

AGENDA

DEVELOPMENT REVIEW COMMITTEE

-
June 23, 2009

PURSUANT TO Florida Statute 286.011(1), the Development Review Committee of Monroe County will conduct a meeting on June 23, 2009 beginning at 1:00 PM at the Marathon Government Center, 2nd Floor, 2798 Overseas Highway, Marathon, Florida.

CALL TO ORDER

ROLL CALL

DRC MEMBERS

Townsley Schwab, Senior Director of Planning and Environmental Resources

Janis Vaseris, Biologist

Patricia A. Ivey, DOT Representative

Steve Zavalney, Fire Marshall

Judith Clarke, Director of Engineering Services

STAFF MEMBERS PRESENTING THE FOLLOWING AGENDA ITEMS:

Joe Haberman, Sr. Current Planner

Tim Richard, Planner

CHANGES TO THE AGENDA

MEETING

NEW ITEMS:

1. Florida Keys Marathon Airport, Marathon, Mile Marker 51:

A request for approval of a minor conditional use permit in order to construct a communication site for the Federal Aviation Administration that consists of a 160 square foot mechanical compound and a 57 foot monopole tower structure on a leased 400 square foot portion of the property. The leased property is located on the subject parcel, legally described as Section 6, Township 66, Range 33, N66306-31, Key Vaccas, Part Lot 2, Monroe County, Florida having real estate number 00104500.000000.

[29051 FILE.pdf](#)

[29051 Survey & Siteplans.pdf](#)

[29051 SR 6.23.09.PDF](#)

-

ADJOURNMENT

File #: **29051**

Agent Name: Grain Communications
Group, Inc.

Owner Name: Monroe County/ Marathon
Airport

Type of Application: **Minor Conditional Use**

Key: **Key Vaacus**

RE #'s : **Pt.00104500-000000**

**Additional Information added to
File 29051**

End of Additional Information
File 29051

County of Monroe
Growth Management Division

Office of the Director

2798 Overseas Highway
Suite #400
Marathon, FL 33050
Voice: (305) 289-2517
FAX: (305) 289-2854



Board of County Commissioners

Mayor George Neugent, Dist. 2
Mayor Pro Tem Sylvia J. Murphy, Dist. 5
Kim Wigington, Dist. 1
Heather Carruthers, Dist. 3
Mario Di Gennaro, Dist. 4

We strive to be caring, professional and fair

Date: 5/1/09
Time: 3 PM

Dear Applicant:

This is to acknowledge submittal of your application for MINOR COND. USE
Type of application

MARATHON AIRPORT to the Monroe County Planning Department.
Project / Name

Thank you.

Julie Thomson
Planning Staff

CAME
VIA Fed Ex

**APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT**



Request for a Minor Conditional Use Permit / Amendment to a Minor Conditional Use Permit

Monroe County Code §§ 9.5-68 & 9.5-73

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review

Minor Conditional Use Permit Application Fee: \$8,484.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$735.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Technology Fee: \$20.00

Date of Submittal: _____ / _____ / _____
Month Day Year

Property Owner:

Monroe County Flight Strip
Name

500 Whitehead St., Key West, FL 33040
Mailing Address

305-294-4641 or 305-289-6060
Daytime Phone

mthap@monroecounty-fl.gov
Email Address

Agent (if applicable):

Stacey Mathis (Grain Communication)
Name

100N. Washington, Sarasota, FL 34236
Mailing Address

941-379-1249
Daytime Phone

smathis@gcqi.com
Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet)

Vaca

Block	Lot	Subdivision	Key
<u>104500</u>		<u>1122114</u>	
Real Estate (RE) Number		Alternate Key Number	
<u>10600 Aviation Boulevard</u>			
Street Address		Approximate Mile Marker	
<u>9400 Overseas Highway</u>			

APPLICATION

Land Use District Designation(s): AD - Airport District

Present Land Use of the Property: Airport

Proposed Land Use of the Property: Airport

Total Land Area: _____

If non-residential or commercial floor area is proposed, please provide:

0 Total number of non-residential buildings

0 Total non-residential floor area in square feet

If residential dwelling units are proposed, please provide:

_____ Total number of residential buildings

_____ Total number of permanent, market-rate units

_____ Total number of permanent, affordable / employee housing units

_____ Total number of transient units (hotel rooms, recreational vehicle / campground spaces)

Has a previous application been submitted for this site within the past two years? Yes ___ No X

All of the following must be submitted in order to have a complete application submittal:

(Please check as you attach each required item to the application)

- Complete minor conditional use permit application (unaltered and unbound); and
- Correct fee (check or money order to Monroe County Planning & Environmental Resources); and N/A
- Proof of ownership (i.e. Warranty Deed); and
- Current Property Record Card(s) from the Monroe County Property Appraiser; and
- Location map; and
- Photograph(s) of site from adjacent roadway(s); and
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – six (6) sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat); and
- Written description of project; and
- Signed and Sealed Site Plans, prepared by a Florida registered architect, engineer or landscape architect– six (6) sets (drawn to a scale of one (1) inch equals twenty (20) feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following:
 - Date, north point and graphic scale; and
 - Boundary lines of site, including all property lines and mean high-water lines; and
 - Land use district of site and any adjacent land use districts; and

APPLICATION

- Flood zones pursuant to the Flood Insurance Rate Map(s); and
- Locations and dimensions of all existing and proposed structures and drives; and
- Type of ground cover (i.e. concrete, asphalt, grass, rock); and
- Adjacent roadways; and
- Setbacks as required by the land development regulations; and
- Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones; and
- Calculations for open space ratios, floor area ratios, residential density and parking; and
- Location and type of outdoor lighting; and
- Extent and area of wetlands, open space areas and landscape areas; and
- Location of solid waste storage; and
- Location of sewage treatment facilities; and
- Location of existing and proposed fire hydrants or fire wells; and

Floor Plans for all proposed structures and for any existing structures to be redeveloped – six (6) sets (drawn at an appropriate standard architectural scale and including handicap accessibility features); and

Elevations for all proposed structures and for any existing structures to be modified – six (6) sets (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure); and

Landscape Plan by a Florida registered landscape architect – six (6) sets (may be shown on the site plan; however, if a separate plan, must drawn to a scale of one (1) inch equals twenty (20) feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the landscaping plan should include the following:

- Date, north point and graphic scale; and
- Boundary lines of site, including all property lines and mean high-water lines; and
- Locations and dimensions of all existing and proposed structures and drives; and
- Open space preservation areas; and
- Existing natural features; and
- Size and type of buffer yards including the species, size and number of plants; and
- Parking lot landscaping including the species, size and number of plants; and
- Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced; and
- Transplantation plan (if required); and

Conceptual Drainage Plan – six (6) sets (with drainage calculations; existing and proposed topography; all drainage structures; retention areas; drainage swales; and existing and proposed permeable and impermeable areas; and

Traffic Study, prepared by a licensed traffic engineer; and

Construction Management Plan, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging); and

Typed name and address mailing labels of all property owners within a 300 foot radius of the property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 300 foot radius, each unit owner must be included; and

Letters of Coordination are required from the following:

- Florida Keys Aqueduct Authority (FKAA); and
- Florida Keys Electric Cooperative (FKEC) or Keys Energy Services; and
- Monroe County Office of the Fire Marshal; and
- Monroe County Engineering Division; and

APPLICATION

- Monroe County Health Department; and
- Monroe Solid Waste Management; and
- Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day; and
- Florida Department of Transportation (FDOT)

If applicable, the following must be submitted in order to have a complete application submittal:

- Notarized Agent Authorization Letter (note: authorization is needed from all owner(s) of the subject property);
- Vegetation Survey or Habitat Evaluation Index (please contact Monroe County Environmental Resources prior to application submittal to determine if this documentation is necessary);
- Construction Phasing Plan;
- Additional Letters of Coordination may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to

- South Florida Water Management District (SFWMD)
- Florida Department of Environmental Protection (FDEP)
- Florida Department of State, Division of Historic Resources
- Florida Game and Freshwater Fish Commission (FGFFC)
- U.S. Army Corps of Engineers (ACOE)
- U.S. Fish and Wildlife Service (USFW)

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

If for any reason the minor conditional use permit application requires review and consideration by the Monroe County Planning Commission, additional fees, mailing labels and copies of all plans shall be required prior to item being scheduled for commission review

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Signature] Date: 4/30/09

Sworn before me this 30 day of April, 2009



[Signature]
Notary Public
My Commission Expires

Please send the complete application package to the Monroe County Planning & Environmental Resources Department, Marathon Government Center, 2798 Overseas Highway, Suite 400, Marathon, FL 33050.

Ervin A. Higgs, CFA
Property Appraiser
Monroe County, Florida

office (305) 292-3420
 fax (305) 292-3501

Property Record View

Alternate Key: 1122114 Parcel ID: 00104500-000000

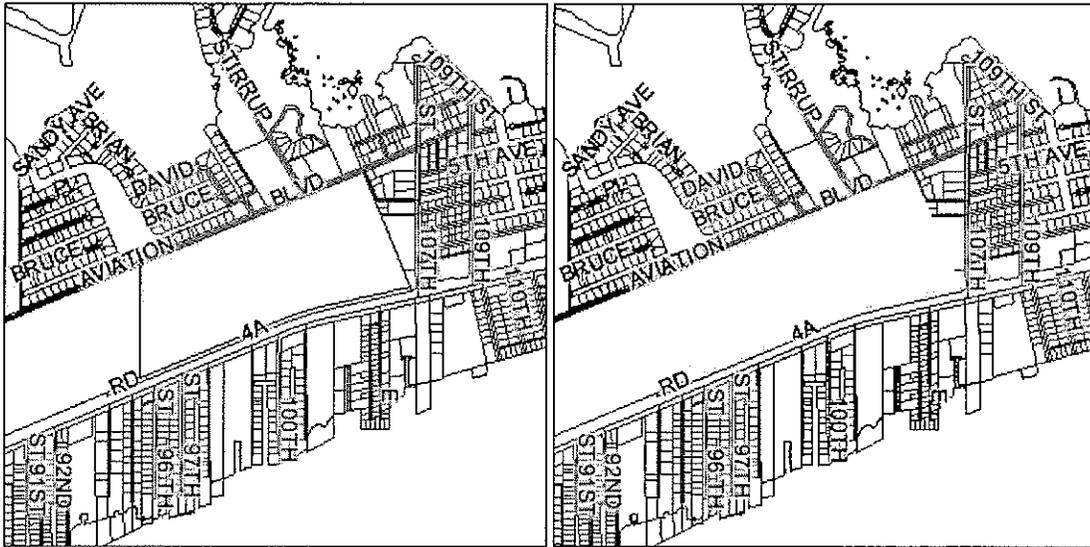
Ownership Details

Mailing Address:
 MONROE COUNTY FLIGHT
 STRIP
 500 WHITEHEAD STREET
 KEY WEST, FL 33040

Property Details

PC Code: 86 - COUNTIES OTHER THAN (PC/LIST)
 Millage Group: 50CM
 Affordable Housing: No
 Section-Township-Range: 06-66-33
 Property Location: 10600 AVIATION BLVD MARATHON
 Legal Description: 6 66 33 N66306-31 KEY VACCAS PT LOT 2 OR144-590-591

Parcel Map



Exemptions

Exemption	Amount
14 - COUNTYLANDS	4,423,552.00

Land Details

Land Use Code	Frontage	Depth	Land Area
8600 - COUNTY	0	0	67.50 AC

Building Summary

Building 1 Details

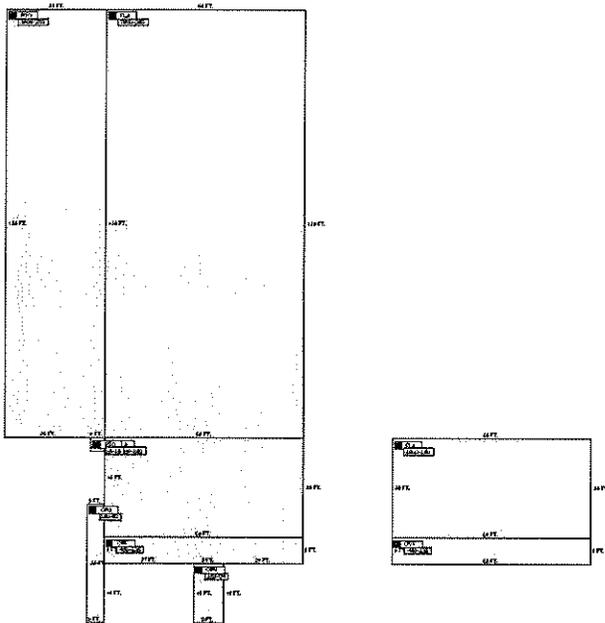
Building Type	Condition A	Quality Grade 300
Effective Age 22	Perimeter 740	Depreciation % 26
Year Built 1964	Special Arch 0	Grnd Floor Area 11,400
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	6	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1998					7,800
2	PTO		1	1998					3,900
3	FLA		1	1998					1,800
4	PTO		1	1998					16
5	OPU		1	1998					180
6	OPF		1	1998					480
7	OPU		1	1998					162
8	OUF		1	1998					480
9	FLA		1	1998					1,800

Building 2 Details

Building Type	Condition A	Quality Grade 300
Effective Age 22	Perimeter 226	Depreciation % 26
Year Built 1966	Special Arch 0	Grnd Floor Area 1,860
Functional Obs 0	Economic Obs 0	

Inclusions:

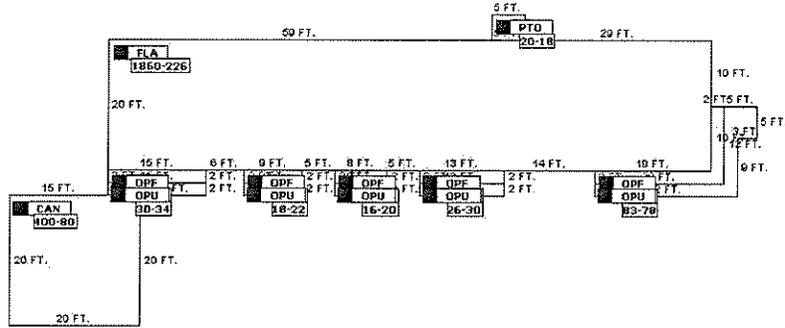
Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0

4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 6

Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1989					1,860
2	OPF		1	1989					60
3	OPU		1	1989					83
4	OPF		1	1989					26
5	OPU		1	1989					26
6	OPF		1	1989					16
7	OPU		1	1989					16
8	OPF		1	1989					18
9	OPU		1	1989					18
10	OPF		1	1989					30
11	OPU		1	1989					30
12	CAN		1	1989					400
13	PTO		1	1989					20

Building 3 Details

Building Type
 Effective Age 26
 Year Built 1971
 Functional Obs 0

Condition A
 Perimeter 60
 Special Arch 0
 Economic Obs 0

Quality Grade 300
 Depreciation % 33
 Grnd Floor Area 200

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

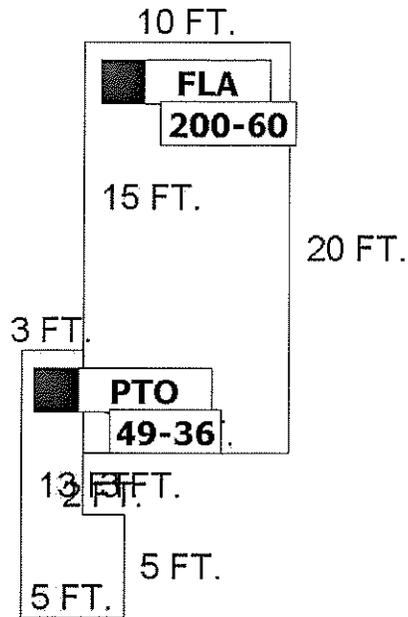
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1989					200
2	PTO		1	1989					49

Building 4 Details

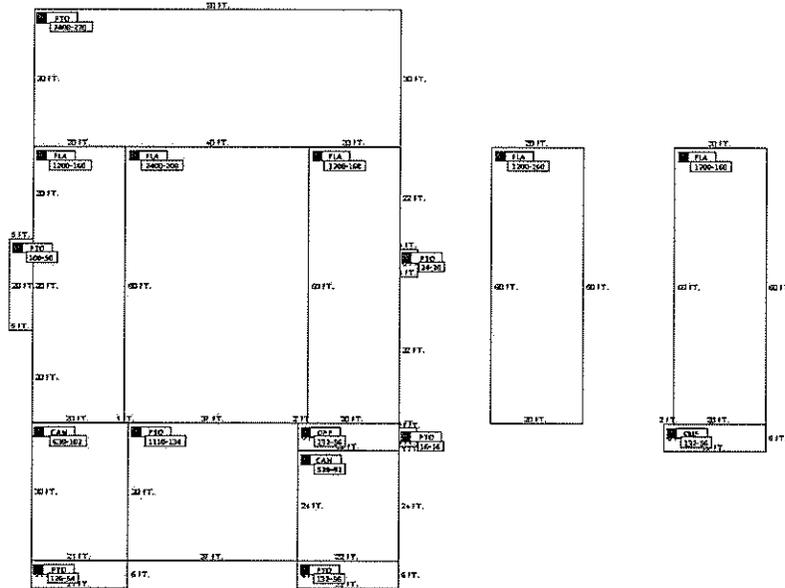
Building Type	Condition A	Quality Grade 300
Effective Age 22	Perimeter 210	Depreciation % 26
Year Built 1979	Special Arch 0	Grnd Floor Area 1,720
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 4	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1994					2,400
2	FLA		1	1994					1,200
3	CAN		1	1994					630
4	PTO		1	1994					1,110
5	OUF		1	1994					132
6	CAN		1	1994					528
7	FLA		1	1994					1,200
8	PTO		1	1994					16
9	PTO		1	1994					132
10	PTO		1	1994					126
11	PTO		1	1994					100
12	PTO		1	1994					2,400
13	PTO		1	1994					24
14	FLA		1	1994					1,200
15	FLA		1	1994					1,200
16	OUF		1	1994					132

Building 8 Details

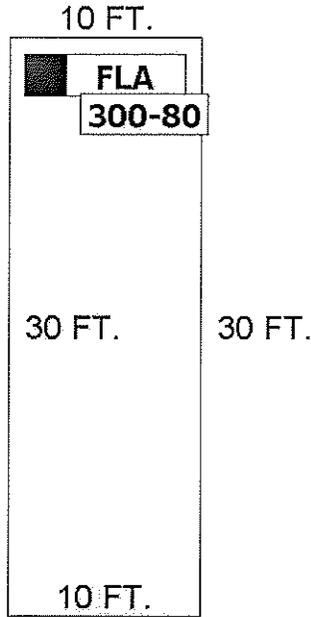
Building Type	Condition A	Quality Grade 250
Effective Age 9	Perimeter 80	Depreciation % 10
Year Built 1990	Special Arch 0	Grnd Floor Area 300
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1994					300

Building 9 Details

Building Type
 Effective Age 13
 Year Built 1989
 Functional Obs 0

Condition E
 Perimeter 612
 Special Arch 0
 Economic Obs 0

Quality Grade 300
 Depreciation % 15
 Grnd Floor Area 13,000

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

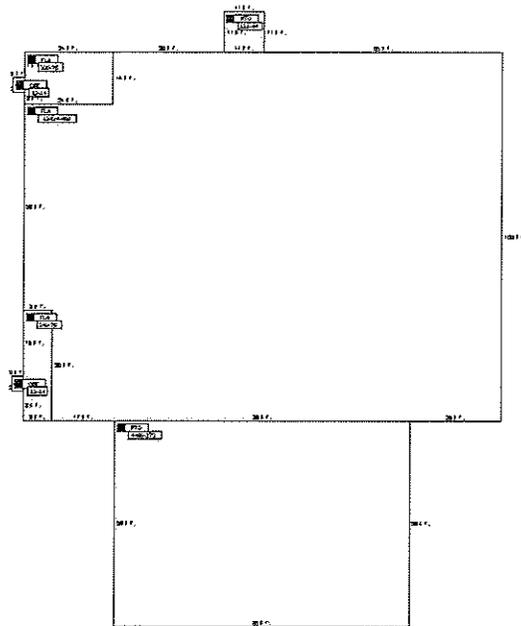
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 2

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1989					12,424
2	PTO		1	1989					121
3	FLA		1	1989					336
4	OPF		1	1989					12
5	FLA		1	1989					240
6	OPF		1	1989					12
7	PTO		1	1989					4,480

Building 10 Details

Building Type
 Effective Age 17
 Year Built 1981
 Functional Obs 0

Condition A
 Perimeter 124
 Special Arch 0
 Economic Obs 0

Quality Grade 250
 Depreciation % 23
 Grnd Floor Area 792

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

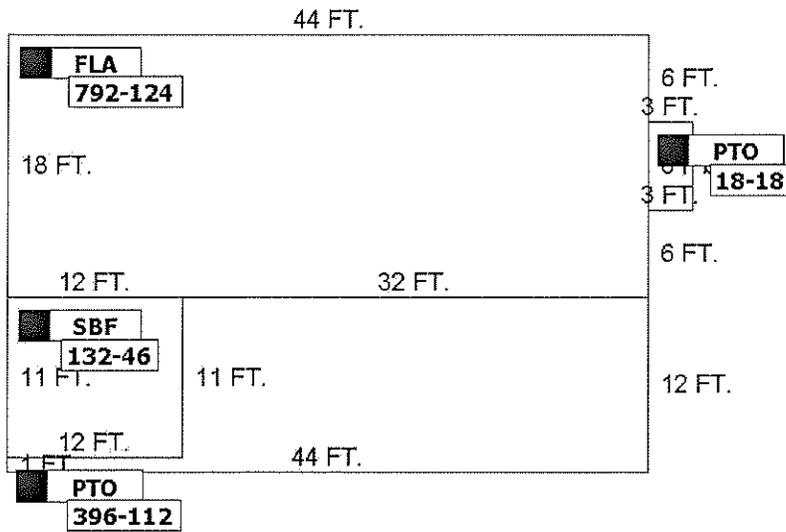
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1994					792
2	SBF		1	1994					132
3	PTO		1	1994					396
4	PTO		1	1994					18

Building 11 Details

Building Type
 Effective Age 9
 Year Built 2000
 Functional Obs 0

Condition A
 Perimeter 84
 Special Arch 0
 Economic Obs 0

Quality Grade 300
 Depreciation % 10
 Grnd Floor Area 360

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

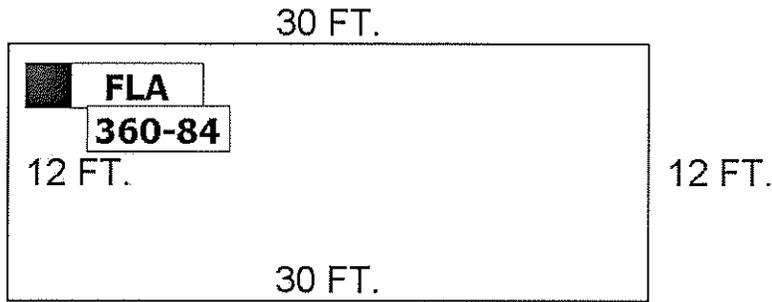
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1994					360

Building 12 Details

Building Type
 Effective Age 17
 Year Built 1990
 Functional Obs 0

Condition A
 Perimeter 136
 Special Arch 0
 Economic Obs 0

Quality Grade 300
 Depreciation % 23
 Grnd Floor Area 672

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

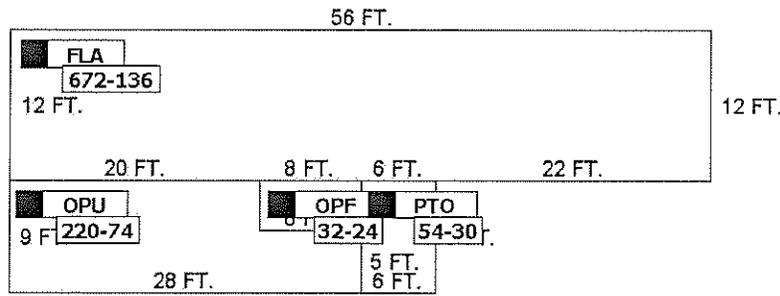
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1994					672
2	OPF		1	1994					32
3	PTO		1	1994					54
4	OPU		1	1994					220

Building 13 Details

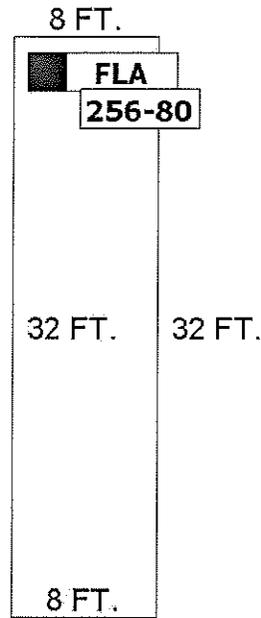
Building Type	Condition A	Quality Grade 250
Effective Age 17	Perimeter 80	Depreciation % 23
Year Built 1989	Special Arch 0	Grnd Floor Area 256
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1989					256

