	Improved Tract - 14
Imp. T.V. - 14 1/4	Improved Tract - 14 1/4
Imp. T.V. - 14 1/2	Improved Tract - 14 1/2
Imp. T.V. - 14 3/4	Improved Tract - 14 3/4
Imp. T.V. - 15	Improved Tract - 15
Imp. T.V. - 15 1/4	Improved Tract - 15 1/4
Imp. T.V. - 15 1/2	Improved Tract - 15 1/2
Imp. T.V. - 15 3/4	Improved Tract - 15 3/4
Imp. T.V. - 16	Improved Tract - 16
Imp. T.V. - 16 1/4	Improved Tract - 16 1/4
Imp. T.V. - 16 1/2	Improved Tract - 16 1/2
Imp. T.V. - 16 3/4	Improved Tract - 16 3/4
Imp. T.V. - 17	Improved Tract - 17
Imp. T.V. - 17 1/4	Improved Tract - 17 1/4
Imp. T.V. - 17 1/2	Improved Tract - 17 1/2
Imp. T.V. - 17 3/4	Improved Tract - 17 3/4
Imp. T.V. - 18	Improved Tract - 18
Imp. T.V. - 18 1/4	Improved Tract - 18 1/4
Imp. T.V. - 18 1/2	Improved Tract - 18 1/2
Imp. T.V. - 18 3/4	Improved Tract - 18 3/4
Imp. T.V. - 19	Improved Tract - 19
Imp. T.V. - 19 1/4	Improved Tract - 19 1/4
Imp. T.V. - 19 1/2	Improved Tract - 19 1/2
Imp. T.V. - 19 3/4	Improved Tract - 19 3/4
Imp. T.V. - 20	Improved Tract - 20
Imp. T.V. - 20 1/4	Improved Tract - 20 1/4
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Imp. T.V. - 21	Improved Tract - 21
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Imp. T.V. - 25 1/4	Improved Tract - 25 1/4
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Imp. T.V. - 25 3/4	Improved Tract - 25 3/4
Imp. T.V. - 26	Improved Tract - 26
Imp. T.V. - 26 1/4	Improved Tract - 26 1/4
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Imp. T.V. - 27	Improved Tract - 27
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Imp. T.V. - 28	Improved Tract - 28
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Imp. T.V. - 51 1/2	Improved Tract - 51 1/2
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Imp. T.V. - 52 1/2	Improved Tract - 52 1/2
Imp. T.V. - 52 3/4	Improved Tract - 52 3/4
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Imp. T.V. - 53 1/4	Improved Tract - 53 1/4
Imp. T.V. - 53 1/2	Improved Tract - 53 1/2
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Imp. T.V. - 54	Improved Tract - 54
Imp. T.V. - 54 1/4	Improved Tract - 54 1/4
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Imp. T.V. - 63 1/4	Improved Tract - 63 1/4
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Imp. T.V. - 65 3/4	Improved Tract - 65 3/4
Imp. T.V. - 66	Improved Tract - 66
Imp. T.V. - 66 1/4	Improved Tract - 66 1/4
Imp. T.V. - 66 1/2	Improved Tract - 66 1/2
Imp. T.V. - 66 3/4	Improved Tract - 66 3/4
Imp. T.V. - 67	Improved Tract - 67
Imp. T.V. - 67 1/4	Improved Tract - 67 1/4
Imp. T.V. - 67 1/2	Improved Tract - 67 1/2
Imp. T.V. - 67 3/4	Improved Tract - 67 3/4
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Imp. T.V. - 68 1/4	Improved Tract - 68 1/4
Imp. T.V. - 68 1/2	Improved Tract - 68 1/2
Imp. T.V. - 68 3/4	Improved Tract - 68 3/4
Imp. T.V. - 69	Improved Tract - 69
Imp. T.V. - 69 1/4	Improved Tract - 69 1/4
Imp. T.V. - 69 1/2	Improved Tract - 69 1/2
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169 Sunrise



169 Sunrise Front Elevation



169 Sunrise Rear Elevation

Property is concrete/stucco elevated new construction within the confines of the Tavernier Historical district. The owners wish to perform modifications to the exterior of the home/property that they believe will help the newly-built home blend with the character of the adjoining properties and neighborhood.

