

AGENDA

DEVELOPMENT REVIEW COMMITTEE-
August 18, 2009
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PURSUANT TO Florida Statute 286.011(1), the Development Review Committee of Monroe County will conduct a meeting on August 18, 2009 beginning at 10:00 AM at the Marathon Government Center, 1st Floor Conference Room (rear hallway) 2798 Overseas Highway, Marathon, Florida.

CALL TO ORDERROLL CALLDRC MEMBERS:

Townsend Schwab, Senior Director of Planning and Environmental Resources

Janis Vaseris, Biologist

Patricia A. Ivey, DOT Representative

Steve Zavalney, Fire Marshall

Judith Clarke, Director of Engineering Services

STAFF MEMBERS PRESENTING THE FOLLOWING AGENDA ITEMS:

Joe Haberman, Principal Planner

Susan Grimsley, Assistant County Attorney

CHANGES TO THE AGENDAMEETING _____NEW ITEMS:

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1. Spottswood Partners Inc. Property, Overseas Highway (US 1), Stock Island, Mile Marker 5: A request for approval of a major conditional use permit. The proposed redevelopment involves the construction of a commercial retail building consisting of 14,129 ft² non-residential floor area; the construction of seven (7) residential dwelling units; and the carrying out of several miscellaneous site improvements. The subject parcel is legally described as Square 29 and Block 26, Lots 5-16, part Lot 4, part Lot 17, Maloney subdivision (PB1-55), also known as Parcels A and B; a vacated portion of East Laurel Avenue; and a vacated portion of Fourth Street, Stock Island, Monroe County, Florida, having real estate number 00124140.000000.

[29045 FILE.pdf](#)[29045 COMBINED PLANS.pdf](#)[29045 SR DRC 8.18.09.PDF](#)

2. Circle K, 1190 Overseas Highway (US 1), Big Coppitt Key, Mile Marker 11: A request for approval of an amendment to a major conditional use permit in order to redevelop the existing gas station and convenience store by removing the three (3) existing fuel pumps with two (2) dispensers per pump; constructing five (5) new fuel pumps with two (2) dispensers per pump; demolishing the existing canopy; constructing a new canopy; improving the existing convenience store building; and carrying out associated site improvements. The subject property is legally described as Tracts B and C, Porpoise Point Section Two (PB5-111), Big Coppitt Key, Monroe County, Florida, having real estate numbers 00154890.000000 and 00154880.000000.

[29066 FILE.pdf](#)[29066 Recv'd 6.30.09 COMBINED PLANS.pdf](#)[29066 SR DRC 8.18.09.PDF](#)

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3. AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING MONROE COUNTY SECTION 110-72 CONCERNING RECORDING OF CONDITIONAL USES FOR CLARIFICATION; AMENDING SECTION 110-73 REGARDING

EXTENSIONS OF CONDITIONAL USES AND PROVIDING CONSISTENCY WITH SECTION 110-72 TIME PERIODS; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF INCONSISTENT PROVISIONS; PROVIDING FOR TRANSMITTAL TO THE DEPARTMENT OF COMMUNITY AFFAIRS AND THE SECRETARY OF STATE; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE

[29076 Draft Ordinance.pdf](#)

4. AN ORDINANCE OF THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING SECTION 102-21 OF THE MONROE COUNTY CODE; UPDATING THE QUALIFICATIONS AND DUTIES OF THE DIRECTOR OF PLANNING; ELIMINATING SPECIFIC JOB DESCRIPTIONS FOR OTHER POSITIONS; AMENDING THE DUTIES OF THE DEVELOPMENT REVIEW COMMITTEE; DELETING OBSOLETE PROVISIONS; PLACING THE DUTIES OF THE BUILDING OFFICIAL IN ONE LOCATION IN CHAPTER 6 OF THE MONROE COUNTY CODE; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE.

[29077 Draft Ordinance.pdf](#)

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ADJOURNMENT

File #: 29045

Owner's Name: Stock Island Drug Store

Agent: The Craig Company

Type of Application: Major Cond. Use

Key: Stock Island

RE #: 00124140-000000

Additional Information added to File 29045

County of Monroe
Growth Management Division

Office of the Director

2798 Overseas Highway
Suite #400
Marathon, FL 33050
Voice: (305) 289-2517
FAX: (305) 289-2854



Board of County Commissioners

Mayor George Neugent, Dist. 2
Mayor Pro Tem Sylvia J. Murphy, Dist. 5
Kim Wigington, Dist. 1
Heather Carruthers, Dist. 3
Mario Di Gennaro, Dist. 4

We strive to be caring, professional and fair

Date: 4/14/2009
Time: 1:40

Dear Applicant:

This is to acknowledge submittal of your application for Major Conditional Use - Spotswood Partners
Type of application

Stock Island Drug Store to the Monroe County Planning Department.
Project / Name

Thank you.

Julie Thomson

Planning Staff



End of Additional Information For File 29045

Stock Island Drug Store

Amendment to a Major Conditional Use

Prepared by

The Craig Company

April 2009

Table of Contents

Application Form	
Project Overview	1
Application History	2
Zoning Map	3
Aerial Photo	4
Site Photographs	5
Request and Background Information	6 - 7
Consistency Statements	8 - 15
Construction Management & Phasing Plan	16 - 17

Appendices

Agent Authorization.....	A
Resolutions, Development Order and Staff Report.....	B
Proof of Ownership	C
Property Record Card.....	D
Location Map.....	E
300 Ft. Radius Report & Map.....	F
Letters of Coordination	G
Traffic Study.....	H
Plans	I
Survey	
Site Plan, Floor Plans and Elevations	
Landscape Plan	
Drainage Plan	

APPLICATION

Land Use District Designation(s): Mixed Use (MU)

Present Land Use of the Property: Vacant

Proposed Land Use of the Property: medium intensity drug store and 7 market rate dwelling unit.

Total Land Area: 103,656 ± sq. ft. or approx. 2.35 acres

If non-residential or commercial floor area is proposed, please provide:

1 Total number of non-residential buildings

14,129 Total non-residential floor area in square feet

If residential dwelling units are proposed, please provide:

4 Total number of residential buildings

7 Total number of permanent, market-rate units

N/A Total number of permanent, affordable / employee housing units

N/A Total number of transient units (hotel rooms, recreational vehicle / campground spaces)

Has a previous application been submitted for this site within the past two years? Yes ___ No X

All of the following must be submitted in order to have a complete application submittal:
(Please check as you attach each required item to the application)

- Complete major conditional use permit application (unaltered and unbound);
- Correct fee (check or money order to Monroe County Planning & Environmental Resources);
- Proof of ownership (i.e. Warranty Deed);
- Current Property Record Card(s) from the Monroe County Property Appraiser;
- Location map;
- Photograph(s) of site from adjacent roadway(s);
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 16 sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat);
- Written description of project;
- Environmental Designation Survey (prepared in accordance with Monroe County Code);
- Community Impact Statement (prepared in accordance with Monroe County Code);
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect– 16 sets (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following:

Date, north point and graphic scale;

APPLICATION

- Boundary lines of site, including all property lines and mean high-water lines;
- Land use district of site and any adjacent land use districts;
- Flood zones pursuant to the Flood Insurance Rate Map(s);
- Locations and dimensions of all existing and proposed structures and drives;
- Type of ground cover (i.e. concrete, asphalt, grass, rock);
- Adjacent roadways;
- Setbacks as required by the land development regulations;
- Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones;
- Calculations for open space ratios, floor area ratios, residential density and parking;
- Location and type of outdoor lighting;
- Extent and area of wetlands, open space areas and landscape areas;
- Location of solid waste storage;
- Location of sewage treatment facilities;
- Location of existing and proposed fire hydrants or fire wells;

Floor Plans for all proposed structures and for any existing structures to be redeveloped – 16 sets (drawn at an appropriate standard architectural scale and including handicap accessibility features);

Elevations for all proposed structures and for any existing structures to be modified – 16 sets (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure);

Landscape Plan by a Florida registered landscape architect – 16 sets (may be shown on the site plan; however, if a separate plan, must drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the landscaping plan should include the following:

- Date, north point and graphic scale;
- Boundary lines of site, including all property lines and mean high-water lines;
- Locations and dimensions of all existing and proposed structures and drives;
- Open space preservation areas;
- Existing natural features;
- Size and type of buffer yards including the species, size and number of plants;
- Parking lot landscaping including the species, size and number of plants;
- Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced;
- Transplantation plan (if required);

Conceptual Drainage Plan – 16 sets (with drainage calculations; existing and proposed topography; all drainage structures; retention areas; drainage swales; and existing and proposed permeable and impermeable areas;

Traffic Study, prepared by a licensed traffic engineer;

Construction Management Plan, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging);

Typed name and address mailing labels of all property owners within a 300 foot radius of the property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 300 foot radius, each unit owner must be included;

Letters of Coordination are required from the following:

- Florida Keys Aqueduct Authority (FKAA);
- Florida Keys Electric Cooperative (FKEC) or Keys Energy Services;
- Monroe County Office of the Fire Marshal;

APPLICATION

- Monroe County Health Department;
- Monroe County Solid Waste Management;
- Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day;

If applicable, the following must be submitted in order to have a complete application submittal:

- Notarized Agent Authorization Letter** (note: authorization is needed from all owner(s) of the subject property)
- Vegetation Survey or Habitat Evaluation Index** (please contact Monroe County Environmental Resources prior to application submittal to determine if this documentation is necessary)
- Construction Phasing Plan**
- Additional Letters of Coordination** may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:
 - Key Largo Wastewater Treatment District (KLWTD)
 - South Florida Water Management District (SFWMD)
 - Florida Department of Transportation (FDOT)
 - Florida Department of Environmental Protection (FDEP)
 - Florida Department of State, Division of Historic Resources
 - Florida Game and Freshwater Fish Commission (FGFFC)
 - U.S. Army Corps of Engineers (ACOE)
 - U.S. Fish and Wildlife Service (USFW)

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: Barbara Mitchell Date: 4/9/09

Sworn before me this 9 day of April, 2009



[Signature]
 Notary Public
 My Commission Expires

Please send the complete application package to the Monroe County Planning & Environmental Resources Department, Marathon Government Center, 2798 Overseas Highway, Suite 400, Marathon, FL 33050.

Project Overview

The applicant, Spottswood Partners, Inc., seeks to amend an existing, approved major conditional use in order provide the Stock Island community with a 14,129 square foot drug store with drive through capability and seven market rate dwelling units. The site is located on both US 1 and MacDonald Avenue, between the Burger King Restaurant and the Coral Hammock residential development on Stock Island. Development approvals have been obtained on this site in conjunction with the property located to the south of MacDonald Avenue. The south side development (The Spottswood Shops) was completed in 2001. The northern portion, and subject of this application, was approved for a 14,400 square-foot high-intensity flea market. This application pertains only to the northern parcel of land located to the north of MacDonald Avenue, formerly known as Pearl Mobile Home Park.

VESTED DENSITY:

The historic density on the subject parcel, of approximately 60 units has been well documented by the applicant in the previous Amendment to a Conditional use application dated September 2002. The County confirms the property owner's right to 51 ROGO exempt market-rate dwelling units in Aref Joulani's December 2002 staff report to the Planning Commission and the Planning Commission Resolution P04-03 (Appendix B). Given the ability to redevelop at least 51 market-rate dwelling units on site, ROGO does not apply to this proposal.

Furthermore, the site is vested with over 14,400 square feet of high intensity, non-residential floor area as documented in BOCC Resolution 070-1997 concerning vested rights, the Planning Commission Resolution P12-00 and further approved in PC Resolution P04-03. Please see the Appendix B for copies of these resolutions. It is the applicant's intention to apply the vested, non-residential floor area to this project.

It is the applicant's intention to retain the remaining ROGO exemptions (both residential and non-residential) that are not allocated for use on this site. Therefore a total of 44 market rate residential units and approximately 271 square feet of non-residential floor area remain available on this site for transfer elsewhere in accordance with Monroe County Land Development Regulations.

APPLICATION HISTORY:

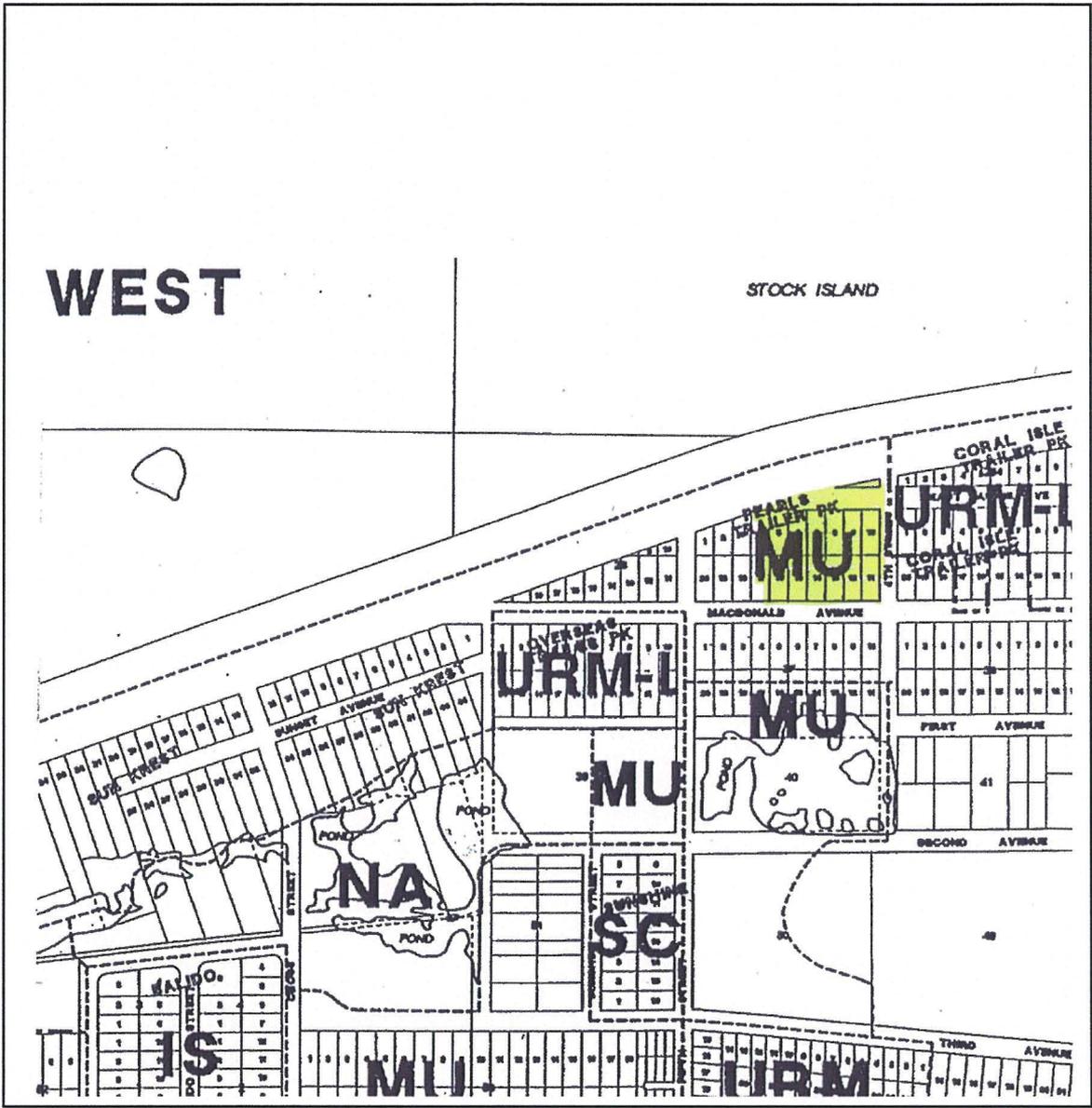
Since 1996, this site has been several actions by the Planning Director, Planning Commission, Board of County Commissioners and Building Department. The following chart summarizes these actions. The resolutions are included in Appendix B for ease in review.

Date	Document	Number	Action
06/11/08	PC Resolution	P24-08	Approval of Request for time extension to a Major Conditional Use Permit for one year.
08/18/05	PC Res.	P32-05	Approval of Amendment to Major Conditional Use for development of 46 two-story elevated residential units and a play area.
05/12/04	PC Res.	P15-04	Approval of Amendment to Major Conditional Use approved under Planning Commission Resolution P04-03 increasing number of market rate units from 7 to 10, adjusting parking and open space around each unit and removing the drive-through from the drug store and rearranging parking spaces around drug store
02/12/03	PC Res.	P04-03	Approval of an Amendment to a Conditional Use to allow the building of a 14,129 sq. ft. Eckerd Drug Store, with drive-thru, and seven market-rate dwelling units.
07/17/02	BOCC	304A-2002	Road abandonment approval for a portion of 4 th Street between MacDonald Avenue and US 1.
06/13/01	PC Res.	P34-01	Southern Portion: Approval to convert a walk-up bank to a drive-in bank, add two satellite dishes, and minor site plan changes.
04/12/00	PC Res.	P12-00	Southern Portion: Approval to convert a radio station to a walk-up bank, change to medium intensity commercial retail use. Northern Portion: Approval to change to a high-intensity commercial retail use with a public restroom.
02/07/97	BOCC Res.	070-1997	Determination of vested rights
07/24/96	PC Res.	P38A-96	Northern Portion: Approval to construct an open-air flea market with restroom. Southern Portion: Approval to construct two buildings with a light industrial use.
03/03/89	Development Order	02-1989	Northern Portion a.k.a. Pearl Trailer Park: Approval to replace 51 mobile homes and one 765 square foot building.

The following summarizes the building permits that were submitted pursuant to PC Resolution P32-05.

Permit Number	Applied Date	Issued Date	Work
06102261	04/07/06	04/27/06	Construct temporary construction fence
06106030	10/18/06		Banyan Grove - Bldgs. 8 – 13, Construct 1468 SF residence
06106031	10/18/06		Banyan Grove - Bldg. 14, Construct SFR residence
06106032	10/18/06		Banyan Grove - Bldg. 15, Construct residence
06103093	05/12/06		Banyan Grove - Bldg. 7B, Construct residence
06103198	05/19/06		Banyan Grove - Sewer, water, drive paving, demo, drainage and stormwater
07103718	08/24/07	08/29/07	Banyan Grove – Temporary construction trailer w/ADA ramp & temp elect

Zoning Map



Aerial Photo



Site Photos



Looking west on McDonald Avenue



Center of the Site, from US 1



View from McDonald Avenue



Looking west on US 1

Request & Background Information

REQUEST:

1. Applicant:

Spottswood Partners, Inc.

2. Agent:

The Craig Company

3. Proposed Use and Size:

Amend the approved conditional use that pertains to the northern portion of the development. This amendment includes a request to construct a medium intensity 14,129 square foot drug store with drive through and 7 ROGO exempt market rate residential units.

4. Location:

The site is located on both US 1 and MacDonald Avenue, between the Burger King Restaurant and the Coral Hammock residential development, on Stock Island. Specifically described as: STOCK ISLAND MALONEY SUB PB1-55 PT LOT 4 & PT LOT 17 & ALL LOTS 5 THRU 16 & PT EAST LAUREL AVE & PT 4TH STREET, RE# 00124140-000000

5. Plans Provided:

Plan	By	Date	Revised
Field Survey	Fred Hildebrandt, PA	08/02/02	NA
Site Plan	Tom Pope	03/27/09	
Landscape Plan	The Craig Company	08/27/02	04/10/09
Drainage Plan	Perez Eng. & Dev., Inc.	4/3/09	NA

BACKGROUND INFORMATION

1. Land Use District

Mixed Commercial Use

2. Future Land Use Designation

Mixed Commercial Use

3. Site Size:

The site is 103,656± square feet or approximately 2.38 acres. The northern portion of the parcel is the subject of this application. The southern portion of the project is complete. Therefore, it is not included in the following analysis.

4. Existing Vegetation

The subject of this conditional use is the northern portion of the development. This area is primarily scarified with a few large Ficus trees, Poincianna trees and non-native palms. Since the original submission, many of the non-native and some ficus trees were removed due to storm damage caused by hurricanes.

5. Community Character of the Immediate Vicinity:

The community character of the immediate area can be best described as mixed as it includes industrial activities, commercial areas and residential uses. Adjacent to the site on the west is the Stock Island Burger King Restaurant, to the east is the Coral Hammock residential development (Coral Hammock). The site is located on US Highway I and MacDonald Avenue.

Consistency Statements

Standards Applicable to All Conditional Uses:

The project is required to be consistent with all applicable portions of the Land Development Regulations and the Comprehensive Plan. These regulations require all conditional uses to be consistent with Section 110-67. The following narrative demonstrates compliance with those aspects of the code as required.

Section 110-67

"The conditional use is consistent with the purposes, goals, objective and standards of the plan and this chapter."

1. Compliance with Monroe County Code of Ordinances, Part II, Land Development:

a. Purpose of the Mixed Use (MU) Land Use District , Sections 130-1 and 130-38

Section 130-1 of the Monroe County Code states that "All development within each land use district shall be consistent with the purposes stated for that land use district in this chapter."

Section 130-38 states that the purpose of the Mixed Use land use district is "to establish areas or conserve areas for mixed uses including commercial fishing, resorts, residential, institutional and commercial uses and preserve those areas representative of the character, economy and cultural history of the Florida Keys. "

Applicant's Response: The proposed development has several components. The south side of the parcel has been developed per the existing resolution. The Spottswood Shops at 5400 MacDonald Avenue contain a bank, radio station, professional offices, including a wellness center and veterinarian, and several other retail establishments are all viable commercial endeavors that provide services for the Stock Island community. The proposed drug store will provide the citizens of Stock Island a local alternative, rather than driving onto the island of Key West, they will be able to drive, walk or bike to the Stock Island Drug Store.

In addition, there is a residential component proposed for this mixed-use development. Seven (7) townhomes to be used as housing are proposed for this site. The residential units will be located on the northern portion of the project, adjacent to another residential community of 55 homes.

b. Permitted Uses, Section 130-88(c)1. and 130-88(c)(3)

Commercial Retail low- and medium-intensity uses... greater than 10,000 square feet in floor area, provided that access to US 1 is by way of: a An existing curb cut; b. A

signalized intersection; or c. A curb cut that is separated from any other curb cut on the same side of US 1 by at least 400 feet.