Building 14 Details

Building Type
 Effective Age 22
 Year Built 1971
 Functional Obs 0

Condition A
 Perimeter 100
 Special Arch 0
 Economic Obs 0

Quality Grade 300
 Depreciation % 26
 Grnd Floor Area 600

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

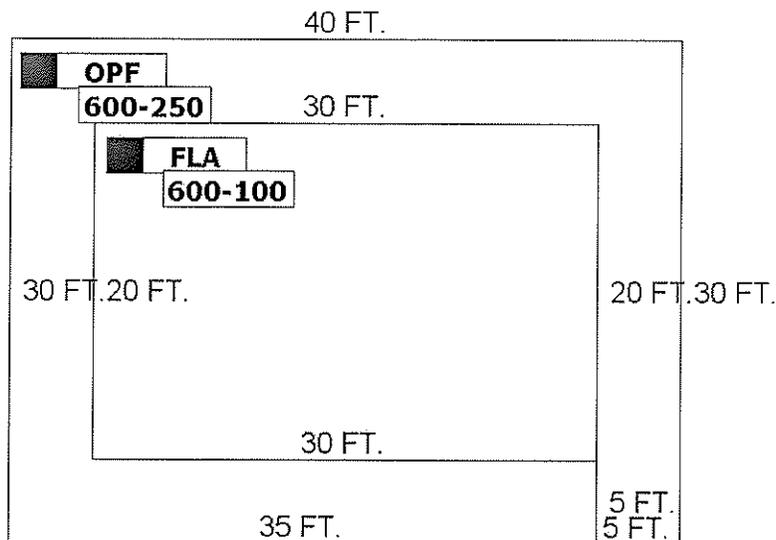
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 4

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1998					600
2	OPF		1	1998					600

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	CL2:CH LINK FENCE	38,016 SF	6,336	6	1979	1980	2	30
2	CL2:CH LINK FENCE	4,224 SF	704	6	1979	1980	2	30
3	CL2:CH LINK FENCE	2,520 SF	420	6	1979	1980	2	30
4	CL2:CH LINK FENCE	240 SF	60	4	1979	1980	2	30
5	RW2:RETAINING WALL	400 SF	200	2	1976	1977	4	50
6	CL2:CH LINK FENCE	3,720 SF	0	0	1979	1980	2	30
7	AP2:ASPHALT PAVING	4,185 SF	0	0	1965	1966	2	25
8	AP2:ASPHALT PAVING	13,840 SF	0	0	1965	1966	2	25
9	UB2:UTILITY BLDG	88 SF	11	8	1984	1985	2	50
10	UB2:UTILITY BLDG	60 SF	10	6	1984	1985	3	50
11	UB2:UTILITY BLDG	220 SF	20	11	1984	1985	2	50
12	FN2:FENCES	105 SF	21	5	1970	1971	5	30
13	PT3:PATIO	580 SF	0	0	1970	1971	2	50
14	AC2:WALL AIR COND	6 UT	0	0	1984	1985	1	20
15	AP2:ASPHALT PAVING	8,720 SF	0	0	1965	1966	2	25
16	PT3:PATIO	2,316 SF	0	0	1999	2000	2	50
17	CC2:COM CANOPY	240 SF	24	10	1979	1980	3	40
18	CL2:CH LINK FENCE	2,040 SF	0	0	1979	1980	2	30
19	CL2:CH LINK FENCE	780 SF	0	0	1979	1980	1	30
20	CL2:CH LINK FENCE	160 SF	40	4	1979	1980	1	30
21	UB2:UTILITY BLDG	35 SF	7	5	1984	1985	1	50
22	UB2:UTILITY BLDG	90 SF	10	9	1979	1980	1	50
23	TK2:TIKI	100 SF	10	10	1979	1980	1	40
24	PT3:PATIO	685 SF	0	0	1979	1980	2	50
25	CC2:COM CANOPY	437 SF	0	0	1979	1980	3	40
26	UB2:UTILITY BLDG	104 SF	13	8	1984	1985	2	50
27	TK2:TIKI	104 SF	13	8	1994	1995	1	40
28	UB2:UTILITY BLDG	120 SF	12	10	1985	1986	2	50

29	RW2:RETAINING WALL	492 SF	164	3	1985	1986	4	50
30	PT3:PATIO	1,320 SF	60	22	1985	1986	2	50
31	PT3:PATIO	456 SF	0	0	1985	1986	2	50
32	CL2:CH LINK FENCE	3,600 SF	600	6	1985	1986	2	30
33	AP2:ASPHALT PAVING	184,000 SF	1,840	100	1965	1966	2	25
34	AP2:ASPHALT PAVING	35,200 SF	0	0	1979	1980	2	25
35	UB2:UTILITY BLDG	132 SF	12	11	1984	1985	1	50
36	PT3:PATIO	39 SF	0	0	1991	1992	1	50
37	AC2:WALL AIR COND	2 UT	0	0	1991	1992	1	20

Appraiser Notes

BLD1= EXT.WALL, FLA 02&03 CODED CUSTOM DUE TO BEING SOME TYPE OF FIBERGLASS SIDING. BLD4= INTERIOR FINISH CODED 11-D BECAUSE IT IS CLOSER TO USE. DOG KENNEL-AVC ENTIRE AREA. BLD9= THIS BLD IS LEASED BY MISQUITO CONTROL FOR 20 YRS BLD1=PARADISE AVIATION BLD 2=PUBLIC WORKS BLD 3=WEST SIDE OF COMMUNICATIONS TRAILER BLD 4=ANIMAL SHELTER BLD 7=VEHICLE MAINTENANCE BLD8=ACCROSS FROM CARPENTER SHOP BLD9=MOSQUITO CONTROL HANGER PRIVATELY OWNED HANGERS ARE TANGIBLE, WITH 20YRS LEASE 7/13/01 BLD10= CARPENTER SHOP BLD 11=TRAILER ACCROSS FROM COMMUNICATIO S TRAILER BLD12=COMMUNICATIONS TRAILER BLD 13=BESIDE PARADISE AVIATION-MCSO PILOTS OFFICE BLD 14=IN FRONT OF PARADISE AVIATION

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	982461	08/07/1998	08/18/1999	75,000		GAS TANKS - GROUND
	992470	03/11/1999	08/18/1999	41,300		REROOF
	982985	09/17/1998	07/24/2000	673,782		RE-SURFACE TAXI-WAY
	9921546	09/17/1999	07/24/2000	5,200		ROOFING
	9921314	10/22/1999	07/24/2000	80,000		GAS TANKS
	9922997	12/29/1999	07/24/2000	2,000		DRIVEWAY FOR FUELING
	9921366	12/29/1999	07/24/2000	880		TEMP TRAILER
	200367	02/15/2000	07/24/2000	4,000		SHED
	0200991	03/22/2000	07/24/2000	9,800		MOSQUITO HELICOPTER HANGER
	0201832	05/11/2000	07/24/2000	1		ENSTAL NEW FIRE SPINKLER
1	2201530	05/17/2002	01/08/2003	600,000	Commercial	BLDG 1 OF 4 HANGER
2	2201529	05/17/2002	01/08/2003	600,000	Commercial	BLDG 2 OF 4 HANGER
3	2201528	05/17/2002	01/08/2003	600,000	Commercial	BLDG 3 OF 4 HANGER
4	2201481	05/17/2002	01/08/2003	600,000	Commercial	BLDG 4 OF 4 HANGER
	2201868	07/17/2002		950,000		CONSTR ROAD FOR HANGERS
	2204607	10/25/2002		70,000		MOVE SHADE HANGERS
	2203817	10/29/2002		80,000		INST 12000 GAL FUEL TANK
	1201994	03/07/2002		1,750,000		TAXI-LANE DEMO SHADE HANG
	1204206	12/20/2001		95,000		HANGER, BATHROOM
	2200162	01/17/2002		45,000		GRADING & STORING FILL
	1204610	01/11/2002		2,000		TIKI HUT W/ THATCH ROOF
	P2006-1351	09/29/2006		10,000		INSTALL 100 AMP SUBFEED/SHERIFF HANGER
	6201803	06/02/2006		300,000		PAVING NEW CARGO APRON
	05204418	08/22/2005		4,802		SHUTTERS/ACCORDIAN
	P2007-0406	04/03/2007		2,000		REPLACE 3 - TON CENTRAL AIR

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2008	3,464,975	289,228	675,000	4,429,203	4,429,203	4,429,203	0
2007	2,336,061	288,639	1,316,250	3,940,950	3,940,950	3,940,950	0
2006	2,338,288	289,880	1,316,250	3,944,418	3,944,418	3,944,418	0

2005	2,034,128	291,114	1,316,250	3,641,492	3,641,492	3,641,492	0
2004	2,061,791	292,359	10,125,000	12,479,150	12,479,150	12,479,150	0
2003	2,061,791	294,329	10,125,000	12,481,120	12,481,120	12,481,120	0
2002	2,061,791	296,215	10,125,000	12,483,006	12,483,006	12,483,006	0
2001	2,061,791	298,180	10,125,000	12,484,971	12,484,971	12,484,971	0
2000	5,023,757	262,904	10,125,000	15,411,661	15,411,661	15,411,661	0
1999	4,472,018	236,641	10,125,000	14,833,659	14,833,659	14,833,659	0
1998	2,981,473	245,983	10,125,000	13,352,456	13,352,456	13,352,456	0
1997	2,981,473	153,432	10,125,000	13,259,905	13,259,905	13,259,905	0
1996	2,710,433	158,735	10,125,000	12,994,168	12,994,168	12,994,168	0
1995	1,322,768	40,137	10,125,000	11,487,905	11,487,905	11,487,905	0
1994	908,656	26,254	10,125,000	11,059,910	11,059,910	11,059,910	0
1993	934,049	26,455	7,762,500	8,723,004	8,723,004	8,723,004	0
1992	934,049	26,655	7,762,500	8,723,204	8,723,204	8,723,204	0
1991	934,049	26,855	7,762,500	8,723,404	8,723,404	8,723,404	0
1990	934,049	27,055	7,762,500	8,723,604	8,723,604	8,723,604	0
1989	528,857	99,095	7,425,000	8,052,952	8,052,952	8,052,952	0
1988	422,179	100,471	6,210,000	6,732,650	6,732,650	6,732,650	0
1987	413,709	103,224	2,131,091	2,648,024	2,648,024	2,648,024	0
1986	414,892	105,977	2,131,091	2,651,960	2,651,960	2,651,960	0
1985	405,130	107,353	2,131,091	2,643,574	2,643,574	2,643,574	0
1984	12,625	196,579	2,131,091	2,340,295	2,340,295	2,340,295	0
1983	12,625	196,579	2,131,091	2,340,295	2,340,295	2,340,295	0
1982	10,412	196,579	2,131,091	2,338,082	2,338,082	2,338,082	0

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

This page has been visited 267,723 times.

Monroe County Property Appraiser
 Ervin A. Higgs, CFA
 P.O. Box 1176
 Key West, FL 33041-1176

Google Maps

Google
Maps



Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed site is part of the Next Generation Air Transportation System (NextGen) for the FAA and is a component of the Automatic Dependent Surveillance Broadcast (ADS-B). The communication site will be similar to a cellular telephone tower site with a monopole in order to mount the FAA antennas. The compound will 160 square feet. The tower will have an overall height of 57 feet.

I have attached a flyer from the FAA that explains the ADS-B system.



Automatic Dependent Surveillance Broadcast (ADS-B)

The ADS-B system is a crucial component of the Next Generation Air Transportation System (NextGen). It provides surveillance and improved situational awareness simultaneously to pilots and air traffic controllers. ADS-B is designed to improve the safety, capacity and efficiency of the national airspace system while providing a flexible, expandable platform to accommodate future air traffic growth.

Status

In fiscal year 2006, the FAA approved funding for the implementation of Automatic Dependent Surveillance - Broadcast (ADS-B) at eight sites.

What is ADS-B?

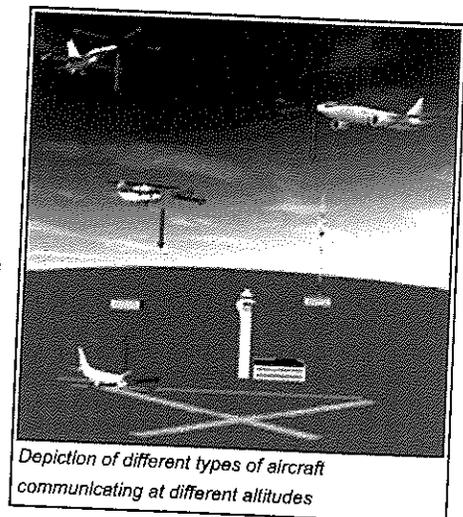
- ADS-B is surveillance, like radar, but offers more precision and additional services, such as weather and traffic information.
- ADS-B provides air traffic controllers and pilots with much more accurate information to help keep aircraft safely separated in the sky and on runways.

How does it work?

- Aircraft transponders receive GPS signals and use them to determine the aircraft's precise position in the sky, which is combined with other data and broadcast out to other aircraft and air traffic controllers.

What will ADS-B do for pilots?

- ADS-B will give the pilot a live picture of the airspace and the planes in it.
- When properly equipped with ADS-B, both pilots and controllers will, for the very first time, see the same real-time displays of air traffic; thereby substantially improving safety.



ADS-B Applications for Aircraft

- *Enhanced Visual Acquisition*: provides the flight crew with enhanced traffic situational awareness in controlled and uncontrolled airspace/airports.
- *Enhanced Visual Approaches*: enhances successive approaches for aircraft cleared to maintain visual separation from another aircraft on the approach.
- *Final Approach and Runway Occupancy Awareness*: reduces the likelihood of flight crew errors associated with runway occupancy and improves the capability of the flight crew to detect ATC errors.
- *Airport Surface Situational Awareness - Conflict Detection*: reduces the potential for deviations, errors, and collisions through an increase in flight crew situational awareness while operating an aircraft on the airport movement area.

ADS-B Ground Services

- *Surveillance Broadcast Services (En route, Terminal, Surface)*: using ADS-B surveillance information as a valid surveillance source to provide Air Traffic Control services throughout the National Airspace System (NAS).
- *Traffic/Flight Information Broadcast Services*: provides traffic and flight (weather) information to pilots.



October 31, 2008

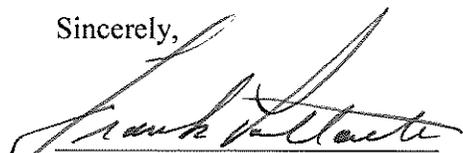
Planning and Environmental Resources
Marathon Government Center
2798 Overseas Highway Suite 400
Marathon, FL 33050

Subject: Letter of Authorization
Reference: License Agreement between ITT and Monroe County, executed 4/16/08,
Attached

To Whom It May Concern:

I, Frank Pallante as the Vice President of Contracts and Purchasing for ITT Corporation, hereby give permission for Stacey Mathis, employee of ITT subcontractor Grain Communications Group Inc., to act as my agent for the purpose of applying for any and all permits necessary to allow for the construction of the FAA ADS-B Air Navigation Aid Tower to be located on the Marathon Airport property.

Sincerely,


V.P Contracts and Purchasing

COMMONWEALTH OF VIRGINIA
COUNTY OF FAIRFAX

The foregoing instrument was acknowledged before me this 31st day of October, 2008 by Frank Pallante, as Delegato, of ITT Corporation, a Indiana corporation, on behalf of the corporation.

He is personally known to me and did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 31st day of October, 2008.

Notary Public: Judith Dentz

My Commission Expires: My Commission Expires August 31, 2012
ID# 7186697

LAND LEASE

Lease Number: _____
Facility: ADS-B Radio Station Site
Location: Florida Keys Marathon Airport

LEASE

Between

Monroe County Board of County Commissioners

and

ITT Corporation

THIS LEASE, made and entered into this 16th day of April in the year 2008, by and between Monroe County, a political subdivision of the State of Florida, whose address is Gato Building, 1100 Simonton Street, Key West, Florida 33040, hereinafter referred to as the Lessor, and ITT Corporation, whose address is 12975 Worldgate Drive, Herndon, Virginia 20170, hereinafter referred to as ITT.

WHEREAS, the parties understand and agree that this agreement is taken in support of FAA Contract DTFWA-07-C-00067, issued to ITT on August 30, 2007.

1. PREMISES

The Lessor hereby leases to ITT a parcel of land located at the Florida Keys Marathon Airport, as described in Exhibit "A" attached hereto and incorporated herein. The premises are leased to the Lessee for the sole purpose of constructing a 20x20 foot fenced compound containing an ADS-B radio shelter equipment cabinet and an emergency power propane generator with fuel tank set on concrete equipment pads, and a 50 foot high monopole tower structure constructed of steel with a concrete foundation.

(a) Together with a right-of-way for ingress to and egress from the premises; a right-of-way for establishing and maintaining electric power and telecommunication lines to the premises; and unless herein described otherwise, to be by routes reasonably determined and agreed by the parties.

INITIALS _____ *tr* _____

Lessor

ITT

Page 1

(b) And the right to make alterations to the premises to support the ITT radio site equipment, after concurrence by the Lessor as to the site design details prior to start of construction and prior to any alterations during the life of this lease.

2. PUBLIC UTILITIES

ITT is responsible for the provision of any and all required electrical power and/or telecommunications services to the leased site for the term of this lease. The Lessor is not responsible to provide any type of public utilities at or on the leased site.

3. TERM

To have and to hold said premises with their appurtenances for the term beginning at the date of this lease agreement, subject to renewal rights, as may be hereafter set forth.

4. CONSIDERATION

ITT shall pay the Lessor no monetary consideration in the form of rental, it being mutually agreed that the rights extended to ITT herein are in consideration of the obligations assumed by ITT in its establishment, operation and maintenance of the ADS-B radio station facilities upon the premises hereby leased and that the premises shall be used solely in support of the ADS-B program under FAA contract DTFWA-07-C-00067, issued to ITT on August 30, 2007.

5. RENEWAL

This lease may be renewed at the option of ITT from year to year upon the terms and conditions herein specified. ITT's option shall be deemed exercised and the lease renewed each year for one (1) year unless ITT gives the Lessor thirty (30) days written notice that it will not exercise its option, before this lease or any renewal thereof expires; PROVIDED, that no renewal thereof shall extend the period of occupancy of the premises beyond September 30, 2025.

6. RESTORATION

It is hereby agreed between the parties, that upon termination of its occupancy, ITT shall restore the property which is the subject matter of this lease including removal of structures, equipment, and fencing but excluding foundations and subsurface ducting, cables, and grounding systems.

INITIALS _____

Lessor

ITT

7. INTERFERENCE WITH RADIO SITE OPERATIONS

The Lessor agrees not to erect or allow to be erected any structure or obstruction on the site or adjoining land within the airport boundaries that interferes with the proper operation of the facilities installed by ITT under the terms of this Lease, unless subsequently agreed on a case by case basis by both parties. ITT shall support the Lessor in the evaluation of potential interference issues. FAA approval shall be required if any potential interference results in potential limitations in radio station performance within the NAS.

8. HAZARDOUS SUBSTANCE

ITT agrees to remediate, at its sole cost, all hazardous substance contamination on the leased premises that is found to have occurred as a direct result of the installation, operation, and/or maintenance of ITT's facilities.

The Lessor agrees to save and hold ITT harmless for any and all costs, liabilities and/or claims by third parties that arise out of hazardous contamination found on the leased premises not directly attributable to the installation, operation and/or maintenance of ITT's facilities.

9. QUIET ENJOYMENT

The Lessor warrants that they have good and valid title to the premises, and rights of ingress and egress, and warrants and covenants to defend ITT's use and enjoyment of said premises against third party claims.

10. CONTRACT DISPUTES

This Agreement shall be governed by the laws of the State of Florida, with the exception of its choice of law provisions. If any provision of this Agreement is found invalid or unenforceable under judicial decree or decision, the remaining provisions of this Agreement shall remain in full force and effect.

11. SUCCESSORS

The terms and provisions of this lease and the conditions herein bind the Lessor and the Lessor's heirs, executors, administrators, successors, and assigns.
The terms and provisions of this lease and the conditions herein bind ITT and ITT's heirs, executors, administrators, successors, and assigns.

INITIALS _____  _____

Lessor

ITT

12. NOTICES

All notices /correspondence shall be in writing, and shall be addressed as follows (or to such other address as either party may designate from time to time by notice or correspondence to the other).

TO LESSOR: Airport Manager
Florida Keys Marathon Airport
9400 Overseas Highway, Suite 200
Marathon, FL 33050

To ITT: ITT Corporation
12975 Worldgate Drive
Herndon, Virginia 20170
Attention: ADS-B Subcontracts Department, Mr. Jaye Seay

IN WITNESS WHEREOF, the parties hereto have hereunto subscribed their names as the date above written.

Monroe County

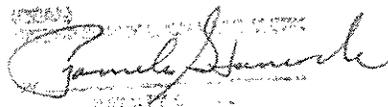
BY 
Charles "Sonny" McCoy

Mayor
(official title)

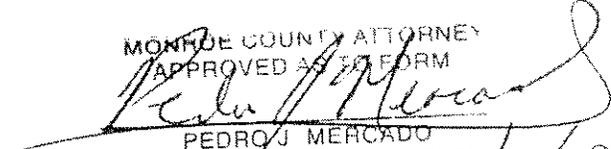
APR 16 2008
(date)

ITT CORPORATION

BY 
Frank Pallante
(Signature)


VP Contracts
(official title)

4-9-2008
(date)

MONROE COUNTY ATTORNEY
APPROVED AS TO FORM

PEDRO J. MERCADO
ASSISTANT COUNTY ATTORNEY
Date 3/27/08

INITIALS _____ MP _____

Lessor

ITT



FAA TOWER CERTIFICATION

Date: February 08, 2008

Re: Marathon Airport site Proposed Tower
Monroe County, Florida

I hereby certify that the following Latitude and Longitude values for the center of the above-referenced tower are accurate to within +/- 15 feet horizontally; and that the following tower site elevation is accurate to within +/- 3 feet vertically.

NAD 83

Latitude: 24° 43' 44.66" N.

Longitude: 81° 02' 22.73" W.

NAD 27

Latitude: 24° 43' 43.15" N.

Longitude: 81° 02' 23.47" W.

Ground elevation at base of tower: 3.4 Feet NAVD88
4.8 Feet NGVD29

GeoLine Surveying, Inc.

A handwritten signature in cursive script, appearing to read "David G. Short", is written over a horizontal line.