The list of intended modifications included in this application are:

- Aluminum Bahama shutters on (4) front windows
- White painted wooden trellis on front facade
- Wood stockade fence to enclose rear of property and aluminum railing/gate to complete enclosure beneath
- White painted wooden picket fence at front of property

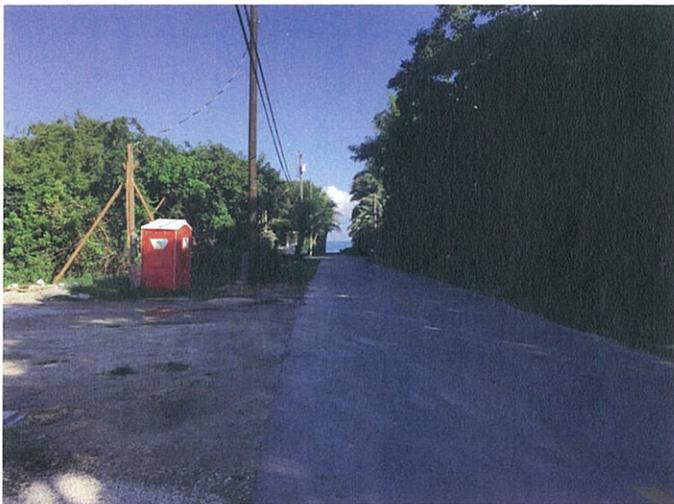
169 Sunrise Adjacent Properties



Front facade 169 Sunrise & View Northeast



169 Sunrise View Northeast



169 Sunrise View East



169 Sunrise View Southeast

continued

169 Sunrise Dr



169 Sunrise View South



169 Sunrise View Southwest



169 Sunrise View West



169 Sunrise View Northwest



169 Sunrise Facade & View Northwest

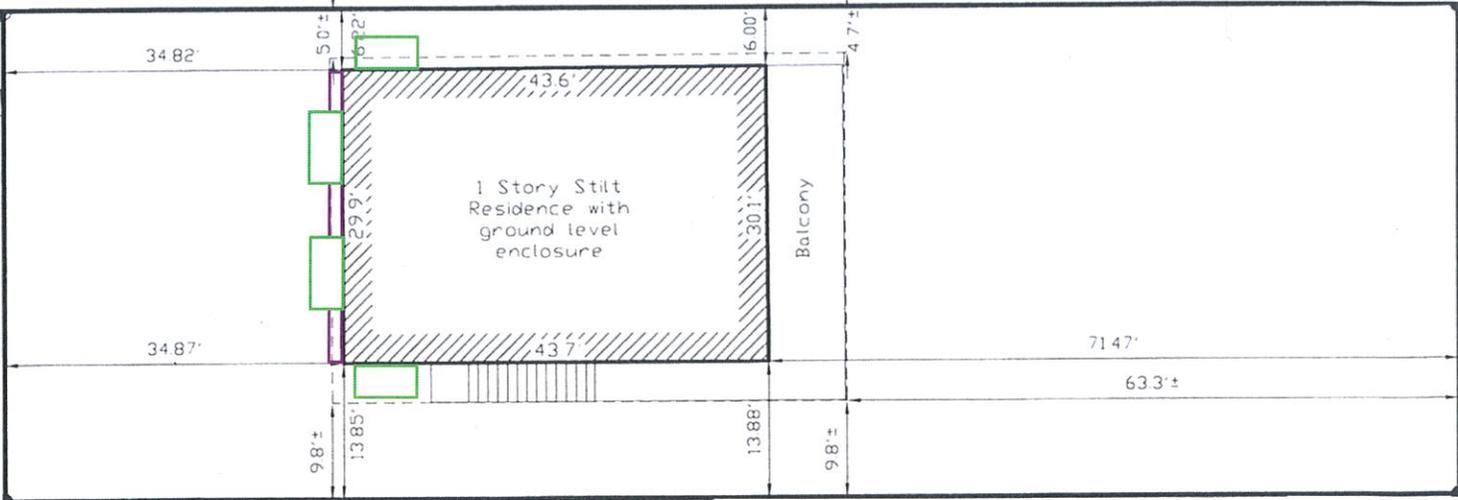
169 Sunrise: Front facade proposal

The intended Bahama shutter installation is for non-impart decorative white aluminum shutters intended to match the existing white aluminum railings on the home. The front four windows are proposed for shutters as noted with green arrows below. The photo below does not show the window on the western elevation. The western window matches that shown on the eastern elevation.

The intended shutters feature traditional operative hardware and include a single vertical mullion as in the example photographs included.

A front facade trellis is intended to visually lower the home and act as support for flowering vines. The proposed location is noted in purple. A typical installation is included in the example photographs enclosed.