Attached residential dwelling units, provided that: a. The structures are designed and located so that they are visually compatible with established residential development within 250 feet of the parcel proposed for development; and b. The parcel proposed for development is separated from any established residential use by a class C buffer-yard.

Applicant's Response: The proposed curb cut has not changed from the access that was originally approved. It is located approximately 416' from 5th Street to the south and 660' feet from 3rd Street to the north.

At this time the established residential developments located within 250 feet is limited to Coral Hammock and the Overseas Trailer Park. A Class C buffer was established along 5th Street to buffer the Overseas Trailer Park as part of Phase I construction of the Stock Island Shops. A mix of single-family and attached residential dwelling units is at the adjacent Coral Hammock development. The proposed townhomes are consistent with this adjacent development. A Class C landscape buffer has been approved consistent with Monroe County Code Section 114-129.

The proposed development is consistent with Sections 130-88(c)1. and 130-88(c)3.

c. Density/Intensity, Section 130-157 & 130-164

The maximum nonresidential density for medium intensity commercial use in the Mixed Use Land Use District is 25%. The residential maximum net density for market rate housing is 12 units per buildable acre.

Applicant's Response: This amendment seeks to modify the approved high-intensity commercial retail use of the northern portion of the property to a medium-intensity commercial retail use. The flea market and the restroom have been deleted from the project and replaced with a drug store. The added utility of the site generated by the reduction of intensity shall be utilized by the construction of 7 residential units. The development is consistent with Sections 130-157 and 130-164 as demonstrated below:

Northern Portion:

Total Area:	103,656 S.F. (2.38 acres)
Medium Intensity Use	14,129 x .25 = 56,516 S.F. or 54.5% of the Site.

Potential for Residential Development:

Total Area: 103,656 S.F. (2.38 acres)
Less Required Open Space -20,731 S.F. (0.475 acres)
Buildable Area 82,925 S.F. (1.90 acres)

Maximum Net Residential Density: $1.90 \times 12 = 22.8$ units
Proposed Residential Units: $7 \div 22.8 = 31 \%$

Therefore:

Commercial Development represents: 54.5%
Residential Development represents: 31.0%
Total Proposed Site Utility: 85.5%

d. Open Space and Environmental Criteria, Sections 130-164 and 118-9

The purpose of this section is to provide for open space as part of a development plan to ensure the continued existence of natural wildlife habitat and to provide open green areas for the movement, aesthetics, and safety of the human population utilizing the development... No land shall be developed, used or occupied such that the amount of open space on the parcel proposed for development is less than the open space ratios listed for each habitat.

Applicant's Response: There is no native vegetation on the site with the exception of one mahogany tree that will remain at the entrance on MacDonald Avenue. The site is scarified and has a required open space ratio of 0.20. The land use district minimum open space ratio is 0.20 or 20,731 sq. ft. The Site Plan indicates an open space of 0.296. The proposed development is consistent with Sections 130-64 and 118-9.

e. Minimum Yards, Section 130-186

The minimum yard requirements for commercial uses in the Mixed Use district are as follows: a front yard setback of 15 feet, a rear yard setback of 10 feet, and side yard setbacks such that one side yard must be 10 feet and the combined total of both side yards is 15 feet. The minimum yard requirements for attached residential uses are as follows: a front yard setback of 25 feet, a rear yard setback of 20 feet, and no side yard setbacks applicable.

Applicant's Response: The Site Plan submitted application provides for a 25' front yard setback from US 1, a 20' rear yard setback from MacDonald Avenue. At the request of the Planning Department, a 25' setback from MacDonald Avenue for the residential component has been provided. There is a 10' side yard setback from the southern boundary line adjacent to the Burger King and a 5' side yard setback from the northern boundary line adjacent to Coral Hammock. The proposed development is consistent with Section 130-186.

f. Height, Section 130-187

No structure or building shall be developed that exceeds a maximum height of thirty-five feet.

Applicant's Response: The height of the proposed drug store is 35 feet. The height of the townhomes is 35 feet. Therefore the site is consistent with Section 130-187.

g. Scenic Corridors and Bufferyards, Sections 114-124 to -128 (Street Trees 114-104)

Section 114-125(b). All other development of land that fronts on U.S. 1, 905 or 940 shall provide a major street buffer in accordance with section 114-127.

Pursuant to Section 114.127 the following bufferyards are required. Along US Highway 1 a Class B bufferyard, at least 10 feet wide; to the east one half of a Class C district boundary buffer, minimum width 5 feet is required.

Applicant's Response: There are several significant trees on the site that as part of the project scope have been incorporated into the site plan. These trees are shown on the submitted Landscape Plan and Site Plan. The trees are primarily Ficus species; they are tall trees and provide an established canopy. Every attempt will be made to save these trees during the construction process. A Class "B", 365' long, 20' wide, major street buffer is provided as shown on the submitted landscape plan pursuant to Section 114.127. On the west side of the property, the adjacent land use district is Mixed Use and no buffer is required. One half of a Class "C" Bufferyard is provided on the east side of the parcel that is adjacent to the existing residential development required. The proposed development is consistent with Sections 114-124 to -128.

h. Parking and Loading Standards, Sections 114-66 to -69.

The parking requirements for commercial retail/office use are 3.0 spaces per one thousand square feet of gross floor area. The parking requirements for attached residential dwelling units are 1.5 spaces per unit.

Applicant's Response: The proposed Site Plan illustrates that a total of 70 parking spaces have been provided. The 70 spaces include 42 spaces for the commercial use (14,129 s.f building: $14.1 \times 3 = 42$) and 11 spaces for the residential use ($6 \times 1.5 = 9 + 1 \times 2 = 2$). The additional spaces shall be used for employees or visitors. Included in these calculations are four handicap spaces. The handicap space will have a sign which states the fine imposed for illegal parking. One loading zone (11' x 55') has been provided as shown on the Site Plan. Furthermore, the proposed parking spaces are 9' in width thereby exceeding the minimum standard required by the County Code. The proposed development is consistent with Sections 9.5-351-354.

i. Parking Lot Landscaping, Section 114-99 and 114-100.

All off-street parking areas containing more than six spaces shall be landscaped in accordance with the standards set out in section 114-100. Mixed Use land use districts require a Landscape Standard "C", which includes 430 square feet of planting area including 2 canopy trees, and 5 shrubs per 24 parking spaces.

Applicant's Response: The proposed parking lot landscaping as presented on the Landscape Plan exceeds the requirements of the LDRs. Pursuant to Sections 114-99 and 114-100, 1,257 square feet of planting area is required and over 2,000 square feet has been provided. Six canopy trees are required and 31 have been provided. No understory trees are required - 15 have been provided. Thirteen shrubs are required and 57 have been provided. The proposed development is consistent with Section 114-99 and 114-100.

j. Surface Water Management, Section 114-3

Applicant's Response: A Storm Water Management Plan, designed by a registered Florida engineer, has been provided with this application. The level of review is the Monroe County Engineer. The project is consistent with Section 114-3.

k. Wastewater Treatment Criteria, Section 114-5

Applicant's Response: Key West Resort Utilities Sewage Treatment Plant serves the Stock Island area. Included in this application is a coordination letter from Key West Resort Utilities reserving space for this development.

l. Flood Plain Management Criteria, Section 122-4

New construction or cumulative substantial improvements of any commercial, industrial or non-residential structures within zones A1-30, AE and AH on the community's flood insurance rating map (FIRM) shall have the lowest floor (including basement) elevated to or above the base flood level.

Applicant's Response: The property is located in flood zone "AE" with an elevation of nine (9) feet (FIRM panel #1728 H). The development proposed shall be constructed to the required elevation as shown on the Elevation Plans submitted.

m. Environmental Performance Standards, Section 118-1 and -2

Applicant's Response: The site is scarified and there are no significant natural areas. Therefore, this section of the code is not applicable.

n. Transplantation Plan, Section 118-7(1)

Applicant's Response: Not required.

o. Energy and Conservation Standards, Section 114-45

Applicant's Response: The proposed development provides for energy conservation in the following ways: (1) installation of native plants that reduce requirements for water and maintenance; (2) installation of bicycle racks; (3) construct roof overhangs on the drug store building to provide structural shading; and (4) the residential development shall have open porches and ceiling fans to help conserve energy. The proposed development is consistent with Section 114-45.

p. Outdoor Lighting, Section 9.5-391-393

All outdoor lighting shall be designed, located and mounted at maximum heights no greater than 18 feet for non-cutoff lights and 35 feet for cutoff lights. All outdoor lighting shall be designed and located such that the maximum illumination measured in footcandles at the property line shall not exceed three-tenths footcandle for noncutoff lights and 1.5 footcandles for cutoff lights.

Applicant's Response: All site lighting will be designed so as not to exceed the requirements of this section.

q. Access Standards, Section 114-195

No structure or land shall be developed, used or occupied unless direct access to US 1 or County Road 905 is by way of a curb cut that is spaced at least four hundred (400) feet from any other curb cut that meets the access standards of the Florida Department of Transportation or an existing street on the same side of US 1 or County Road 905.

Applicant's Response: The existing approval includes access to the site from US 1 and MacDonald Avenue. The location of the US 1 entrance has not changed. The distance from the 5th Street intersection is 416'± and the distance from the 3rd Street intersection is 660'±. The access onto MacDonald Avenue has shifted. The original approval included two access drives onto MacDonald Avenue. Due to the proposed changes, the southernmost MacDonald Avenue driveway has been eliminated. The remaining MacDonald entrance driveway has been shifted to accommodate the proposed uses. The proposed development is consistent with Section 114-195.

r. Traffic Study, Section 114-200

Any development generating from 250 to 500 trips per day shall submit a report from a licensed traffic engineer indicating that the configuration of the access to US 1 or County Road 905 will maintain a safe traffic flow, or provide a design for a new configuration to be constructed by the developer.

Applicant's Response: A trip generation report from a licensed engineer is attached hereto. The report concludes that the proposed development is consistent with level of service standards on US 1. The project is in compliance with Section 114-200.

s. Clear Site Triangles, Section 114-201

All entrance drives and street intersections shall provide clear site triangles in both directions as indicated in this section.

Applicant's Response: Clear site triangles are shown on the attached site plan, which are consistent with Section 114-201.

t. Handicap Accessibility, Chapter 533, F.S.

Applicant's Response: The proposed commercial building is handicap accessible via a concrete ramp. There are handicap accessible parking spaces as shown on the Site Plan.

u. Rate of Growth Ordinance, Section 128-22.

The residential ROGO shall not apply to the development described below: (1) Redevelopment on-site: Redevelopment, rehabilitation or replacement of any lawfully established residential dwelling unit or space that does not increase the number of residential dwelling units above that which existed on the site prior to the redevelopment, rehabilitation or replacement shall be exempt from the residential ROGO system.

Applicant's Response: The historic density on the subject parcel, of approximately 60 units has been well documented by the applicant in the previous Amendment to a Conditional use application dated September 2002. The County confirms the property owner's right to 51 ROGO exempt market-rate dwelling units in Aref Joulani's December 2002 staff report to the Planning Commission and the Planning Commission Resolution P04-03 (Appendix B). Given the ability to redevelop at least 51 market-rate dwelling units on site, ROGO does not apply to this proposal.

2. Consistency with the Goals, Objectives and Policies of the Year 2010 Comprehensive Plan:

This application seeks to amend a previously approved development. The redevelopment of this site will serve to enhance the Stock Island streetscape. The existing tree canopy shall remain to the greatest extent possible. New housing will be constructed at a site that is located within existing municipal service's areas. There are established bus routes on MacDonald Avenue. The new drug store will serve the citizens of Stock Island, many of whom do not own automobiles, and will provide a pedestrian friendly site.

The objectives and policies of the Comprehensive Plan are furthered by the provision for stormwater management (Objective 101.9 and subsequent policy 101.91) and the installation of landscaping. The site is consistent with the Future Land Use Intensities, the maximum floor area ratio in the Comprehensive Plan Policy 101.4 is between 0.10 to 0.40 for this land use district, the existing floor area ratio for this development is 0.25.

Construction Management & Phasing Plan

Licensed Monroe County contractors will conduct all work with direct supervision and project management by Spottswood Partners, Inc. Local contractors will be used, whenever possible, as to limit the amount of additional traffic and to support the local economy.

Phasing Schedule

The proposed modification of the site will be completed in one phase.

Waste Generation

(I) Construction Disposal and Recycling Plan

Construction & Clearing Debris: The project site is primarily scarified. All construction debris will be placed commercial dumpsters owned by local contractors. The plant material will be mulched on site for future use.

(II) Recycling Plan

a. Source Separation

All recyclable containers, glass, aluminum and cardboard will be separated either within the building or at the outdoor recycling area. From there the materials will be removed to local recycling containers provided by the locally contracted company serving Rockland Key.

b. **Site Plan Location.** Please see attached site plan.

c. **Quantities.** Please see table below. In summary, the total annual recyclable waste created is 29,865 lbs. The total annual yard waste is estimated at 2,500 lbs.

(III) Disposal Plan

a. **Quantities.** Please see Recycling Plan below.

b. At present, there is not a capacity problem at the Lower Keys Disposal Site, as all waste is removed to a remote location on the mainland.

Recycling Plan

Waste Generation: This existing retail (drugstore) enterprise will generate 3,108 lbs of waste per week, and a total of 35,555 lbs per year based on the assumptions in the following chart.*

<u>Use</u>	<u>Size</u>	<u>Total</u>	
		<u>Week</u>	<u>Year</u>
Retail	14,129 s.f.	3,108 lbs	35,555 lbs

Quantity By Composition

<u>Item</u>	<u>Retail</u>		
	<u>%</u>	<u>Quantity</u>	
		<u>Week</u>	<u>Year</u>
Paper	35	1,089	12,444
Cardboard	40	1,243	14,222
Plastic	8	684	2,844
Metals	1	31	355
Other	16	497	5,689

Yard Waste

Estimated @ 2,500 lbs per year

Recyclables

Assume that 70% of all paper, cardboard, plastic and metals can be recycled. The total recyclables expected are: weekly - 2,133 lbs and annually - 29,865 lbs.

* Source: Tables from Westchester County's Solid Waste Management Plan, August 1989

Appendix A
Agent Authorization

4/9/09

(Date)

I hereby authorize The Craig Company be listed as authorized agent
(Name of Agent)

for Spottswood Partners, Inc. for the purpose of conducting all business necessary to
(Name of Owner(s) / Applicant)

process and obtain approval in regard to Stok Island Drug Store for Amendment to Major Conditional Use
(Project Name) (Application Type)

for Real Estate No(s): 00124140-000000 from
the Monroe County Planning and Environmental Resources Department.

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated.

The undersigned understands the liabilities involved in the granting of this agency and accepts full responsibility (thus holding Monroe County harmless) for any and all of the actions of the agent named, related to the acquisition of permits for the aforementioned applicant.

Note: Authorization is needed from each owner of the subject property. Therefore, one or more authorization forms must be submitted with the application if there are multiple owners.

[Handwritten Signature]

Owner(s) / Applicant Signature

William B. Spottswood

Printed Name of Owner(s) / Applicant

VICE Pres.

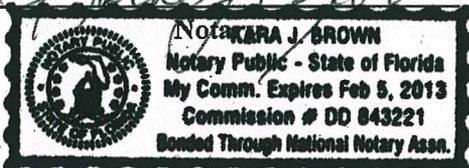
NOTARY:
STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 9th day of April, 2009.

William B. Spottswood is personally known produced identification

(Type of Identification), did / did not take an oath.

[Handwritten Signature]



Appendix B

Resolutions, Development Order and Staff Report



Doc# 1715476 10/15/2008 9:53AM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

Doc# 1715476
Bk# 2384 Pg# 890

**MONROE COUNTY, FLORIDA
PLANNING COMMISSION RESOLUTION NO. P24-08**

A RESOLUTION BY THE MONROE COUNTY PLANNING COMMISSION **APPROVING** THE REQUEST OF SPOTTSWOOD PARTNERS INC. FOR A ONE (1) YEAR TIME EXTENSION TO MAJOR CONDITIONAL USE PERMIT RESOLUTION NO. P32-05.

WHEREAS, during a regularly scheduled meeting held on June 11, 2008, the Monroe County Planning Commission conducted a review and consideration of the request filed by the Craig Company, on behalf of Spottswood Partners Inc., for a one (1) year extension to Resolution No. P32-05 in accordance with §9.5-72 of the Monroe County Code; and

WHEREAS, the subject property is located at 5455 MacDonald Avenue, Stock Island, approximate mile marker 5 (oceanside) and is legally described as portion of East Laurel Avenue (abandoned), Lots 5-16, part Lot 4 & part Lot 17 of Block 29, and all Blocks 37 & 40, Maloney subdivision (PB1-55), Stock Island, Monroe County, Florida and having real estate number 00124140.000000; and

WHEREAS, the Planning Commission reviewed the following documents and other information relevant to the request, which by reference are hereby incorporated as part of the record of said hearing:

1. Request for a Time Extension to a Conditional Use Permit Application, received by the Monroe County Planning & Environmental Resources Department on April 8, 2008; and
2. Letter from Barbara Mitchell, Vice President of the Craig Company, to Townsley Schwab, Acting Senior Director of the Planning & Environmental Resources Department, dated April 10, 2008; and
3. Monroe County Planning Commission Resolution No. P32-05; and
4. Staff report prepared by Joseph Haberman, Principal Planner, dated May 20, 2008; and
5. Sworn testimony of Monroe County Planning & Environmental Resources Department Staff; and
6. Sworn testimony of the applicant and general public; and
7. Advice and counsel of Susan Grimsley, Assistant County Attorney, and John Wolfe, Planning Commission Counsel; and

WHEREAS, based upon the information and documentation submitted, the Planning Commission makes the following Findings of Fact:

1. Resolution No. P32-05, passed and adopted by the Planning Commission on June 8, 2005, was filed and recorded in the official records of the Monroe County Clerk of the Circuit Court on December 7, 2005. Resolution No. P32-05 approved an amendment to a major conditional use permit, allowing the development of forty-six (46) dwelling units and associated improvements on the subject property; and
2. Pursuant to §9.5-72(a)(1) of the Monroe County Code, unless otherwise specified in the approved conditional use approval, application for a building permit(s) shall be made within six (6) months of the date of the approval of the conditional use, and all required certificates of occupancy shall be procured within two (2) years of the date of issuance of the initial building permit, or the conditional use approval shall become null and void with no further action required by the county. Approval time frames do not change with successive owners. An extension of time may be granted only by the Planning Commission for a period not to exceed one (1) year and only within the original period of validity; and
3. Planning & Environmental Resources Department Staff recommended approval of the time extension request; and

WHEREAS, based upon the information and documentation submitted, the Planning Commission makes the following Conclusions of Law:

1. An application for a building permit was required by May 7, 2006, six (6) months after the recording date of December 7, 2005. The property owner applied for a building permit for a temporary construction fence on April 7, 2006. Building Permit 061-2261, approving the temporary construction fence, was issued on April 27, 2006. All required certificates of occupancy were required by April 27, 2008, two (2) years after April 27, 2006, the date of issuance of the initial building permit. Therefore, unless the property owner applied for a time extension, the project had to be carried out by April 27, 2008 or the major conditional use permit approval would have become null and void at that time; and
2. §9.5-72(a)(1) of the Monroe County Code states that an extension of time may be granted only by the Planning Commission for a period not to exceed one (1) year and only within the original period of validity. As set forth in a cover letter submitted with the application, the applicant initially requested a two (2) year extension to Resolution No. P32-05. However, after discussions with Staff about the parameters of §9.5-72(a)(1), the applicant revised the request to a one (1) year extension, as set forth in a letter to the Planning & Environmental Resources Department dated April 10, 2008. Therefore, the applicant requested a one (1) year extension and at the time of application submittal, April 8, 2008, Resolution No. P32-05 was within its original period of validity. Therefore, the request is in compliance with the provisions set forth in §9.5-72 of the Monroe County Code; and

3. Although the applicant submitted an application on April 8, 2008, Staff could not schedule a public hearing on the application before Resolution No. P32-05 was set to expire on April 27, 2008. Since Resolution No. P32-05 would have expired prior to June 11, 2008 meeting date and the recording date of this resolution, Staff recommended that the new expiration date be one (1) year from April 27, 2008, so that the time extension did not exceed one (1) year.

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF MONROE COUNTY, FLORIDA, that the preceding Findings of Fact and Conclusions of Law support its decision to **APPROVE** the request by Spottswood Partners Inc. for a one (1) year extension to Resolution No. P32-05, subject to the following conditions:

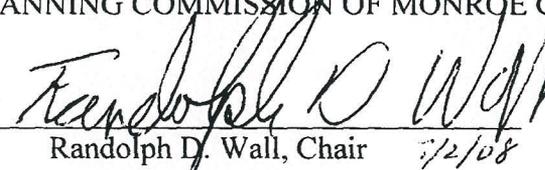
1. Resolution No. P32-05 is hereby extended for one (1) year, to provide a new expiration date of April 27, 2009.
2. All other provisions and conditions of Resolution No. P32-05 shall be met.

PASSED AND ADOPTED BY THE PLANNING COMMISSION of Monroe County, Florida, at a regular meeting held on the 11th day of June, 2008.