David G. Short, P.S.M.
Florida Professional Surveyor and Mapper
Certificate of Registration No. 5022



BOUNDARY AND TOPOGRAPHIC SURVEY

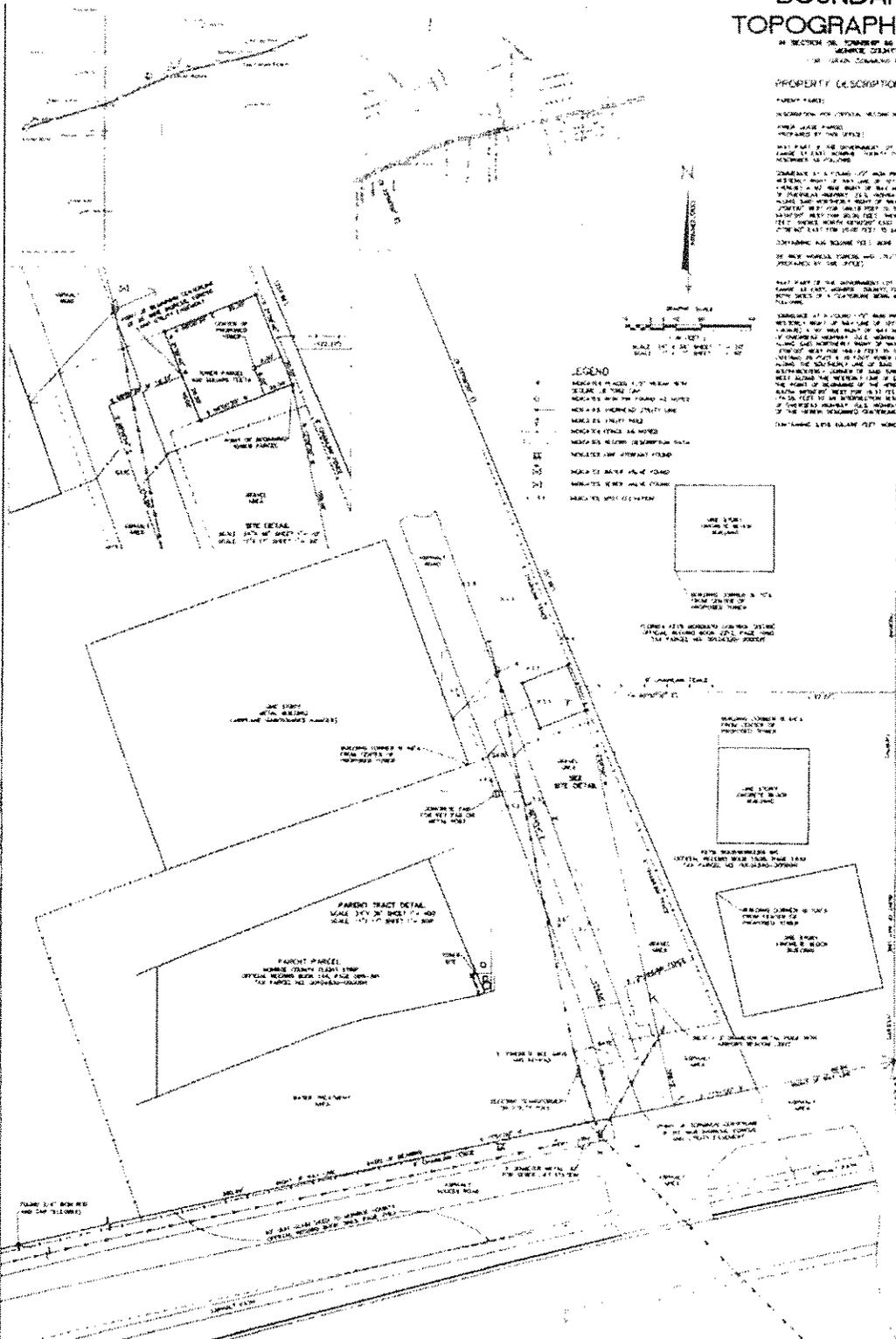
IN SECTION 26, TOWNSHIP 26 NORTH, RANGE 33 EAST
MONROE COUNTY, FLORIDA

PROPERTY DESCRIPTIONS

PARCEL 1:
DESCRIPTION FOR PARCEL 1, SECTION 26, TOWNSHIP 26 NORTH, RANGE 33 EAST, MONROE COUNTY, FLORIDA, AS SHOWN ON THE PLAN HEREON.
AREA: 1.23 ACRES
PREPARED BY: [Name]

PARCEL 2:
DESCRIPTION FOR PARCEL 2, SECTION 26, TOWNSHIP 26 NORTH, RANGE 33 EAST, MONROE COUNTY, FLORIDA, AS SHOWN ON THE PLAN HEREON.
AREA: 0.87 ACRES
PREPARED BY: [Name]

PARCEL 3:
DESCRIPTION FOR PARCEL 3, SECTION 26, TOWNSHIP 26 NORTH, RANGE 33 EAST, MONROE COUNTY, FLORIDA, AS SHOWN ON THE PLAN HEREON.
AREA: 1.56 ACRES
PREPARED BY: [Name]



LEGEND

- 1. BOUNDARY MARKERS
- 2. EASEMENTS
- 3. EASEMENTS
- 4. EASEMENTS
- 5. EASEMENTS
- 6. EASEMENTS
- 7. EASEMENTS
- 8. EASEMENTS
- 9. EASEMENTS
- 10. EASEMENTS
- 11. EASEMENTS
- 12. EASEMENTS
- 13. EASEMENTS
- 14. EASEMENTS
- 15. EASEMENTS

SURVEYOR'S NOTES

1. BOUNDARY LINES ARE REFERENCED TO THE ADJACENT BOUNDARY OF A PARCEL BY REFERENCE TO THE CORNER OF THE ADJACENT PARCEL.
2. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF APPROXIMATELY 100 FEET WIDE RIGHT-OF-WAY OF APPROXIMATELY 100 FEET WIDE.
3. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
4. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
5. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
6. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
7. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
8. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
9. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
10. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
11. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
12. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
13. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
14. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.
15. THE BOUNDARY OF A PARCEL, BOUNDARY LINES ARE REFERENCED TO THE CORNER OF THE ADJACENT PARCEL AND THE CORNER OF THE ADJACENT PARCEL.

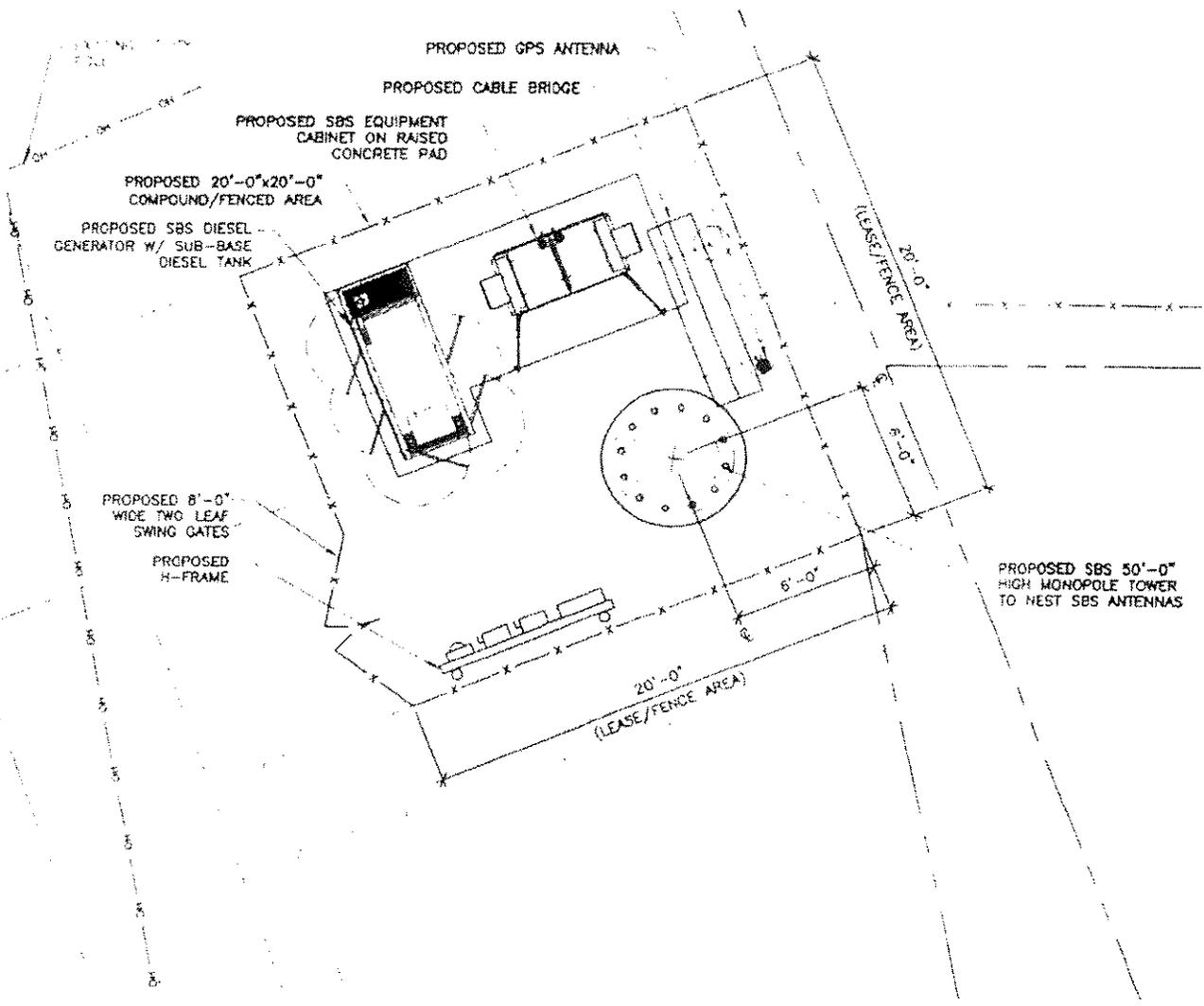
FLOOD NOTE

THIS SURVEY WAS CONDUCTED UNDER NORMAL CONDITIONS. THE SURVEYOR HAS OBSERVED THE AREA AND HAS DETERMINED THAT THERE IS NO FLOODING OF THE AREA UNDER NORMAL CONDITIONS. THE SURVEYOR HAS OBSERVED THE AREA AND HAS DETERMINED THAT THERE IS NO FLOODING OF THE AREA UNDER NORMAL CONDITIONS.

GEOLINE SURVEYING, INC.
Professional Land Surveyors
1700 N. W. 17th Avenue, Suite 4
Fort Lauderdale, Florida 33311
305-555-7400

17TH STREET (A.K.A. INTERNATIONAL AVENUE)
SECTION 26, TOWNSHIP 26 NORTH, RANGE 33 EAST, MONROE COUNTY, FLORIDA

SITE #SV156-12
MARKETON AIRPORT SITE, MONROE COUNTY, FLORIDA



2 COMPOUND PLAN
5/16"=1'-0"

CLIENT

TANT

MORRISON HERSHFIELD

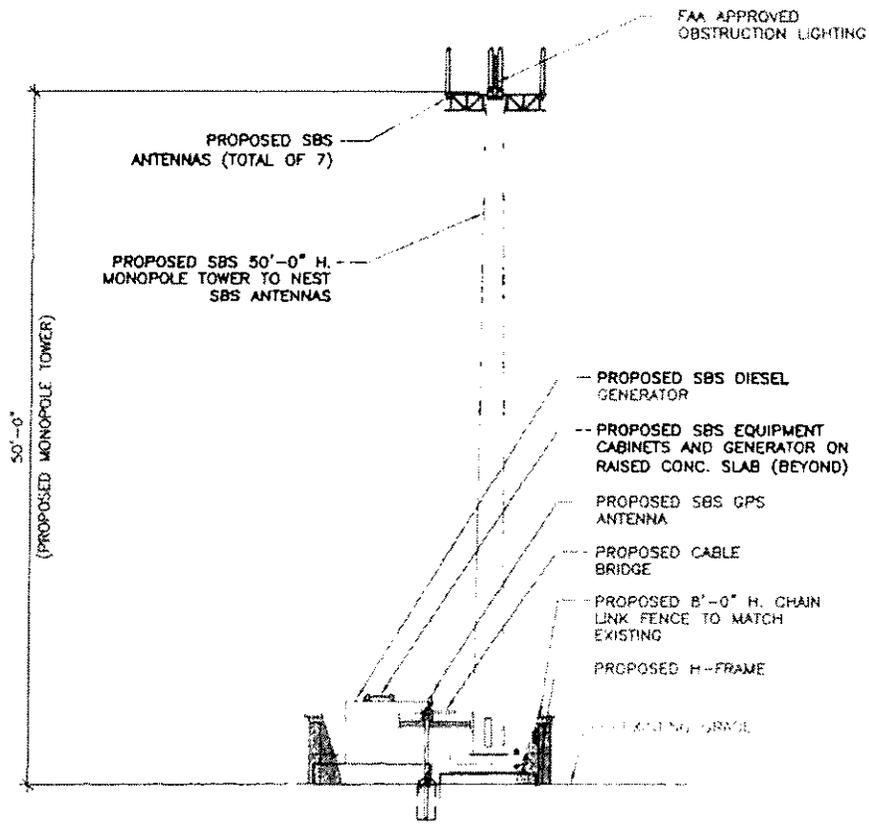
 Two South University Drive, Suite 245, Sarasota, FL 34234
 Tel: 954 577 4855 Fax: 954 577 4676
 State of Florida COM 00008508
 www.morrisonhershfield.com

CLIENT

GIRAIN

 COMMUNICATIONS GROUP
 331 S. PINEAPPLE AVE.
 SARASOTA, FL 34238

DRAWING TITLE: LEASE EXHIBIT		REVISION #: D
SITE NAME AND NUMBER: MARATHON AIRPORT SV 168-02		DATE ISSUED: 01/06/08
SCALE: AS SHOWN	DRAWN BY: CA	DESIGNED BY: JG
SHEET # 2 OF 3	APPROVED BY: ---	
SITE ADDRESS:		



TOWER PROFILE
NOT TO SCALE

MORRISON
HENSFIELD



10000 ...
331 S. PINEAPPLE AVE.
SARASOTA, FL 34236
TEL: 941.552.1100
FAX: 941.552.1101
WWW.MHFLORIDA.COM

GRAN

COMMUNICATIONS GROUP
331 S. PINEAPPLE AVE.
SARASOTA, FL 34236

PROJECT NO.	13-002-EXHIBIT	REVISION	D
DATE	08/14/13	BY	...
MARATHON AIRPORT SV 168-02		DATE	...
BY		DATE	...
BY		DATE	...
BY		DATE	...

Stacey Mathis

From: Kruger, Paul E SAJ [Paul.E.Kruger@usace.army.mil]
Sent: Thursday, January 22, 2009 10:46 AM
To: Stacey Mathis
Subject: Grain Communications Group/ITT FAA Marathon Communication Site

Mr. Mathis,-

This email is written in reference to your correspondence to the Corps of Engineers. No wetland impacts were identified in your correspondence and no wetland resources are known to exist within the boundaries of the Marathon airport. In the event, your project proposes to impact the waters of the United States a federal authorization will be needed. Please apply to the Corps of Engineers if your proposal includes any impact to the jurisdictional waters of the United States.

Very Respectfully,

Paul Kruger
Chief, Miami Regulatory Section
US ARMY CORPS OF ENGINEERS
9900 SW 107th Avenue, Miami, Florida 33176
Ofc: 305-526-7185
Fax: 305-526-7184

Map to our office, FAQ's, Contact info, Our Statutes, Regulations, Public Notices & More use this link.

<http://www.saj.usace.army.mil/Divisions/Regulatory/index.htm>

Please assist us in better serving you! Please complete the customer survey by clicking on the following link: <http://regulatory.usacesurvey.com/>

December 2, 2008

U.S. Army Corps of Engineers
109 Saint Joseph St.
Mobile, AL 36628-0001

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

PS Form 3811, February 2004
Domestic Return Receipt

102595-02-M-1540

2. Article Number (Transfer from service label)
7007 3020 0000 5960 6557

1. Article Addressed to:
 U.S. Army Corps of Engineers
 109 Saint Joseph St
 Mobile, AL 36628

SENDER: COMPLETE THIS SECTION

■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
 ■ Print your name and address on the reverse so that we can return the card to you.
 ■ Attach this card to the back of the mailpiece, or on the front if space permits.

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 B. Received by (Printed Name) Addressee
 C. Date of Delivery
 D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
 Certified Mail
 Express Mail
 Registered
 Insured Mail
 Return Receipt for Merchandise
 C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

PS Form 3800 August 2006
See Reverse for Instructions

Sent To: U.S. Army Corp of Engineers
 Street, Apt. No., or PO Box No. 109 Saint Joseph St
 City, State, ZIP+4 Mobile, AL 36628

Postage	\$1.00
Certified Fee	\$2.70
Return Receipt Fee (Endorsement Required)	\$2.20
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$5.90

U.S. POSTAL SERVICE
 OFFICIAL RECEIPT
 For delivery information visit our website at www.usps.com®
 (Domestic Mail Only; No Insurance Coverage Provided)

U.S. POSTAL OFFICE
 MOBILE, AL 36628
 DEC 17 2008
 34230

7007 3020 0000 5960 6557

December 2, 2008

Florida Department of Environmental Protection
3900 Commonwealth Boulevard M.S. 49
Tallahassee, FL 32399

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

7007 3020 0000 5960 6533

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

TALLAHASSEE, FL 32399

Postage	\$ 1.00
Certified Fee	\$ 2.70
Return Receipt Fee (Endorsement Required)	\$ 2.20
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 5.90

SARASOTA FL
 0301N OFFICE
 17
 DEC 02 2008
 Here
 USPS 02/2008 230

Sent To: *Florida Dept. Environmental Protection*
 Street, Apt. No., or PO Box No.: *3900 Commonwealth Blvd.*
 City, State, ZIP+4: *Tallahassee, FL 32399*

PS Form 3800, August 2006 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>X RECEIVED</p> <p>B. Received by (Printed Name) C. Date of Delivery</p> <p><i>DEC 02 2008</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No If YES, enter delivery address below:</p> <p>DEP MAIL CENTER</p>
<p>1. Article Addressed to:</p> <p><i>Florida Dept. Environmental Protection</i> <i>3900 Commonwealth Blvd.</i> <i>M.S. 49</i> <i>Tallahassee, FL 32399</i></p>	<p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p>
<p>2. Article Number (Transfer from service label)</p> <p>7007 3020 0000 5960 6533</p>	<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>

December 2, 2008

Florida Department of State
Division of Historic Resources
500 S. Bronough Street
Tallahassee, FL 32399-0250

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

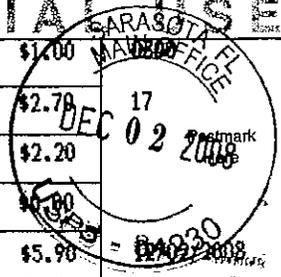
7007 3020 0000 5960 6540

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

TALLAHASSEE FL 32399

Postage	\$	\$14.00
Certified Fee		\$2.70
Return Receipt Fee (Endorsement Required)		\$2.20
Restricted Delivery Fee (Endorsement Required)		\$0.90
Total Postage & Fees	\$	\$5.90



Sent To: *Florida Division Historic Resources*
 Street, Apt. No., or PO Box No.: *500 S. Bronough St*
 City, State, ZIP+4: *Tallahassee FL 32399*

PS Form 3800, August 2005 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
*Florida Division of
 Historic Resources
 500 S. Bronough Street
 Tallahassee, FL 32399*

2. Article Number
 (Transfer from service label)

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X Agent Addressee

B. Received by (Printed Name) **DEPT. OF STATE** C. Date of Delivery

D. Is delivery address different from item 1? Yes
 if YES, enter delivery address below: No
DEC 03 2008

CLEARED

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

7007 3020 0000 5960 6540



RECEIVED FEB 02 2009

FLORIDA DEPARTMENT OF STATE
Kurt S. Browning
Secretary of State
DIVISION OF HISTORICAL RESOURCES

Ms. Stacey Mathis
Grain Communications Group, Inc.
8437 Tuttle Avenue #332
Sarasota, Florida 34243

January 27, 2009

RE: DHR Project File Number: 2008-7547
Federal Aviation Administration
Development of a Communication Site at Florida Keys Marathon Airport
Monroe County

Dear Ms. Mathis:

Our office reviewed the referenced project for possible impact to historic properties listed, or eligible for listing, in the National Register of Historic Places, or otherwise of historical, architectural or archaeological value. The review was conducted in accordance with Section 106 of the National Historic Preservation Act of 1966, as amended and 36 CFR Part 800: Protection of Historic Properties and the implementing state regulations.

Based on the information provided, it is the opinion of this office that the proposed undertaking will likely have no effect on historic properties. However, a review of our records indicates that the Florida Keys Marathon Airport was constructed in 1942. However, the airport has not been formally recorded and entered into the Florida Master Site File (FMSF). We request that the Florida Keys Marathon Airport, including associated runways, taxiways, buildings or structures 50 years old or older be recorded using a Resource Group form. A copy of this form may be obtained at the FMSF website (<http://www.flheritage.com/preservation/sitefile>).

If you have any questions concerning our comments, please contact Samantha Earnest, Historic Preservationist, by electronic mail swearnest@dos.state.fl.us, or by phone at 850-245-6333 or 800-847-7278.

Sincerely,

Frederick P. Gaske, Director, and
State Historic Preservation Officer

500 S. Bronough Street • Tallahassee, FL 32399-0250 • <http://www.flheritage.com>

Director's Office
(850) 245-6300 • FAX: 245-6436

Archaeological Research
(850) 245-6444 • FAX: 245-6452

Historic Preservation
(850) 245-6333 • FAX: 245-6437

December 2, 2008

Monroe County Engineering Division
Gato Building
1100 Simonton Street #2-216
Key West, FL 33041

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

7007 3020 0000 5960 6588

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com.

OFFICIAL USE

Postage	\$	11.00
Certified Fee		2.70
Return Receipt Fee (Endorsement Required)		2.20
Restricted Delivery Fee (Endorsement Required)		0.00
Total Postage & Fees	\$	15.90

SARASOTA FL
MAIN OFFICE
Postmark Here
DEC 02 2008
12/02/2008
E-PS - 34230

Sent To
Monroe Engineering Division
Street, Apt. No.,
or PO Box No. 1100 Simonton St # 2-216
City, State, ZIP+4
Key West FL 33041

PS Form 3800, August 2006 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Monroe County
Engineering Division

1100 Simonton St # 2-216

Key West, FL 33041

2. Article Number

(Transfer from service label)

7007 3020 0000 5960 6588

PS Form 3811, February 2004

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

Carlos Victoria

Agent

Addressee

B. Received by (Printed Name)

Carlos Victoria

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

Certified Mail

Express Mail

Registered

Return Receipt for Merchandise

Insured Mail

C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes

102585-02-M-1540



BOARD OF COUNTY COMMISSIONERS

Mayor George Neugent, District 2
Mayor Pro Tem Sylvia J. Murphy, District 5
Kim Wigington, District 1
Heather Carruthers, District 3
Mario Di Gennaro, District 4

Engineering Division

*The Historic Gato Cigar Factory
1100 Simonton Street, Suite 2-216
Key West, Florida 33040*

305-292-4426 department

305-295-4321 fax

koppel-dave@monroecounty-fl.gov



RECEIVED JAN 03 2009

December 16, 2008

Stacey Mathis, Site Development Manager
Grain Communications Group, Inc.
8437 South Tuttle Avenue
Sarasota, FL 34243

RE: Engineering Division Letter of Coordination
Monroe County Planning Department Minor Conditional Use Permit Application
FAA Communication Site at the Florida Keys Marathon Airport

Dear Stacey:

This letter shall serve as Monroe County Engineering Division's Letter of Coordination for your Minor Conditional Use Permit Application for the above-mentioned project, as referenced on your letter dated December 2, 2008, and received by our office on December 4, 2008.

If you need any further information, please let me know.

Sincerely,

David S. Koppel, P.E.
County Engineer

DSK/amp

December 2, 2008

South Florida Water Management District
3301 Gun Club Road
West Palm Beach, FL 33406

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

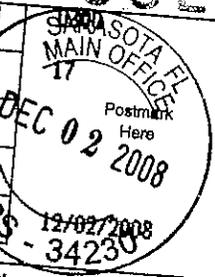
Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)
 For delivery information visit our website at www.usps.com®
 WEST PALM BEACH, FL 33406

7007 3020 0000 5960 6441

Postage	\$ 1.00
Certified Fee	\$ 2.70
Return Receipt Fee (Endorsement Required)	\$ 2.20
Restricted Delivery Fee (Endorsement Required)	\$ 1.00
Total Postage & Fees	\$ 5.90



Sent To
 Florida Water Management
 Street, Apt. No., or PO Box No. 3301 Green Club Rd
 City, State, ZIP+4 West Palm Beach, FL 33406
 PS Form 3800, August 2005 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
 South Florida Water Management District
 3301 Green Club Road
 West Palm Beach, FL 33406

2. Article Number (Transfer from service label) 7007 3020 0000 5960 6441

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee
 X Jeff Rand
 B. Received by (Printed Name) Jeff Rand
 C. Date of Delivery 12-3-08
 D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

December 2, 2008

Florida Department of Transportation
605 Suwannee Street
Tallahassee, FL 32399-0450
Attn: Stephine C. Kopelousos

Dear Ms. Kopelousos:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

7007 3020 0000 5960 6434

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

TALLAHASSEE FL 32399

OFFICIAL USE

Postage	\$ 1.00
Certified Fee	\$2.70
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$

SARASOTA FL
 MAIN OFFICE
 11
 Postmark Here
 DEC 02 2008
 12/02/2008
 34258

Sent to: *Florida Dept. Transportation*
 Street, Apt. No., or PO Box No.: *605 Suwannee Street*
 City, State, ZIP+4: *Tallahassee FL 32399*

PS Form 3800, August 2006 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p><i>Dolbi Robert</i></p> <p>B. Received by (Printed Name) C. Date of Delivery</p> <p><i>DEBBI ROBERT</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No If YES, enter delivery address below:</p>
<p>1. Article Addressed to:</p> <p><i>Florida Dept. Transportation</i> <i>605 Suwannee Street</i> <i>Tallahassee, FL 32399</i></p>	<p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail</p> <p><input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise</p> <p><input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p>
<p>2. Article Number (Transfer from service label)</p> <p>70 3020 0000 5960 6434</p>	<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>

December 2, 2008

Florida Keys Electric Cooperative Association, Inc.
3421 Overseas Highway
Marathon, FL 33050

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

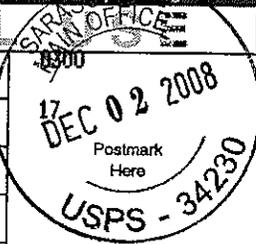
Stacey Mathis
Site Development Manager

7007 3020 0000 5960 6489

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL RECEIPT

Postage	\$	\$1.00	
Certified Fee		\$2.70	
Return Receipt Fee (Endorsement Required)		\$2.20	
Restricted Delivery Fee (Endorsement Required)		\$0.00	
Total Postage & Fees	\$	\$5.90	

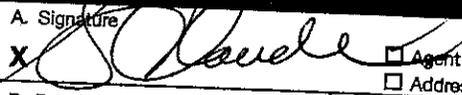
12/02/2008

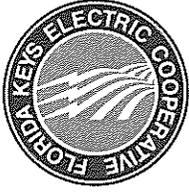
Sent To: **7KEC**

Street, Apt. No., or PO Box No.: **3421 Overseas Highway**

City, State, ZIP+4: **Marathon FL 33050**

PS Form 3800, August 2006 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature  <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) S. Claude</p> <p>C. Date of Delivery 12/4/08</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If YES, enter delivery address below:</p>
<p>1. Article Addressed to:</p> <p>7KEC 3421 Overseas Highway Marathon, FL 33050</p>	<p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail</p> <p><input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise</p> <p><input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p>
<p>2. Article Number <i>(Transfer from service label)</i></p> <p>7007 3020 0000 5960 6489</p>	<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>



**FLORIDA KEYS ELECTRIC COOPERATIVE
ASSOCIATION, INC. - FKEC**

91605 OVERSEAS HIGHWAY P.O. BOX 377, TAVERNIER, FL 33070-0377 PHONE (305) 852-2431 FAX: (305) 852-4794

December 10, 2008

Grain Communications Group Inc.
8437 Tuttle Avenue #332
Sarasota, FL 34243

**Re: Letter of Coordination – FAA (Federal Aviation Administration)
Communication Site located on East end of the Marathon Airport**

Dear Stacey,

The facilities and operations of Florida Keys Electric Cooperative Association, Inc. (FKEC) are designed to accommodate normal electrical load growth, providing sufficient energy is available from our mainland supplier. FKEC anticipates no significant problems in providing power to the property referenced above.