The trellis is intended to span the area immediately above the openings created by the concrete columns



169 Sunrise: Front facade proposal



169 Sunrise: Rear Enclosure Proposal



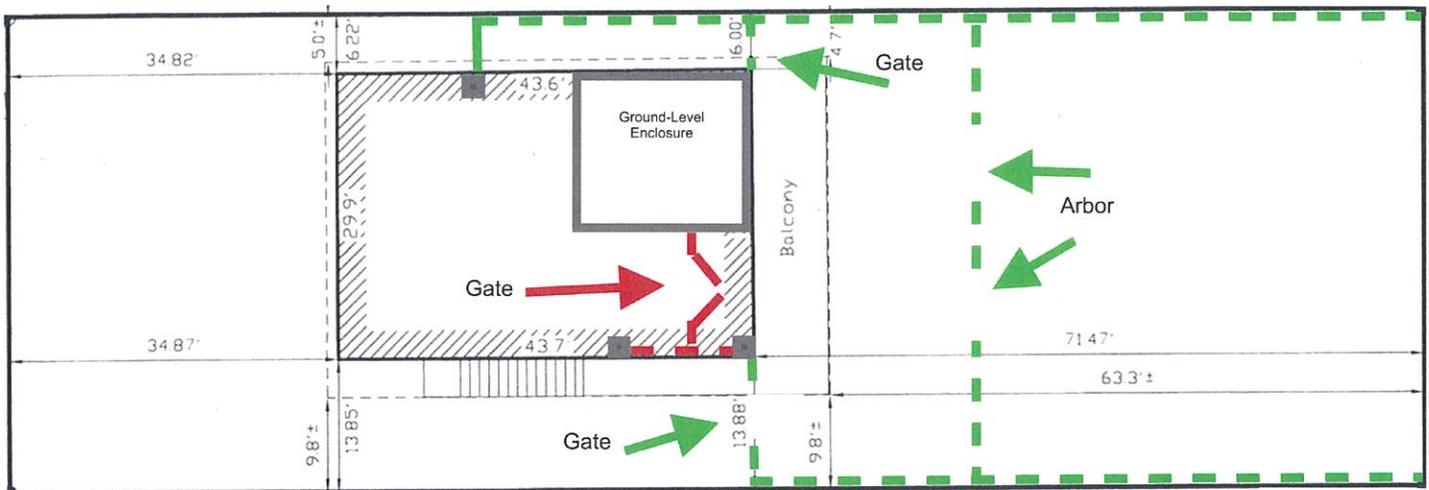
existing fence at rear property boundary



6' wooden stockade fence

The proposed rear fence at 169 Sunrise is intended to match the existing fence of the adjoining property at 146 N. Sunrise Dr. The east and west property edges will be enclosed with six foot wooden stockade fencing that will abut the home on the existing concrete elevation columns as shown below (see below in green). A gate is proposed on each side of the home. A four foot section of wooden picket fence will bisect the property internally with arbor openings to create a garden enclosure

To complete the enclosure white aluminum rail and stile with matching 4 foot gate (see below in red) is proposed beneath the home to connect the rear concrete columns to the ground level enclosure. The aluminum rails and gate to match that existing on the home.



169 Sunrise: Rear Enclosure Proposal

Details shown below of existing aluminum rail and stile as well as typical wooden arbor



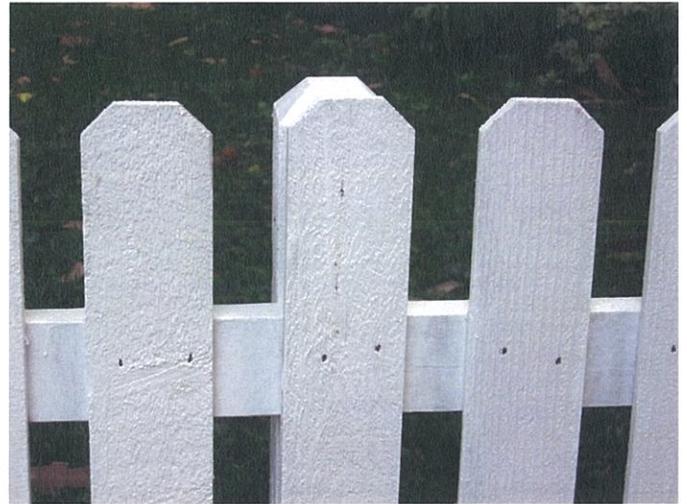
169 Sunrise: Front Fence Proposal

The intended front fence installation includes partial enclosure of the front and east/west property boundaries with wooden dog ear picket fence to match the style of the adjoining property at 150 N. Sunrise

The front fence will be at or behind the front set back and street tree and extend partially along the east and west property boundaries as noted below in green. The lengths along the front are intended at approximately 15' and the sides at approximately 12'



Existing fence/driveway at 150 N Sunrise



Typical detail