Chair Wall	<u>YES</u>
Vice-Chair Cameron	<u>YES</u>
Commissioner Hale	<u>YES</u>
Commissioner Marston	<u>ABSENT</u>
Commissioner Windle	<u>YES</u>

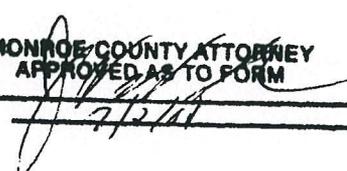
PLANNING COMMISSION OF MONROE COUNTY, FLORIDA

BY


Randolph D. Wall, Chair

7/2/08

MONROE COUNTY ATTORNEY
APPROVED AS TO FORM

Date: 
7/2/08

MONROE COUNTY
OFFICIAL RECORDS

PLANNING COMMISSION RESOLUTION NO. P32-05

A RESOLUTION BY THE MONROE COUNTY PLANNING COMMISSION APPROVING THE REQUEST OF THE SPOTTSWOOD FAMILY TRUST, INC FOR AN AMENDMENT TO A MAJOR CONDITIONAL USE FOR THE DEVELOPMENT OF FORTY-SIX (46) TWO STORY ELEVATED RESIDENTIAL UNITS. THE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF EAST LAUREL AVENUE (ABANDONED) LOTS 5 THROUGH 16 AND PART LOTS 4 AND 17 OF BLOCK 29, AND ALL BLOCKS 37 AND 40, STOCK ISLAND, MONROE COUNTY, FLORIDA, APPROXIMATE MILE MARKER 5, AND THE REAL ESTATE NUMBER IS 00124140.000000.

WHEREAS, during a regular meeting held on June 8, 2005, the Monroe County Planning Commission conducted a public hearing on the request filed by Spottswood Family Trust, Inc. for an Amendment to a Major Conditional Use for forty-six (46) two-story elevated residential units and a play area; and

WHEREAS, during a regular meeting held on May 3, 2005, the Development Review Committee recommended approval of the Amendment to a Major Conditional Use application to the Planning Commission; and

WHEREAS, the Planning Commission was presented with the following evidence, which by reference is hereby incorporated as part of the record of said hearing:

1. Boundary survey by Frederick H. Hildebrant, dated 08/02/02; and
2. Site Plan (S1) prepared by Thomas E. Pope, P.A. Architect, dated 01/13/05 and revised on 03/18/05, and
3. Landscape Plan (L1) prepared by Thomas E. Pope, P.A. Architect, dated 01/13/05 and revised on 03/18/05, and
4. Elevation and Floor Plans prepared by Thomas E. Pope, P.A. Architect, dated 01/13/05; and
5. Conceptual Drainage Plan (C-1) designed and checked by Allen E. Perez, P.E., dated 01/25/05; and
6. Revised Site Plan (S1) prepared by Thomas E. Pope, P.A. Architect, dated 01/13/05 and revised on 05/23/05; and
7. The Staff Report prepared by Heather Beckmann, Planner and Andrew Trivette, Senior Biologist, dated 05/16/05; and
8. The sworn testimony of the Growth Management Staff; and
9. The comments of Donald L. Craig, AICP, representing the applicant's agent; and
10. The advice of John Wolfe, Planning Commission Counsel.

WHEREAS, the Planning Commission has made the following **Findings of Fact and Conclusions of Law** based on the evidence presented:

1. Based on the Monroe County Code, we find and the applicant agrees to apply the same residential color scheme and fencing material and height surrounding the perimeter of the development to match the design of the neighboring Coral Hammock to ensure compliance with Section 9.5-248.
2. Based on the site plan, a stormwater management plan was submitted. Staff concludes that the plan must be reviewed and approved by the County Engineer to determine compliance with Section 9.5-293.
3. Based on the application, FDEH has been contacted to review the project. We conclude that the project must be reviewed and approved by FDEH. In addition, a letter of coordination shall be submitted to KWRU to determine compliance with Section 9.5-294.
4. Based on the site plan, the second standard has not been met for the site plan does not exhibit any bicycle racks. The applicant shall meet the third, fourth and fifth standards by demonstrating on the site plans that ceiling fans will be installed, solar panels will be used for the heating of hot water, and heat pumps for the AC to ensure compliance with Section 9.5-326.
5. Based on the site plan, the applicant intends to access drives and curb cuts to US 1 and MacDonald Avenue. We find that the applicant shall receive permits from FDOT and the County Engineer for the access drives and curb cuts along US1 and MacDonald Avenue to come into compliance with Section 9.5-421.
6. Based on the application, a level two traffic study was submitted and reviewed by the County Traffic Engineer. We conclude that the requests of the Engineer shall be met to determine compliance with Section 9.5-426.
7. Based on the application, KEYS and FKAA have been contacted to review the project. We conclude that the conditions set by these agencies shall be met to determine compliance with Section 9.5-69.
8. Based on the application, the Fire Marshal was contacted to review the project. The Fire Marshal has requested the exterior stairways be constructed of noncombustible materials and that the entrance/exit gates at the MacDonald Ave shall have an unobstructed width of not less than 18 feet. The conditions of the fire marshal shall be met to determine compliance with Section 9.5-69.
9. Based on the application, a breakdown of the proposed residential units by price range was not included. Staff concludes that this is required along with an assessment of the potential of the proposed development to meet local or regional housing needs to determine compliance with Section 9.5-69.

10. Based on the application, the proposed development will increase daily trips on US1 by 262 with 75% of those trips predicted to travel to Key West. The impact of the increased traffic, proximity to bus service, and lack of bus shelters require the applicant to coordinate with Key West Transit Authority and the County to determine an appropriate location and design for a bus shelter. The shelter shall be provided to comply with Section 9.5-69.
11. Based on the application, the proposed development does not supply any amenities and the applicant shall coordinate with staff to determine an appropriate amenity(s) to comply with Section 9.5-65.

WHEREAS, based on the fourth condition set forth in the Staff Report dated 05/16/05, a revised site plan (S1) showing bike racks was signed and sealed by Thomas E. Pope Architect, P.A., revised 5/23/05 and submitted and approved by the Planning Department on 05/26/05; and

WHEREAS, based on the third condition set forth in the Staff Report dated 05/16/05, a revised site plan (S1) showing the entrance/exit gates on MacDonald Avenue with an 18 foot unobstructed width was signed and sealed by Thomas E. Pope Architect, P.A., revised 5/23/05 and submitted and approved by the Planning Department on 05/26/05; and

WHEREAS, based on the sixth condition set forth in the Staff Report dated 05/16/05, an addendum to the traffic study was submitted on 7/01/05, reviewed and approved by the County's Traffic Engineer on 07/08/05 and submitted and approved by the Planning Department on 07/11/05; and

WHEREAS, based on the tenth condition set forth in the Staff Report dated 05/16/05, a revised site plan (S1) showing a bus shelter was signed and sealed by Thomas E. Pope Architect, P.A., revised 5/23/05 was submitted to the Planning Department on 05/26/05; however Planning Staff will not approve the proposed location of the shelter until the applicant coordinates with Key West Transit Authority and Planning Staff for; and

WHEREAS, based on the eleventh condition set forth in the Staff Report dated 05/16/05, a revised site plan (S1) showing a play area was signed and sealed by Thomas E. Pope Architect, P.A., revised 5/23/05 was submitted and approved by the Planning Department on 05/26/05; and

WHEREAS, during the 06/08/05 Planning Commission meeting, the Planning Commission strongly recommended that a way be found to allow the five lawfully established units that are not being rebuilt on site to be transferred as affordable exemptions.

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF MONROE COUNTY, FLORIDA that the preceding Findings of Fact and Conclusions of Law support its decision to **APPROVE** the request of Spottswood Family Trust, Inc. for an Amendment to a Major Conditional Use for the construction of forty-six elevated two story residential units. The property is legally described as a portion of East Laurel Avenue (abandoned), lots 5 through 16 and part lots 4 and 17 of Block 29, and all blocks 37 and 40, Stock Island, Monroe County, Florida, approximate mile marker 5 subject to the following conditions:

1. Prior to the issuance of a building permit, the following agencies shall review and approve the project for compliance;
 - a. FDEH
 - b. FDOT
 - c. County Engineer
 - d. KEYS
 - e. FCAA
2. Prior to the issuance of a building permit, the applicant shall submit a letter of coordination to the KWRU. KWRU shall review and approve the project for compliance.
3. Prior to the issuance of a certificate of occupancy, the applicant shall indicate that the following conditions have been met;
 - a. Perimeter fencing of the same material and height found at the neighboring Coral Hammock development; and
 - b. Similar residential color scheme found on the neighboring Coral Hammock development; and
 - c. Open porches with ceiling fans; and
 - d. Solar hot water heating panels; and
 - e. Heat pumps for air conditioning; and
 - f. Exterior stairways shall be constructed of noncombustible materials; and
 - g. Construction of a bus shelter.
4. Prior to the issuance of a building permit, the permit shall be restricted so that the emergency access drive shall not be modified for any other use in the future. This restriction shall be indicated on the site plan submitted to the building department.
5. Prior to the issuance of a building permit, the applicant shall submit a report that breaks down the residential units by price along with an assessment of the potential of the development to meet local and regional housing needs.
6. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the general provisions of Florida Statutes, Chapter 718 Condominiums and/or Chapter 720 Homeowners Association to ensure the maintenance of common elements and open space, including the bus shelter.

PASSED AND ADOPTED by the Planning Commission of Monroe County, Florida, at a regular meeting held on the 8^h day of June 2005.

Chair Lynn C. Mapes	<u>YES</u>
Vice-Chair Denise Werling	<u>YES</u>
Commissioner Randolph Wall	<u>YES</u>
Commissioner Jiulio Margalli	<u>YES</u>
Commissioner James D. Cameron	<u>YES</u>

PLANNING COMMISSION OF MONROE COUNTY, FLORIDA

BY Lynn C. Mapes

Lynn C. Mapes, Chair

Signed this 18th day of August, 2005.

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY
BY [Signature]
Attorney's Office

**MONROE COUNTY
OFFICIAL RECORDS**

PLANNING COMMISSION RESOLUTION NO. P15-04

A RESOLUTION BY THE MONROE COUNTY PLANNING COMMISSION APPROVING THE REQUEST OF THE SPOTTSWOOD FAMILY TRUST D.B.A. CAYO INVESTMENT FOR AN AMMENDMENT TO A MAJOR CONDITIONAL USE APPROVED UNDER THE PLANNING COMMISSION RESOLUTION P04-03 BY INCREASING THE NUMBER OF MARKET-RATE RESIDENTIAL UNITS FROM SEVEN (7) TO TEN (10) UNITS, ADJUSTING THE PARKING AND OPEN SPACE AROUND EACH UNIT, AND REMOVING THE DRIVE-THROUGH FROM THE PROPOSED 14,129 SQUARE-FOOT ECKERD DRUG STORE AND REARRANGING THE PARKING SPACES AROUND IT. THE PROPERTY IS LOCATED ON STOCK ISLAND, MONROE COUNTY, FLORIDA, AND THE REAL ESTATE NUMBER IS 00124140.000000.

WHEREAS, during a regular meeting held on February 11, 2004, the Monroe County Planning Commission conducted a public hearing on the request filed by the Spottswood Family Trust d.b.a. Cayo Investment for an amendment to a major conditional use to build a mixed use commercial and residential development containing a 14,129 square-foot Eckerd Drug Store and ten (10) units of market-rate townhouses on a parcel of land formerly known as Pearl Mobile Home Park located on both US Highway 1 and MacDonald Avenue between the Burger King and Coral Hammock at approximately Mile Marker 5; and

WHEREAS, the original Major Conditional Use application was approved by the Planning Commission under Resolution P04-03 for a mixed use commercial and residential development containing a 14,129 square-foot Eckerd Drug Store and seven (7) units of market-rate townhouses; and

WHEREAS, the Spottswood Family Trust, d.b.a. Cayo Investment is the owner of the above real property which is located on a parcel of land legally described as a portion of East Laurel Avenue (abandoned), the east portion of 4th Avenue (abandoned), lots 5 through 16 and part of lots 4 and 17 of Square 29, and all of blocks 37 and 40, Maloney Subdivision, Stock Island, Monroe County, Florida. The Real Estate Number is 00124140.000000; and

WHEREAS, the property is located in the Mixed Use (MU) land use district and the Future Land Use Map designation is Mixed Use/Commercial; and

WHEREAS, the Planning Commission was presented with the following evidence, which by reference is hereby incorporated as part of the record of said hearing:

1. Site Plan by Thomas E. Pope, P.A. Architect, dated 05/13/2002 and revised on 11/04/03;
2. Conceptual Landscape Plan by the Craig Company, dated 8/27/02 and revised on 01/28/04;
3. Drainage Plan by PE & D, Inc., dated 09/10/2002;

4. Boundary Survey by Frederick H. Hildebrandt, Engineer, Planner, Surveyor, dated 08/02/2002;
5. The Staff Report prepared by Aref Joulani, Senior Administrator of Development Review and Design, Andrew Trivette, Biologist, dated 01/19/04;
6. The sworn testimony of the Growth Management Staff;
7. The advice of John Wolfe, Planning Commission Counsel;
8. The comments of Donald L. Craig, AICP, the applicant's agent; and

WHEREAS, the Planning Commission has made the following Findings of Fact and Conclusions of Law based on the evidence presented:

1. Based on the site plan and the letter dated January 7, 2004 from the County's Traffic Consultant, the Drug Store without a drive-through facility will generate slightly more (2%) trips than with a drive-through facility and the additional three dwelling units will generate approximately 30% more residential trips (approximately 20 trips per day). Therefore, we conclude that the original traffic study shall be revised to demonstrate the impact of the changes on traffic. Further, the applicant shall provide a site plan showing the design vehicle maneuverability.
2. Based on the application, a storm water management plan has been provided with the submitted plans. Therefore, we find that the plan must be reviewed and approved by the Monroe County Engineer to determine compliance with Section 9.5-293.
3. Based on the application, the applicant considers connection to the Key West Resort Utilities as the preferred option for wastewater treatment. Therefore, we conclude that if the applicant decides to use on-site sewage treatment plant, the existing Environmental Health Permit must be revised and approval of the Department of Health and/or the Department of Environmental Protection shall be submitted.
4. Based on the application, Monroe County Fire Marshal has been contacted to review the project. Therefore, we conclude that review and approval of the project by Fire Marshal shall be received before compliance with Section 9.5-69 can be determined.
5. Based on the application, Florida Keys Aqueduct Authority (FKAA) has been contacted for review of the site plan. Therefore, compliance with Section 9.5-69 cannot be determined until the project has been reviewed and approved by FKAA.
6. Based on the application and the letter dated November 17, 2003, the applicant has started to coordinate with the Keys Energy Services (KEYS). Therefore, we conclude that approval of the plans by KEYS is required.
7. Based on the application materials and PC Resolution 04-03, we conclude that a Class "B" Major Street Bufferyard shall be added along MacDonald Avenue.
8. Based on the application materials and the Monroe County Code, we conclude that a transplantation plan must be developed for those threatened, endangered, regional important

and all those native species which are equal to or greater than four inches in diameter at breast height which will be removed for development; and

WHEREAS, based on the condition set forth in the staff report dated 01/19/2004, a revised traffic study and a site plan showing design vehicle maneuverability dated February 11, 2004 was received and approved by the County's traffic consultant. Therefore, we conclude that this condition set forth in the staff report for issuance of a resolution has been met; and

WHEREAS, based on the condition set forth in the staff report dated 01/19/2004, a revised Landscaping Plan dated 1/28/04 showing a Class "B" Major Street Bufferyard along MacDonald Avenue was submitted and approved by the County Biologist. Therefore, we conclude that this condition set forth in the staff report for issuance of a resolution has been met. **NOW THEREFORE**,

BE IT RESOLVED BY THE PLANNING COMMISSION OF MONROE COUNTY, FLORIDA, that the preceding Findings of Fact and Conclusions of Law support its decision to **APPROVE** the request of the Spottwood family trust d.b.a. Cayo Investment for an amendment to a major conditional use to build a mixed-use commercial and residential development including a 14,129 square-foot Eckerd Drug Store and ten (10) units of market rate houses on a parcel of land formerly known as Pearl Mobile Home Park that is legally described as a portion of East Laurel Avenue (abandoned), the east portion of 4th Avenue (abandoned), lots 5 through 16 and part of lots 4 and 17 of square 29, and all of blocks 37 and 40, Maloney Subdivision, Stock Island, Monroe County, Florida, near Mile Marker 5 subject to the following conditions:

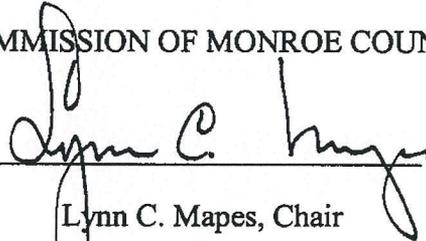
1. Prior to issuance of a building permit, approval of the surface water management plan by the County Engineer shall be provided.
2. Prior to issuance of a building permit, the Florida Department of Health and/or the Department of Environmental Protection shall approve the Wastewater Treatment Plan.
3. Prior to issuance of a building permit, a Fire Protection Plan shall be approved by the Monroe County Fire Marshal.
4. Prior to issuance of a building permit, a complete set of plans must be reviewed and approved by FKAA.
5. The Keys Energy Services (KEYS) shall determine load requirement based on the review of a complete set of plans and approval shall be received prior to the issuance of a building permit.
6. Prior to the issuance of a building permit application, a transplanted plan for those threatened, endangered, and regional important species as well as those native species which are equal to or greater than four inches in diameter at breast height which will be removed for development must be developed and then submitted with the application material.

PASSED AND ADOPTED by the Planning Commission of Monroe County, Florida, at a regular meeting held on the 11th day of February 2004.

Chair Lynn C. Mapes	<u>YES</u>
Vice Chair Denise Werling	<u>YES</u>
Commissioner David C. Ritz	<u>YES</u>
Commissioner Julio Margalli	<u>YES</u>
Commissioner James Cameron	<u>YES</u>

PLANNING COMMISSION OF MONROE COUNTY, FLORIDA

BY


Lynn C. Mapes, Chair

Signed this 12th day of May, 2004

MONROE COUNTY ATTORNEY
APPROVED AS TO FORM

Date: _____

MONROE COUNTY
OFFICIAL RECORDS



RESOLUTION NO. P04-03

A RESOLUTION BY THE MONROE COUNTY PLANNING COMMISSION APPROVING THE REQUEST OF THE SPOTTSWOOD FAMILY TRUST D.B.A. CAYO INVESTMENT FOR AN AMMENDMENT TO A MAJOR CONDITIONAL USE TO BUILD A 14,129 SQUARE-FOOT ECKERD DRUG STORE AND SEVEN (7) MARKET RATE DWELLING UNITS ON A PARCEL OF LAND LEGALLY DESCRIBED AS A PORTION OF EAST LAUREL AVENUE (ABANDONED), THE EAST PORTION OF 4TH AVENUE (ABANDONED), LOTS 5 THROUGH 16 AND PART OF LOTS 4 AND 17 OF SQUARE 29, AND ALL OF BLOCKS 37 AND 40, MALONEY SUBDIVISION, STOCK ISLAND, MONROE COUNTY, FLORIDA. THE REAL ESTATE NUMBER IS 00124140-000000.

WHEREAS, during a regular meeting held on January 8, 2003, the Monroe County Planning Commission conducted a public hearing on the request filed by the Spottswood Family Trust d.b.a. Cayo Investment for an amendment to a major conditional use to build a mixed use commercial and residential development containing a 14,129 square-foot Eckerd Drug Store and seven (7) units of market rate townhouses on a parcel of land formerly known as Pearl Mobile Home Park located on both US Highway 1 and MacDonald Avenue between the Burger King and Coral Isle Trailer Park at approximately Mile Marker 5; and

WHEREAS, the proposed development is located on a parcel of land legally described as a portion of East Laurel Avenue (abandoned), the east portion of 4th Avenue (abandoned), lots 5 through 16 and part of lots 4 and 17 of square 29, and all of blocks 37 and 40, Maloney Subdivision, Stock Island, Monroe County, Florida. The Real Estate number is 00124140-000000; and

WHEREAS, the above described property is located in the Mixed Use (MU) land use district and the Future Land Use Map designation is Mixed Use/Commercial; and

WHEREAS, the original Major Conditional Use application was approved by the Planning Commission Resolution #P38A-96 which included developing two non-contiguous lots on MacDonald Avenue as an aggregated development in the following manner: the northern portion was approved to be used for a 14,400 square foot open-air market and a 433 square foot public restroom facility, and an existing 1,721 square foot building was to remain as a commercial office; the southern portion containing an existing 1,868 square foot building used as

a radio station was to remain, and two new buildings totaling 15,474 square feet were to be constructed for light industrial use; and

WHEREAS, the above Resolution was amended in April 2000. Under the Planning Commission Resolution #P12-00 the following changes were approved: the use of the 1,868 square foot radio station was changed into a walk-up bank and the intensity of use of the 14,400 square foot open-air retail sales market on the north was changed from low- to medium-intensity commercial retail, to high-intensity commercial retail; and the use of the two buildings (totaling 15,474 Sq. Ft.) on the south was changed from light industrial to low- to medium-intensity commercial retail use; and

WHEREAS, the Planning Commission was presented with the following evidence, which by reference is hereby incorporated as part of the record of said hearing:

1. The Amendment to a Major Conditional Use Application, including Site Plan by Thomas E. Pope, P.A. Architect, dated 09/16/2002 and revised on 10/17/02; and Conceptual Landscape Plan by the Craig Company, dated 09/16/2002; and Drainage Plan by PE & D, Inc., dated 09/10/2002; and Floor plans by Thomas E. Pope, P.A. Architect, dated 08/28/2002; and Elevations plans by Thomas E. Pope, P.A. Architect, dated 08/28/2002; and Plan and Interior design of Eckerd's Drug Store by Kent D. Hamilton, A.I.A., Architect, dated 07/26/2002; and Elevation drawings of Eckerd's Drug Store by Kent D. Hamilton, A.I.A., Architect, dated 07/26/2002; and Boundary Survey by Frederick H. Hildebrandt, Engineer, Planner, Surveyor, and dated 08/02/2002; and
2. The Staff Report prepared by Aref Joulani, Senior Planner, Rebecca Redondo, Biologist, dated 12/20/2002; and
3. The sworn testimony of the Growth Management Staff; and
4. The comments of John Wolfe, Planning Commission Counsel; and
5. The sworn testimony of Rebecca Jetton, Department of Community Affairs; and
6. The sworn testimony of Donald L. Craig, AICP, the applicant's agent; and
7. The sworn testimony of Bill Spottswood, representing the applicant; and

WHEREAS, the Development Order #02-1989 recognized that 51 mobile homes were legally existing on this site; and

WHEREAS, the said development order remained valid on the effective date of ROGO and the units were physically present for the 1990 census and accounted for in the hurricane evaluation model which forms the basis of ROGO; and

WHEREAS, the Planning Commission has made the following Findings of Fact and Conclusions of Law based on the evidence presented:

1. Based on the application, the proposed project amends the Planning Commission Resolution #P12-00 exclusively with regards to the northern part of the development identified with RE# 0012140-000000. The Resolution #P12-00 and amendment to it under Resolution #P34-01 and conditions of the approvals under those resolutions still apply to the southern portion of the development known as Spotswood Shops.
2. Based on the Development Order #02-1989 and the Memorandum dated November 13, 2002 from the Assistant County Attorney, the property is vested to have the rights to be redeveloped with up to 51 ROGO exempt residential units subject to compliance with all other applicable land development regulation. Therefore, we find that the ROGO exempt residential units are not transferable off-site per Section 9.5-120.4(b) and can only be built back on-site in accordance with Section 9.5-120.4(a).
3. Based on the application, the applicant is proposing to build 14,129 Sq. Ft. of vested medium intensity commercial use and seven (7) market rates residential units. Although we find the project to be in compliance with sections 9.5-262 and 9.5-269, the Site Plan shall be revised to show correct Site Analysis related to residential density and site utility information.
4. Based on the County's Traffic Consultant letter dated December 16, 2002, although the submitted traffic report has adequately addressed all related issues, it is not clear if the flow of traffic inside the property is adequate. Therefore, we conclude that a site plan showing the vehicle maneuverability inside the property shall be submitted.
5. Based on the County's Traffic Consultant letter dated December 16, 2002, it appears that the site plan for the Burger King Restaurant, located adjacent to the project site was intended to provide common use access between the two properties. Therefore, we find that the applicant shall explore the feasibility of having internal connection between the two properties to reduce the vehicular traffic on adjacent streets, especially US 1 Highway.
6. Based on the application, a storm water management plan has been provided with the submitted plans. Therefore, we find that the plan shall be reviewed and approved by the Monroe County Engineer to determine compliance with Section 9.5-293.
7. Based on the application, connection to the Key West Resort Utilities is the preferred option for wastewater treatment. However, we find that if the applicant decides to use on site sewage treatment plant, the existing Environmental Health Permit must be revised and approval of the Department of Health and/or the Department of Environmental Protection shall be submitted.
8. Based on the application, coordination with the Fire Marshal has started. Therefore, we conclude that conceptual approval of the project by the Fire Marshal's Office is needed.
9. Based on the application, a letter of coordination has been submitted to the Florida Keys Aqueduct Authority (FKAA). Therefore, we conclude that the plans shall be reviewed and approved by FKAA.