Easements may be required.

When preliminary electrical and site plans are available, please arrange to meet with FKEC Engineering staff to review and plan the project.

Sincerely,

A handwritten signature in black ink that reads "Keith Kropf". The signature is written in a cursive, somewhat stylized font.

Keith Kropf
Manager of Engineering

December 2, 2008

Monroe County Health Department
Gato Building
1100 Simonton Street
Key West, FL 33041

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

7007 3020 0000 5960 6595

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com.

OFFICIAL USE

Postage	\$	\$1.00
Certified Fee		\$2.70
Return Receipt Fee (Endorsement Required)		\$2.20
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.90



Sent To Manroe Health Department
 Street, Apt. No., or PO Box No. 1100 Sumner St
 City, State, ZIP+4 Key West, FL 33041

RECEIVED DEC 15 2008



Charlie Crist
Governor

Ana M. Viamonte Ros, M.D., M.P.H.,
State Secretary of Health

Ms. Stacey Mathis
Grain Communications Group Inc.
8437 Tuttle Ave #332
Sarasota, FL 34243

December 12, 2008

FAA Communication Site at Marathon Airport
Letter of Coordination

Dear Ms. Mathis,

This letter will acknowledge receipt of your recent request for a letter of coordination for the proposed development of a communication site for the Federal Aviation Administration at Marathon Airport. Please be aware that this Letter of Coordination does not constitute a permit from the Florida Department of Health for purposes of obtaining a building permit from the City of Marathon Building Department.

The Monroe County Health Department is the permitting authority for new establishments that produce domestic wastewater flows less than or equal to 10,000 gallons per day, and new establishments producing commercial wastewater sewage flows of less than or equal to 5,000 gallons per day. Establishments that exceed these estimated flows are regulated by the Florida Department of Environmental Protection.

A complete Plan Review to determine compliance with the provisions of chapter 64E-6 of the Florida Administrative Code, and Chapter 381 of the Florida statutes is required when a completed application with all required documents is submitted to this department. Any proposed onsite sewage treatment and disposal system must comply with the minimum requirements that are in effect at the time the application is submitted.

If you have any questions concerning this matter, please contact this office at any time. Your cooperation with the public health program of Monroe County and the State of Florida is greatly appreciated.

Yours truly,

A handwritten signature in black ink, appearing to read "Gary Lightler".

Gary Lightler
Environmental Specialist III

CC: Mr. Ron Wampler, Building Official, City of Marathon

Monroe County Health Department
Environmental Health Office
3333 Overseas Highway
Marathon, FL 33050

December 2, 2008

Monroe County Office of the Fire Marshal
1100 Simonton Street
Key West, FL 33041

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$	\$0.59	0300
Certified Fee		\$2.70	17
Return Receipt Fee (Endorsement Required)		\$2.20	
Restricted Delivery Fee (Endorsement Required)		\$0.00	
Total Postage & Fees	\$	\$5.49	

SARASOTA FL
 MAIN OFFICE
 Postmark
 DEC 02 2008
 12/02/08
 34230

Sent To: Monroe County Office of Fire Marshall
 Street, Apt. No.,
 or PO Box No. 1100 Semondon Street
 City, State, ZIP+4 Key West, FL 33041

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0000 5960 6502

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete Items 1, 2, and 3. Also complete Item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> <u>Carlos Victor</u> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <u>Carlos Victor</u> C. Date of Delivery <u>12/4/08</u></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
<p>1. Article Addressed to:</p> <p><u>Monroe County Office of Fire Marshall 1100 Semondon Street Key West, FL 33041</u></p>	<p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p>
<p>2. Article Number (Transfer from service label)</p> <p><u>7007 3020 0000 5960 6502</u></p>	<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>



BOARD OF COUNTY COMMISSIONERS

Mayor George Neugent, District 2
Mayor Pro Tem Sylvia J. Murphy, District 5
Commissioner Jim Wigington, District 1
Commissioner Heather Carruthers, District 3
Commissioner Mario Di Gennaro, District 4

1063rd Street

OFFICE of the FIRE MARSHAL
Marathon, FL 33050
PHONE: (305) 289-6010
FAX: (305) 289-6013

Stacey Mathis
Grain Communications, LLC
8437 Tuttle Avenue #332
Sarasota, FL 34243

RECEIVED JAN 08 2009

December 29, 2008

RECEIVED JAN 08 2009

RE: Letter of Coordination

Dear Stacey,

Pursuant to the requirements of the Monroe County Planning Department Development Permit Application, this shall serve as the letter of coordination between the Monroe County Fire Marshal's Office and the agent and/or property owner for the Communication Site proposed at the Marathon Florida Keys Airport.

1. The Fire Marshal's Office enforces the Florida Fire Prevention Code (2007), The Florida Building Code (2004/7), National Fire Protection Code (NFPA 1), Life Safety Code (NFPA 101) and related NFPA standards as applicable and adopted by the State of Florida.
2. All fire rated penetrations shall be caulked with a UL approved product per manufacturer's specifications. A detail sheet shall be included with the final set of approved and sealed plans on each method used the fire stop system. A single manufacturer of Fire Penetration sealant shall be used throughout the structure. Expanding "foam" products shall not be permitted anywhere in the structure.
3. Approved fire hydrants shall be provided for building to meet necessary fire flow requirements as determined by the Fire Official, and approved by the Florida Keys Aqueduct Authority (FKAA).
4. Fire Department access shall comply with NFPA 1, Ch.18.

It is understood that after conceptual review of the project has been granted, preliminary fire protection plans shall be included with improvements to water supply via fire hydrant and shall be submitted to Fire Marshal's Office prior to final plan review and issuance of a building permit. The Monroe County Fire Rescue Department provides fire suppression service to the proposed project location.

Sincerely,

Steven M. Zavalney
Captain, Fire Prevention

December 2, 2008

U.S. Fish and Wildlife Service
1339 20th Street
Vero Beach, FL 329036

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

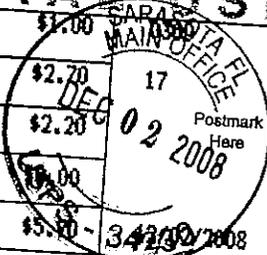
U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

7007 3020 0000 5960 6564

Postage	\$	\$1.00
Certified Fee		\$2.70
Return Receipt Fee (Endorsement Required)		\$2.20
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	\$5.90



Sent To *U.S. Fish + Wildlife Service*
 Street, Apt. No.;
 or PO Box No. *1339 20th Street*
 City, State, ZIP+4 *Vero Beach, FL 32906*

PS Form 3860, August 2006

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

U.S. Fish + Wildlife Service
1339 20th Street
Vero Beach, FL 32906

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 Addressee
Sandra Kadens

B. Received by (Printed Name) *Sandra Kadens* C. Date of Delivery *12/18*

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

2. Article Number
 (Transfer from service label) 7007 3020 0000 5960 6564

April 20, 2008

CLEARANCE TO PROCEED WITH THE CONSTRUCTION OF COMMUNICATION
TOWERS AND RELATED ACTIVITIES

To Whom It May Concern:

The Fish and Wildlife Service (Service) South Florida Ecological Services Office receives a large number of requests for review of communication towers and related activities (*e.g.*, the construction of new communication towers, co-location of antennas on existing communication towers or other structures, and the repair or maintenance of existing structures). This letter is in accordance with section 7 of the Endangered Species Act of 1973, as amended (87 Stat. 884; 16 U.S.C. 1531 *et seq.*), the Migratory Bird Treaty Act (40 Stat. 755; 16 U.S.C. 701 *et seq.*), and the *Interim Guidelines for Recommendations on Communication Tower Siting, Construction, Operation, and Decommissioning* (<http://migratorybirds.fws.gov/issues/towers/comtow.html>).

We have determined the following activities are not likely to increase risk to any federally listed species or have significant adverse impacts on migratory birds:

- (1) The construction of lattice or monopole design communication towers less than 200 feet in total height that do not contain guy wires. The tower must be located in urbanized or developed areas or other areas that do not provide potential habitat for federally listed species. In addition, the tower must be located at least 1,500 feet from any documented nest of the bald eagle (*Haliaeetus leucocephalus*)* and at least 1.0 mile from any known active nesting colony of the endangered wood stork (*Mycteria americana*) or wading bird nesting colony*;
- (2) The co-location of a new antenna on an existing communication tower or mounting of a new antenna on an existing structure (*e.g.*, light pole, billboard, water tower, building). The attachment of a new antenna to an existing communication tower should not increase the height of the tower or result in the addition of guy wires or lights to the tower. Also, the installation of the new antenna should not require the construction of a new access road or additional disturbance of the site; and

*The location of documented bald eagle nests can be obtained at: <http://myfwc.com/eagle/eaglenests/>. Locations of wading bird breeding colonies can be obtained at: <http://myfwc.com/waders/>.

- (3) The repair, maintenance, or replacement of an existing communication tower, provided that the activity does not increase the height of the tower or result in the addition of guy wires or lights to the tower.

For projects that meet the criteria listed above, further coordination with the Service is not necessary. In view of the preceding, this letter may also be used as a general clearance for all future projects meeting these criteria. Those projects that do not meet the above criteria should be forwarded to this office for further evaluation.

To assist you with project analysis, we recommend that you consult the following electronic sources of information:

- (1) A table that lists the federally listed species that are known to occur in each county of South Florida. The Service assumes that listed species occur in suitable ecological communities and recommends site surveys to determine the presence or absence of listed species
(<http://www.fws.gov/verobeach/index.cfm?Method=programs&NavProgramCategoryID=3&programID=37&ProgramCategoryID=3>);
- (2) The *South Florida Multi-Species Recovery Plan* discusses suitable ecological communities for federally listed species
(<http://www.fws.gov/verobeach/index.cfm?Method=programs&NavProgramCategoryID=3&programID=107&ProgramCategoryID=3>);
- (3) The Florida Natural Areas Inventory website provides information on major feeding sites and congregations of large numbers of migratory and resident birds (<http://www.fnai.org/>); and
- (4) The Service's migratory bird website provides useful information concerning migratory birds (<http://migratorybirds.fws.gov/>).

Thank you for your effort and cooperation in protecting federally listed threatened and endangered species and other wildlife resources. For additional information, coordination, or questions about this clearance letter, please contact Al Begazo at 772-562-3909, extension 234.

Sincerely yours,

Paul Souza
Field Supervisor
South Florida Ecological Services Office

December 2, 2008

Monroe Solid Waste Management
Gato Building
1100 Simonton Street #2-284
Key West, FL 33041

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com.

7007 3020 0000 5960 6601

OFFICIAL USE

Postage	\$ 1.00
Certified Fee	\$2.70
Return Receipt Fee (Endorsement Required)	\$2.20
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.90

0300
 17
 Postmark
DEC 02 2008
 SARASOTA FL
 MAIN OFFICE
 12/02/2008
 34230

Sent To Monroe Solid Waste Management
 Street, Apt. No.,
 or PO Box No. 1100 Simonton St
 City, State, ZIP+4 Key West FL 33041

PS Form 3800, August 2006 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
Monroe Solid Waste Management
1100 Simonton Street
2284
Key West, FL 33041

2. Article Number
 (Transfer from service) 7007 3020 0000 5960 6601

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 x Carlos Victor Agent Addressee

B. Received by (Printed Name) Carlos Victor C. Date of Delivery 12/4/08

D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

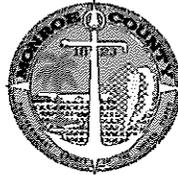
3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes



**BOARD OF COUNTY
COMMISSIONERS**

Mayor George Neugent, District 2
Mayor Pro Tem Sylvia J. Murphy,
District 5
Kim Wigington, District 1
Heather Carruthers, District 3
Mario Di Gennaro, District 4



December 12, 2008

Stacey Mathis
Site Development Manager
Grain Communication Group Inc.
8437 Tuttle Avenue, #332
Sarasota, Fl. 34243

RECEIVED DEC 17 2008

Subject: Communication site at Marathon Airport

Dear Mr. Mathis:

The proposed plan for your project shows adequate provision for solid waste and recycling management, as long as it continues to be an unmanned site.

Sincerely,


Rosa S. Washington
Sr. Administrator
Monroe County Public Works – Solid Waste

December 2, 2008

Keys Energy Services
P.O. Box 6100
Key West, FL 33041-6100

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager

7007 3020 0000 5960 6496

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

Postage	\$	\$1.00
Certified Fee		\$2.70
Return Receipt Fee (Endorsement Required)		\$2.20
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.90



Sent To Key Energy Services
 Street, Apt. No., or PO Box No. PO Box 6100
 City, State, ZIP+4 Key West FL 33041

PS Form 3800 August 2006 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <u>[Signature]</u> <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <u>Juissa Cardona</u> C. Date of Delivery <u>12/4/08</u></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If YES, enter delivery address below:</p>
<p>1. Article Addressed to:</p> <p><u>Key Energy Services</u> <u>P.O. Box 6100</u> <u>Key West, FL 33041</u></p>	<p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p>
<p>2. Article Number (Transfer from service label)</p> <p><u>7007 3020 0000 5960 6496</u></p>	<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>

December 2, 2008

Florida Keys Aqueduct Authority (FKAA)
3200 Overseas Highway
Marathon, FL 33050

Dear Sir or Madam:

Grain Communication Group, Inc. (GCGI) is working with ITT Corporation to develop a communication site for the Federal Aviation Administration (FAA) at Florida Keys Marathon Airport. This proposed communication site will be located on the east end of the airport property approximately 170 feet north of US1.

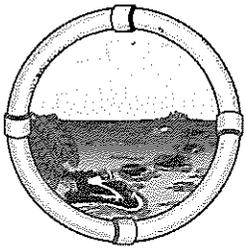
As part of the development process ITT is required to obtain a Minor Conditional Use Permit from Monroe County. Monroe County Planning and Environmental Resources require us to coordinate with certain agencies in our diligence to obtain the permit. Your agency is listed as one of the agencies where we are required to get a letter of coordination.

I have enclosed a copy of the survey for this site. Should you require further information or have any question, please do not hesitate to call me at 941-379-1249 or send me an email to smathis@gcgi.com.

I hope that you find everything in order, and will respond with a letter of no comment to the address on this letterhead.

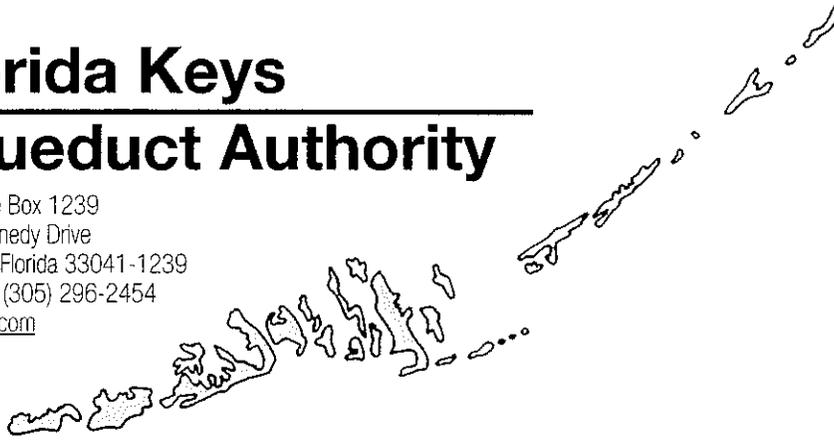
Sincerely,
Grain Communications, LLC

Stacey Mathis
Site Development Manager



Florida Keys Aqueduct Authority

Post Office Box 1239
1100 Kennedy Drive
Key West, Florida 33041-1239
Telephone (305) 296-2454
www.fkaa.com



J. Robert Dean
Chairman
Key West

Mary L. Rice
Vice-Chairman
Marathon

Elena Z. Herrera
Secretary/Treasurer
Rockland Key

Rose M. Dell
Big Pine Key

David C. Ritz
Key Largo

James C. Reynolds
Executive Director

December 15, 2008

Stacy Mathis
Grain Communications Group Inc.
8437 Tuttle Ave #332
Sarasota, FL 34243

RE: Communication Tower East end of Marathon Airport Near 107th Street & US-1

Dear Ms., Mathis

This letter will serve as proof of coordination of the above referenced project with the Florida Keys Aqueduct Authority.

The FCAA has no objection to you obtaining whatever permits that may be necessary to construct the Communication Tower at the above referenced location. There is presently a 12" water main located on US-1. Should water service be required for the site a complete set of plans will be required for the site.

Should you have any questions or require any further information please feel free to ask.

Sincerely Yours,

FLORIDA KEYS AQUEDUCT AUTHORITY

Edgar F. Nicolle, Jr.
Distribution Design Manager

EFN/cma

c: Dori Anderson, Customer Service Manager Tavernier

RECEIVED DEC 22 2008

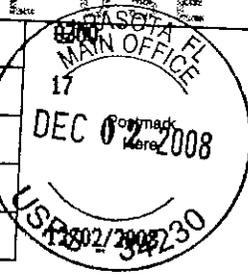
U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

MARATHON FL 33050

7007 3020 0000 5960 6571

Postage	\$ 1.00
Certified Fee	\$ 2.70
Return Receipt Fee (Endorsement Required)	\$ 2.20
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 5.90



Sent To: *Florida Keys Aqueduct Authority*
 Street, Apt. No., or PO Box No.: *3200 Overseas Highway*
 City, State, ZIP+4: *Marathon FL 33050*

PS Form 3800, August 2006

See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
Florida Keys Aqueduct Authority

3200 Overseas Highway

Marathon, FL 33050

COMPLETE THIS SECTION ON DELIVERY

A. Signature *Lisa Milo* Agent Addressee
 B. Received by (Printed Name) *LISA MILO* C. Date of Delivery *12/4/08*
 D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.
 4. Restricted Delivery? (Extra Fee) Yes

2. Article Number (Transfer from service label) **7007 3020 0000 5960 6571**



COMMUNICATIONS GROUP

GRAIN

MARATHON AIRPORT

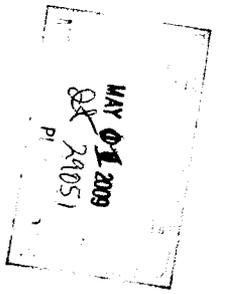
SITE NAME: MARATHON AIRPORT

SITE NUMBER: SV168-02

PROJECT TYPE: NEW TELECOMMUNICATIONS 50'-0" HIGH MONOPOLE TOWER WITH ADDED EQUIPMENT CABINET, 10KW EMERGENCY POWER GENERATOR W/ 138 GAL. DIESEL TANK

PROJECT LOCATION: 10684 OVERSEAS HWY. MARATHON, FL 33050

SITE OWNER: MONROE COUNTY



PRINTED

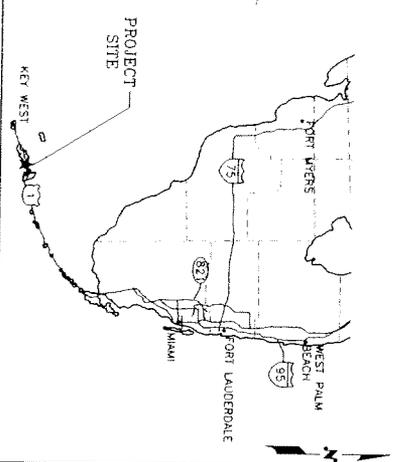
MAR 20 2009

MORRISON HERSHFIELD CORP



THIS DRAWING IS THE PROPERTY OF MORRISON HERSHFIELD CORP. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MORRISON HERSHFIELD CORP.

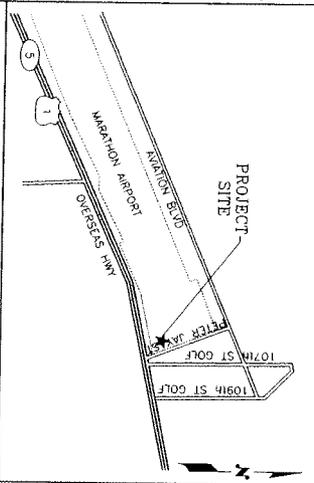
OVERVIEW MAP



CONTACT INFORMATION

GRAN COMMUNICATIONS MR. BILL CARROLL (941) 321-8207
POWER COMPANY: FPL (800) 228-3545
TELECO COMPANY: BELLSOUTH (800) 757-8500
PROPERTY OWNER: N/A
TOWER OWNER/LAND OWNER: MONROE COUNTY REGIE PARROS (863) 648-3288
CONSULTANT REPRESENTATIVE: MR. RAUL GARCIA MORRISON HERSHFIELD (954) 577-4675
ARCHITECT: MR. ROBERT JERRY LARA FL LIC # 92824 MORRISON HERSHFIELD (954) 577-4653

LOCATION SKETCH



SITE DIRECTIONS

FROM FORT LAUDERDALE AIRPORT TAKE I-95 SOUTH, MERGE ONTO US-1 (S DIKE HWY) TOWARDS THE WEST. TAKE RIGHT AT MARATHON ISLAND. SITE WILL BE ON YOUR RIGHT NEXT TO MARATHON AIRPORT.

SITE INFORMATION

- 1. LATITUDE (GPS): 24° 43' 42.88" N
2. LONGITUDE (GPS): 81° 2' 27.91" W
3. TYPE OF STRUCTURE: MONOPOLE TOWER
4. GROUND ELEVATION: N/A (AS ST. IN FEET)
1. ZONING CLASSIFICATION: N/A
2. JURISDICTION: CITY OF MARATHON

LIST OF DRAWINGS

Table with columns: No, Date, Action, Status. Lists architectural, structural, electrical, and civil drawings.

APPLICABLE BUILDING CODES AND STANDARDS

CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY MONROE COUNTY. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE APPLICABLE CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
2004 FLORIDA BUILDING CODE (FBC), WITH 2006 REVISIONS
155 MPH, WIND SPEED 'AS PER ASCE 7-02' (3 SECONDS GUST)
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70, NATIONAL ELECTRICAL CODE 2005 (NEC)
LIGHTNING PROTECTION CODE: NFPA - 2000 LIGHTNING PROTECTION CODE
CONTRACTOR'S WORK SHALL COMPLY WITH THE FOLLOWING STANDARDS:
AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION

TELECOMMUNICATIONS INDUSTRY ASSOCIATION/ELECTRONIC INDUSTRIES ASSOCIATION (TIA/EIA) 222-F, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES.
INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR WEARING EARTH RESISTANT, GROUND IMPEDANCE, AND EARLY SURFACE POTENTIALS OF A GROUND SYSTEM (IEEE 100 (LATEST EDITION), RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT)
IEEE 625-A1, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY 'C3' AND HIGH SYSTEM EXPOSURE)
TIA-609, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS EQUIPMENT, PART 1-333 COMMERCIAL CABLE CONNECTIONS
FOR ANY CONFLICTS BETWEEN REQUIREMENTS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

COVER SHEET

Project information form including Project No. (7080009-10), Date (5/11/08), and Drawing No. (G-1).

COMPOUND NOTES

1. THE MINIMUM LOWEST FIRST FLOOR ELEVATION SHALL NOT BE LESS THAN 4' ABOVE GROUND. READ DETAIL A-1 FOR FURTHER INFORMATION. FLOOD CONTROL ELEVATION, WHICHEVER IS HIGHER, AND/OR COUNTY SHALL SUBMIT AN ELEVATION CERTIFICATE (IF REQUIRED BY THE JURISDICTION) UPON COMPLETION OF PROJECT.
2. WORK OUTSIDE OF THE PROPERTY LINE INCLUDED IN THIS SET OF DRAWINGS SHALL BE, BUT NOT LIMITED TO, DRIVEWAYS, SODDING TO ASPHALT LINE AND UTILITY CONNECTIONS.
3. ALL UTILITIES WITHIN CONSTRUCTION FOOTPRINT SHALL BE REMOVED AND REINSTALLED AT CONTRACTOR'S RISK.
4. CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL UTILITY SERVICE CONNECTION LOCATIONS PRIOR TO SUBMITTING BID AND PROCEEDING WITH WORK. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES BEFORE BEGINNING WORK WITH WORK.
5. SOIL AT THIS SITE IS UNDISTURBED POOR P.S.F. SOIL. SOIL SUPPORTING THE DESIGN LOAD OF 2000 P.S.F. OR THEREAFTER SHALL BE ENCOUNTED. NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK. THIS VALUE IS CONSIDERED SAFE WITH NOTES NOT NECESSARILY INSURE THE PREVENTION OF EXCESSIVE FOUNDATION MOVEMENTS.
6. BURY PHONE AND ELECTRIC SERVICE NO LESS THAN 18" BELOW FINISH GRADE WITH 1'-0" RADIUS SAND BACKFILL AROUND PIPES. COORDINATE W/ ELECTRICAL DRAWINGS.
7. ALL HIS PRACTICAL TRADES. CONTRACTOR SHALL COORDINATE

FUEL TANK NOTE:

THE TANK SHALL BE EQUIPPED WITH VISUAL, INSTRUMENTAL, MONITORING TO MONITOR THE SPACE BETWEEN THE PRIMARY AND SECONDARY TANK. CAPACITY AND AN OVERSILL CONTAINMENT AT FILL POINT TO PREVENT SPILL OF FUEL DURING FILLING OPERATIONS.

NFPA 110 CHAPTER 4 NOTE:

CLASS 96
TYPE 6
LEVEL 2

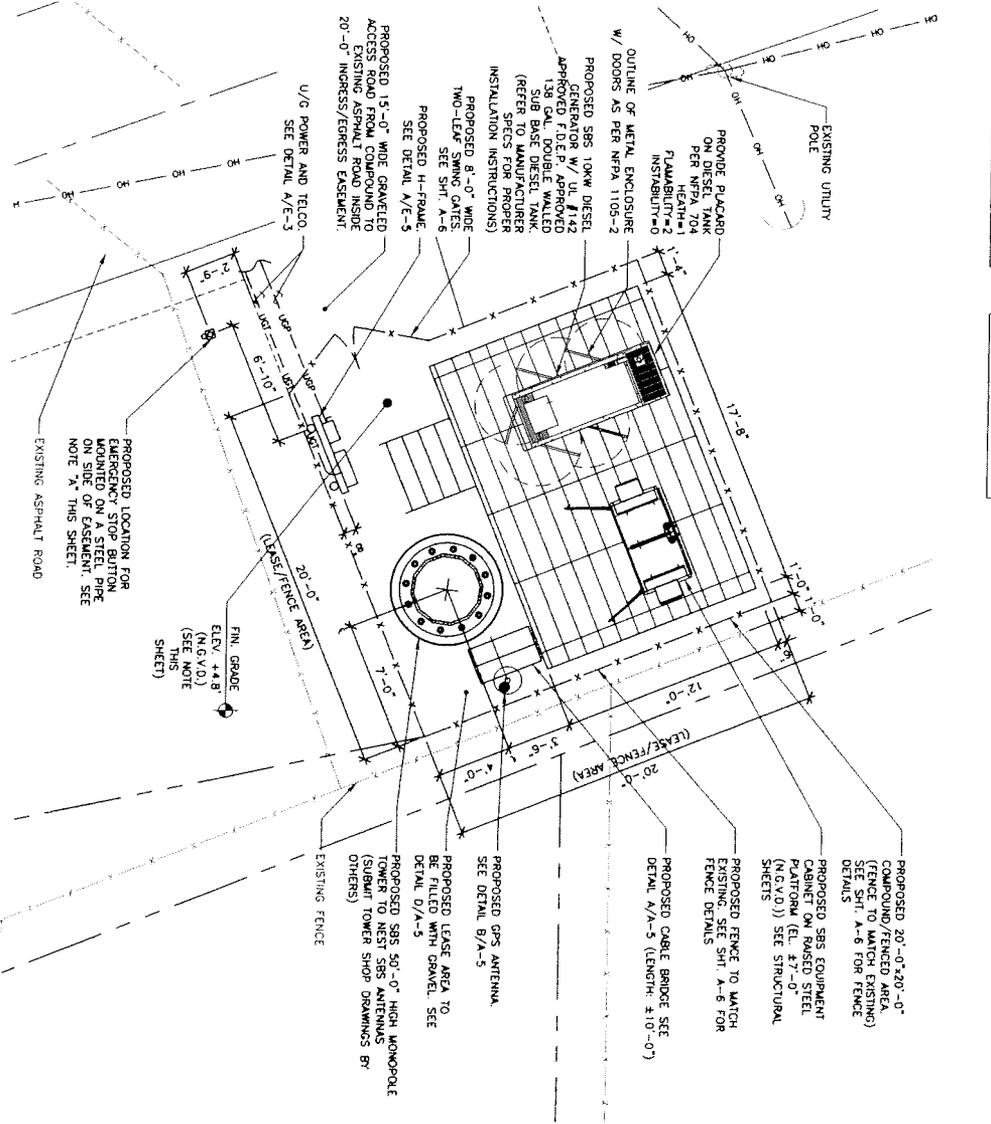
NOTE: *1
HAND INSTALL PUSH-BULL MANAGED 50MM RED MUSHROOM PUSH-BULL FUEL TANK. BLACK BEZEL WITH ONE M.C. CONTACT MODE. EZZL858 BY EATON OR APPROVED EQUAL IN NEMA 3R HOUSING. W/P/POO CONTACT RATING DESIGNATION TO BREAK (IGNITION AND EXACT WIRING W/ GEN MANUF.)-SUPPLY AND INSTALL COORDINATE FLOOR STAIRING IIT CORPORATION/GRAN COMMUNICATIONS EMERGENCY STOP.

FLOORING NOTE:
(AS PER SURVEYOR NOTES):

THE GRAIN COMMUNICATIONS LEASE PARCEL, DEPICTED HEREON LIES IN ZONE "C". BEZEL = 6.0' (N.G.V.D.)

CONTROL OF SPILLAGE:
AUTOMATIC SHUT OFF OF DISPENSER @ 98% CAPACITY OF TANK

NOTE:
REFER TO SHEET C-1 FOR COMPOUND SODDING



COMPOUND PLAN
SCALE 5/16"=1'-0" (BASED ON 22x34 PAPER SIZE)
SCALE 5/32"=1'-0" (BASED ON 11x17 PAPER SIZE)

MAY - 1 2009
29051
PI

PRINTED
MAR 2 0 2009

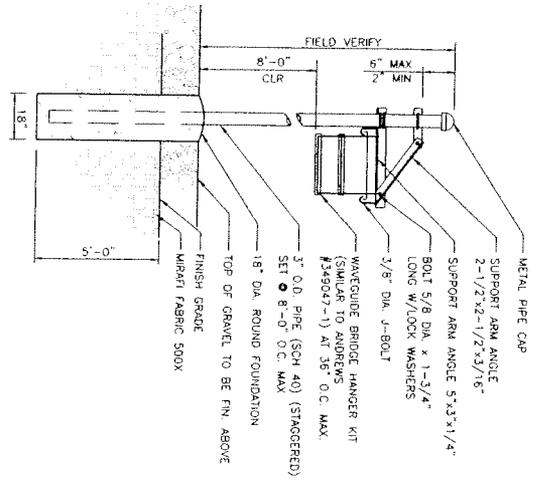
MORRISON HERSHFIELD CORP
MORRISON HERSHFIELD
13273 WORKDOWNE DRIVE
TERRACON, VA 20170

No.	Date	Action
4	02/19/09	ISSUED FOR PERMIT
3	02/25/09	NECESSARY FOR CLIENT REVIEW
2	02/25/09	NECESSARY FOR CLIENT REVIEW
1	02/25/09	ISSUED FOR CLIENT REVIEW
0	01/18/08	ISSUED FOR CLIENT REVIEW

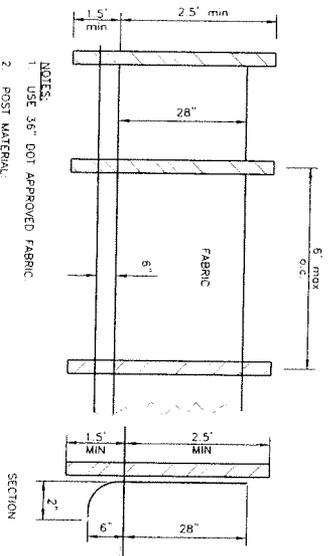
Client:
MORRISON HERSHFIELD
13273 WORKDOWNE DRIVE
TERRACON, VA 20170
Tel: 540.577.4600 Fax: 540.577.4608
State of Virginia CDR 00000000
www.morrisonhershfield.com

Project:
MARATHON AIRPORT
SV108-02
10884 OVERSEAS HWY.
MARATHON, FL 33050

Project No.	Sheet No.
71080002-10	A-2



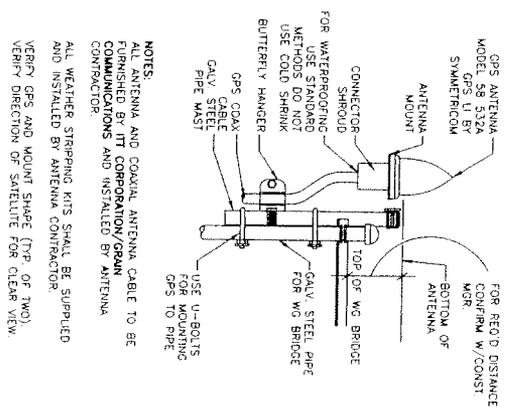
A
WAVEGUIDE BRIDGE
NOT TO SCALE



C
SILT FENCE (WHERE APPLICABLE)
NOT TO SCALE

- NOTES:**
1. USE 36" DOT APPROVED FABRIC
 2. POST MATERIAL:
SOFT WOOD: 2" x 4" MIN.
HARD WOOD: 1-1/2" x 1-1/2" x 1-1/2" MIN.
STEEL: 1.5 lb/ft MIN.

B
GPS MOUNTING DETAIL
NOT TO SCALE



- NOTES:**
- ALL ANTENNA AND COAXIAL ANTENNA CABLE TO BE FURNISHED BY ITT CORPORATION/GRAIN COMMUNICATIONS AND INSTALLED BY ANTENNA CONTRACTOR.
 - ALL WEATHER STRIPPING KITS SHALL BE SUPPLIED AND INSTALLED BY ANTENNA CONTRACTOR.
 - VERIFY GPS AND MOUNT SHAPE (TOP OF TWO), VERIFY DIRECTION OF SATELLITE FOR CLEAR VIEW.

1 2 3 4 5 6

MAY - 1 2009
29051
Pr

PRINTED

MAR 2 0 2009

MORRISON HERSHFIELD CORP

[Signature]
ROBERT JERRY WALK
REGISTERED ARCHITECT
STATE OF FLORIDA
NO. 12000

4		
3		
2		
1		
0	03/19/09	ISSUED FOR PERMIT
C	02/24/09	REVISED FOR CLIENT REVIEW
B	03/09/08	REVISED FOR CLIENT REVIEW
A	01/18/08	ISSUED FOR CLIENT REVIEW
No	Date	Action

MORRISON HERSHFIELD
Two South University Drive, Suite 245
Tampa, Florida 33601
Tel: 813.271.4800 Fax: 813.271.4809
State of Florida, CO# 00000000
www.morrisonhershfield.com

ITT
12975 WOODGATE DRIVE
HERNDON, VA 20170
COMMUNICATIONS GROUP
131 S. PHOENIX AVE.
SMARSON, FL 34236

GRAN
COMMUNICATIONS GROUP
10694 OAKSEAS HWY.
MARATHON, FL 33050

Project:
MARATHON AIRPORT
SV168-02
10694 OAKSEAS HWY.
MARATHON, FL 33050

Drawing Title:
DETAILS

Project No.	7080009-10
Design No.	01/18/08
Drawn By:	RL, CC
Checked By:	RL, CC
Rev. No.:	00
Rev. Description:	Client Approval
Sheet No.	0
Drawing No.	A-5

STRUCTURAL GENERAL NOTES

1. THE GENERAL NOTES AND TYPICAL DETAILS ARE APPLICABLE TO ALL PARTS OF THE STRUCTURE AND SHALL BE READ IN CONJUNCTION WITH THE STRUCTURAL DRAWINGS AND PROJECT SPECIFICATIONS.
2. USE ONLY THE LATEST ISSUE OF ANY GOVERNING CODES, STANDARDS OR REGULATIONS REQUIRED OR MENTIONED IN THE FOLLOWING NOTES.
3. ALL CONSTRUCTION, EXCEPT WHERE NOTED OTHERWISE, SHALL COMPLY WITH THE REQUIREMENTS OF THE NOTED BUILDING CODES AND REFERENCE STANDARDS.
4. VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
5. FOR DETAILS AND DIMENSIONS NOT GIVEN ON STRUCTURAL DRAWINGS, REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN TRADES.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SAFEGUARD ALL EXISTING UTILITIES LOCATED BY HIS CONSTRUCTION ON ANY NEW STRUCTURE OR PORTION THEREOF. DO NOT EXCEED THE DESIGN LOADING INDICATED ON THESE DRAWINGS.
8. ALL DESIGN LOADING INDICATED ON THESE DRAWINGS ARE SPECIFIED (UNFACTORED) LOADS UNLESS OTHERWISE INDICATED.
9. ALL CONNECTION FORCES AND BRACING FORCES SHOWN ON THESE DRAWINGS ARE THE CRITICAL UNFACTORED FORCES UNLESS OTHERWISE INDICATED.
10. DO NOT SCALE THE DRAWINGS.
11. THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF MORRISON HERSHFIELD CORPORATION AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.

FOUNDATIONS NOTES

1. FOUNDATIONS FOR THIS PROJECT HAVE BEEN DESIGN FOR THE FOLLOWING ASSUMED ALLOWABLE CAPACITIES: 2000 PSF.
2. VISUAL INSPECTION OF THE SITE SHOWS A SOIL WHICH HAS SAFE BEARING CAPACITY IN EXCESS OF 2000 LBS. PER SQUARE FOOT. THEREFORE, THE FOUNDATIONS WILL BE CONSIDERED TO BE CALLED TO INSPECT THE SOIL TO VERIFY THE ENGINEER WILL BE TO ISSUE A CERTIFICATION OF SOIL BEARING CAPACITY. IF ANY SOIL CONDITIONS ARE ENCOUNTERED DURING THE CONSTRUCTION WHICH SHEET IN CONFLICT WITH THIS SOIL DESCRIPTION, THE CONTRACTOR SHALL NOTIFY IMMEDIATELY THE ENGINEER.

CONCRETE NOTES

1. ALL CONCRETE WORK SHALL CONFORM TO AC 318 - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND TO THE PROJECT SPECIFICATIONS.
2. PREPARE AND SUBMIT MIX DESIGNS FOR EACH TYPE AND STRENGTH OF CONCRETE IN ACCORDANCE WITH ACI 211.1 - PROPORTIONING OF CONCRETE MIXTURES AND ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE.
3. READY-MIX CONCRETE SUPPLIERS TO BE BRNCC-CERTIFIED.
4. ALL CONCRETE IS TO BE NORMAL DENSITY CONCRETE WITH A MAXIMUM SLUMP OF 4 INCHES. MAXIMUM AGGREGATE SIZE 3/4 INCH.
5. NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
6. DO NOT USE CHLORIDE-CONTAINING ADMIXTURES.
7. HOT WEATHER CONCRETE: COMPLY WITH ACI 308R.
8. REINFORCING OF ALL CONCRETE MEMBERS SHALL HAVE THE FOLLOWING CLEAR CONCRETE COVER:

CONCRETE CAST AGAINST AND EXPOSED TO WEATHER OR WEATHER	3
#6 THROUGH #18 BARS	2
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH SLABS AND WALLS	1 1/2
#14 AND #18 BARS	1
#11 BAR AND SMALLER	1 1/2
COLUMNS, REINFORCED TIES, STIRRUPS, SPINDLS	1 1/2
9. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM BEARING LENGTH OF 4 INCHES FOR ALL REINFORCED CONCRETE SLABS.
10. PROVIDE CHAMFERS, REVEALS, REGLETS, RECESSES AND THE LIKE AS SHOWN ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS.
11. PROVIDE 3/4 INCH CHAMFER AT EXPOSED FORMED EDGES AND CORNERS.
12. NO HOLES OR SLEEVES SHALL BE MADE THROUGH CONCRETE WORK WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER.
13. PROVIDE CAST-IN-PLACE CONCRETE FOR MECHANICAL AND ELECTRICAL PASSAGES INCLUDING BUT NOT LIMITED TO EQUIPMENT BASES, HOUSINGKEEPING PANS, COBBS, PINS, UNDERGROUND DUCTBANKS.
14. ALL FORMWORK OFFSET TOLERANCES (PER ACI 117) TO BE CLASS A.
15. FLOOR SLAB TOLERANCE TO ASTM E1155, SPECIFIED OVERALL MINIMUM VALUE OF 1/4 INCH. MAXIMUM LOCAL MINIMUM F₁ = 17 AND MINIMUM VALUE LOSS ESTABLISHED WITH LOCAL CODE MINIMUM F₁ = 15. MEASURE F₁ AND F₂ WITHIN 72 HOURS OF SLAB CONSTRUCTION.

STRUCTURAL STEEL NOTES

1. FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES: AISC-ASD SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS AND CODE OF STANDARD PRACTICE.
2. CONNECTIONS AND WELDMENTS MUST BE CERTIFIED TO APPLICABLE SECTIONS OF AISC/AWS D11 - STRUCTURAL WELDING CODE - STEEL.
3. ALL WELDS NOT SHOWN ON DESIGN DRAWINGS SHALL BE SUCH AS TO DEVELOP 100% OF STRENGTH OF THE BASE METAL.
4. ALL BOLTED CONNECTIONS SHALL BE BEARING TYPE CONNECTIONS CONFORMING TO "B" SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.
5. UNLESS OTHERWISE SHOWN, ALL BEAM CONNECTIONS SHALL BE STANDARD FRAMED OR SEATED CONNECTIONS AS SHOWN IN PART 4 OF THE AISC MANUAL OF STEEL CONSTRUCTION ALLOWABLE STRESS DESIGN CONNECTIONS SHALL BE INDICATED ON THE DRAWINGS.
6. THE TOTAL UNIFORM LOAD CAPACITY OF THE GIVEN MEMBER SHALL BE AT LEAST HALF OF THE TOTAL UNIFORM LOAD CAPACITY OF THE GIVEN MEMBER.
7. IN ALL CASES CONNECTIONS SHALL MEET THE REQUIREMENTS OF AISC-ASD.
8. FABRICATOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES AND/OR FABRICATION ERRORS IN THE DESIGN DRAWINGS IN TIME TO PREVENT ANY DELAY.
9. CONTRACTOR SHALL SUPPLY SIX PANTS OF SHOP DRAWINGS FOR REVIEW BY THE ENGINEER PRIOR TO COMMENCING FABRICATION. APPROVAL OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR IN ANY WAY FROM HIS RESPONSIBILITY FOR ACCURACY AND FIT.
10. SURFACE PREPARATION OF ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF STEEL STRUCTURES PAINTING COUNCIL SPECIFICATION FOR INDUSTRIAL BUILT CLEANING SPEC-596.
11. ALL STEEL SHALL BE OBTAINED FROM A SOURCE THAT MEETS THE REQUIREMENTS OF AISC STANDARD SPECIFICATION FOR STRUCTURAL STEEL TO BE TOUCH UP WITH ZINC RICH PAINT AFTER CONSTRUCTION.

DESIGN CRITERIA NOTES

- DESIGN DATA**
- FLORIDA BUILDING CODE 2007 w/ 2009 SUPPLEMENT
 WIND SPEED (ASCE 7-02) 110 MPH
 WIND EXPOSURE CATEGORY C
 IMPORTANCE FACTOR 1.15
- LOADS:**
- (1) PROPOSED GENERATOR W/138 GAL. DIESEL TANK 4900 LBS
 (1) PROPOSED EQUIPMENT CABINET 2800 LBS

- MATERIALS**
- STRUCTURAL WF STEEL ONLY
 STRUCTURAL STEELS A36
 X-BRACING ANGLES A36
 ANGLES & PLATES A36
 RECTANGULAR STRUCTURAL TUBING A500 GRADE B (46KSI)
 HIGH STRENGTH BOLTS A490 OR A55 GRADE B
 WELDING ELECTRODES E70XX
- CONCRETE (28 DAYS)
 FOOTINGS 3000 PSI
 ALL OTHER CONCRETE 3000 PSI
 REINFORCING STEEL 4615 GRADE 60
 WELDED WIRE FABRIC 4496
 1885

PRINTED

MAR 2 0 2009

MORRISON HERSHFIELD CORP
 ENGINEER
 10000 W. BOULEVARD
 SUITE 1000
 WESTLAKE, CALIFORNIA 91361

No.	Date	Action
4	07/18/08	ISSUED FOR CLIENT REVIEW
3		
2		
1		
0	02/19/08	ISSUED FOR PERMIT
C	02/26/08	REVISION FOR CLIENT REVIEW
B	03/05/08	REVISION FOR CLIENT REVIEW
A	07/18/08	ISSUED FOR CLIENT REVIEW

MORRISON HERSHFIELD
 Two South University Drive, Suite 205
 Westlake, Florida 33567-5746
 The Old Mill Building, 10000 Westlake Blvd
 Suite 1000, Westlake, Florida 33567-5746
 www.morrisonhershfield.com

ITT
 12975 WOLF CREEK DRIVE
 HENRIKSON, VA 20170

CLIENT:
 CONSTRUCTION GROUP
 3110 W. WILSON AVE
 SHERBOURNE, GA 31529

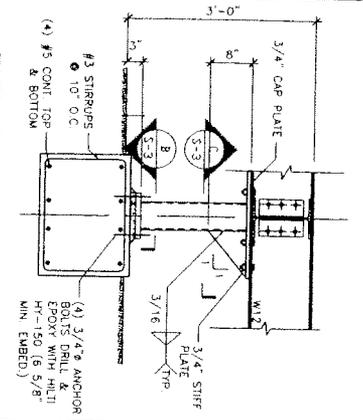
PROJECT:
 MARATHON AIRPORT
 10884 OXFORDS HWY
 MARATHON, FL 32050

Drawing Title:
 STRUCTURAL
 NOTES

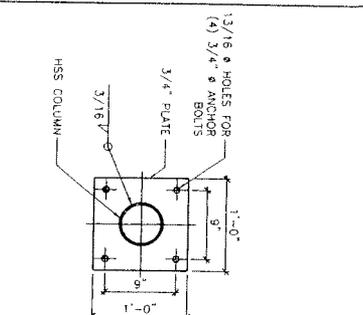
Project No.	Drawn By	Check By	Date
17060009_10	01/15/08	01/15/08	
	02/05/08	02/05/08	
	03/05/08	03/05/08	
	07/18/08	07/18/08	

Sheet No. 0
 Drawing No. S-1

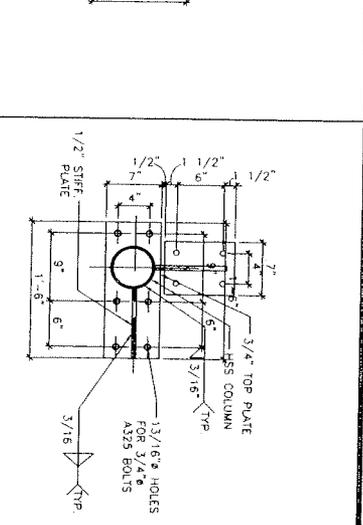
MAY - 1 2009
 29051



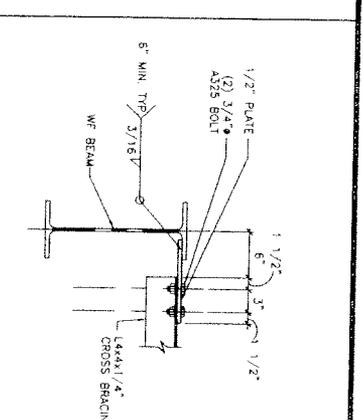
A ELEVATION
 SCALE: 1" = 1'-0" (BASED ON 22X34 PAPER SIZE)
 SCALE: 1/2" = 1'-0" (BASED ON 11X17 PAPER SIZE)



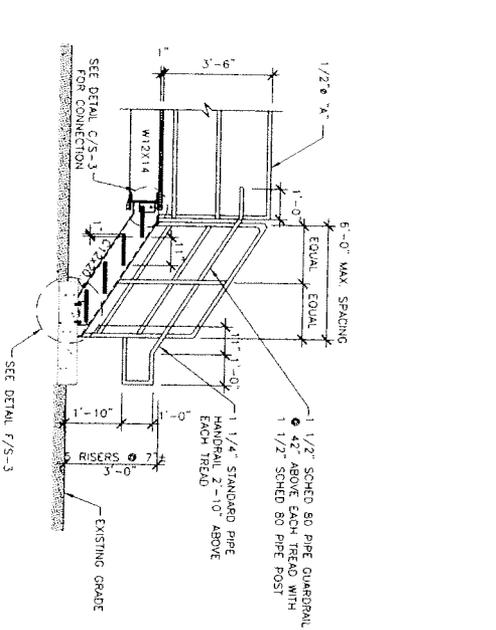
B BASE PLATE DETAIL
 SCALE: 1 1/2" = 1'-0" (BASED ON 22X34 PAPER SIZE)
 SCALE: 3/4" = 1'-0" (BASED ON 11X17 PAPER SIZE)