10. Based on the application, coordination with the Keys Energy Services (KEYS) has started. According to the letter of coordination dated September 12, 2002, KEYS will need a full set of plans and a project review form to determine load requirement. Therefore, we conclude that approval of the plans by KEYS is required.
11. To preserve the community character of the area, we find that metal roof shall be used for the proposed Eckerd Drug Store.

BE IT RESOLVED BY THE PLANNING COMMISSION OF MONROE COUNTY, FLORIDA, that the preceding Findings of Fact and Conclusions of Law support its decision to **APPROVE** the request of the Spottswood family trust d.b.a. Cayo Investment for an amendment to a major conditional use to build a mixed use commercial and residential development including a 14,129 square-foot Eckerd Drug Store and seven (7) units of market rate houses on a parcel of land formerly known as Pearl Mobile Home Park that is legally described as a portion of East Laurel Avenue (abandoned), the east portion of 4th Avenue (abandoned), lots 5 through 16 and part of lots 4 and 17 of square 29, and all of blocks 37 and 40, Maloney Subdivision, Stock Island, Monroe County, Florida, near Mile Marker 5 subject to the following conditions:

1. The Site Plan shall be revised to show correct Site Analysis associated with the residential density and site utility information of the project prior to the issuance of a building permit.
2. Prior to issuance of a building permit, a site plan showing the vehicle maneuverability within the property shall be submitted and approved by the County's Traffic Consultant.
3. The applicant shall investigate the feasibility of having an internal connection between the Burger King Restaurant and the project to reduce the vehicular traffic on adjacent streets, especially US 1 Highway. The result of this investigation shall be submitted to and approved by the County's Traffic Consultant prior to issuance of a building permit.
4. Prior to issuance of a building permit, approval of the surface water management plan by the County Engineer shall be provided.
5. Prior to issuance of a building permit, the Florida Department of Health and/or the Department of Environmental Protection shall approve the Wastewater Treatment Plan.
6. Prior to issuance of a building permit, a Fire Protection Plan shall be approved by the Monroe County Fire Marshal.
7. Prior to issuance of a building permit, a complete set of plans must be reviewed and approved by FKAA.
8. The Keys Energy Services (KEYS) shall determine load requirement based on the review of a complete set of plans and approval shall be received prior to the issuance of a building permit.

9. To preserve the community character of the area, metal roof shall be used for the proposed Eckerd Drug Store.

PASSED AND ADOPTED by the Planning Commission of Monroe County, Florida, at a regular meeting held on the 8th day of January 2003.

Chair David C. Ritz
Vice Chair Denise Werling
Commissioner Julio Margalli
Commissioner Jerry Coleman
Commissioner Alicia Putney

YES
YES
YES
YES
YES

PLANNING COMMISSION OF MONROE COUNTY, FLORIDA

BY David C. Ritz
David C. Ritz, Chair

Signed this 2th day of Feb., 2003

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY
BY [Signature]
Attorney's Office

MONROE COUNTY
OFFICIAL RECORDS

MEMORANDUM



To: The Planning Commission

From: Aref Joulani, Senior Planner
Rebecca Redondo, Biologist

Date: 12/20/2002

Re: An Amendment to a Major Conditional Use application to build a mixed use commercial and residential development including a 14,129 square-foot Eckerd's Drug Store and seven (7) units of market rate townhouses on a parcel of land formerly known as Pearl Mobile Home Park on Stock Island located on both US Highway 1 and MacDonald Avenue between the Burger King and Coral Isle Trailer Park at approximately Mile Marker 5. The Real Estate number is 00124140-000000.

MEETING DATE: January 08, 2003

I. REQUEST:

1. *Applicant:* The Spottswood Family Trust, d.b.a. Cayo Investments

Agent: Donald L. Craig, AICP

Owner: The Spottswood Family Trust, d.b.a. Cayo Investments

2. *Proposed use & size:*

This proposal is to amend the approved conditional use that pertains to the northern portion of the development only. The size of the parcel is approximately 103,656 Sq. Ft. or 2.38 acres.

3. *Location:*

The parcel is located on Stock Island. It is further described as a portion of East Laurel Avenue (abandoned), the east portion of 4th Avenue (abandoned), lots 5 through 16 and part of lots 4 and 17 of square 29, and all of blocks 37 and 40, Maloney Subdivision, Stock Island, Monroe County, Florida. The Real Estate number is 00124140-000000.

4. *Plans reviewed:*

- Site Plan by Thomas E. Pope, P.A. Architect, dated 09/16/2002 and revised on 10/17/02; and
- Conceptual Landscape Plan by the Craig Company, dated 09/16/2002; and
- Drainage Plan by PE & D, Inc., dated 09/10/2002; and
- Floor plans by Thomas E. Pope, P.A. Architect, dated 08/28/2002; and
- Elevations plans by Thomas E. Pope, P.A. Architect, dated 08/28/2002; and

- Plan and Interior design of Eckerd's Drug Store by Kent D. Hamilton, A.I.A., Architect, dated 07/26/2002; and
- Elevation drawings of Eckerd's Drug Store by Kent D. Hamilton, A.I.A., Architect, dated 07/26/2002; and
- Boundary Survey by Frederick H. Hildebrandt, Engineer, Planner, Surveyor, and dated 08/02/2002.

II. BACKGROUND INFORMATION:

1. Land use district:

Mixed Use (MU)

2. Future land use designation:

Mixed Use Commercial (MC)

3. Size of site:

Approximately 103,656 Sq. Ft. or 2.31 acres

4. Existing vegetation:

The property is considered scarified with a sparse mix of native and exotic vegetation. Native Ficus Aurea (very large) and Mahogany can be found on the property.

5. Community character of immediate vicinity:

The community character of immediate vicinity is a mixture of residential (mostly mobile homes), commercial, and light industrial uses. The Stock Island Burger King Restaurant is on the west and the Coral Isle Trailer Park is on the east. The Planning Commission Resolution #P71-02, approved that Coral Hammock, LLC redevelop this mobile home park into a gated residential community consisting of fifty-five (55) market rate dwelling units, two (2) employee housing units, a clubhouse and pool, and the transfer of five (5) dwelling units off site for affordable housing and the transfer of 1,892 Sq. Ft. of non-residential floor area off-site. Other uses in the area include a convenience store, a daycare center, and the Pepsi Cola bottling plant.

6. Miscellaneous:

A review of the history of the site revealed that the property was actively used as a trailer park known as Pearl Mobile Home Park prior to 1990. In June 1988, after a long-drawn-out lawsuit which culminated in a settlement agreement, by and between U.S. 1 Homeowners Association, Inc., Plaintiffs, and Cayo Investments Inc. Defendants, the court mandated the renovation of the park as part of the agreement.

In 1989, Development Order #02-1989 was issued by the Monroe County Development Review Committee approving the redevelopment of the site with 51 new mobile homes for residential purposes. The proposed redevelopment of the site did not materialize per development order and the old mobile homes were gradually removed over years, some with, and others without a demolition permit. The only demolition

permit in file was issued in July 2001 (Number 011-2590) for removal of four (4) trailers. The aerial photos of the area taken between 1989 and 2001 show that most of the trailers were removed from the park prior to 1994.

In 1996 the original Major Conditional Use application for the change of use was approved by the Planning Commission Resolution #P38A-96. The project consisted of developing the two non-contiguous lots on MacDonald Avenue owned by the applicant as an aggregated development in the following manner: the northern portion (subject of present application) was approved to be used for a 14,400 square foot open-air market and a 433 square foot public restroom facility, and an existing 1,721 square foot building was to remain as a commercial office; the southern portion (not part of this application) containing an existing 1,868 square foot building and used as a radio station was to remain and two new buildings totaling 15,474 square feet were to be constructed for light industrial use.

The project was amended and approved by the Planning Commission Resolution #P12-00 in April 2000 for changing the 1,868 square foot radio station into a walk-up bank and changing the intensity of the 14,400 square foot open-air retail sales market on the north (site of the present application) from low to medium-intensity commercial retail to high-intensity commercial retail (and continuing the development of a 433 square foot public restroom building); and changing the use of the two buildings (totaling 15,474 Sq. Ft.) on the south from light industrial to low- to medium-intensity commercial retail use.

The Planning Commission Resolution #P12-00 was amended again in 2001. Under the Planning Commission Resolution #P34-01 the proposed development of the northern part (site of the current proposal) remained unchanged. However, the southern part (known as Spotswood Shops) was revised so the existing building that was approved to be used as a walk-up bank and radio equipment room could be demolished and instead replaced with the same floor area drive-through bank. In addition, the applicant proposed to change the direction of one-way drive at rear of structures under construction and reconfigure the parking by removing several spaces from front of the buildings and adding them to the rear of those buildings.

III. REVIEW OF THE APPLICATION:

Section 9.5-65 lists the standards applicable to all conditional uses. The standards and the Planning staff's analysis are given below:

A) The conditional use is consistent with the purposes, goals, objectives and standards of the plan and this chapter.

1. Compliance with Chapter 9.5, Monroe County Land Development Regulations:

a. The project has been reviewed and found to be **in compliance** with the following regulations:

1. Purpose of the Mixed-Use (MU) land use district, Section 9.5-201 and 219
 2. Permitted uses, Section 9.5-248
 3. Height, Section 9.5-283
 4. Flood plain management criteria Section 9.5-317
 5. Environmental performance standards Section 9.5-335 through 9.5-345
 6. Outdoor lighting Section 9.5-391
 7. Access standards Section 9.5-421 and Section 9.5-422
 8. Clear sight triangle, Section 9.5-427
 10. Environmental designation survey, Section 9.5-69
 11. Handicap accessibility
- b. The following sections of the Land Development Regulations have been found in compliance but require Staff discussion for clarity:
1. Section 9.5-262 and Section 9.5-269 Density/Intensity of Use

Proposed Commercial Space (Eckerd's Drug Store): The maximum Floor Area Ratio for medium intensity commercial retail in Mixed-Use land use district is 0.25. The site area is approximately 103,656 Sq. Ft. (2.38 acres). The applicant proposes to improve approximately 1.31 acres (56,516 Sq. Ft.) of the land area to build a 14,129 Sq. Ft. of medium intensity drug store.

Proposed Residential Units: As part of this application, the applicant has stated that they have a vested right to develop 51 residential units under the ROGO exemption provisions of the Code and based on Development Order #02-1989 which recognized that 51 mobile homes out of the then-existing 61 units can be replaced. That development order remained valid on the effective date of ROGO and the units were physically present for the 1990 census and accounted for in the hurricane evaluation model which forms the basis of ROGO.

Section 9.5-120.4 outlines the type of developments that are not affected by ROGO. Section 9.5-120.4(a) states that ROGO shall not apply to on-site redevelopment and provides as follows:

“Redevelopment, rehabilitation or replacement of any lawfully established dwelling unit or space which does not increase the number of residential units above that which existed on the site prior to redevelopment, rehabilitation or replacement.”

In response to the staff's request for legal direction in this matter regarding the 51 units, in a Memorandum dated November 13, 2002 (see attachment) to the Director of Planning, the Assistant County Attorney wrote:

“... In this case, no redevelopment has occurred on the site to date or since the issuance of Order #02-1989 or since the removal of the 61

mobile homes. The site has remained vacant since the removal of the 61 mobile homes and cesspits, as approved by Order 02-1989. Therefore, the proposed development does not increase the number of residential units that existed on site prior to redevelopment (because this is the first "redevelopment") and complies with the requirements of §9.5-120.4 for ROGO exemption."

Staff recognizes that the site can be redeveloped with 51 new market-rate residential units that are ROGO exempt. However, these units can not be transferred off-site on the basis that the TRE (Transfer of ROGO Exemptions) Ordinance (Ordinance 034-2000) that amended Section 9.5-120.4(b) of the Code was not in effect at the time of issuance of the said development order (the Ordinance was adopted in 2000) and removal of the units did not follow the mechanism laid out by that ordinance. Therefore only Section 9.5-120.4(a) is applicable in this case and exemption from ROGO can be granted only if the units are built on-site.

The maximum residential development potential of the site if combined with 14,129 Sq. Ft. of commercial floor area would be based on the following formula:

*Total acreage = upland
2.38 acres = 103,656 Sq. Ft.
103,656 X 0.25 = 25,914, maximum allowable commercial square-footage based on FAR of 0.25 in (MU).*

*Required Open Space is 20% of the parcel's gross area
1 - 0.20 = 0.80, therefore 80% of the parcel is available for development
0.80 X 2.38 = 1.90 acres net buildable acres
1.90 X 12 = 22.80 or 22 units at maximum net residential density of 12 units per buildable acre*

*14,129/25,914 = 0.545 = 54.5%, this is the percentage of land that is utilized by commercial use.
100% - 54.5% = 45.5% of the site is available for residential use
22 X 45.5% = 10, this site can support 14,129 Sq. Ft. of medium intensity commercial and 10 residential units
7/10 = 70% of the residential potential is utilized based on a combination of residential use and 14,129 Sq. Ft. of commercial use.*

Therefore, under the current proposal that includes 14,129 Sq. Ft. of medium intensity commercial use, the maximum potential for residential development is 10 units. The project is **in compliance** with Section 9.5-269.

2. Sections 9.5-262 & 343, Open Space and Environmental Open Space

Section 9.5-262 establishes the open space requirement for Mixed Use at 0.20 or 20,731 Sq. Ft. The submitted site plan shows open space in excess of the minimum requirement provided in Section 9.5-262.

3. Minimum yards and shoreline setback Section 9.5-281 & 9.5-286

The following minimum yard set backs are required for Mixed-Use land use districts:

- For commercial uses: a front-yard setback of 15 feet, a rear-yard setback of 10 feet, and side-yard setbacks such that one side yard must be 10 feet and the combined total of both side yards is 15 feet.
- The set back for the attached residential uses: a front-yard setback of 25 feet, a rear-yard setback of 20 feet and side-yard setbacks N/A.

The submitted Plans meet or exceed these standards.

Section 9.5-286 provides for a 20-foot setback from altered shoreline and 50 feet from unaltered shorelines. There is no shoreline adjacent to this parcel.

5. Section 9.5-346. Transplantation Plan

The proposed development plan has been designed to preserve the large native trees existing on the property. In addition, the proposed additional landscaping is comprised of native species, further enhancing the vegetative community over existing conditions.

6. Parking and loading standards Section 9.5-351 & 9.5-354

Parking requirement: For commercial retail, a minimum of three (3) spaces is required per 1,000 square feet of floor area and for multifamily residential, 1.5 spaces per unit is required. Commercial uses require one (1) 10' x 50' loading space.

The proposed 14,125 Sq. Ft. of commercial space requires 42 parking spaces and one (1) 10' x 50' loading zone. The site plan provides 55 parking spaces including three (3) handicap parking and one (1) 10' x 50' loading space. The proposed seven (7) attached residential units require 11 parking spaces including one (1) handicap parking space. The submitted Site Plan shows a total of 70 parking spaces, well in excess of the requirements of the Code.

7. Section 9.5-361 Parking Lot Landscaping and Section 9.5-366 Street Trees

Class C parking lot landscaping requires 430 square feet of planting area with 2 canopy and 3 shrubs per 24 parking spaces. The proposal is for 70 parking

spaces. Therefore, this site would require 1,254 square feet of planting area and over 2000 square feet have been provided. The site would be required to have 6 canopy trees and 15 shrubs. Three street trees would be required along MacDonald Ave. These criteria have been exceeded per submitted landscape plans.

8. Scenic corridors and buffer-yards Section 9.5-375 through 9.5-381

The required Class B Major Street Bufferyard along US 1 and Class C Bufferyard adjacent to the existing residential development, have been provided in accordance with Monroe County Code.

9. Energy and conservation standards Section 9.5-326

The application has addressed energy conservation in the following ways:

- supply of bicycle racks; and
- installation of native plants that reduce the need for water and maintenance.

10. Traffic study, Section 9.5-426

As required by the Monroe County Code, a Level III Traffic Study was submitted with the application and reviewed by the County's Traffic Consultant. The traffic study indicated that the trips generated by the Eckered are less than 100 trips per 1000 Sq. Ft. Therefore, the use is a medium intensity commercial use.

In his review of the traffic Study, the County's Traffic Engineer stated that the traffic report adequately addresses all the issues. However, he has requested that a site plan showing vehicle maneuverability to be submitted. Also in his review of the traffic study dated December 16, 2002, the County Traffic Consultant has indicated that the site plan for the Burger King Restaurant, located immediately adjacent to the project site was intended to provide common use access between the two project. He has recommended that the applicant explore the feasibility of having internal connection between the two properties to reduce the vehicular traffic on adjacent streets, especially US.1.

- c. Staff has reviewed the project and found **compliance to be determined** with the following Sections of the Code.

1. Section 9.5-293 Surface Water Management

All surface water will be managed on-site. A storm water management plan has been provided with the submitted plans. The plan must be reviewed and approved by the Monroe County Engineer.

2. Section 9.5-294, Wastewater Treatment Criteria

According to the Application, the applicant is in the process of negotiating with Key West Resort Utilities to explore the option of connecting to the utility. If that option is not viable, then the applicant intends to revise the existing Environmental Health Permit and modify the sewage treatment plant that was built as part of the development of Spotswood Shops and connect to that plant. Approval of Key West Resort Utilities, the Department of Health and/or the Department of Environmental Protection is needed to determine compliance with Section 9.5-294.

3. Community impact statement, Section 9.5-69

Most of the issues have been addressed adequately in the submittal except the following items:

- From the letter dated August 21, 2002, to the Monroe County Fire Marshal, it appears that coordination has started with that department. However, conceptual approval of the project by the Fire Marshal's Office is needed before compliance with Section 9.5-69 can be determined.
- A letter of coordination has been submitted to the Florida Keys Aqueduct Authority (FKAA). However, approval determination cannot be made until a complete set of plans has been reviewed and approved by FKAA. Therefore, compliance with Section 9.5-69 can not yet be determined.
- A letter of coordination with the Keys Energy Services (KEYS) has been submitted. According to the letter of coordination dated September 12, 2002, KEYS will need a full set of plans and a project review form to determine load requirement. Therefore, compliance with Section 9.5-69 can not yet be determined.

2. *Consistency with the goals, objectives and policies of the Monroe County Year 2010 Comprehensive Plan:*

The proposed project is generally consistent with the goals, objectives and policies of the Monroe County Year 2010 Comprehensive Plan.

IV FINDINGS OF FACT AND CONCLUSIONS OF LAW:

1. Based on the application, the proposed project amends the Planning Commission Resolution #P12-00 exclusively with regards to the northern part of the development identified with RE# 0012140-000000. The Resolution #P12-00 and amendment to it under Resolution #P34-01 and conditions of the approvals under those resolutions still apply to the southern part of the development known as Spotswood Shops.