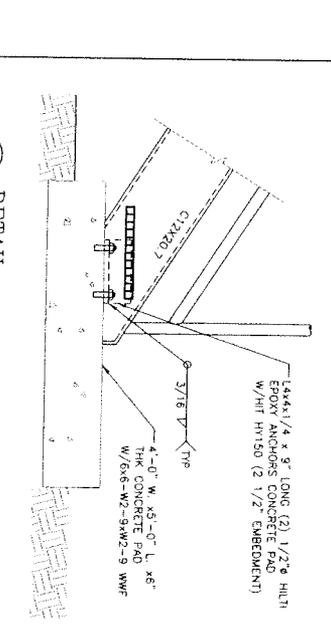
C CAP PLATE DETAIL
 SCALE: 1 1/2" = 1'-0" (BASED ON 22X34 PAPER SIZE)
 SCALE: 3/4" = 1'-0" (BASED ON 11X17 PAPER SIZE)



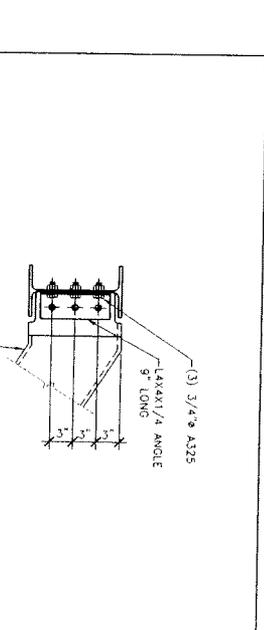
D CONNECTION DETAIL
 SCALE: 1 1/2" = 1'-0" (BASED ON 22X34 PAPER SIZE)
 SCALE: 3/4" = 1'-0" (BASED ON 11X17 PAPER SIZE)



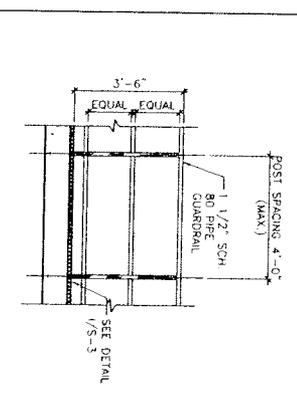
E STAIRS ELEVATION
 SCALE: 1/2" = 1'-0" (BASED ON 22X34 PAPER SIZE)
 SCALE: 1/4" = 1'-0" (BASED ON 11X17 PAPER SIZE)



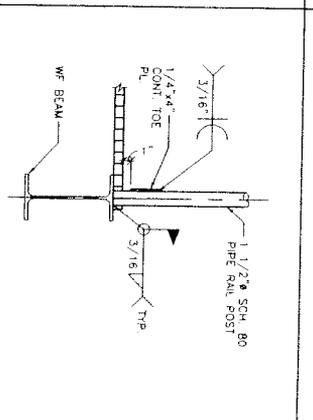
F DETAIL
 SCALE: 1 1/2" = 1'-0" (BASED ON 22X34 PAPER SIZE)
 SCALE: 1/4" = 1'-0" (BASED ON 11X17 PAPER SIZE)



G DETAIL
 SCALE: 1 1/2" = 1'-0" (BASED ON 22X34 PAPER SIZE)
 SCALE: 3/4" = 1'-0" (BASED ON 11X17 PAPER SIZE)



H GUARDRAIL ELEVATION
 SCALE: 1 1/2" = 1'-0" (BASED ON 22X34 PAPER SIZE)
 SCALE: 1/2" = 1'-0" (BASED ON 11X17 PAPER SIZE)



I GUARDRAIL DETAIL
 SCALE: 1 1/2" = 1'-0" (BASED ON 22X34 PAPER SIZE)
 SCALE: 3/4" = 1'-0" (BASED ON 11X17 PAPER SIZE)

PRINTED
 MAR 20 2009
 MORRISON HERSHFIELD CO.
 REGISTERED ARCHITECT
 STATE OF FLORIDA
 NUMBER

No.	Date	Action
0	01/14/09	ISSUED FOR PERMIT
1	02/28/09	REVISION FOR CLIENT REVIEW
2	04/29/09	REVISION FOR CLIENT REVIEW
3	01/19/08	ISSUED FOR CLIENT REVIEW

MORRISON HERSHFIELD
 "The State University City, Suite 315"
 1400 University Blvd., Suite 315
 Tallahassee, FL 32310
 Phone: 904.933.7700
 Fax: 904.933.7700
 www.morrisonhershfield.com

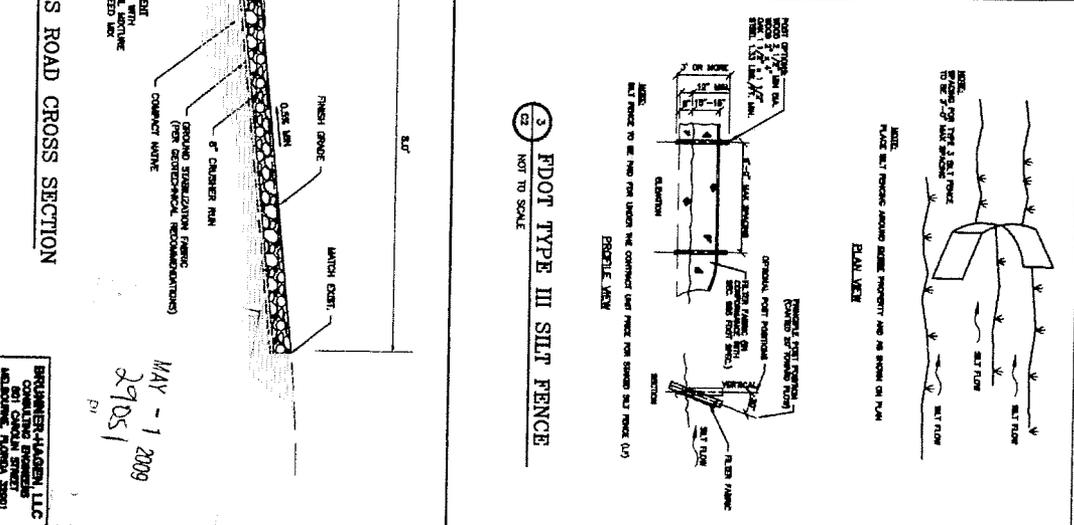
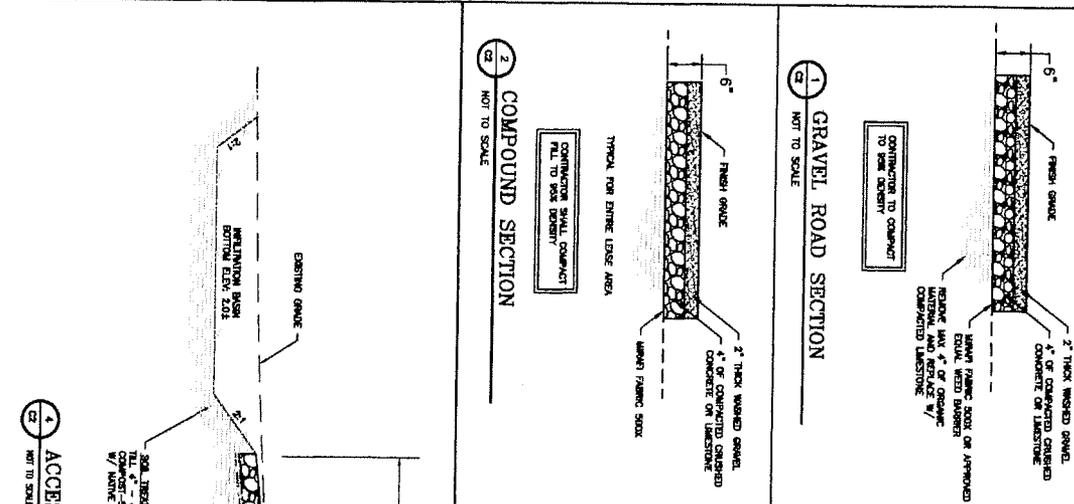
Project No.	Date
7080008_10	01/15/08
18	01/15/08
19	01/15/08
20	01/15/08
21	01/15/08
22	01/15/08
23	01/15/08
24	01/15/08
25	01/15/08
26	01/15/08
27	01/15/08
28	01/15/08
29	01/15/08
30	01/15/08
31	01/15/08
32	01/15/08
33	01/15/08
34	01/15/08
35	01/15/08
36	01/15/08
37	01/15/08
38	01/15/08
39	01/15/08
40	01/15/08

DETAILS

MAY - 1 2009
 24051
 PI

GENERAL EROSION CONTROL NOTES

1. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND PREVENT EROSION FROM OCCURRING FROM SOIL LOSS AND TO PREVENT COLLAPSE OF EXISTING STRUCTURES FROM SOIL LOSS AND TO PAINTS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS Silt Fences, Straw Bale, Sediment Barriers and Check DAMS.
2. EROSION CONTROL MEASURES MAY BE REQUIRED IN ADDITION TO THOSE CONDITIONS DIMENSIONS WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.
3. PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION SITE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR FROM THE SITE.
4. THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE EROSION OF SOIL FROM THE CONSTRUCTION AREA. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH TOP SOIL AS CONDITIONS REQUIRE, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED THROUGHOUT THE CONSTRUCTION PERIOD. DEGRADED, WASHED OR THROWN FROM OFFICE OF Silt Fences, Straw Bale, Sediment Barriers OR Silt STORAGE DAMS MUST BE REMOVED.
5. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCES/EXITS, ALL PERMANENT EROSION CONTROL MEASURES AND OTHER WATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
6. ALL Silt BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CONSTRUCTION. NO OPENING SHALL BE MADE UNTIL Silt BARRIERS ARE REMOVED. Silt BARRIERS SHALL BE PLACED AT ALL CONSTRUCTION IN AND OUT SLOPES.
7. EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON DRAWINGS TO ACCOMMODATE THE FINAL PROPOSED DRAINAGE PATTERNS. THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ANY DIFFICULTY IN CONSTRUCTION OF EROSION CONTROL DEVICES SHALL BE RESTORED TO A PERIOD GREATER THAN 14 DAYS SHALL BE INSTALLED WITH TEMPORARY SECTIONS.
8. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF A Silt FENCE. ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY UPON THE COMPLETION OF THE CONSTRUCTION AREA HAS BEEN COMPLETED WITH PERMANENT VEGETATION AND ALL ROADS/DRAINWAYS HAVE BEEN COMPLETED.
9. CONTRACTOR SHALL REMOVE ACCUMULATED Silt WHEN THE Silt IS WITHIN 12" OF THE TOP OF THE Silt FENCE UTILIZED FOR EROSION CONTROL.
10. ALL OPEN SWALES MUST BE GRESSED AND REPAIR MUST BE PLACED AS REQUIRED TO CONTROL EROSION. A MINIMUM OF 4.5 SQUARE YARDS PER LINEAL FOOT SHALL BE MAINTAINED AT ALL TIMES. SWALES SHALL BE MAINTAINED UNDER THE INSTALLATION OF TREES AND DRAINAGE STRUCTURES.
11. MAINTENANCE OF ALL Silt FENCE AND SEDIMENT CONTROL MEASURES TAKES THE RESPONSIBILITY OF THE PROPERTY OWNER.
12. SEDIMENT STORAGE STRUCTURE MEASURES MUST BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:



NOTES & DETAILS

Project: **MARATHON AIRPORT**
 10001 OVERSEAS HWY.
 MARATHON, FLORIDA 32901
 LINDA M. H. 32901

Client: **ITT**
 10001 OVERSEAS HWY.
 MARATHON, FLORIDA 32901
 LINDA M. H. 32901

Design: **ITT**
 10001 OVERSEAS HWY.
 MARATHON, FLORIDA 32901
 LINDA M. H. 32901

Drawn: **ITT**
 10001 OVERSEAS HWY.
 MARATHON, FLORIDA 32901
 LINDA M. H. 32901

Checked: **ITT**
 10001 OVERSEAS HWY.
 MARATHON, FLORIDA 32901
 LINDA M. H. 32901

Scale: **AS SHOWN**

Date: **02/17/20**

Sheet: **0** of **C2**

Project No: **0**

Sheet No: **C2**

Revision: **0**

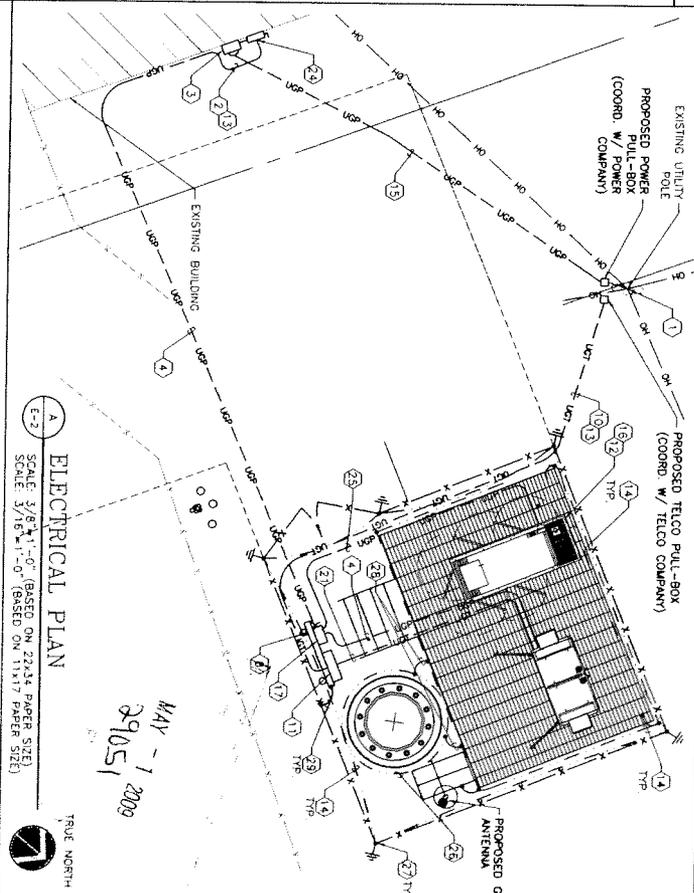
Notes: **FOR REVIEW FOR CONSTRUCTION**

1 2 3 4 5 6

ELECTRICAL REFERENCE NOTES

- 1 EXISTING UTILITY POLE MOUNTED TRANSFORMER. COORDINATE REQUIREMENTS FOR 120/240V-1Ø-3W TAP WITH UTILITY COMPANY.
- 2 SERVICE LATERAL COORDINATE WITH UTILITY COMPANY.
- 3 SUPPLY AND INSTALL A 100 AMP, 120/240V 1Ø UTILITY APPROVED METER SOCKET. METER BY UTILITY COMPANY. PROVIDE WITH MECHANICALLY ATTACHED ENGAGED IDENTIFICATION LABEL INDICATING TIT METER.
- 4 #2'S AND #8 GND. IN 2" RNC. BFG AND GRC A.F.G.
- 5 POWER ENTRY INTO EQUIPMENT REFER TO MANUFACTURER SPECS FOR DETAILS.
- 6 TELCO ENTRY INTO EQUIPMENT REFER TO MANUFACTURER SPECS FOR DETAILS.
- 7 (1) #2 AWG SOLID BARE CU GRC INSTALLED IN 1" RNC AFG AND EXPOSED BEG. BOND TO CE WITH EXOTHERMIC WELD. BOND TO EQUIPMENT SYSTEM WITH #2 AWG SOLID TINNED CU WIRE. ADD (2) 5/8" X 10"-Ø DRIVEN GROUND ELECTRODES 10'-Ø APART.
- 8 PROPOSED H-FRAME SEE DETAIL A/E-5
- 9 TELCO DEBARICATION POINT ELECTRICAL CONTRACTOR TO COORDINATE WITH LOCAL TELCO FOR SERVICE TO EQUIPMENT.
- 10 CONTRACTOR TO SUPPLY AND INSTALL (2) 2" RNC BFG AND GRC A.F.G. C/W PULL COROS FOR TELCO SERVICE TO TELCO ENCLOSURE.
- 11 SUPPLY AND INSTALL NEMA JR 2X2 TELCO ENCLOSURE WITH HINGED DOOR AND PLYWOOD BACKBOARD H-FRAME.
- 12 138 GALLON DIESEL BASE TANK BELOW GENSET.
- 13 CONTRACTOR TO ABANDON AND PAY FOR UNDERGROUND UTILITY LOCATION SURVEYS FOR ALL TRENCHING. REUSE NATIVE BACKFILL AND RE-INSTATE ORIGINAL CONDITION. INSTALL 6" WIDE METALLIC UNED RED PLASTIC MARKER TAPE 8" ABOVE ALL BURIED CONDUIT.
- 14 APPROXIMATE LOCATION OF #2 AWG SOLID BARE TINNED GROUND RING. EXACT LOCATION AND NUMBER OF GROUND RODS TO BE DETERMINED ON SITE AND BASED ON FALL OF POTENTIAL GROUND RESISTANCE METHOD FOR RESISTANCE < 5 OHMS. UNLESS OTHERWISE NOTED, DRIVEN GROUND RODS ARE TO BE BURIED AT 16 FEET INTERVALS.
- 15 #2'S IN 2" RNC. BFG AND GRC A.F.G.
- 16 SUPPLY & INSTALL NEW 10KW DIESEL GENERAC 120/240V STAND-BY EMERGENCY GENERATOR. INSTALL AS PER MANUF. SPECIFICATIONS DO-NOT BOND NEUTRAL TO GROUND AT GEN SYSTEM NON-SEPARATELY DERIVED-COOPED.
- 17 100A NEMA-3R, 2 POLE, 120/240-1Ø AIS (GENERAC RIS OR EQUIVALENT).
- 18 PROVIDE (2) 20A-1P CIRCUIT BREAKERS IN EQUIPMENT LOAD CENTER FOR GEN BATT CHARGER AND BLOCK HEATER.
- 19 ALARM CIRCUIT TO GEN. CONTROLLER TO ALARM LOW FUEL LEVEL IN 3/4" CONDUIT.
- 20 PROVIDE (2) SETS OF 3/4" GRC EACH W/ 2#12 AND 1#12 GROUND FOR GEN CHARGER AND HEATER CIRCUITS.
- 21 PROVIDE (1) 2" RNC BFG AND GRC AFG C/W PULL COROS FOR TELCO SERVICE TO EQUIPMENT.
- 22 PROVIDE 1" GRC W/ CONDUCTORS TO AIS FOR START/STOP CONTROL.
- 23 120/240V-1Ø-3W, 100A RATED CB PANEL "PPI" (EQUIPMENT LOAD CENTER) IN EQUIPMENT CABINET.
- 24 PROVIDE A 100A RATED, NEMA-3R, 120/240V-1Ø, 2 POLE FUSED DISCONNECT EQUIPPED W/ 100A RFI FUSES.
- 25 #8 AND 1#10 GROUND IN 1" GRC.
- 26 NOT USED.
- 27 PROVIDE 5/8" X 8"-Ø LONG COPPER CLAD STEEL (COPPER WELD) GROUND ROD AS SHOWN. PROVIDE INSPECTION SLIT. ALL GROUND ROD TO SHOW BOND TO EXTERIOR BURIED GROUND RING. INSTALL GROUND ROD TWO (2) FEET MIN. FROM EACH OTHER. ALLOWABLE (6" ALLOWABLE Ø THIS SITE DUE TO CONSTRAINTS). INSTALL SO THAT TOP OF GROUND ROD IS AT LEAST 18" FROM PROS. ONE, WHICHEVER IS DEEFER. REFER TO GROUND ROD INSPECTION POTENTIAL GROUND RESISTANCE METHOD FOR RESISTANCE. UNLESS OTHERWISE NOTED, DRIVEN GROUND RODS ARE BONDED TO THE BURIED GROUND RING AT 16 FEET INTERVALS.
- 28 #2 AWG SOLID BARE TINNED COPPER CONDUCTOR.
- 29 BOND H-FRAME, DISCONNECT SWITCH, METER, PULL BOX, AIS, GENERATOR AND TELCO CABINET TO BURIED GROUND RING. ALL CONDUITS-EXCEPT SIGNAL RING CONDUCTOR SHALL BE BONDED TO THE GROUND CONDUCTOR USING PIPE CLAMP DO NOT EXCEED MINIMUM RING SIZE.
- 30 NOT USED.
- 31 NOT USED.
- 32 GEN OUTPUT CIRC BREAKER 45A-2P.
- 33 GEN CONTROLLER.
- 34 NOT USED.

NOTE: ALL EXPOSED UNSTRUCT. TO BE COLO SAW AND RUBBER CAP



PRINTED
MAR 2 0 2009

MORRISON HERSHFIELD CORP
REGISTERED PROFESSIONAL ENGINEER
STATE OF ALABAMA

ITC
12923 WOODLAKE DRIVE
HERNSHORN, VA 20170

GRAN
COMMUNICATIONS GROUP
311 S. PINEDALE AVE
ARLINGTON, VA 22204

MORRISON HERSHFIELD
Two State University Drive, Suite 205
1200 University Blvd, Suite 205
Tomball, TX 77375
Tel: 281-377-0000 Fax: 281-377-4208
www.morrisonhershfield.com

No.	Date	Action
0	03/19/09	ISSUED FOR PERMIT
1	02/27/09	REVISED FOR CLIENT REVIEW
2	02/27/09	REVISED FOR CLIENT REVIEW
3	01/19/09	ISSUED FOR CLIENT REVIEW

Project: MARATHON AIRPORT
10664 DORSEY HWY.
MARATHON, FL 32050

Client: ITT
12923 WOODLAKE DRIVE
HERNSHORN, VA 20170

Project: 7080009_1.0
311 S. PINEDALE AVE
ARLINGTON, VA 22204

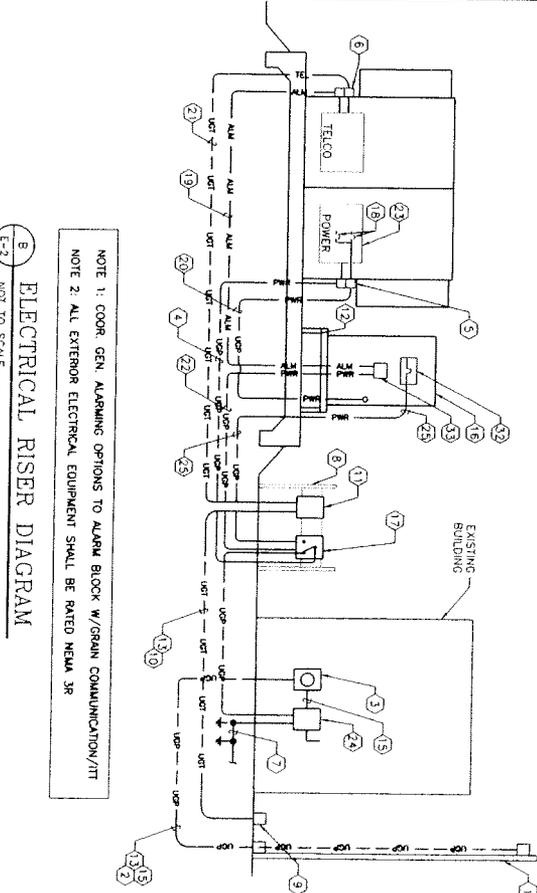
Design Title: ELECTRICAL PLAN, RISER, AND NOTES

Project No.	Revision No.	Date	By	Checked By
7080009_1.0	0	01/19/08	ITC	ITC

Drawn By: ITC
Checked By: ITC
Date: 01/19/08

Scale: 0

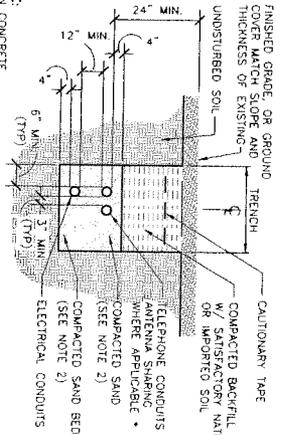
Sheet No: 0 of 2



ELECTRICAL RISER DIAGRAM

NOTE 1: COOR. GEN. ALARMING OPTIONS TO ALARM BLOCK W/GRAN COMMUNICATION/TIT
NOTE 2: ALL EXTERIOR ELECTRICAL EQUIPMENT SHALL BE RATED NEMA 3R

Scale: NOT TO SCALE



NOTE:
LEAN CONCRETE,
RED-COLORED TOP, MAY BE
USED TO BE VERIFIED
COMPACTED SAND.
* CONDUIT SIZE, TYPE,
QUANTITY AND SEPARATION
SHOULD BE VERIFIED
WITH LOCAL UTILITY
COMPANY REO