2. Based on the Development Order #02-1989 and the Memorandum dated November 13, 2002 from the Assistant County Attorney, the property is vested to have the rights to be redeveloped with up to 51 ROGO exempt residential units subject to compliance with all other applicable land development regulation. Staff finds that the ROGO exempt residential units are not transferable off-site per Section 9.5-120.4(b) and can only be built back on-site in accordance with Section 9.5-120.4(a).
3. Based on the application, the applicant is proposing to build 14,129 Sq. Ft. of vested medium intensity commercial use and seven (7) market rates residential units. Although Staff finds the project to be in compliance with sections 9.5-262 and 9.5-269, the Site Plan shall be revised to show correct Site Analysis related to residential density and site utility information.
4. Based on the County's Traffic Consultant letter dated December 16, 2002, although the submitted traffic report has adequately addressed all related issues, it is not clear if the flow of traffic inside the property is adequate. Therefore, Staff concludes that a site plan showing the vehicle maneuverability inside the property shall be submitted.
5. Based on the County's Traffic Consultant letter dated December 16, 2002, it appears that the site plan for the Burger King Restaurant, located adjacent to the project site was intended to provide common use access between the two properties. Therefore, Staff finds that the applicant should explore the feasibility of having internal connection between the two properties to reduce the vehicular traffic on adjacent streets, especially US 1 Highway.
6. Based on the application, a storm water management plan has been provided with the submitted plans. Staff finds that the plan must be reviewed and approved by the Monroe County Engineer to determine compliance with Section 9.5-293.
7. Based on the application, connection to the Key West Resort Utilities is the preferred option for wastewater treatment. However, if the applicant decides to use on site sewage treatment plant, the existing Environmental Health Permit must be revise and approval of the Department of Health and/or the Department of Environmental Protection shall be submitted.
8. Based on the application, coordination with the Fire Marshal has started. Therefore, Staff concludes that conceptual approval of the project by the Fire Marshal's Office is needed.
9. Based on the application, a letter of coordination has been submitted to the Florida Keys Aqueduct Authority (FKAA). Therefore, Staff concludes that the plans shall be reviewed and approved by FKAA.
10. Based on the application, coordination with the Keys Energy Services (KEYS) has started. According to the letter of coordination dated September 12, 2002, KEYS will

need a full set of plans and a project review form to determine load requirement. Therefore, Staff concludes that approval of the plans by KEYS is required.

V. RECOMMENDED ACTION:

Based on the Findings of Fact and Conclusions of Law above, the Planning Staff recommends **APPROVAL** with the following conditions:

1. The Site Plan shall be revised to show correct Site Analysis associated with the residential density and site utility information of the project prior to the issuance of a signed Resolution.
2. Prior to issuance of a resolution, a site plan showing the vehicle maneuverability within the property shall be submitted and approved by the County's Traffic Consultant.
3. The applicant shall investigate the feasibility of having an internal connection between the Burger King Restaurant and the project to reduce the vehicular traffic on adjacent streets, especially US 1 Highway. The result of this investigation shall be submitted to and approved by the County 's Traffic Consultant prior to issuance of a resolution.
4. Prior to issuance of a building permit, approval of the surface water management plan by the County Engineer shall be provided.
5. Prior to issuance of a building permit, the Florida Department of Health and/or the Department of Environmental Protection shall approve the Wastewater Treatment Plan.
6. Prior to issuance of a building permit, a Fire Protection Plan shall be approved by the Monroe County Fire Marshal.
7. Prior to issuance of a building permit, a complete set of plans must be reviewed and approved by FKAA.
8. The Keys Energy Services (KEYS) shall determine load requirement based on the review of a complete set of plans and approval shall be received prior to the issuance of a building permit.

RESOLUTION NO. 304A - 2002

A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF MONROE COUNTY, RENOUNCING AND DISCLAIMING ANY RIGHT OF THE COUNTY AND THE PUBLIC IN AND TO A PORTION OF FOURTH STREET BETWEEN MACDONALD AVENUE AND US HIGHWAY 1, STOCK ISLAND, MONROE COUNTY, FLORIDA

WHEREAS, the Board of County Commissioners of Monroe County, Florida, desires to renounce and disclaim any right of the County and the public in and to the hereinafter described streets, alley-ways, roads or highways, and

WHEREAS, due notice has been published and a public hearing has been held in accordance with Chapter 336, Florida Statutes, and

WHEREAS, at said public hearing the Board considered the argument of all parties present wishing to speak on the matter, and all premises considered concerning the renouncing and disclaiming of any right of the County and the public in and to the hereinafter described streets, alley-ways, roads or highways as delineated on the hereinafter described map or plat, and

WHEREAS, the Board has determined that vacation of the said road is for the general public welfare, and conforms to the requirement of Fla. Stat. Secs. 336.09 and 336.10; now, therefore,

BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MONROE COUNTY, FLORIDA, that the Board hereby renounces and disclaims any right of the County and the public in and to the following described streets, alley-ways, roads or highways as delineated on the hereinafter described map or plat, to-wit:

THAT PORTION OF FOURTH STREET, STOCK ISLAND, MONROE COUNTY, FLORIDA, LYING BETWEEN THE NORTH RIGHT-OF-WAY LINE OF MACDONALD AVENUE AND THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1 MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF LOT 11, BLOCK 29, PLAT BOOK 1, PAGE 55, AS FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE N 00°19'00" E ALONG THE EASTERLY PROPERTY LINES OF LOTS 11 AND 10, BLOCK 29 AND THE EASTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 294-1989 AND THE EASTERLY PROPERTY LINE OF BLOCK 26 TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1; THENCE N 81°15'35" E A DISTANCE OF 50.64 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1 TO A POINT; THENCE S 00°19'00" W A DISTANCE OF 341.30 FEET, ALONG THE WESTERLY PROPERTY LINE OF LOT 1, BLOCK 25, THE WESTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 62-1965 AND THE WESTERLY PROPERTY LINES OF LOTS 1 AND 20, BLOCK 30 TO A POINT; THENCE N 89°41'00" W A DISTANCE OF 50 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF MACDONALD AVENUE TO THE POINT OF BEGINNING.

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BEGIN AT THE SOUTHEAST CORNER OF LOT 11, BLOCK 29, PLAT BOOK 1, PAGE 55, AS FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE N 00°19'00" E ALONG THE EASTERLY PROPERTY LINES OF LOTS 11 AND 10, BLOCK 29 AND THE EASTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 294-1989 AND THE EASTERLY PROPERTY LINE OF BLOCK 26 TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1; THENCE N 81°15'35" E A DISTANCE OF 25.32 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1 TO A POINT; THENCE S 00°19'00" W A DISTANCE OF 337.31 FEET, ALONG THE CENTERLINE OF FOURTH STREET TO A POINT; THENCE N

89°41'00" W A DISTANCE OF 25 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF MACDONALD AVENUE TO THE POINT OF BEGINNING.

PARCEL TWO

BEGIN AT THE NORTHWEST CORNER OF LOT 1, BLOCK 25, PLAT BOOK 1, PAGE 55, AS FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE S 00°19'00" W A DISTANCE OF 61.30 FEET ALONG THE WESTERLY LINE OF LOT 1 AND THE WESTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 62-1965 TO THE CENTERLINE OF SAID EAST LAUREL AVENUE; THENCE N 89°41'00" W A DISTANCE OF 25.0 FEET TO A POINT ON THE CENTERLINE OF FOURTH STREET; THENCE N 00°19'00" E ALONG THE CENTERLINE OF FOURTH STREET A DISTANCE OF 57.31 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1; THENCE N 81°15'35" E A DISTANCE OF 25.32 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY OF U.S. HIGHWAY NO. 1 TO THE POINT OF BEGINNING.

PARCEL THREE

BEGIN AT THE SOUTHWEST CORNER OF LOT 20, BLOCK 30, PLAT BOOK 1, PAGE 55, AS FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE N 89°41'00" W A DISTANCE OF 25.0 FEET TO A POINT ON THE CENTERLINE OF FOURTH STREET; THENCE N 00°19'00" E A DISTANCE OF 280.0 FEET ALONG THE CENTERLINE OF FOURTH STREET TO A POINT; THENCE S 89°41'00" E A DISTANCE OF 25.0 FEET TO A POINT LYING ON THE WESTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 62-1965; THENCE S 00°19'00" W A DISTANCE OF 280.0 FEET ALONG THE WESTERLY LINE OF SAID ABANDONED PARCEL AND THE WESTERLY LINE OF LOTS 1 AND 20, BLOCK 30 TO THE POINT OF BEGINNING.

PASSED AND ADOPTED by the Board of County Commissioners of Monroe County, Florida, at a regular meeting of the Board on the 17th day of July 2002.

Mayor Charles McCoy
Mayor Pro Tem Dixie Spehar
Commissioner Murray Nelson
Commissioner George Neugent
Commissioner Bert Jimenez

yes
yes
not present
yes
yes



(SEAL)
Attest: DANNY L. KOLHAGE, Clerk

By Jamela Hancock
Deputy Clerk

BOARD OF COUNTY COMMISSIONERS
OF MONROE COUNTY, FLORIDA

By [Signature]
Mayor/Chairperson

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY
BY [Signature]
SUZANNE A. HUTTON
DATE 6/26/02

FILED FOR RECORD
2002 JUL 31 AM 10:19
DANNY L. KOLHAGE
CLK. CIR. CT.
MONROE COUNTY, FLA.



Joy Thomas
Advertising Coordinator

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Key West FL 33041
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Extension.....x219
Fax.....305-294-0768
jthomas@keysnews.com

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Marathon, FL (MM 52.5)
33050-3342
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navigator@floridakeys.com

Upper Keys Office
81549 Old Hwy
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33036-0469
Tel 305-664-2266
Fax 305-664-8411
freepress@floridakeys.com

Ocean Reef Office
3A Barracuda Lane
Key Largo, FL 33037
Tel 305-367-4911
Fax 305-367-2191

**STATE OF FLORIDA
COUNTY OF MONROE**

Before the undersigned authority personally appeared Randy G. Erickson, who on oath says that he is Vice-President of Advertising Operations of the Key West Citizen, a daily newspaper published in Key West, in Monroe County, Florida; that the attached copy of advertisement, being a legal notice in the matter of Public Hearing

In the _____ Court, was published in said newspaper in the issues of June 28, 2002

Affiant further says that the Key West Citizen is a newspaper published in Key West, in said Monroe County, Florida and that the said newspaper has heretofore been continuously published in said Monroe County, Florida every and has been entered as second-class mail matter at the post office in Key West, in said Monroe County, Florida, for a period of 1 year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

[Handwritten Signature]

Signature of Affiant

Sworn and subscribed before me this 9 day of July 2002

[Handwritten Signature]

Joy Thomas, Notary Public

FILED FOR RECORD
2002 OCT -3 AM 11:18
DANIEL L. KOLHAGE
CLERK OF CIR. CT.
MONROE COUNTY, FLA

Expires: July 23, 2004

Notary Seal

Personally Known x Produced Identification _____
Type of Identification Produced _____

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Board of County Commissioners of Monroe County, Florida, will hold a public hearing on July 17, 2002, at 3:00 PM, at the Truman School Harvey Government Center, 1200 Truman Avenue, Key West, Florida, for the purpose of determining whether or not the following streets, alley-ways, roads or highways shall be abandoned:

THAT PORTION OF FOURTH STREET, STOCK ISLAND, MONROE COUNTY, FLORIDA, LYING BETWEEN THE NORTH RIGHT-OF-WAY LINE OF MACDONALD AVENUE AND THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1 MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF LOT 11, BLOCK 29, PLAT BOOK 1, PAGE 55, AS FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE N 00°19'00" E ALONG THE EASTERLY PROPERTY LINES OF LOTS 11 AND 10, BLOCK 29 AND THE EASTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 294-1989 AND THE EASTERLY PROPERTY LINE OF BLOCK 26 TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1; THENCE N 81°15'35" E A DISTANCE OF 50.84 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1 TO A POINT; THENCE S 00°19'00" W A DISTANCE OF 341.30 FEET, ALONG THE WESTERLY PROPERTY LINE OF LOT 1, BLOCK 25, THE WESTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 62-1965 AND THE WESTERLY PROPERTY LINES OF LOTS 1 AND 20, BLOCK 30 TO A POINT; THENCE N 89°41'00" W A DISTANCE OF 50 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF MACDONALD AVENUE TO THE POINT OF BEGINNING.

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89°41'00" W A DISTANCE OF 25 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF MACDONALD AVENUE TO THE POINT OF BEGINNING.

PARCEL TWO

BEGIN AT THE NORTHWEST CORNER OF LOT 1, BLOCK 25, PLAT BOOK 1, PAGE 55, AS FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE S 00°19'00" W A DISTANCE OF 61.30 FEET ALONG THE WESTERLY LINE OF LOT 1 AND THE WESTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 62-1965 TO THE CENTERLINE OF SAID EAST LAUREL AVENUE; THENCE N 89°41'00" W A DISTANCE OF 25.0 FEET TO A POINT ON THE CENTERLINE OF FOURTH STREET; THENCE N 00°19'00" E ALONG THE CENTERLINE OF FOURTH STREET A DISTANCE OF 57.31 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1; THENCE N 81°15'35" E A DISTANCE OF 25.32 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY OF U.S. HIGHWAY NO. 1 TO THE POINT OF BEGINNING.

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BEGIN AT THE SOUTHWEST CORNER OF LOT 20, BLOCK 30, PLAT BOOK 1, PAGE 55, AS FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE N 89°41'00" W A DISTANCE OF 25.0 FEET TO A POINT ON THE CENTERLINE OF FOURTH STREET; THENCE N 00°19'00" E A DISTANCE OF 280.0 FEET ALONG THE CENTERLINE OF FOURTH STREET TO A POINT; THENCE S 89°41'00" E A DISTANCE OF 25.0 FEET TO A POINT LYING ON THE WESTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 62-1965; THENCE S 00°19'00" W A DISTANCE OF 280.0 FEET ALONG THE WESTERLY LINE OF SAID ABANDONED PARCEL AND THE WESTERLY LINE OF LOTS 1 AND 20, BLOCK 30 TO THE POINT OF BEGINNING.

Pursuant to Section 286.0105, Florida Statutes, notice is given that if a person decided to appeal any decision made by the Board with respect to any matter considered at such hearings or meetings, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Dated at Key West, Florida, this 21st day of June, 2001.

DANNY L. KOLHAGE, Clerk of the Circuit Court and ex officio Clerk of the Board of County Commissioners of Monroe County, Florida

June 28, 2001



The Florida Keys Only Daily Newspaper, Est. 1876
Cooke Communications, LLC
Florida Keys

Joy Thomas
Advertising Coordinator

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Key West FL 33041
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Key West, FL
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Fax 305-294-1699
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Marathon, FL (MM 52.5)
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Fax 305-743-9977
navigator@floridakeys.com

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Ocean Reef Office
3A Barracuda Lane
Key Largo, FL 33037
Tel 305-367-4911
Fax 305-367-2191

813

STATE OF FLORIDA
COUNTY OF MONROE

Before the undersigned authority personally appeared Randy G. Erickson, who on oath says that he is Vice-President of Advertising Operations of the Key West Citizen, a daily newspaper published in Key West, in Monroe County, Florida; that the attached copy of advertisement, being a legal notice in the matter of Notice of Adoption of Resolution

In the _____ Court, was published in said newspaper in the issues of August 11, 2002

Affiant further says that the Key West Citizen is a newspaper published in Key West, in said Monroe County, Florida and that the said newspaper has heretofore been continuously published in said Monroe County, Florida every and has been entered as second-class mail matter at the post office in Key West, in said Monroe County, Florida, for a period of 1 year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Signature of Affiant

Sworn and subscribed before me this 14 day of August 2002

Joy Thomas, Notary Public

2002 OCT -3 AM 11:18
DAVID L. COLHAGE
CLK. CR. CT.
MONROE COUNTY, FLA.

FILED FOR RECORD

Expires: July 23, 2004

Notary Seal

Personally Known x Produced Identification _____
Type of Identification Produced _____

NOTICE OF ADOPTION OF RESOLUTION RENOUNCING AND DISCLAIMING ANY RIGHT OF THE COUNTY OF MONROE AND THE PUBLIC IN AND TO A CERTAIN STREET AS DELINEATED ON A CERTAIN RECORDED PLAT

NOTICE IS HEREBY GIVEN, pursuant to Chapter 336, Florida Statutes, that the Board of County Commissioners of Monroe County, Florida, at a meeting held on July 17, 2002, duly adopted Resolution No. 304A-2002, renouncing and disclaiming any right of the County of Monroe and the public in and to a portions of Fourth Street between MacDonald Avenue and US Highway 1, Stock Island, Monroe County, Florida, and further described as follows:

THAT PORTION OF FOURTH STREET, STOCK ISLAND, MONROE COUNTY, FLORIDA, LYING BETWEEN THE NORTH RIGHT-OF-WAY LINE OF MACDONALD AVENUE AND THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1 MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF LOT 11, BLOCK 29, PLAT BOOK 1, PAGE 55, AS FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE N 00°19'00" E ALONG THE EASTERLY PROPERTY LINES OF LOTS 11 AND 10, BLOCK 29 AND THE EASTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 294-1989 AND THE EASTERLY PROPERTY LINE OF BLOCK 28 TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1; THENCE N 81°15'35" E A DISTANCE OF 50.64 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1 TO A POINT; THENCE S 00°19'00" W A DISTANCE OF 341.30 FEET, ALONG THE WESTERLY PROPERTY LINE OF LOT 1, BLOCK 25, THE WESTERLY LINE OF THAT PARCEL ON EAST LAUREL AVENUE ABANDONED BY MONROE COUNTY RESOLUTION NO. 62-1965 AND THE WESTERLY PROPERTY LINES OF LOTS 1 AND 20, BLOCK 30 TO A POINT; THENCE N 89°41'00" W A DISTANCE OF 50 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF MACDONALD AVENUE TO THE POINT OF BEGINNING.

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DATED at Key West, Florida, this 29th day of July, 2002.

DANNY L. KOLHAGE, Clerk of the Circuit Court and ex officio Clerk of the Board of County Commissioners of Monroe County, Florida
August 11, 2002



RCD Jul 25 2001 12:13PM
DANNY L KOLHAGE, CLERK

RESOLUTION NO. P34 -01

A RESOLUTION BY THE MONROE COUNTY PLANNING COMMISSION **APPROVING** THE REQUEST OF THE SPOTTSWOOD FAMILY TRUST AND DBA CAYO INVESTMENT FOR AN AMMENDMENT TO A MAJOR CONDITIONAL USE TO DEMOLISH AN EXISTING BUILDING THAT WAS INITIALLY PERMITTED TO BE REPLACED WITH A WALK-UP BANK AND RADIO EQUIPMENT ROOM UNDER THE PC RESOLUTION # P12-00, AND INSTEAD CONSTRUCT A DRIVE-THROUGH BANK WITH THE SAME FLOOR AREA; CHANGE THE DIRECTION OF ONE-WAY DRIVE AT REAR OF STRUCTURES NOW UNDER CONSTRUCTION; RECONFIGURE PARKING BY REMOVING SEVERAL SPACES FROM THE FRONT OF THE BUILDINGS AND ADDING THEM TO THE REAR; INSTALL TWO NEW SATELLITE DISHES THAT ARE EACH 153" IN DIAMETER AND HAVE AN OVERALL HEIGHT OF 165".

WHEREAS, during a regular meeting held on May 9, 2001, the Monroe County Planning Commission conducted a public hearing on the request filed by the Spottswood Family Trust and dba Cayo Investment for an amendment to a major conditional use to demolish an existing building that was initially permitted to be replaced with a walk-up bank and radio equipment room under the PC Resolution # p12-00, and instead construct a drive-through bank with the same floor area; change the direction of one-way drive at rear of structures now under construction; reconfigure parking by removing several spaces from the front of the buildings and adding them to the rear of the of buildings; install two new satellite dishes that are each 153" in diameter and have an overall height of 165"; and

WHEREAS, the proposed development is located on the property legally described as Lots 5 through 16 and part of lot 4 and 17 of Block 29, and all of Block 37 and 40, Maloney Subdivision, Plat Book 1, Page 55, Monroe County, Florida near Mile Marker 5. The Real Estate numbers are 00124140-000000, 00125140-000000 through 00125340-000000 and 00125370-000000; and

WHEREAS, the above described property is located in the Mixed Use (MU) land use district; and

WHEREAS, the Planning Commission was presented with the following evidence, which by reference is hereby incorporated as part of the record of said hearing:

1. The Amendment to a Major Conditional Use Application, including Site Plan by Thomas E. Pope, P.A. Architect, dated 12/01/2000 and revised 4/25/01; and Drainage Plan by PE & D, Inc., dated December 2000; and Elevations Plan by Thomas E. Pope, P.A. Architect, dated 10/27/2000 and revised 22/12/2000; and
2. The Staff Report prepared by Aref Joulani, Senior Planner, Ralph Goulady, Senior Administrator Environmental Resources, and Dianna Stevenson, Biologist dated 04/30/2001; and
3. The sworn testimony of the Growth Management Staff; and
4. The comments of John Wolfe, Planning Commission Counsel; and

WHEREAS, the Planning Commission has made the following Findings of Fact and Conclusions of Law based on the evidence presented:

1. Based on the application, staff finds that the proposed development and any amendments to it must demonstrate compliance with all requirements of the Year 2010 Comprehensive Plan unless otherwise vested pursuant to Plan Policy 101.18.1.
2. Based upon the meeting, the County's Fire Marshal has reviewed the plans and inspected the site for compliance with fire safety and emergency vehicle access standards. An official letter stating the result of the Fire Marshal's evaluation should be submitted.
3. Based upon the site plan and the application submitted, staff finds that although the project is in compliance with MCC Section 9.5-352, the loading zones at the rear of the building are only 10' X 26' and are not suitable for larger vehicles. Therefore, the County's traffic engineer has concern that larger delivery trucks will not be able to access the site without hitting building structures.
4. Based on the site visit, Staff finds that district boundary buffer on Fifth Street and parking landscaping are not adequate and they must comply with requirements of MCC Section 9.5-372 and 9.5-361.
5. Based on the site visit, Staff finds that a substantial amount of fill has migrated into the wetland and the edge of the fill at the mangrove area is not being retained. Therefore, the fill between the fence and the wetlands need to be further stabilized.



NOW THEREFORE;

BE IT RESOLVED BY THE PLANNING COMMISSION OF MONROE COUNTY, FLORIDA, that the preceding Findings of Fact and Conclusions of Law support the decision to **APPROVE** the request of the Spottswood family trust and dba Cayo Investment for an amendment to a major conditional use to demolish an existing building and replace it with the same floor area drive-through bank; change the direction of one-way drive at rear of structures now under construction; reconfigure parking by removing several spaces from the front of the buildings and adding them to the rear of the buildings; and install two new satellite dishes that are each 153" in diameter and have an overall height of 165" on the property described as lots 5 through 16 and part of lot 4 and 17 of Block 29, and all of Block 37 and 40, Maloney Subdivision, Stock Island, Monroe County, Florida, near Mile Marker 5 subject to the following condition:

1. Prior to issuance of a building permit, a letter from the Fire Marshal should be submitted to indicate compliance of the project with all the fire safety and emergency vehicle access standards.
2. The building permit shall be conditioned to limit the access of vehicles to the site to those vehicles that are less than 26' long.
3. At the entrance to the drive way at the rear of the buildings, a sign that is clearly visible from grade shall be posted to indicate that access of the vehicles that are longer than 26 feet is prohibited to the site.
4. The MU/URM district boundary buffer on Fifth Street, and the street trees on 4th Street and MacDonald Avenue must comply with requirements of MCC sections 9.5-372 and 9.5-361, and the approved Site Plan.
5. The fill adjacent to the mangrove area shall be permanently retained and fill that has migrated into the mangroves shall be removed.

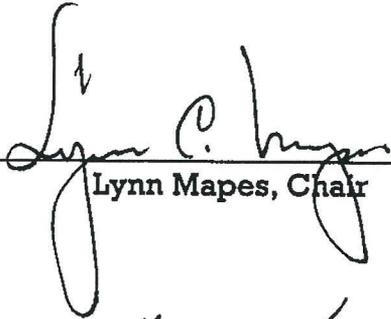
PASSED AND ADOPTED by the Planning Commission of Monroe County, Florida, at a regular meeting held on the 9th day of May 2001.

Chair Mapes	<u>Yes</u>
Vice-Chair Ritz	<u>Yes</u>
Commissioner Hill	<u>Yes</u>
Commissioner Werling	<u>Yes</u>
Commissioner Coleman	<u>Yes</u>

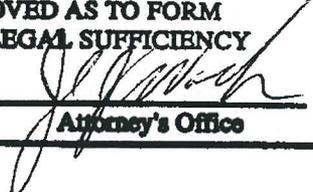


PLANNING COMMISSION OF
MONROE COUNTY, FLORIDA

FILE #1247789
BK#1713 PG#559

BY 
Lynn Mapes, Chair

Signed this 13th day of June, 2001

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY
BY 
Attorney's Office

MONROE COUNTY
OFFICIAL RECORDS

RESOLUTION NO. P12-00

A RESOLUTION BY THE MONROE COUNTY PLANNING COMMISSION APPROVING THE REQUEST OF THE SPOTTSWOOD FAMILY TRUST FOR AN AMENDMENT TO A MAJOR CONDITIONAL USE TO ALLOW THE CONVERSION OF A 1,868 SQUARE FOOT RADIO STATION INTO A WALK-UP BANK (RETAINING RADIO EQUIPMENT IN AN AREA LESS THAN 50 SQUARE FEET AND MAINTAINING THE EXISTING ANTENNA-SUPPORTING STRUCTURES LOCATED ON THE PROPERTY); CHANGING THE INTENSITY OF THE NORTHERN PORTION OF THE PROPERTY FROM LOW- TO MEDIUM-INTENSITY COMMERCIAL RETAIL TO HIGH-INTENSITY COMMERCIAL RETAIL (WITH A 433 SQUARE FOOT PUBLIC RESTROOM FACILITY); AND CHANGING THE USE OF TWO BUILDINGS TOTALING 15,474 SQUARE FEET ON THE SOUTHERN PORTION OF THE PROPERTY FROM LIGHT INDUSTRIAL TO LOW- TO MEDIUM-INTENSITY COMMERCIAL RETAIL

WHEREAS, During a regular meeting held on March 8, 2000, the Monroe County Planning Commission conducted a public hearing on the request filed by the Spottswood Family Trust for an Amendment to a Major Conditional Use (previously granted via Resolution # P38-96) to convert an existing radio station into a walk-up bank retaining radio equipment in an area less than 50 square feet and maintaining the existing antenna-supporting structures on the property; change the intensity of the north portion of the property from low- to medium-intensity commercial retail to high-intensity commercial retail; and change the use of two buildings totaling 15,474 square feet from light industrial to low- to medium-intensity; and

WHEREAS, The proposed development is located on property legally described as Lots 5 through 16 and 4 and 17, square 29, Maloney Subdivision, Plat Book 1, Page 55 and Block 37 and 40, Maloney Subdivision, Plat Book 1, Page 55, Monroe County, Florida near Mile Marker 5. The land use district is Mixed Use and the real estate numbers are 00124140-000000, 00125140-000000 through 00125340-000000 and 00125370; and

WHEREAS, the Planning Commission was presented with the following evidence, which is hereby incorporated as a part of the record of said hearing:

1. The Amendment to a Major Conditional Use Application, including a survey of the north portion of the property prepared by Phillips and Trice, dated November 15, 1990 (revised April 7, 1994); a survey of the south portion of the property prepared by Phillips and Trice, dated October 29, 1995; site plan prepared by Gonzalez Architects, dated March 17, 1995 (revised March 20, 1996); drainage plan prepared by Gonzalez Architects, dated May 17, 1995; and
2. The staff report prepared by J.G. Buckley, Development Review Planner and Ralph Gouddy, Environmental Senior Planner, dated February 25, 2000; and
3. Monroe County Board of County Commissioners' Resolution No. 070-1997; and
4. Development Review Committee Resolution No. D03-96; and



5. The staff report for the Major Conditional Use Application prepared by David Quigley, Senior Planner and William Miller, Environmental Planner, dated April 11, 1996; and
6. The comments of Karen Cabanas, Planning Commission Counsel; and
7. The sworn testimony of the Growth Management Staff; and

WHEREAS, the Planning Commission has made the following Findings of Fact and Conclusions of Law based on the evidence presented:

1. Based on the application, we find that the proposed development and any amendments to it must demonstrate compliance with all requirements of the Year 2010 Comprehensive Plan unless otherwise vested pursuant to Plan Policy 101.18.1.
2. Based on the site plan and the application submitted, we find that adequate parking is not provided for the southern portion of the project. The change from light industrial to low-to medium-intensity commercial retail will require six additional parking spaces for a total of 51 rather than the 45 shown on the site plan. Therefore, we find that the project is not in compliance with Monroe County Code Section 9.5-351.
3. Based on the application and site plan submitted, we find that the locations of handicapped parking signs are not shown. Therefore, we conclude that the project is not in compliance with MCC Section 9.5-351(f)(4).
4. Based on the site plan submitted, we find that the additional parking, unless pervious, will necessitate a revision to the surface water management plan. This revision shall also indicate a swale between the access road proposed for the southern part of the project and the adjacent red mangrove area. A swale will need to restrict sedimentary run-off from the road into the mangrove area. Therefore, we conclude that a revised surface water management plan must be approved by the County Engineer.
5. Based on the application and the traffic study submitted, we find that the County's consulting traffic engineer has reviewed the study and given staff a preliminary recommendation of approval; stating that after minor technical revisions are made, the traffic analysis will be approved.
6. Based on the application and the site plan submitted, we find that one (tower #4 listed in the Monroe County Tower Log formerly used to transmit WWFD-TV) of the two antenna-supporting structures on the property is no longer being used for its permitted purpose, transmitting WWFD-TV. Therefore, we conclude that the tower requires removal to be in compliance with the Monroe County Wireless Communications Ordinance.
7. Based on the application and the development agreement of 9-29-97 between the Spottswood Family Trust and the Florida Department of Community Affairs, we find that the FLUM designation of the property as Public Facilities was an error; and

WHEREAS, a revised site plan has been submitted indicating the six additional parking spaces, the proposed development is in compliance with MCC Section 9.5-351; and



WHEREAS, a revised site plan has been submitted showing the location of the required handicap signs, the proposed development is in compliance with MCC Section 9.5-351(f)(4); and

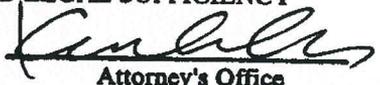
WHEREAS, the County's consulting traffic engineer has submitted a letter dated March 13, 2000 that approves the traffic analysis stating that the minor technical inaccuracies have been corrected; and

WHEREAS, the applicant has submitted documentation that both the antenna-supporting structures on the property are in use and removal of either tower will not be required;
NOW THEREFORE,

BE IT RESOLVED BY THE PLANNING COMMISSION OF MONROE COUNTY, FLORIDA, that the preceding Finds of Fact and Conclusions of Law support our decision to APPROVE the Amendment to a Major Conditional Use Application by the Spottswood Family Trust to allow the conversion of a 1,868 square foot radio station into a walk-up bank (retaining radio equipment in an area less than 50 square feet and maintaining the existing antenna-supporting structures located on the property); changing the intensity of the northern portion of the property from low- to medium-intensity commercial retail to high-intensity commercial retail (with a 433 square foot public restroom facility); and changing the use of two buildings totaling 15,474 square feet on the southern portion of the property from light industrial to low- to medium-intensity commercial retail on property described as Lots 5 through 16 and 4 and 17, square 29, Maloney Subdivision, Plat Book 1, Page 55 and Block 37 and 40, Maloney Subdivision, Plat Book 1, Page 55, Monroe County, Florida with the following conditions:

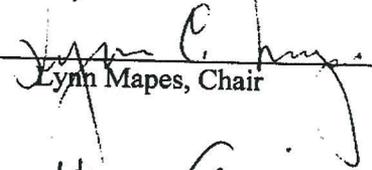
A revised surface water management plan reflecting the 51 parking spaces, if impervious, and the swale shall be approved by the County Engineer prior to the issuance of a building permit.

PASSED AND ADOPTED by the Planning Commission of Monroe County, Florida at a regular meeting held on March 8, 2000.

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY
BY 
Attorney's Office

Chair Mapes	<u>YES</u>
Commissioner Stuart	<u>YES</u>
Commissioner Hill	<u>YES</u>
Commissioner Marr	<u>ABSTAINED</u>
Commissioner Werling	<u>YES</u>

PLANNING COMMISSION OF
MONROE COUNTY, FLORIDA

By 
Lynn Mapes, Chair

Signed this 12th day of April, 2000.

MONROE COUNTY
OFFICIAL RECORDS

RESOLUTION NO. 070 -1997

A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF MONROE COUNTY, FLORIDA, EVIDENCING THE BOARD'S APPROVAL, OF FIVE ORDERS OF DETERMINATION OF VESTED RIGHTS PROMULGATED BY THE VESTED RIGHTS HEARING OFFICER PURSUANT TO THE VESTED RIGHTS HEARING HELD ON NOVEMBER 21, 1996 IN RE: SPOTTSWOOD FAMILY TRUST/CAYO INVESTMENTS; CHARLES ENTENMANN.; GARANT ENGINEERING; JOHN AND SHEILA PETERSON; AND OCEAN REEF CLUB, INC.

WHEREAS, on January 4, 1996, the Monroe County Year 2010 Comprehensive Plan became effective; and

WHEREAS, development applications "in the pipeline" as of January 4, 1996 are subject to a determination of vested rights pursuant to Policy 101.18.1 of the Plan; and

WHEREAS, a hearing for determination of vested rights was held before the County's Vested Rights Hearing Officer, Mr. Randy Sadtler, Esq., on November 21, 1996; and

WHEREAS, pursuant to the hearing held on November 21, 1996, the Hearing Officer has promulgated six Orders for Determination of Vested Rights regarding applications for development in Monroe County; NOW THEREFORE

BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MONROE COUNTY, FLORIDA that

Section 1. The Board hereby adopts this Resolution as evidence of its approval of the Orders of the Vested Rights Hearing Officer, promulgated pursuant to a Vested Rights Hearing held on November 21, 1996 for the following development applicants: SPOTTSWOOD FAMILY TRUST/CAYO INVESTMENTS; CHARLES ENTENMANN; GARANT ENGINEERING, INC.; JOHN AND SHEILA PETERSON; and OCEAN REEF CLUB, INC.

PASSED AND ADOPTED by the Board of County Commissioners of Monroe County, Florida, at a regular meeting of the Board held on the 19th day of February, 1997.

APPROVED AS TO FORM AND LEGAL SUFFICIENCY

BY [Signature]
JAMES T. HENDRICK
DATE _____



(SEAL)
ATTEST: DANNY L. KOTHAGE, CLERK

By [Signature]
Deputy Clerk

Mayor Douglass
Mayor Pro Tem London
Commissioner Harvey
Commissioner Freeman
Commissioner Reich

yes
yes
yes
yes
absent

BOARD OF COUNTY COMMISSIONERS OF MONROE COUNTY, FLORIDA

By [Signature]
Mayor/Chairman

FILED FOR RECORD
FEB 20 1997
ANNOUNCEMENT
CLERK OF COUNTY
MONROE COUNTY, FLORIDA

RESOLUTION NO. P38A-96

MONROE COUNTY
OFFICIAL RECORDS

FILE # 964953
BK# 1420 PG# 2268

A RESOLUTION BY THE MONROE COUNTY PLANNING COMMISSION CORRECTING THE LEGAL DESCRIPTION AND APPROVING THE REQUEST OF WILLIAM B. SPOTTSWOOD FOR A MAJOR CONDITIONAL USE TO CONSTRUCT A 14,400 SQUARE FOOT OPEN-AIR MARKET AND RESTROOM FACILITY ON PARCEL 26, A PORTION OF EAST LAUREL AVENUE AND LOTS 5 THROUGH 16 AND PARTS OF LOTS 4 AND 17 OF PARCEL 29, MALONEY SUBDIVISION, AND TWO (2) BUILDINGS TOTALING 15,474 SQUARE FEET FOR LIGHT INDUSTRIAL USES ON ALL OF PARCELS 37 AND 40, MALONEY SUBDIVISION, STOCK ISLAND, MONROE COUNTY, FLORIDA, MILE MARKER 5. THE LAND USE DESIGNATION IS MIXED USED (MU) AND THE REAL ESTATE NUMBERS ARE 124140, 125140 THROUGH 125340 AND 125370.

WHEREAS, during a regular meeting held on June 20, 1996, the Monroe County Planning Commission conducted a public hearing on the request filed by William B. Spottswood for a major conditional use to develop, on the north portion of the site, a 14,400 square foot open-air market with an accessory public restroom facility and, on the south portion of the site, two (2) buildings totaling 15,474 square feet for light industrial uses; and

WHEREAS, the proposed development is located on property legally described as lots 5 through 16 and 4 and 17, square 29, Maloney subdivision, Plat Book 1, Page 55 and Blocks 37 and 40, Maloney Subdivision, Plat Book 1 Page 55, Monroe County, Florida, located near Mile Marker 5. The land use designation is MU and the real estate numbers are 124140, 125140 through 125340 and 125370.; and

WHEREAS, the above-described property is located in the MU land use district; and

WHEREAS, the Planning Commission was presented with the following evidence, which by reference is hereby incorporated as a part of the record of said hearing:

1. The Major Conditional Use Application, received by Monroe County Planning Department on March 20, 1995, including a site plan by Gonzalez Architects, dated May 17, 1995, last revised March 20, 1996; Floor Plans and Elevation drawings by Gonzalez Architects for the light industrial shops, dated May 17, 1995; Floor Plans and Eleva-

page 1

MJSPOTTS.23/TXTDR

RCD Sep 09 1996 08:56AM
DANNY L KOLHAGE, CLERK

Initials

FILE #964953
BK#1420 PG#2269

tion Drawings for the public restrooms, dated March 20, 1996; and

2. The staff report prepared by, David Quigley, Senior Planner, and William Miller, Environmental Planner, dated April 11, 1996; and
3. DRC Resolution No. D03-96; and
4. The sworn testimony of the Growth Management Staff; and
5. Presentations by Jose Gonzalez, the agent for the applicant; and

WHEREAS, due to the limited guidance in the Land Development Regulations and the lack of data generally for open air sales uses and the difficulty of predicting the parking demand for such a use, the Planning Commission recommends that the applicant examine the actual parking demand of the north portion of the site and provide additional on-site parking as needed and without violating any other limitations of site development such as the bufferyard and open space requirements.

WHEREAS, the Planning Commission has made the following Findings of Fact and Conclusions of Law based on the evidence presented:

1. Fourth Street is a dedicated county right-of-way but has never been developed as a road. Development of the proposed U.S. Highway 1 (U.S-1) access approximately 110 feet to the west of Fourth Street would violate the intent of Section 9.5-421 et. seq., Access Standards. The applicant has proposed to seek formal abandonment of Fourth Street as a way of complying with the intent of Section 9.5-421 et. seq.
2. The Monroe County Year 2010 Plan was enacted on January 04, 1996. The plans must demonstrate compliance with all of the requirements of the 2010 Plan prior to issuance of any building permit unless otherwise vested pursuant to Policy 101.18.1 et. seq.
3. The current land development regulations (Chapter 9.5) were amended on January 05, 1996 via Florida Administrative Code Rule 28-20.25.
4. A chain link or stockade fence at least five feet in height is required along the rear of the light industrial shop development to prevent environmental degradation of the mangrove wetland area. Pursuant to Section 9.5-67, the Planning Commission is empowered to attach conditions for the purpose of mitigating environmental impacts.

FILE # 964953
BK# 1420 PG# 2270

5. The site plan incorrectly shows an existing fence along the entire length of the south portion. The plan should show this fence as "proposed".
6. The site plan incorrectly shows the square footage of the proposed restrooms as 144 square feet. The actual square footage of the proposed building is 433 square feet.
7. Based on the site plan and other documents submitted as part of the application, we find that the proposed project is generally in compliance with Section 9.5-65, the standards applicable to all conditional uses; and

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF MONROE COUNTY, FLORIDA, that the preceding Findings of Fact and Conclusions of Law, support their decision to APPROVE the Major Conditional Use request of William B. Spottswood for a major conditional use to to develop, on the north portion of the site, a 14,400 square foot open-air market with an accessory public restroom facility and, on the south portion of the site, two (2) buidings totaling 15,474 square feet for light industrial uses with the following conditions:

1. Prior to the establishment or use of any driveway access to US1 for the purpose of serving the open air sales use, the applicant shall obtain:
 - a. A Board of County Commission resolution formally abandoning the Fourth Street right-of-way; or
 - b. A variance or other administrative remedy which would have the effect of modifying the access requirements of Section 9.5-421 et. seq.
2. Prior to the issuance of any building permit for the project, the applicant shall demonstrate compliance with the 2010 Comprehensive Plan unless otherwise vested pursuant to Policy 101.18.1 et. seq.
4. A chain link or stockade fence at least five feet in height is required along the rear of the light industrial shops/radio station portion of the development in order to prevent environmental degradation of the abutting mangrove wetland.
5. The development on the north portion of the site shall be limited to open air retail sales of low to medium intensity. The intensity of the development shall be based on the delineated area of 14,400 square feet plus the development of a 433 square foot restroom building. Use of other parts of the site for retail activities, including the placement of temporary booths, tables, or mobile vendors shall be expressly prohibited.

FILE #964953
BK#1420 PG#2271

- 6. Development of the south portion of the site shall be limited to continuation of the existing radio station, and the development of 15,474 square feet of floor area for light industrial uses.
- 7. Prior to the issuance of a building permit, the plans shall be corrected as to the fence details and restroom floor area as indicated in findings of fact 6., and 7. above.
- 8. The US1 access to the north portion shown on the site plan shall be paved at least fifty (50) feet in from the right-of-way line.
- 9. The major conditional use development order shall expire if a certificate of occupancy for both of the proposed light industrial buildings is not issued within five (5) years of the date of this resolution.

PASSED AND ADOPTED by the Planning Commission of Monroe County, Florida, at a regular meeting held on the 20th day of June, 1996.

Chair Haskell	<u>YES</u>
Vice-Chair Hansley	<u>ABSENT</u>
Commissioner Chaplin	<u>YES</u>
Commissioner Mannillo	<u>YES</u>
Commissioner Nugent	<u>YES</u>

PLANNING COMMISSION OF
MONROE COUNTY, FLORIDA

BY Monica Haskell
~~Mary Hansley, Vice-Chair~~
Monica Haskell, Chair

Signed this 24 day of July, 1996.

MONROE COUNTY
OFFICIAL RECORDS

MONROE COUNTY, FLORIDA

MINOR CONDITIONAL USES

DEVELOPMENT ORDER

02-1939

MIR

89 MAR 20 P4:37

FILED 1086 0011

WHEREAS, the Development Review Committee of Monroe County, Florida, on January 25, 1989, in accordance with the provisions of Sections 9.5-24 and 9.5-68, of the Monroe County Land Development Regulations, to review the request of _____ Pearl Trailer Park Rehabilitation _____ for a Minor Conditional Use Approval, on the following described property:

RE#12412

Lots 1-20, Block 29, Maloney Subdivision, Section 34 & 36, Township 67, Range 25, Stock Island, approximately MM 12. The land use designation is mixed uses (MU).

for the following Minor Conditional Use: The replacement of 51 mobile homes and the addition of 765 square feet of building floor area to an existing mobile home park.