A
DIRECT BURIED
CONDUIT (IF REQUIRED)
NOT TO SCALE

MAY - 1 2009
REVISED
PI

EQUIPMENT LOADCENTER (PANEL "PPI")									
LOAD DESCRIPTION	LOAD BREAK CCT NO.	PHASE A	PHASE B	CCT BREAK/LOAD NO. SIZE (KVA)	LOAD DESCRIPTION	LOAD BREAK CCT NO.	PHASE A	PHASE B	LOAD SUB-TOTAL
TVSS SURGE SUPPRESSION (STANDARD)	0 0	1		2 20	0 2	0 2	0 2	0 2	0 2
RECTIFIERS	1 2	20	5	4 20	0 2	FAN IN CABINET			
A/C UNIT #1	1 0	20	9	6 20	1 2	RECTIFIERS			
GENERATOR BATTERY CHARGER				8					
GENERATOR BLOCK HEATER	1 2	20	13	10 20	1 0	A/C UNIT #2			
SPACE	1 5	20	15	12					
SPACE	-	-	17	14 20	0 4	H-FRAME LIGHT			
SPACE	-	-	19	16 20	-	SPARE			
SPACE	-	-	19	18 20	-	SPARE			
LOAD SUB-TOTAL	4 9	LOAD TOTAL	7 9	LOAD SUB-TOTAL	3 0	LOAD SUB-TOTAL			

B
PANEL SCHEDULE
NOT TO SCALE

TYPES OF LOADS (KVA)	CONNECTED	D.F.	DEMAND	CONNECTED	DESIGN	DEMAND	
RECEPTACLES (15/10KVA)	0.20	1.00	0.20	7.9	KVA	7.9	
LIGHTING	0.40	1.25	0.50	24.0	KVA	24.0	
TOTAL	7.30	1.00	7.30	8.0	KVA	8.0	
DESIGN	3.3	AMPS	3.3	AMPS	16.0	KVA	16.0
DESIGN	100	AMPS	100	AMPS	67	AMPS	67

100A MCB, 120/240V, 1Ø, 3W, 22,000 AIC

PRINTED

MAR 2 0 2009

MORRISON HERSHFIELD CORP
ROBERT EMMETT LAM
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
ARCHITECT

No.	Date	Action
4		
3		
2		
1		
0	02/19/09	ISSUED FOR PERMIT
	02/16/09	ISSUED FOR CLIENT REVIEW
	02/16/09	ISSUED FOR CLIENT REVIEW
	02/03/09	ISSUED FOR CLIENT REVIEW
	01/18/09	ISSUED FOR CLIENT REVIEW

MORRISON HERSHFIELD
The Sharp University Building, 200
Pensacola, FL 32504
Tel: 904.577.4055 Fax: 904.577.4058
www.morrisonhershfield.com

ITT
12075 WOODCOTE DRIVE
PENSACOLA, FL 32510
www.itt.com

GRWIN
COMMUNICATIONS GROUP
331 S. PINEAPPLE AVE.
SUNRISE, FL 33238

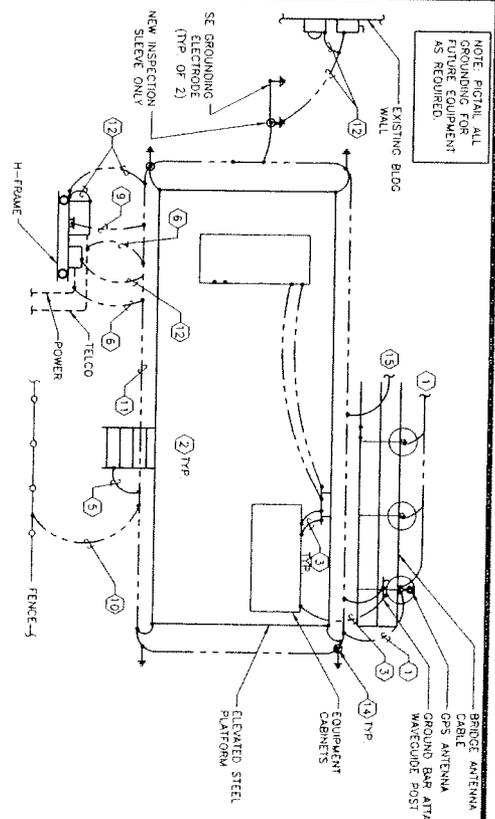
Project: MARATHON AIRPORT
10984 SV168-02
10984 OVERSEAS HWY
MARATHON, FL 33955

ELECTRICAL PANEL
& DETAILS

Project No: 7080009_10
Designer: LB
Drawn By: RLL, CC
Checked By: RLL, CC
No. Revisions: 00
Client Approval: [Signature]
Revised No.: 0
Drawing No.: E-3

GROUNDING GENERAL NOTES

- 1 PROVIDE #2 AWG SOLID BARE TINNED COPPER GROUNDING CONDUCTOR AND RUN FROM ONE SUPPORT FRAME TO THE NEXT FRAME ABOVE EACH SUPPORT FRAME. USE AN EXOTHERMIC WELD TO JOIN CONDUCTORS TO THE NEXT SUPPORT FRAME. PARALLEL TYPICAL LISTED CONNECTOR SUITABLE FOR THE MATERIALS BEING CONNECTED.
- 2 WHERE APPLICABLE BOND ALL STEEL SUPPORT BEAMS TOGETHER EXOTHERMICALLY WELD CONNECTIONS TO STEEL SUPPORT BEAMS TYPICAL FOR ALL STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF STEEL SUPPORT BEAM.
- 3 #2 AWG STRANDED GREEN JACKET CONDUCTOR MECHANICAL CONNECTION TO EQUIPMENT CABINET ENCLOSURE FROM GROUND BAR WITH TWO-HOLE LONG BARREL COMPRESSION LUG, TWO (2) 5/16" DIA. BOLTS, NUTS AND STAR WASHERS.
- 4 GROUNDING DOWN-TOE LONG BARREL COMPRESSION LUG, TWO (2) 5/16" DIA. BOLTS, NUTS AND STAR WASHERS AT ANTENNA SUPPORT FRAME LOCATION. EXOTHERMICALLY WELD DOWN-TOE TO GROUND BARS.
- 5 BOND 4/C JAKETS, DOOR FRAMES, METAL STAR WASHERS, MISCELLANEOUS METALLIC EQUIPMENT AND MISCELLANEOUS LIFTING HOOPS TO PERIMETER GROUND LOOP FRAME EXOTHERMICALLY WELD TO PERIMETER GROUND LOOP CONNECTION TO LIFTING HOOP SHALL BE MADE AT THE AXLE BAR WITH AN APPROVED GROUNDING CLAMP.
- 6 BOND SERVICE CONDUITS TO GROUND RING OUTSIDE CONNECT GROUND CONDUCTOR TO CONDUIT USING PIPE CLAMP. DO NOT EXOTHERMICALLY WELD TO CONDUIT.
- 7 EXTERIOR GROUNDING CONDUCTORS TO REMAINING SECTOR ANTENNA GROUND BAR LOCATIONS AND BOND WITH EXOTHERMIC WELDS TO ANTENNA GROUND BARS SUPPORT PLATFORM WITHOUT CHEMICAL ISOLATOR.
- 8 BOND TIE-ROD GROUND BAR (TGB) TO CELL REFERENCE GROUND BAR (CRGB) USING ONE (1) #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR, BOND TO EXTERIOR PERIMETER GROUND BAR USING #2 AWG SOLID TINNED COPPER CONDUCTOR EXOTHERMICALLY WELD CONNECTIONS TO ALL CONNECTION POINTS.
- 9 BOND FENCE POST TO GROUND RING AS SHOWN, USING AN EXOTHERMIC WELD. BOND FENCE GATE TO POST WITH A FLEXIBLE COPPER JUMPER STRAP IF NOT ALREADY PROVIDED. PROVIDE EXOTHERMIC WELD TO BOND STRAP TO GATE AND FENCE POST. APPROXIMATE LOCATION OF #2 AWG SOLID BARE TINNED GROUND RING, EXACT LOCATION AND NUMBER OF GROUND RODS TO BE DETERMINED ON SITE AND BASED ON "TYPICAL OF POTENTIAL GROUND RESISTANCE METHOD" FOR RESISTANCE < 5 OHMS. UNLESS OTHERWISE NOTED, DRIVEN GROUND RODS ARE TO BE BORED AT 16 FEET INTERVALS.
- 10 BOND "H-FRAME" DISCONNECT SWITCH, METER PULL BOX, ATS, GENERATORS AND TIE-ROD CABINET TO BORED GROUND RING. ALL CONDUITS CROSSING THE GROUND RING CONDUCTOR SHALL BE BONDED TO THE GROUND CONDUCTOR USING PIPE CLAMP, BOND AND EXOTHERMICALLY WELD TO CONDUIT.
- 11 THE TOWER EXIT GROUND BUS BAR (TEGB) SHALL BE INSTALLED BELOW THE TRANSMISSION LINE GROUND WITS, NEAR THE AREA OF THE TOWER AT THE POINT WHERE THE ANTENNA TRANSMISSION LINES TRANSMISSION LINE GROUND WITS, NEAR THE CABINETS VERIFY EXACT LOCATION OF GROUNDING BAR FOR PROPER CONDUCTOR LENGTH. GROUNDING BAR PROVIDED BY THE RESPONSIBILITY OF THE INSTALLER. FINAL EXOTHERMIC WELD FROM THE BORED GROUND RING TO GROUNDING BAR PROVIDED BY THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE WITH ANTENNA CABLE INSTALLER FOR SCHEDULE TO MAKE THE CONNECTION. PROVIDE 3/4" PVC SLEEVE WITH SHEEP BEND IN NEW ANTENNA BASE INSTALLATIONS FOR CONNECTION OF TGB TO TOWER GROUND RING.
- 12 PROVIDE 5/8" x 8'-0" LONG COPPER QUAD STEEL (COPPER WELD) GROUND ROD AS SHOWN. PROVIDE INSPECTION SLEEVE AT SLAB WHERE ALSO BOND TO EXTERIOR BORED GROUND RING. INSTALL GROUND ROD TWO (2) FEET MINIMUM AWAY FROM SLAB GRADE OR POST LINE. LOCATIONS OF THIS SITE DUE TO CONSTRAINTS. INSTALL SO THAT TOP OF GROUND ROD IS 18" NUMBER OF GROUND RODS TO BE ESTABLISHED ON SITE AND BASED ON "POTENTIAL GROUND RESISTANCE METHOD" FOR RESISTANCE < 5 OHMS. UNLESS OTHERWISE NOTED, DRIVEN GROUND RODS ARE BONDED TO THE BORED GROUND RING AT 16 FEET INTERVALS.
- 13 CABINET GROUND RING AND TOWER GROUNDING RING SHALL BE BONDED TOGETHER IN AT LEAST TWO (2) POINTS USING A #2 AWG SOLID BARE TINNED COPPER CONDUCTOR.
- 14 NEW TOWER GROUND RING AND GROUND RODS (MIN. OF 3)
- 15 #2 SOLID BARE TINNED COPPER CONDUCTOR FROM TOWER GROUNDING FLANGE AT BASE OF TOWER LEG TO TOWER GROUND RING.
- 16 REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ANTENNA(S) AND ANTENNA SUPPORTS FRAME.
- 17 EXTEND GROUNDING CONDUCTOR TO ANTENNA LOCATIONS AND BOND TO ANTENNA FRAMES. USE AN EXOTHERMIC WELD AT ANTENNA SUPPORT FRAME SUPPORT CONDUCTOR AS REQUIRED EVERY TWO (2) FEET MINIMUM.
- 18 PROVIDE #2 SOLID BARE TINNED COPPER CONDUCTOR FROM TGB TO TOWER GROUND RING TYPICAL OF TWO (2)
- 19 PROVIDE ANTENNA CABLE GROUND BAR, BOND ANTENNA CABLE GROUNDING WITS TO GROUND BAR. CONNECTION SHALL BE THE RESPONSIBILITY OF THE ANTENNA CABLE INSTALLER. BOND GROUND BAR TO TOWER USING ONE (1) #2 AWG SOLID TINNED COPPER CONDUCTOR PROVIDE 3/4" LISTED CONNECTOR SUITABLE FOR THE MATERIALS BEING CONNECTED. PROVIDE EXOTHERMIC WELDS FOR BONDS TO STEEL BEAM OR FRAME.

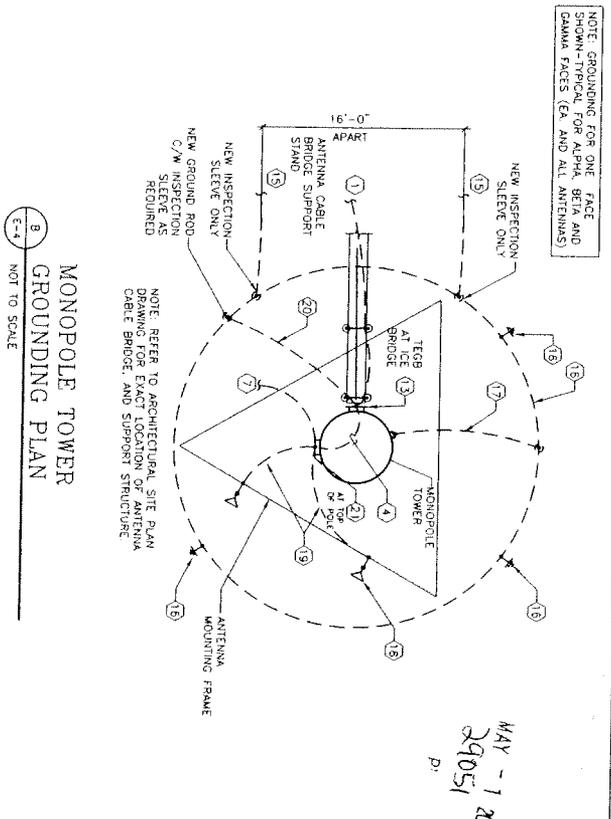


NOTE: FIGURAL ALL GROUNDING FOR EQUIPMENT AS REQUIRED.

NOTE: CABINET GROUNDING SHOWN TO STRUCTURAL DRAWING REFER TO ARCHITECTURAL DRAWING FOR EXACT LOCATION OF ANTENNA CABLE BRIDGE SUPPORT STRUCTURE AND ORIENTATION OF CABINETS/SLAB

NOTE: GROUNDING FOR ONE FACE SHOWN-TYPICAL FOR ALL FACES AND GAMMA FACES (EA AND ALL ANTENNAS)

TYPICAL GROUNDING CABINET (SCHEMATIC)
E-4 NOT TO SCALE



MONOPOLE TOWER GROUNDING PLAN
E-4 NOT TO SCALE

PRINTED
MAR 2 0 2009

MORRISON HERSHFIELD CORP
REGISTERED ARCHITECT
STATE OF FLORIDA
MEMBER

No.	Date	Action
1	02/19/09	ISSUED FOR PERMIT
2	02/28/09	REVISION FOR CLIENT REVIEW
3	02/28/09	REVISION FOR CLIENT REVIEW
4	01/18/09	ISSUED FOR CLIENT REVIEW

MORRISON HERSHFIELD
The South, University Drive, Suite 205,
Tallahassee, FL 32304
Tel: 904.433.4444
Fax: 904.433.4444
www.morrisonhershfield.com

COMMUNICATIONS GROUP
333 SOUTH GATE AVE
SUITE 205
TALLAHASSEE, FL 32304

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Project No.	Sheet No.	Date
7080009-10	0	01/18/09
10	01	01/18/09
10	02	01/18/09
10	03	01/18/09
10	04	01/18/09
10	05	01/18/09
10	06	01/18/09
10	07	01/18/09
10	08	01/18/09
10	09	01/18/09
10	10	01/18/09
10	11	01/18/09
10	12	01/18/09
10	13	01/18/09
10	14	01/18/09
10	15	01/18/09
10	16	01/18/09
10	17	01/18/09
10	18	01/18/09
10	19	01/18/09
10	20	01/18/09

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

Sheet No.: 0
Drawing No.: E-4

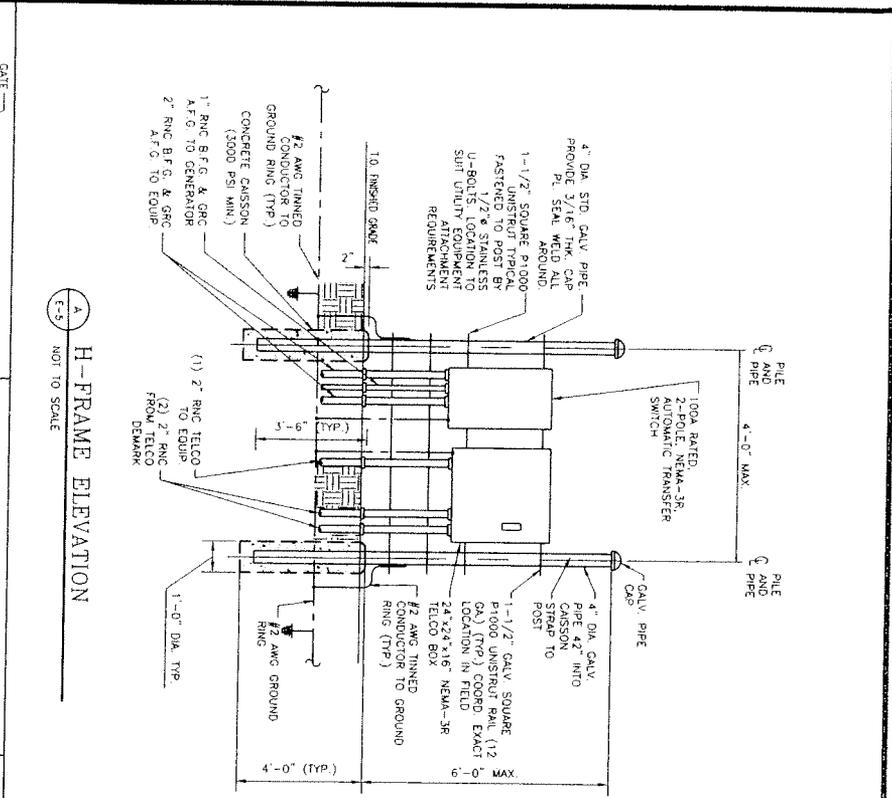
Scale: NOT TO SCALE

Date: MAY - 1 2009
29051
D.

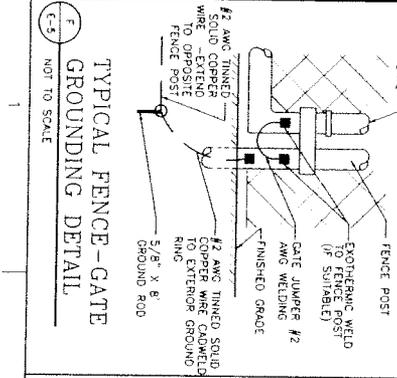
Project: MARATHON AIRPORT
SY/168-02
10664 OVERSEAS HWY
MARATHON, FL 33850

Drawing Title: GROUNDING PLAN AND NOTES

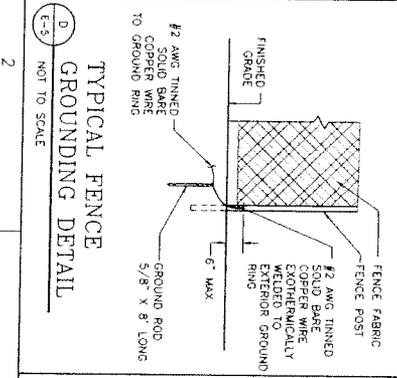
Sheet No.: 0
Drawing No.: E-4



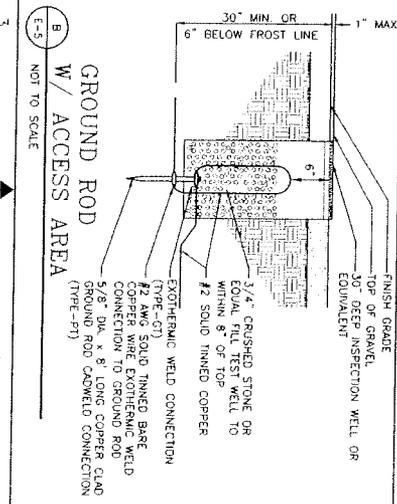
H-FRAME ELEVATION
A
E-5 NOT TO SCALE



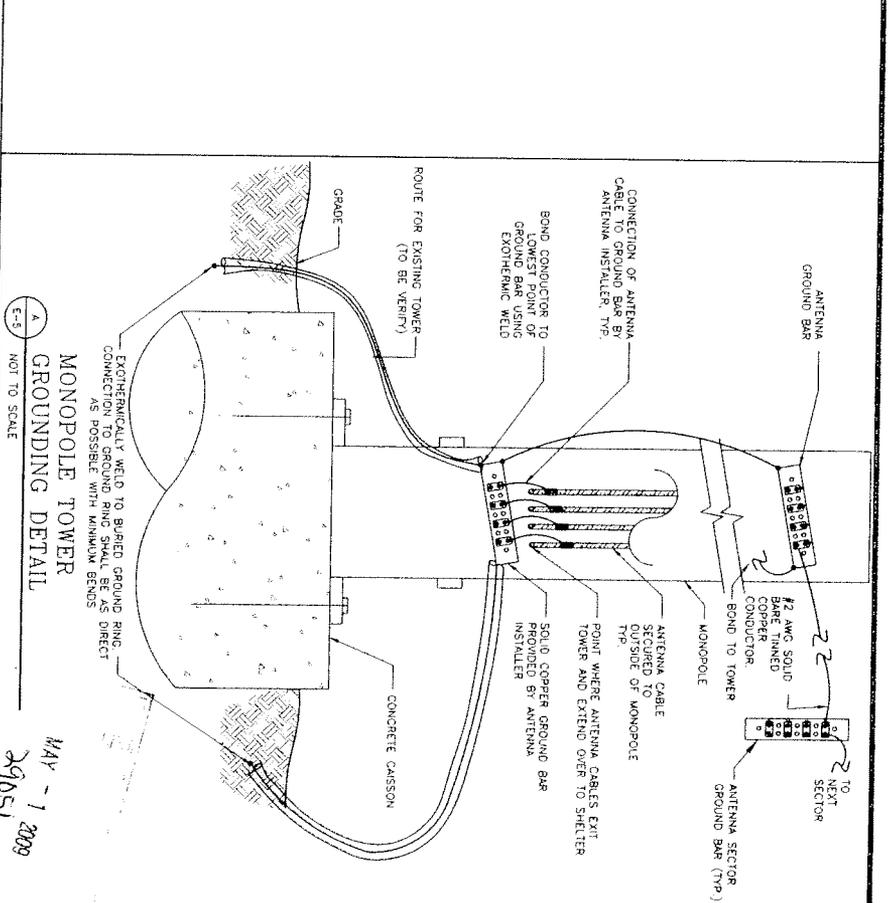
TYPICAL FENCE-GATE GROUNDING DETAIL
F
E-5 NOT TO SCALE



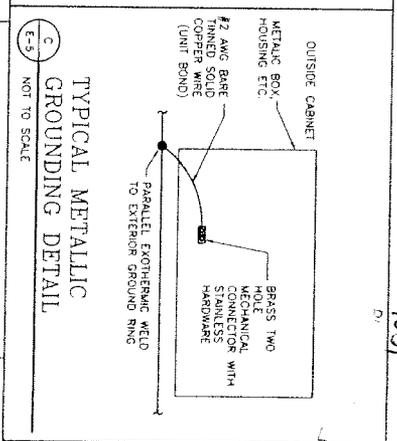
TYPICAL FENCE GROUNDING DETAIL
D
E-5 NOT TO SCALE



GROUND ROD W/ ACCESS AREA
B
E-5 NOT TO SCALE



MONOPOLE TOWER GROUNDING DETAIL
A
E-5 NOT TO SCALE



TYPICAL METALLIC GROUNDING DETAIL
C
E-5 NOT TO SCALE

PRINTED
MAR 2 0 2009

MORRISON HERSHFIELD CORP
REVISION NUMBER
STATE OF FLORIDA
ARCHITECT

4		ISSUED FOR PERMIT
3		ISSUED FOR CLIENT REVIEW
2		ISSUED FOR CLIENT REVIEW
1		ISSUED FOR CLIENT REVIEW
0	01/17/08	ISSUED FOR PERMIT
	02/24/08	ISSUED FOR CLIENT REVIEW
	01/09/08	ISSUED FOR CLIENT REVIEW
	01/16/08	ISSUED FOR CLIENT REVIEW
No.	Date	Action

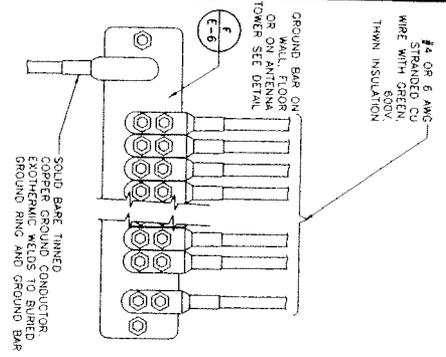
MORRISON HERSHFIELD
Two South University Drive, Suite 215
The Plaza, Tallahassee, FL 32310
Tel: 904.438.4400
Fax: 904.438.4405
www.morrisonhershfield.com