THE PLANNING DIRECTOR, after due consideration of the above-mentioned property, has concluded that said MINOR CONDITIONAL USE APPROVAL be: granted X ; granted with the following condition(s):

1. The applicant obtain approval of the Board of County Commissioners for abandonment to that portion of Laurel Avenue which has not already been abandoned.
2. Deed restrictions shall be placed on the property and recorded in the official records of Monroe County as follows:

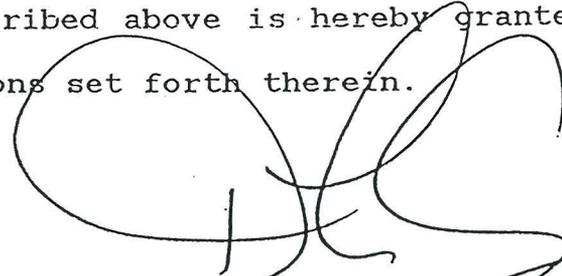
- PLANNING
- a. As long as the property remains a mobile home park all development shall be limited to the construction of accessory structures to mobile homes, but shall not include storage sheds.
 - b. Mobile homes shall in accordance with Monroe County Code be utilized for residential purposes only.
 - c. Only one mobile home shall be permitted per lot as indicate on the site plan and that the maximum density allowed shall be 51 mobile homes and 765 square feet of accessory building use.
3. Solid waste disposal shall be handled on an individual basis at each mobile home site rather than in a common dumpster. Each trailer site shall be provided with a screened trash receptacle area consisting of wooden fencing enclosed on at least three sides.
 4. A landscape plan shall be approved by the County Biologist, including the requirement that all trees with larger than a 3" diameter be identified on the site plan and saved wherever possible. No removal of vegetation shall commence until such time as the Planning Director approves in writing the removal of any trees greater than three (3) inches diameter breast height (DBH).
 5. The perimeter of the green areas on the site shall be fenced.
 6. The office building shall exclude any office use except as required to service the mobile home park.
 7. The laundry shall have two parking spaces, including one handicapped space, which will be located next to the laundry.
 8. The laundry will be owned and maintained by the applicant, or its agent, for use by mobile home park residents. No external advertising to the general public shall be permitted.
 9. All cess pools and septic tanks will be removed in accordance with HRS prior to the replacement of the mobile homes.
 10. The developer shall improve 4th street to a standards acceptable to the county engineer and FDOT as applicable. No Certificate of Occupancy shall be issued until all road improvements are complete, or sufficient performance bonds have been proffered and accepted by the County in a form acceptable to the County Attorney and County Clerk.
- *

- 11. The applicant shall submit a revised site plan and shall be approved in writing by the Planning Director prior to commencement of any building permit for this project.
- 12. A final drainage plan prepared by a licensed engineer and shall be approved by the County Engineer.

UNDER THE AUTHORITY of Section 9.5-72 of the Monroe County Land Development Regulations, this conditional use approval shall become null and void, with no further action required by the County, three and one-half years after the date of the original approval unless all required certificates of occupancy necessitated by the conditional use approval have been obtained.

NOW, THEREFORE BE IT RESOLVED, by the Planning Director of Monroe County, Florida, that the minor conditional use permit for the development described above is hereby granted according to the terms and conditions set forth therein.

Date: 02/02/89.



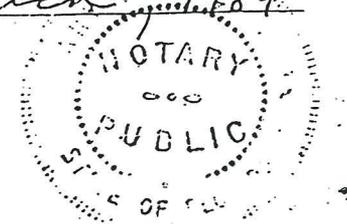
Director of Planning

STATE OF FLORIDA,
COUNTY OF MONROE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid, to take acknowledgments, personally appeared DONALD CRAIG, to me known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 3rd day of March, 1989.

NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. SEPT 2, 1988



Mary Diane Bee
NOTARY PUBLIC, STATE OF FLORIDA

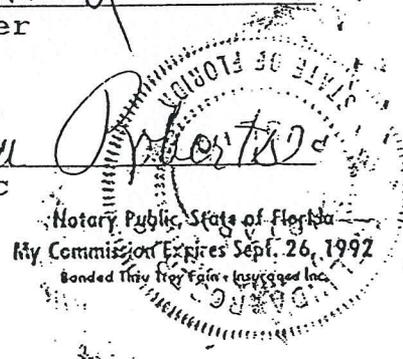
The requirement contained in Section 9.5-72.(a) that a conditional use permit not be transferred to a successive owner without notification to the Development Review Coordinator within fifteen (15) days of the transfer must be included on the document which is recorded pursuant to this section.

I, the undersigned, do hereby attest that I have read and agree to the conditions listed above.

[Signature]
Property Owner

3-6-89
Date

Melinda Roberts
Notary Public



REFERENCE: In the event that this development order constitutes an amendment, extension, variation, or alteration of a previous conditional use permit, that document may be referenced by the following _____

Please be advised that this Development Order is subject to a forty five (45) day appeal period by the State of Florida Department of Community Affairs.

This instrument prepared by:
Lisa Kee

Recorded in Official Records Book
In Monroe County, Florida
Record Verified
DANNY L. KOLHAGE
Clerk Circuit Court

Appendix C

Proof of Ownership

835-1471

231684

Warranty Deed

THIS INSTRUMENT, Made this 14 day of February, A.D. 1981 BETWEEN
 Charles M. Capps, Sr. and Capps Enterprises, Inc., a Florida corporation
 of the County of Monroe, State of Florida, parties of the first part, and
 Cayo Investments, Inc., a Florida corporation

of the County of Monroe, State of Florida, party of the second part,
 WITNESSETH: That the said parties of the first part, for and in consideration of the sum of
 TEN AND NO (\$10.00) Dollars,
 to them in hand paid by the said party of the second part, the receipt whereof is hereby acknow-
 ledged, have granted, bargained and sold to the said party of the second part,
 its heirs and assigns forever, the following described land, situate, lying and being in the
 County of Monroe, State of Florida, to wit:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 and
 20, Block 29, MALONEY SUBDIVISION, according to the Plat thereof
 recorded in Plat Book 1, Page 55 of the Public Records of Monroe
 County, Florida

Also described as On the Island of Stock Island and being all of
 Block 29, according to GEORGE L. McDONALD'S map of Lots 1, 2, 3, 5 and
 6, of Section 35, Lot 2 of Section 36, Lot 3 of Section 26 and Lot 2
 of Section 34, all in Township 67 South of Range 25 East, recorded in
 Plat Book 1 at Page 55, Monroe County, Florida, Recorded.

And the said parties of the first part do hereby fully warrant the title to said land, and will defend
 the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said parties of the first part have hereunto set their hands and
 seals the day and year first above written.

SIGNED AND SEALED IN OUR PRESENCE:

Gladys T. Bruce (SEAL)
Michael A. Pedron III (SEAL)
 As to Charles M. Capps, Sr.
Gladys T. Bruce (SEAL)
Michael A. Pedron III (SEAL)
 As to CAPPES ENTERPRISES, INC.
 STATE OF FLORIDA (ss. (corporate seal)
 COUNTY OF Monroe

Before me personally appeared Charles M. Capps, Sr., individually, and Charles M.
 Capps, Sr., President of Capps Enterprises, Inc. and Marlene Y. Capps
 Secretary of Capps Enterprises, Inc., a Florida corporation, to me well known
 and known to me to be the individual(s) described in and who executed the foregoing instrument, and
 acknowledged to and before me that they executed the same for the purposes therein expressed.

WITNESS my hand and official seal this 5th day of February,
 1981 at Key West County and State aforesaid

Calvin H. Walker
 Notary Public in and for the County and State Aforesaid
 My commission expires

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
 AT LAWYER'S OFFICES A.D.

This instrument was prepared by: A. August Quesada, Jr., Esquire
 Wildt, Quesada and Walker, Professional Association, 2320 Independent
 Square, Jacksonville, Florida 32202

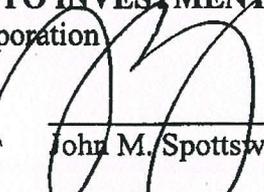
ARTICLES OF MERGER
OF
CAYO INVESTMENTS, INC.
INTO
SPOTTSWOOD PARTNERS GP, INC.

Pursuant to the provisions of Section 607.1105 of the Florida Business Corporation Act (the "Act"), the undersigned Florida corporations adopt the following Articles of Merger pursuant to which CAYO INVESTMENTS, INC. ("Cayo"), a Florida corporation, shall be merged (the "Merger) with and into SPOTTSWOOD PARTNERS GP, INC. ("Spottswood GP"), a Florida corporation:

1. Spottswood GP, a Florida corporation, shall be the surviving corporation of the Merger ("Surviving Corporation"). Cayo, a Florida corporation, shall be the merging corporation ("Merging Corporation"). Upon consummation of the Merger, and pursuant to the Plan of Reorganization (as hereinafter defined), the name of the Surviving Corporation shall be Spottswood Partners, Inc.
2. A copy of the Agreement and Plan of Reorganization, dated as of the 10th day of December, 1999, to which each of the Merging Corporation and the Surviving Corporation is a party (the "Plan of Reorganization"), is attached hereto as Exhibit "A" and incorporated herein by reference.
3. The Merger shall become effective at midnight on December 31, 1999.
4. The Plan of Reorganization was adopted by the shareholders of the Surviving Corporation by written consent without a meeting in the manner prescribed by the Act on December 10, 1999. The Plan of Reorganization was adopted by the shareholders of the Merging Corporation by written consent without a meeting in the manner prescribed by the Act on December 10, 1999.

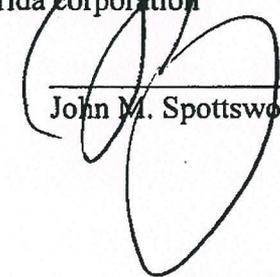
IN WITNESSETH WHEREOF, these Articles of Merger have been executed as of the 10th day of December, 1999.

CAYO INVESTMENTS, INC., a Florida
corporation

By: 

John M. Spottswood, Jr., President

SPOTTSWOOD PARTNERS GP, INC., a
Florida corporation

By: 

John M. Spottswood, Jr., President

MONROE COUNTY
OFFICIAL RECORDS

PREPARED BY:
Stuart D. Ames, Esq.
Stearns, Weaver, Miller
Museum Tower
150 West Flagler, Ste. 2200
Miami, FL 33130

State of Florida



Department of State

RCD Jul 13 2000 04:28PM
DANNY L KOLHAGE, CLERK

I certify the attached is a true and correct copy of the Articles of Merger, filed on December 17, 1999 effective December 31, 1999, for SPOTTSWOOD PARTNERS GP, INC. which changed its name to SPOTTSWOOD PARTNERS, INC., the surviving Florida entity, as shown by the records of this office.

The document number of this entity is P98000030413.

Given under my hand and the
Great Seal of the State of Florida
at Tallahassee, the Capitol, this the
Twentieth day of December, 1999



CR2EO22 (1-99)

Katherine Harris

Katherine Harris
Secretary of State

**ARTICLES OF MERGER
OF
CAYO INVESTMENTS, INC.
INTO
SPOTTSWOOD PARTNERS GP, INC.**

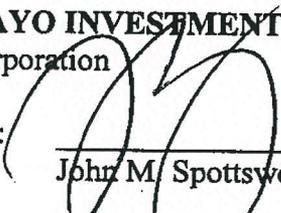
FILE # 1 1 8 9 4 8 6
BK# 1 6 4 3 PG# 1 0 1 4

Pursuant to the provisions of Section 607.1105 of the Florida Business Corporation Act (the "Act"), the undersigned Florida corporations adopt the following Articles of Merger pursuant to which **CAYO INVESTMENTS, INC.** ("Cayo"), a Florida corporation, shall be merged (the "Merger") with and into **SPOTTSWOOD PARTNERS GP, INC.** ("Spottswood GP"), a Florida corporation:

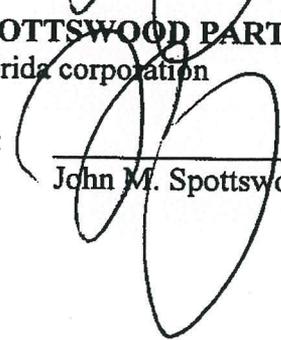
1. Spottswood GP, a Florida corporation, shall be the surviving corporation of the Merger ("Surviving Corporation"). Cayo, a Florida corporation, shall be the merging corporation ("Merging Corporation"). Upon consummation of the Merger, and pursuant to the Plan of Reorganization (as hereinafter defined), the name of the Surviving Corporation shall be Spottswood Partners, Inc.
2. A copy of the Agreement and Plan of Reorganization, dated as of the 10th day of December, 1999, to which each of the Merging Corporation and the Surviving Corporation is a party (the "Plan of Reorganization"), is attached hereto as Exhibit "A" and incorporated herein by reference.
3. The Merger shall become effective at midnight on December 31, 1999.
4. The Plan of Reorganization was adopted by the shareholders of the Surviving Corporation by written consent without a meeting in the manner prescribed by the Act on December 10, 1999. The Plan of Reorganization was adopted by the shareholders of the Merging Corporation by written consent without a meeting in the manner prescribed by the Act on December 10, 1999.

IN WITNESSETH WHEREOF, these Articles of Merger have been executed as of the 10th day of December, 1999. **EFFECTIVE DATE**

CAYO INVESTMENTS, INC., a Florida corporation

By: 
John M. Spottswood, Jr., President

SPOTTSWOOD PARTNERS GP, INC., a Florida corporation

By: 
John M. Spottswood, Jr., President



AGREEMENT AND PLAN OF REORGANIZATION

AGREEMENT AND PLAN OF REORGANIZATION, dated as of December 10, 1999 (the "Agreement"), by and between **CAYO INVESTMENTS, INC.**, a Florida corporation ("Cayo"), and **SPOTTSWOOD PARTNERS GP, INC.**, a Florida corporation (the "Surviving Corporation").

WITNESSETH:

WHEREAS, the respective Boards of Directors of each of Cayo and the Surviving Corporation have determined that it is in the best interest of Cayo, the Surviving Corporation and their respective stockholders that Cayo merge with and into the Surviving Corporation (the "Merger") pursuant to the terms and conditions contained herein, and that the name of the Surviving Corporation be changed to "Spottswood Partners, Inc." upon the effective time of the Merger; and

WHEREAS, the authorized capital stock of Cayo consists of 5,000 shares of common stock, par value \$1.00 per share (the "Cayo Common Stock"); and

WHEREAS, the authorized capital stock of the Surviving Corporation consists of 1,000 shares of common stock, par value \$.01 per share (the "Surviving Corporation Common Stock"); and

WHEREAS, upon the effective time of the Merger, the par value of the Surviving Corporation Common Stock will remain at one cent (\$.01) per share; and

WHEREAS, the Merger will be accomplished by Cayo being merged with and into the Surviving Corporation pursuant to which (a) all of the outstanding shares of the Surviving Corporation Common Stock shall not be converted as a result of the Merger, and following the Effective Date (as hereinafter defined) all shares of the Surviving Corporation Common Stock heretofore authorized shall be authorized shares of the Surviving Corporation, and all shares of the Surviving Corporation Common Stock then issued and outstanding shall remain issued and outstanding, shall be fully-paid and nonassessable by the Surviving Corporation, and shall be subject to all the provisions of this Agreement, and (b) all of the shares of Cayo Common Stock issued and outstanding immediately prior to the Merger will be canceled and no longer issued or outstanding; and

WHEREAS, Cayo and the Surviving Corporation are entering into this Agreement to set forth the terms and conditions of the Merger.

NOW, THEREFORE, in consideration of the mutual promises herein contained and intending to be legally bound, the parties hereto agree as follows:

1. MERGER

1.1 **The Merger.** On the Effective Date, Cayo will be merged with and into the Surviving Corporation under the terms of this Agreement, and the separate existence of Cayo shall be merged into and continued in the Surviving Corporation. At the effective time of the Merger, the name of the the Surviving Corporation shall be changed to "Spottswood Partners, Inc."

1.2 Effects of the Merger.

(a) *Transfer of Assets and Liabilities.* Upon the consummation of the Merger, the separate corporate existence of Cayo shall cease as a consequence of the Merger. On and after the Effective Date, all rights, franchises, property, powers and other interests (whether tangible or intangible) of each of Cayo and the Surviving Corporation, and all obligations and liabilities thereof shall be transferred to, be vested in, and become the obligations of the Surviving Corporation by virtue of the Merger, without any deed or other instrument of transfer.

(b) *Articles of Incorporation and By-laws.* The articles of incorporation of the Surviving Corporation as in effect immediately prior to the Merger, shall be the articles of incorporation of the Surviving Corporation (the "Articles of Incorporation"), except that Article I thereof shall be deemed amended in the Merger to change the name of the Surviving Corporation to "Spottswood Partners, Inc.". The by-laws of the Surviving Corporation in effect immediately prior to the Merger shall be the by-laws of the Surviving Corporation (the "By-laws"), except that any references to the name of "Spottswood Partners GP, Inc." in such By-laws shall be changed to "Spottswood Partners, Inc.".

(c) *Name and Place of Business.* The business of the Surviving Corporation following the Merger shall be identical to that of the Surviving Corporation and Cayo and shall be that of a Florida corporation organized for the purpose of transacting any and all lawful business.

(d) *Board of Directors.* After the Merger, the Board of Directors of the Surviving Corporation shall be identical to the Board of Directors of the Surviving Corporation immediately prior to the Effective Date.

(e) *Executive Officers.* After the Merger, the executive officers of the Surviving Corporation immediately prior to the Effective Date shall constitute the executive officers of the Surviving Corporation until such time as their respective successors have been elected and qualified.

1.3 Effective Date. Subject to the satisfaction or waiver of the conditions precedent set forth in Article 3 of this Agreement, the parties shall cause the Merger to become effective at midnight on December 31, 1999.

2. **CONVERSION OF STOCK**

2.1 Conversion of the Surviving Corporation Common Stock. On the Effective Date and as a result of the Merger, all outstanding shares of Surviving Corporation Common Stock shall not be changed or converted and shall hereafter be the authorized shares of the Surviving Corporation. Any shares of Surviving Corporation Common Stock not issued as of the Effective Date shall remain authorized but unissued shares of capital stock of the Surviving Corporation.

2.2 Conversion of Cayo Common Stock. On the Effective Date and as a result of the Merger, each share of the Cayo Common Stock issued and outstanding immediately prior to the Effective Date, shall be canceled and extinguished without any payment or other consideration made with respect thereto.

3. **CONDITIONS.** The obligations of the parties hereto to consummate the Merger and the other transactions contemplated hereby are subject to the satisfaction of each of the following conditions:

3.1 Board Approval. The authorization of this Agreement and the Merger by the respective Boards of Directors of each Cayo and the Surviving Corporation shall not have been revoked or adversely modified.

3.2 Stockholder Approval. This Agreement and the Merger shall have been duly approved and adopted by the affirmative votes of the holders of a majority of the outstanding shares of the Cayo Common Stock and holders of a majority of the outstanding shares of the Surviving Corporation Common Stock.

3.3 Other Approvals. All other consents and approvals and the satisfaction of all other requirements that are necessary, in the opinion of Cayo or the Surviving Corporation, for the consummation of the Merger shall have been obtained.

4. MISCELLANEOUS

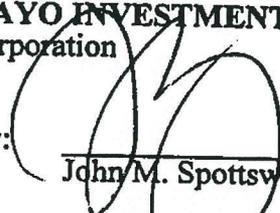
4.1 Successors. This Agreement shall be binding on the respective successors of each of Cayo and the Surviving Corporation.

4.2 Counterparts. This Agreement may be executed in one or more counterparts.

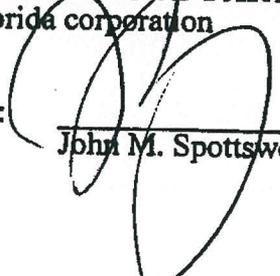
4.3 Governing Law. This Agreement shall be governed by and construed in accordance with the laws of the State of Florida.

IN WITNESS WHEREOF, the Boards of Directors of the parties hereto have approved this Agreement and the duly authorized officers of each have executed this Agreement on their behalf as of the date first above written.

CAYO INVESTMENTS, INC., a Florida corporation

By: 
John M. Spottswood, Jr., President

SPOTTSWOOD PARTNERS GP, INC., a Florida corporation

By: 
John M. Spottswood, Jr., President

MONROE COUNTY
OFFICIAL RECORDS

Appendix D

Property Record Card

Monroe County Property Record Card (023)

Alternate Key: 1158275 Roll Year 2009
 Effective Date: 3/30/2009 8:27:14 AM Run: 03/30/2009 08:26 AM

SPOTTSWOOD PARTNERS INC

500 FLEMING ST
 KEY WEST FL 33040

Parcel 00124140-000000-35-67-25 Nbhd 10060

Alt Key 1158275 Mill Group 110A

Affordable Housing No PC 4900

FEMA Injunction

Inspect Date Next Review

Business Name

Physical Addr 5455 MACDONALD AVE, SOUTH STOCK ISLAND

Associated Names

Name	DBA	Role
SPOTTSWOOD PARTNERS INC,		Owner

Legal Description

STOCK ISLAND MALONEY SUB PB1-55 PT LOT 4 & PT LOT 17 & ALL LOTS 5 THRU 16 & PT EAST LAUREL AVE & PT 4TH STREET RES 294-1989 RES NO 304A-2002 H1-330 G10-347 OR438-909E OR824-387D/C OR825-1470Q/C OR825-1471 OR905-1652/53 OR1187-1539/AFF OR1657-986(MERGER) OR1643-1013/17(MERGER)/LG

Land Data 1.