Client:
COMMUNICATIONS GROUP
3500 WINDY LAKE
SAFARIWAY, N. 5125B

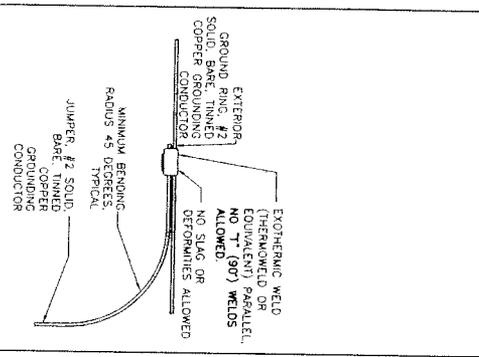
Project:
MARATHON AIRPORT
10884 OVERSEAS HWY.
MARATHON, FL 32050

Drawing Title:
GROUNDING
DETAILS

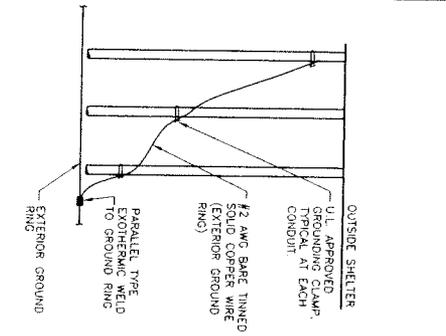
Project No.	7080009.10
Client	COMMUNICATIONS GROUP
Drawn By	SV/SBC/CD
Checked By	CD
Date	01/19/08
Scale	AS SHOWN
Sheet No.	0
Total Sheets	E-5



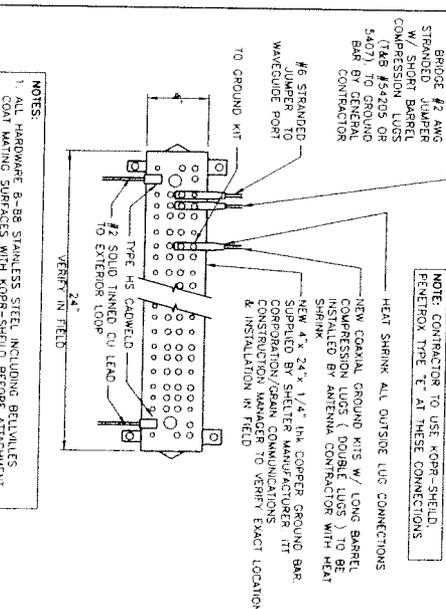
A INSTALLATION OF GROUND WIRE TO GROUND BAR
E-6 NOT TO SCALE



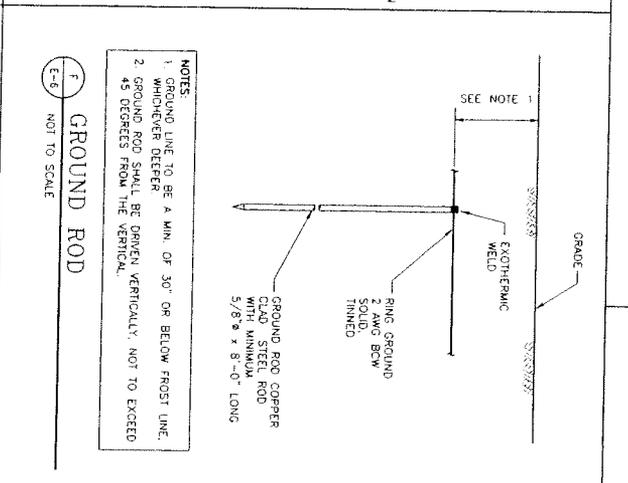
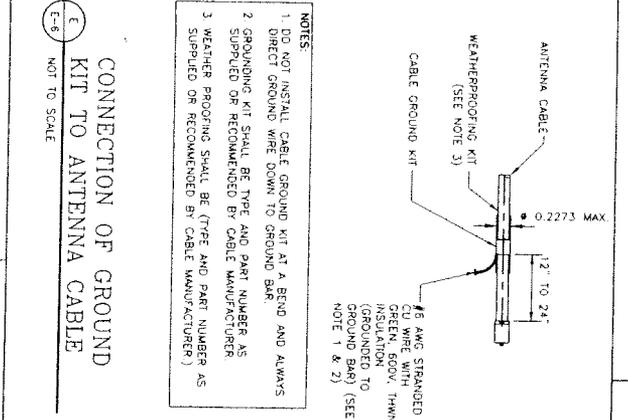
B TYPICAL GROUNDING CONNECTION
E-6 NOT TO SCALE



C TYPICAL MULTIPLE CONDUCTORS GROUNDING
E-6 NOT TO SCALE

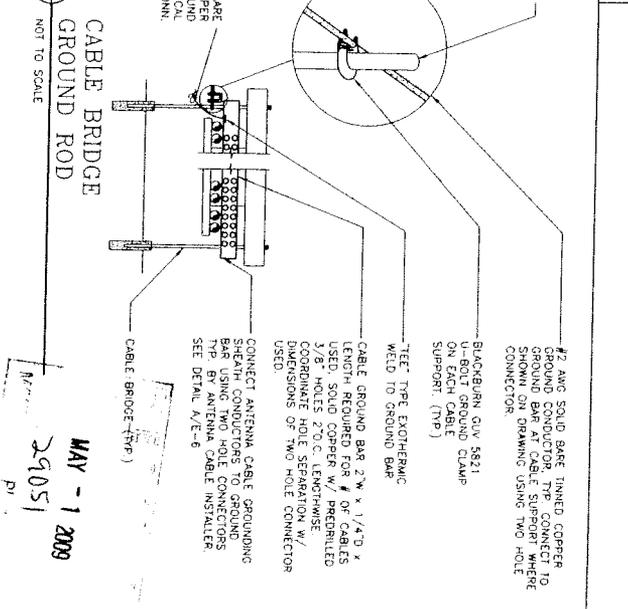


D GROUND BAR DETAIL
E-6 NOT TO SCALE



E CONNECTION OF GROUND KIT TO ANTENNA CABLE
E-6 NOT TO SCALE

F GROUND ROD
E-6 NOT TO SCALE



G CABLE BRIDGE GROUND ROD
E-6 NOT TO SCALE

PRINTED
MAR 20 2009

MORRISON HERSHFIELD CORP.
1923 WOODDALE DRIVE
HERNDON, VA 20170
1084 OXFORD HWY
MARATHON, FL 32050

MORRISON HERSHFIELD
Two Oaks University Drive, Suite 205
The Woodlands, TX 77380
Tel: 281.359.1100
Fax: 281.359.1101
www.morrisonhershfield.com

ITT
1923 WOODDALE DRIVE
HERNDON, VA 20170
www.itt.com

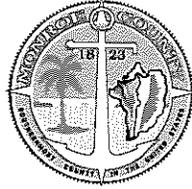
GRAN
COMMUNICATIONS GROUP
311 W. PALM BEACH AVE
SUITE 200
WEST PALM BEACH, FL 33411

Project: MARATHON AIRPORT
SY/189-02
1084 OXFORD HWY
MARATHON, FL 32050

Drawing Title: GROUNDING DETAILS

Project No.	7080009.10
Designer	LB
Drawn By	01/19/08
Checked By	DL
Rev. No.	00
Rev. Description	00
Drawn No.	0
Design No.	E-6

MAY - 1 2009
29051
pi



MEMORANDUM

MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

We strive to be caring, professional and fair

To: The Development Review Committee and Townsley Schwab, Sr. Director of Planning & Environmental Resources

From: Bill Harbert, Planner *BH*
Janis Vaseris, Biologist *JV*

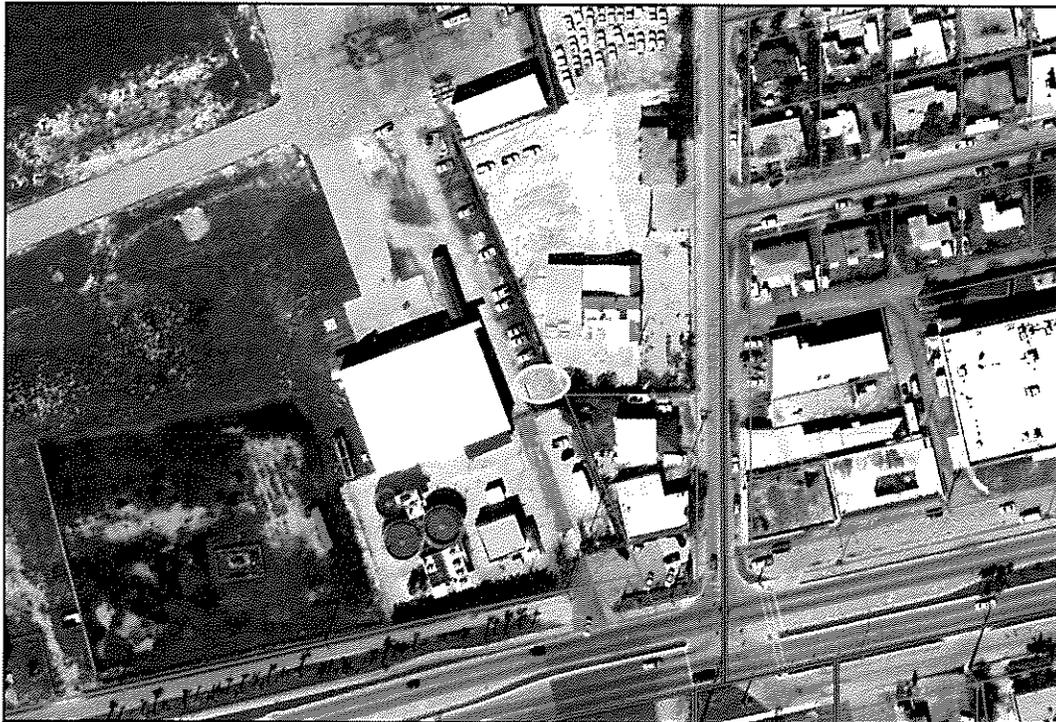
Date: June 12, 2009

Subject: *Request for a Minor Conditional Use Permit for the Marathon Airport located at approximate mile marker 50 of the Overseas Highway (US 1), Vaccas Key, Real Estate No. 00104500.000000*

Meeting: June 23, 2009

1 I REQUEST:

2
3 The applicant is requesting approval of a minor conditional use permit in order to construct a
4 communication site for the Federal Aviation Administration that consists of a 160 square foot
5 mechanical compound and a 57 foot monopole tower structure on a leased 400 square foot
6 portion of the property.
7



Location of Proposed Development and Surrounding Vicinity (2006)

1
2 Location:

3 Address: Overseas Highway (US 1), Marathon, mile marker 50 (gulf side)

4
5 Legal Description: Part Lot 2, Section 6, Township 66, Range 33, Key Vaccas

6
7 Real Estate (RE) Number: 00104500.000000

8
9
10 Applicant:

11 Owner: Monroe County Flight Strip (Monroe County)

12 Agent: Stacey Mathis, Grain Communications Group Inc.

13
14
15 II RELEVANT PRIOR COUNTY ACTIONS:

16
17 Building Permit Application 082-1573 was applied for on April 25, 2008 for the construction
18 of a communication site that consists of a 160ft² mechanical building and a 57 ft tall
19 monopole for the attachment of FAA antennas. The applicant was informed that a minor
20 conditional use permit would be required for the proposed development. The applicant then
21 requested that a temporary building permit be issued for the placement of a similar size tower
22 on wheels to allow for the FAA communications upgrades and testing to take place. As a
23 result, Building Permit 082-1849 was issued on June 26, 2008 for the placement of a
24 temporary FAA communication tower. The permit was good for a period of 180 days and has
25 since expired.

26
27 III BACKGROUND INFORMATION:

28
29 A. Size of Site (Leased Area Only): 400 ft²

30 Total Size of Airport: RE 00104500.000000 (67.5 acres) & RE 00101160.000000
31 (152.25 acres) = 219.75 acres total

32 B. Land Use District: Airport District (AD)

33 C. Future Land Use Map (FLUM) Designation: Airport (AD)

34 D. Tier Designation: Tier 3

35 E. Flood Zone: AE – EL 6

36 F. Existing Use: Airport

37 G. Existing Vegetation / Habitat: Scarified with random airport hangers

38 H. Community Character of Immediate Vicinity: Mixed Use - airport, public, residential,
39 commercial and industrial uses

40
41 IV REVIEW OF APPLICATION:

42
43 MCC §110-67 provides the standards which are applicable to all conditional uses. When
44 considering applications for a conditional use permit, the Development Review Committee
45 and the Director of Planning and Environmental Resources shall consider the extent to
46 which:

47
48 A. *The conditional use is consistent with the purposes, goals, objectives and standards of the*
49 *comprehensive plan and the land development regulations:*

1
2 The proposed development is consistent with the purposes, goals, objectives and
3 standards of the MC future land use category and the AD District.
4

5 Policies from the Monroe County Year 2010 Comprehensive Plan that directly pertain to
6 the proposed use include:
7

8 Policy 101.4.16: The principal purpose of the Airport District land use category is
9 to prohibit the development of residential, educational or other uses which are
10 characterized by the regular presence of large numbers of people within the
11 hazard areas of civil and military airports.
12

13 Policy 101.4.24: In order to preserve the existing community character and
14 natural environment, Monroe County shall limit the height of structures including
15 landfills to 35 feet. Exceptions will be allowed for appurtenances to buildings,
16 transmission towers and other similar structures.
17

18 Policy 501.1.1: Monroe County shall establish aviation related land uses adjacent
19 to the public airports and additionally prohibit intrusion into all airport zones.
20 Within twelve months after the effective date of the Comprehensive Plan, Monroe
21 County shall amend the Land Development Regulations to accomplish such.
22

23 Policy 501.1.4: Monroe County shall continue to include existing airports and
24 airstrips in airport land use districts that only permit airport related land uses.
25

26 Policy 501.1.5: Monroe County shall encourage the development of aviation
27 facilities and activities that relieve the traffic on U.S. 1 or serve as an alternative
28 to U.S. 1 as a means of delivering goods and services to the community.
29

30 Policy 501.1.6: Monroe County shall provide space at public airports for a wide
31 variety of aviation activities in order to provide a wide variety of services to the
32 community.
33

34 Policy 501.3.4: Facilities at public airports shall be built to meet or exceed
35 federal, state, and local safety regulations as applicable.
36

37 B. *The conditional use is consistent with the community character of the immediate vicinity:*
38

39 A communication tower intended for sole purpose of providing both air and ground
40 surveillance to pilots and air traffic controllers would be compatible with development on
41 neighboring properties, an area which is composed of a mixture of commercial retail and
42 airport related uses. Therefore, the proposed development would be consistent with the
43 community character of the immediate vicinity. As a note, according to the boundary
44 survey submitted with this application a 58ft tall revolving light beacon is currently
45 located within 60ft of the proposed development.
46

1 C. *The design of the proposed development minimizes adverse effects, including visual*
2 *impacts, on adjacent properties:*
3

4 The proposed location of this communication tower is toward the corner of the airport
5 site where a light beacon and other large airport related buildings are located. The
6 proposed development would be compatible with the surrounding community character.
7 Therefore, the proposed development minimizes adverse effects, including visual
8 impacts, on adjacent properties.
9

10 D. *The proposed use will have an adverse impact on the value of surrounding properties:*
11

12 It is not anticipated that the proposed development will have an adverse impact on the
13 value of the surrounding properties.
14

15 E. *The adequacy of public facilities and services:*
16

17 1. Roads:
18

19 *Localized Impacts & Access Management:* Access to the proposed communication
20 tower would be from an existing gated entrance on US 1 (See section I-22, Access
21 Standards).
22

23 *Level of Service (LOS):* The applicant has informed staff that he will submit a letter
24 stating that the proposed tower and mechanical building will not generate any
25 additional trips to the property besides a scheduled maintenance person. Upon receipt,
26 this letter will require review by the county's traffic consultant (See section I-22,
27 Access Standards).
28

29 2. Stormwater: The applicant shall coordinate with the Public Works Division, and, if
30 necessary, the South Florida Water Management District (SFWMD) to determine
31 compliance with all applicable regulations (See section I-9, Surface Water
32 Management Criteria).
33

34 3. Sewer: The applicant shall coordinate with the Florida Department of Health and/or
35 Florida Department of Environmental Protection to determine compliance with all
36 applicable regulations (See section I-10, Wastewater Treatment Criteria).
37

38 4. Emergency Management: The applicant has provided a letter of coordination from
39 the City of Marathon Fire Rescue. The City of Marathon Fire Rescue shall determine
40 compliance with the Florida Fire Prevention Code, the Florida Building Code, the
41 National Fire Protection Code (NFPA 1) and the Life Safety Code (NFPA 101).
42

43 F. *The applicant has the financial and technical capacity to complete the development as*
44 *proposed:*
45

1 Staff has no evidence to support or disprove the applicant's financial and technical
2 capacity.

3
4 G. *The development will adversely affect a known archaeological, historical or cultural*
5 *resource:*

6
7 The applicant submitted a letter from the State of Florida, Division of Historical
8 Resources, indicating the proposed development will likely have no effect on historic
9 properties.

10
11 H. *Public access to public beaches and other waterfront areas is preserved as part of the*
12 *proposed development:*

13
14 The subject property is land-locked. Therefore, the proposed development will not have
15 an adverse impact on public access to a waterfront area.

16
17 I. *The project complies with all additional standards imposed on it by the Land*
18 *Development Regulations:*

19
20 1. Residential Rate of Growth Ordinance (ROGO) (§138-19 – §138-28): *Not applicable.*

21
22 There are no existing or proposed residential dwelling units.

23
24 2. Non-Residential Rate of Growth Ordinance (NROGO) (§138-47 – §138-56): *In*
25 *compliance.*

26
27 Staff has found that the proposed development does not contain any floor area and
28 therefore shall not be affected by the NROGO permit allocation system.

29
30 3. Purpose of the AD District (§130-33): *In compliance.*

31
32 The purpose is to prohibit the development of residential, educational, or other uses
33 that are characterized by the regular presence of large numbers of people within the
34 hazard areas of civil and military airports.

35
36 4. Permitted Uses (§130-75): *In compliance following the receipt of required minor*
37 *conditional use permit.*

38
39 Within the property boundaries of public airports, airport uses of less than 5,000 ft²
40 of enclosed area shall require minor conditional review.

41
42 5. Residential Density and Maximum Floor Area Ratio (§130-157, §130-162 & §130-
43 164): *Not applicable.*

44
45 The proposed development does not contain any "floor area" as defined in the Land
46 Development Code. The mechanical building only contains enough room to house

1 electronic equipment and maintenance shall be performed by access doors. Therefore,
2 density and floor area ratio shall not apply.

- 3
4 6. Required Open Space (§118-9, §118-12, §130-157, §130-162 & §130-164): *In*
5 *compliance.*

6
7 No open space calculations were provided in the application for the entire airport
8 property. Based on the minimal size of the mechanical building and tower structure
9 and the large amount of existing open space, staff has found that the open space
10 requirements for the site as a whole would remain in compliance.

- 11
12 7. Minimum Yards (§118-12 & §130-186): *In Compliance.*

13
14 The required non-shoreline setbacks are as follows: Front yard – 200 feet; Rear yard –
15 200 feet; and Side yard 200 feet.

16
17 Staff has found that the location of the proposed tower and mechanical structure is
18 located in an area where the setbacks have been previously waived.

- 19
20 8. Maximum Height (§146-3): *In Compliance.*

21
22 Any existing or proposed antenna-supporting structure with an overall height of 70
23 feet or less above ground level shall be exempt from the provisions of MCC §146-3.

- 24
25 9. Surface Water Management Criteria (§114-3): *Compliance to be determined by the*
26 *Public Works Division and/or SFWMD prior to issuance of a building permit.*

27
28 The applicant has submitted a letter requesting coordination from the Monroe County
29 Engineering Division relating to surface water management.

- 30
31 10. Wastewater Treatment Criteria (§114-5): *Compliance to be determined by Florida*
32 *Department of Health and/or Florida Department of Environmental Protection prior*
33 *to the issuance of a building permit.*

34
35 The applicant has submitted a letter of coordination from the Florida Department of
36 Health and has requested a letter of coordination from the Florida Department of
37 Environmental Protection relating to wastewater treatment.

- 38
39 11. **Fencing (§114-20): *Compliance to be determined upon submittal to the Building***
40 ***Department.***

41
42 The applicant is proposing to fence the leased portion (20ft x 20ft) with fencing to
43 match the surrounding fencing. According to the Boundary Survey by Geoline
44 Surveying, Inc. dated February 8, 2008, the surrounding fencing is 6ft in height with
45 barbed wire. However, the Director of Planning may only authorize the placement of

1 barbed wire in the AD District. Fencing shall require an independent building permit
2 and be reviewed at that time.

3
4 12. Floodplain Management (§122-1 – §122-6): *Compliance to be determined by the*
5 *Monroe County Building Department prior to issuance of a building permit.*

6
7 13. Energy Conservation Standards (§114-45): *Compliance to be determined by the*
8 *Monroe County Building Department prior to issuance of a building permit.*

9
10 The proposed development is comprised of a 57 ft high tower and a mechanical box
11 with a generator. It will require no parking, have no windows and the lighting located
12 on the top of the tower shall be required to meet FAA standards. The energy
13 efficiency of the equipment shall be determined by the Monroe County Building
14 Department prior to the issuance of a building permit.

15
16 14. Potable Water Conservation Standards (§114-46): *Compliance to be determined by*
17 *the Monroe County Building Department prior to issuance of a building permit.*

18
19 15. Environmental Design Criteria and Mitigation Standards (§118-6, §118-7 & §118-8):
20 *In Compliance.*

21
22 The proposed development requires no new clearing of vegetation.

23
24 16. Required Parking (§9.5-114-67): *In compliance.*

25
26 The proposed tower and mechanical building shall provide services to the existing
27 airport. A letter from the applicant was provided as part of this application that
28 indicates that only monthly scheduled maintenance shall be performed. Therefore,
29 based on minimal traffic generation and a specific area provided to perform services,
30 no additional parking is required for this development.

31
32 17. Required Loading and Unloading Spaces (§114-69): *In compliance.*

33
34 The proposed development is a tower and mechanical building. This development
35 requires no materials to be delivered and will generate minimal vehicular trips to the
36 site. Therefore, no loading zone is required for this wastewater treatment facility.

37
38 18. Required Landscaping (§114-99 – §114-105): *Not applicable.*

39
40 19. Required Buffer-yards (§114-124 – §114-130): *In Compliance.*

41
42 The leased portion of the site is bordered on three (3) sides by Monroe County
43 Airport District boundaries and according to City of Marathon Planner, Ellen
44 Fairleigh, the properties to the West are located in an Industrial District. There is
45 nothing in the Land Development Code requiring a buffer-yard between an
46 incorporated area and an unincorporated area. However, Staff shall require as a

1 condition that a Class-B buffer-yard be installed as if required between the county
2 AD and I Districts.

3
4 20. Outdoor Lighting (§114-159 – §114-163): *Compliance to be determined by the*
5 *Monroe County Building Department prior to issuance of a building permit.*

6
7 21. Signs (§142-1 – §142-7): *Not applicable.*

8
9 22. **Access Standards (§114-195 – §114-201): *Compliance to be determined.***

10
11 There are multiple access drives to the airport site, however, there is a gated service
12 entrance accessed by a curb cut from US 1 that will provide access to the proposed
13 development.

14
15 A letter provided by the applicant indicates that the development would generate no
16 new trips other than service personnel. The county's traffic consultant, Raj
17 Shanmugam of URS Corporation, is reviewing the information submitted as part of
18 this application.

19
20 23. Chapter 533, Florida Statutes: *Full compliance to be determined upon submittal to*
21 *Building Department.*

22
23 **V RECOMMENDED ACTION:**

24
25 Staff recommends **APPROVAL** to the Director of Planning & Environmental Resources if
26 all the following conditions are met:

- 27
28
29 A. Prior to the issuance of a development order, the county's traffic consultant must
30 approve the findings of the letter concerning traffic that was submitted by the
31 applicant.
32
33 B. Prior to the issuance of a development order, the applicant shall submit a new lease
34 agreement or other document concerning the overall height of a tower and
35 attachments.
36
37 C. Prior to the issuance of a building permit, the proposed development shall be found in
38 compliance by the Monroe County Building Department, the Monroe County
39 Floodplain Administrator and the Monroe County Office of the Fire Marshal.
40
41 D. The proposed tower and mechanical building shall provide serves to the airport only
42 and may not have collocations installed for any non-airport related use.
43
44 E. In the event the lease is not renewed the applicant shall remove all development from
45 the property.
46

1 F. As part of Building Permit Application 082-1573, a Class-B buffer-yard shall be
2 installed along the applicants leased portion of land that borders the Monroe County
3 Airport District and the City of Marathon Industrial District.
4

5 VI PLANS REVIEWED:
6

- 7 A. Site Plan (A-1) by Morrison Hershfield Corp., dated January 18, 2008;
8 B. Structural Details (A-2 thru A-5) by Morrison Hershfield Corp., dated January 18, 2008;
9 C. Grading & Drainage Plan (C1-C2) by Morrison Hershfield Corp., dated March 19, 2008;
10 D. Fence Details (C3) by Morrison Hershfield Corp., dated March 19, 2008;
11 E. Boundary Survey by Geoline Surveying Inc., dated February 8, 2008