Line ID	Use	Front	Depth	Notes	# Units	Type	SOH %	Rate	Depth	Loc	Shp	Phys	Class	ROGO	Class Value	Just Value
17909	100H	0	0	Yes	0.97	AC	0.00	1.00	1.00	1.00	1.00	1.00		N		
17910	100D	0	0	Yes	39,680.00	SF	0.00	1.00	1.00	1.00	1.00	1.00		N		
17911	100H	0	0	Yes	0.35	AC	0.00	1.00	1.00	1.00	1.00	1.00		N		
17912	100D	25	125	Yes	3,125.00	SF	0.00	1.00	1.00	1.00	1.00	1.00		N		
17913	100H	25	210	Yes	5,259.00	SF	0.00	1.00	1.00	1.00	1.00	1.00		N		
Total Just Value																

Miscellaneous Improvements

Nbr	Impr Type	# Units	Type	SOH %	Length	Width	Year Built	Roll Year	Grade	Life	RCN	Depr Value
3	UB2:UTILITY BLDG	624	SF	0.00	52	12	1989	1990	2	50		
2	FN2:FENCES	32	SF	0.00	8	4	1998	1999	2	30		
1	FN2:FENCES	1,500	SF	0.00	250	6	1998	1999	2	30		
Total Depreciated Value												

Appraiser Notes

PEARLS CAYO INVESTMENTS ONE PARCEL ONLY BUILDING WAS DEMOLISHED AND REMOVED FROM PROPERTY DELETED FROM PRC 01/19/00...BC 2001/3/13 REMOVED .85 SHAPE ADJ FROM PRC, NO APPARENT REASON TO HAVE A NEGATIVE ADJ ON THIS PROPERTY...BC 2001-03-13 CHANGED THE PC FROM 10 TO 49 AND THE MOBILE HOME WAS PICKED UP AS A UB2-02 FOR THE 2001 TAX ROLL, THIS PARCEL ALSO HAS A ACTIVE LIFT STATION. DUG PARCEL SPLIT PER OWNERS REQUEST 7-24-97,JMH SPLIT OUT 2400SQFT FROM THIS PARCEL INTO RE00124140-000100 PER OR2190-1658 DONE FOR THE 2006 TAX ROLL

Monroe County Property Record Card (023)

Alternate Key: 1158275

Roll Year 2009

Effective Date: 3/30/2009 8:27:14 AM

Run: 03/30/2009 08:26 AM

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	01/2590	Jul 11 2001 12:00AM	Aug 21 2001 12:00AM	8,000	Commercial	DEMO 4 MOBILES
	06102261	Apr 27 2006 12:00AM	Dec 29 2006 12:00AM	5,000	Commercial	TEMP CONSTRUCTION FENCING
	07103718	Aug 29 2007 12:00AM	Dec 27 2007 12:00AM	3,800	Commercial	Const trailer

Monroe County Property Record Card (023)

Alternate Key: 1158275

Roll Year 2009

Effective Date: 3/30/2009 8:27:14 AM

Run: 03/30/2009 08:26 AM

Value History

Tax Year	Val Meth	Just Land	Class Land	Building	Misc	Just	Assessed Value	Exempt	Sr Ex	Tax Value
2008F	O	3,290,518	0	0	9,943	1,770,301	1,770,301	0	N	1,770,301
2007F	O	3,467,772	0	0	10,299	1,770,301	1,770,301	0	N	1,770,301
2006F	O	3,140,559	0	0	10,706	1,770,301	1,770,301	0	N	1,770,301
2005F	O	2,158,080	0	0	11,060	1,475,251	1,475,251	0	N	1,475,251
2004F	C	1,329,836	0	0	11,415	1,341,251	1,341,251	0	N	1,341,251
2003F	C	1,224,960	0	0	11,822	1,236,782	1,236,782	0		1,236,782
2002F	C	1,224,960	0	0	12,177	1,237,137	1,237,137	0		1,237,137
2001F	C	880,448	0	0	12,531	892,979	892,979	0		892,979
2000F	C	748,381	0	0	0	748,381	748,381	0		748,381
1999F	C	730,497	37,409	0	0	767,906	767,906	0		767,906
1998F	C	687,575	21,208	0	0	708,783	708,783	0		708,783
1997F	C	687,575	21,208	0	0	708,783	708,783	0		708,783
1996F	C	687,575	19,147	0	0	706,722	706,722	0		706,722
1995F	C	687,575	19,147	0	0	706,722	706,722	0		706,722
1994F	C	687,575	109,464	0	0	797,039	797,039	0		797,039
1993F	C	687,575	109,464	0	0	797,039	797,039	0		797,039
1992F	C	378,720	109,464	442	442	488,626	488,626	0		488,626
1991F	C	378,720	109,464	0	0	488,184	488,184	0		488,184
1990F	C	539,325	109,464	0	0	648,789	648,789	0		648,789
1989F	I	539,325	161,123	0	0	700,448	700,448	0		700,448
1988F	C	539,325	98,086	0	0	637,411	637,411	0		637,411
1987F	O	547,794	11,718	1,773	1,773	561,285	561,285	0		561,285
1986F	I	522,638	127,692	1,773	1,773	652,103	652,103	0		652,103
1985F	C	493,419	113,682	1,773	1,773	608,874	608,874	0		608,874
1984F	C	374,901	110,034	1,773	1,773	486,708	486,708	0		486,708
1983F	C	374,901	110,034	1,773	1,773	486,708	486,708	0		486,708
1982F	C	311,795	84,483	1,773	1,773	398,051	398,051	0		398,051

Sales History

Book	Page	Sale Date	Instrument	Transfer Code	Q/U	Vacant	Sale Price
825	1471	2/1/1981	Warranty Deed	0	Q	I	575,000

Appendix E
Location Map

Location Map

- Legend**
- Highlighted Feature
 - Real Estate Number
 - Parcel Lot Text
 - Block Text
 - Hooks/Leads
 - Lot Lines
 - Easements
 - Road Centerlines
 - Water Names
 - Parcels
 - Shoreline
 - Section Lines

PALMIS

Monroe County Property Appraiser
500 Whitehead Street
Key West, FL

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for *ad valorem tax purposes* only and should not be relied on for any other purpose.

Date Created: April 2, 2009 4:12 PM



Appendix F

300 Foot Radius Report & Map



Mailing Labels Stock Island Drug Store Amendment to Major Conditional Use April 2009

23 CORAL WAY LLC
P O BOX 2521
KEY WEST FL 33045

ATWELL EVERETT M JR AND DENISE D
2209 LONG LEAF CIR
LAKELAND FL 33810

BEHMKE JOHN & KAY
P O BOX 344
KEY WEST FL 33041

BERG PAMELA J
102 SOUTHARD ST UNIT 11
KEY WEST FL 33040

BRAEUNIG PHILLIP A AND LAURA S
315 W BLUE WATER EDGE DR
EUSTIS FL 32736

CERT EQUITY LOAN TRUST SERIES 2006-FM 2C/O
COUNTRY WIDE HOME LOANS INC
7105 CORP DR MLSTN PTX-B-35
PLANO TX 75024

CHANNELL JERRY L
744 YARMOUTH ST
NORFOLK VA 23510

CITY OF KEY WEST CITY HALL
P O BOX 1409
KEY WEST FL 33040

COPENHAVER WILLIAM H & JANET C
27 CORAL WAY UNIT 14
KEY WEST FL 33040

CORAL HAMMOCK HOMEOWNERS ASSC INC
2 CORAL WAY
KEY WEST FL 33040

DEWEY JOHN L
20781 2ND AVE
CUDJOE KEY FL 33042

DION RENTAL PROPERTIES LLC
638 UNITED ST
KEY WEST FL 33040

FAHEY BARBARA J
39 CORAL WAY
KEY WEST FL 33040

HONZIK LINDA
35 CORAL WAY
KEY WEST FL 33040

29045



Mailing Labels Stock Island Drug Store Amendment to Major Conditional Use April 2009

HUCK FINN LLC C/O CARDENAS ROBERT
1291 WALNUT CREEK RD
WAYNESVILLE NC 28786

IRISH GEORGE P & COSTELLO RONALD J &
CANNOVA JOSEPH A R/S
% HC-1 BOX 525
LAKEVILLE PA 18438

KEY WEST TRAILERS LLC
1001 EAST ATLANTIC AVE SUITE 201
DELRAY FL 33483

KWT LLC
1000 MARKET ST
PORTSMOUTH NH 3801

LAKEWOOD ENTERPRISES INC
P O BOX 344
KEY WEST FL 33041

LOME STEVEN W
7549 NORTH OAKLEY AVE
CHICAGO IL 60645

MASTER GARY
896 CORPORATE WAY STE 440
WESTLAKE OH 44145

MONROE COUNTY
1100 SIMONTON ST
KEY WEST FL 33040

NOBLE DARLA LEE
18B DUSTIN AVE
HAMPTON NH 3842

NYWENING MICHAEL J AND KAE
5550 HERONPOINT DR # 304
NAPLES FL 34108-2818

OTOKITI PATRICK ALIU AND LINNETTA
7806 FERNLEAF DR
ORLANDO FL 32836

REFRESHMENT SERVICES INC
3400 SOLAR AVENUE
SPRINGFIELD IL 62707-5713

RILEY BRIAN R
14525 SW MILLIKAN WAY UNIT 18920
BEAVERTON OR 97005-2343

RILEY EMILY AND BRIAN
14525 SW MILLIKAN WAY UNIT 18920
BEAVERTON OR 97005-2343

29045



Mailing Labels Stock Island Drug Store Amendment to Major Conditional Use April 2009

RODGER STEVEN A AND HEATHER M
47 PALMETTO DR
KEY WEST FL 33040

RODRIGUEZ INKA MARIE T/C
10 CORAL WAY
KEY WEST FL 33040

SAWYER DEBRA
21 ASTER TERR
KEY WEST FL 33040

SCROGGINS HAROLD S & DONNA & SCROGGINS
SHELIA T/C
%18784 SE JUPITER RIVER DR
JUPITER FL 33458

SIMONS SCOTT A
5 CORAL WAY
KEY WEST FL 33040

SLOANS LANDING LLC
201 FRONT ST STE 224
KEY WEST FL 33040

SMITH LEW GORDON JR AND PAULETTE K
1405 VERNON AVE
KEY WEST FL 33040

SPOTTSWOOD PARTNERS II LTD
500 FLEMING STREET
KEY WEST FL 33040

SPOTTSWOOD PARTNERS INC
500 FLEMING ST
KEY WEST FL 33040

STRICKER RANDALL D AND ELEANOR L TRUST
10/15/2007 C/O STRICKER R D AND STRICKER E CO-
TRS
3 DECATUR ISLAND
ANACORTES WA 98221

SWIFT EDWIN O & BELLAND CHRISTOPHER CLARK
& BATTY PETER H & ELLEN D & SCHEURMAN KARL
T/C
201 FRONT ST STE 224
KEY WEST FL 33040

TELLERD CRAIG M
896 CORPORATE WAY STE 440
WESTLAKE OH 44145

TOMITA JUDY A
17 KEY HAVEN TER
KEY WEST FL 33040

TOMITA TIMOTHY
1415 LAIRD ST
KEY WEST FL 33040



Mailing Labels Stock Island Drug Store Amendment to Major Conditional Use April 2009

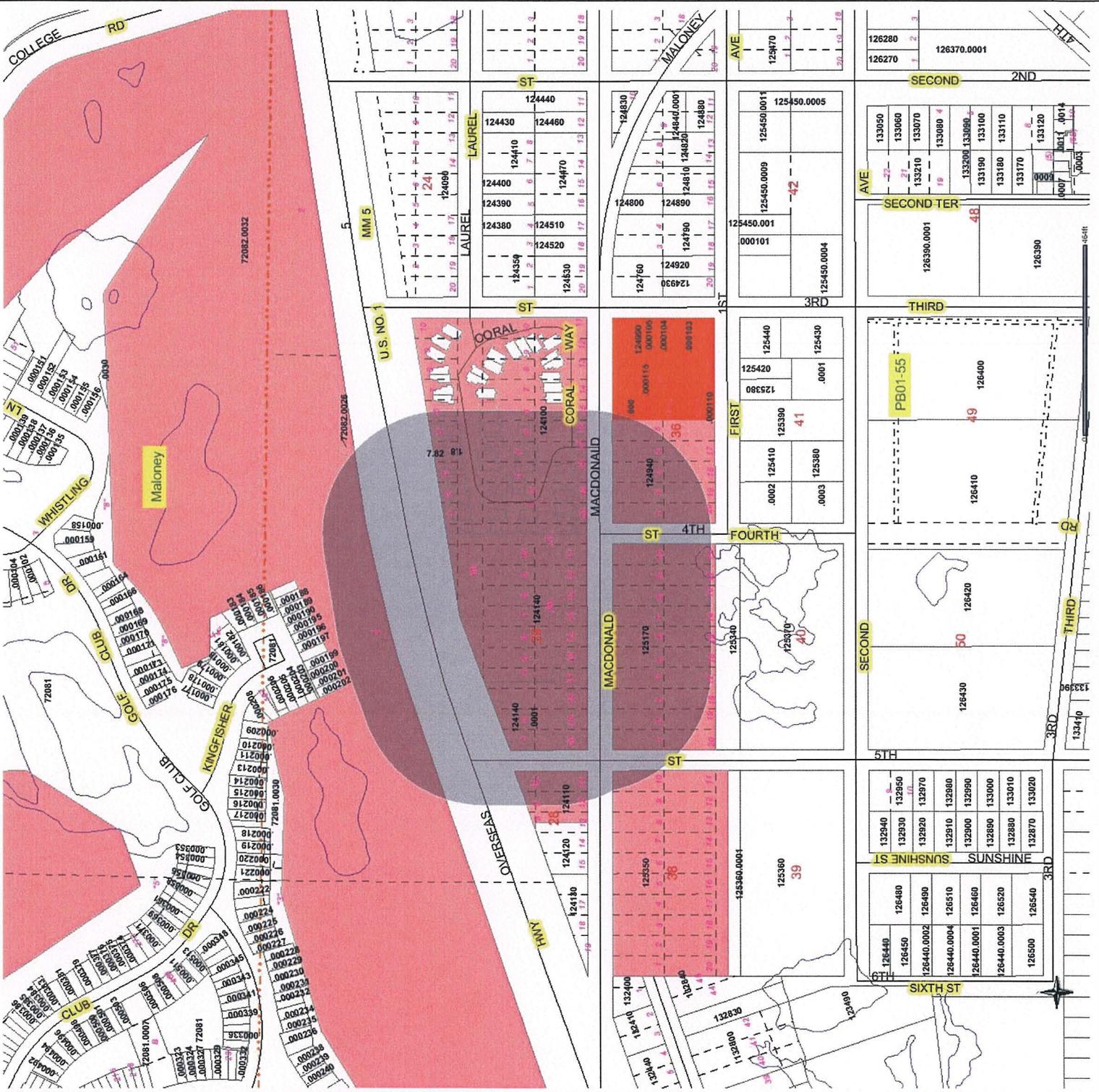
TRUJILLO DONALD E
37 CORAL WAY
KEY WEST FL 33040

TUFO RONALD
2945 S WATERTOWER DR
CRETE IL 60417

WEST KEY ASSOCIATES LLC C/O CANNOVA JOSEPH
A
1130 HOOPER AVENUE
TOMS RIVER NJ 8753

300 Foot Radius

- Legend**
- the Buffer
 - the Buffer Target
 - Real Estate Number
 - Parcel Lot Text
 - Block Text
 - Hooks/Leads
 - Lot Lines
 - Easements
 - Road Centerlines
 - Water Names
 - Parcels
 - Shoreline
 - Section Lines



PALMIS

Monroe County Property Appraiser
 500 Whitehead Street
 Key West, FL

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Appendix G

Letters of Coordination

KW Resort Utilities Corp.
6630 Front Street
Key West, Florida 33040

April 3rd, 2009

Stock Island Drug Store
5455 McDonald Ave,
Key West, Florida 33040

RE: Letter of coordination

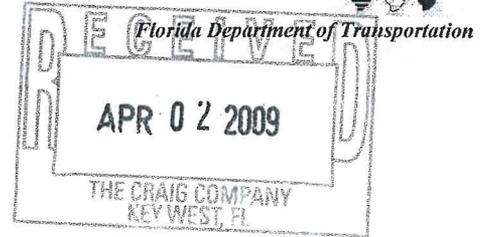
To Whom It May Concern:

KW Resort Utilities, at this time, does have the capacity to treat the sewage that will be generated from the above-mentioned property (1 commercial building w/14,594 sq. ft. and 7 residential units). KWRU will guarantee that the capacity will be available for at least the period of 1 year from the date of this letter. This time frame in which the capacity is held in reserve may be extended if both parties agree.

If you have any questions please call,



Doug Carter
General Manager
KWRU



March 31st, 2009

Mr. Jodell Roberts
The Craig Companies
600 White St.
Key West, Florida 33041

SUBJECT:

Coordination Letter for Stock Island Drug Store
5455 Mc Donald Ave., Stock Island, Fl.

Dear Mr. Roberts,

As per your March 30th, 2009 letter, I am sending this coordination letter, in order you may initiate the Permit Application Process.

I am enclosing FDOT Access and Drainage Permits Applications packages for your review and use.

The Department no longer performs conceptual reviews since Florida Administrative Codes Rule Chapter 14-96 was amended. Non-binding pre-application meeting are held upon request, in which staff are available to meet with you to give preliminary comments and provide guidance in the permit application process; such meeting is recommended.

Please submit the required permit application or schedule a pre-application meeting at your earliest convenience. If you have any further questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ernesto Santisteban'.

Ernesto Santisteban
Project Engineer

cc/ files



BOARD OF COUNTY COMMISSIONERS

Mayor Mario Di Gennaro, District 4
Mayor Pro Tem Dixie M. Spehar, District 1
George Neugent, District 2
Charles "Sonny" McCoy, District 3
Sylvia J. Murphy, District 5

OFFICE of
the FIRE MARSHAL
Marathon, FL 33050
PHONE: (305) 289-6010
FAX: (305) 289-6013



490 63rd Street

Jodell Roberts
Planning Technician
The Craig Company
Via FAX

03/30/2009

RE: Letter of Coordination

Dear Jodell,

Pursuant to the requirements of the Monroe County Planning Department Development Permit Application, this shall serve as the letter of coordination between the Monroe County Fire Marshal's Office and the agent and/or property owner for the Drugstore/Market Rate project at MM5, on Stock Island.

1. The Fire Marshal's Office enforces the Florida Fire Prevention Code (2007) , The Florida Building Code(2007), National Fire Protection Code (NFPA 1), Life Safety Code (NFPA 101) and related NFPA standards as applicable.
2. All fire rated penetrations shall be caulked with a UL approved product per manufacturer's specifications. A detail sheet shall be included with the final set of approved and sealed plans on the fire stop system.
3. Approved fire hydrants shall be provided for building to meet necessary fire flow requirements as determined by the Fire Official, and approved by the Florida Keys Aqueduct Authority (FKAA).
4. Fire Department access shall comply with NFPA 1, Ch.18.
5. The Commercial building shall be protected by an automatic sprinkler and alarm system throughout.
6. If existing Fire Hydrants do not provide necessary fire flow, an additional hydrant(s) shall be placed at owner's expense as part of the project.

It is understood that after conceptual review of the project has been granted, preliminary fire protection plans shall be included with improvements to water supply via fire hydrant and shall be submitted to Fire Marshal's Office prior to final plan review for issuance of a building permit. The Monroe County Fire Rescue Department provides fire suppression service to the proposed project location.

Sincerely

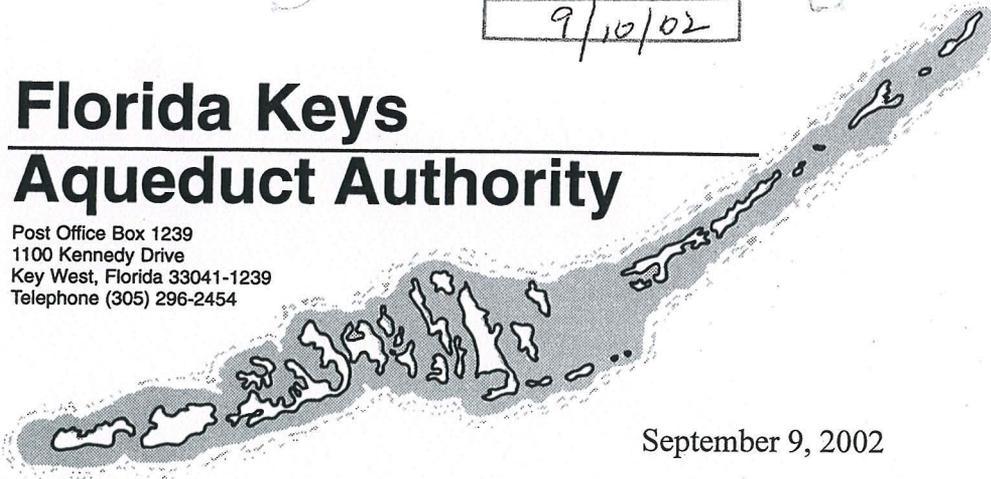
Steven M. Zavalney
Captain, Fire Prevention



Florida Keys Aqueduct Authority

Post Office Box 1239
1100 Kennedy Drive
Key West, Florida 33041-1239
Telephone (305) 296-2454

received
9/10/02



John M. Koenig, Sr.
Chairman
Key West

Lynn C. Mapes
Grassy Key

Mary L. Rice
Secretary-Treasurer
Marathon

Linda B. Wheeler
Key West

Harry E. Cronin
Key Largo

Roger Braun
Executive Director

September 9, 2002

Barbara Mitchell
The Craig Company
P.O. Box 372
Key West, FL 33041-0372

RE: Proposed Eckerd's Store, Stock Island

Dear Ms. Mitchell:

In regard to your recent inquiry and submittal of information for the proposed development of the property referenced above.

The authority has determined that there is an existing 12" water main in front of the subject property on MacDonald Ave. and it appears adequate to provide water service to the subject property. However, a final determination cannot be made until such time as a complete set of plans for the development has been reviewed by the Authority.

Should you have any questions or require any further information please feel free to contact this office.

Sincerely Yours,

FLORIDA KEYS AQUEDUCT AUTHORITY

Edgar F. Nicolle, Jr.
Distribution Design Manager

EFN/cma

cc: Margaret Gil, Customer Service Manager KW
Kip Waite, Administrative Assistant/Policy



BOARD OF COUNTY COMMISSIONERS

MAYOR Charles "Sonny" McCoy, District 3
Mayor Pro tem Dixie M. Spehar, District 1
George Neugent, District 2
Bert Jimenez, District 4
Murray E. Nelson, District 5

Solid Waste Management
1100 Simonton Street, Room 2-284
Key West, Fl. 33040



September 5, 2002

Barbara Mitchell
The Craig Company
P.O. Box 372
Key West FL 33041-0372

Re: Stock Island Eckerd

Dear Ms. Mitchell:

The proposed plan for your project; including demolition waste, waste reduction, and recycling; shows adequate provision for solid waste and recycling management.

Waste Management, Inc. is available to assist in the set up of any additional recycling services. Please call 305-296-8297 for assistance.

Sincerely,

A handwritten signature in cursive script that reads 'Carol A. Cobb'.

Carol A. Cobb, Senior Administrator
Solid Waste Management

cc: Ed McGee, Monroe County Planning Department
via fax (x2536)



Received
11/20/03

(305) 295-1000
1001 James Street
PO Box 6100
Key West, FL 33041-6100
www.KeysEnergy.com

UTILITY BOARD OF THE CITY OF KEY WEST

November 13, 2003

Mr. Fred Gross
Director Lower Keys Planning Team
Monroe County Planning Department
2798 Overseas Highway, Suite 410
Marathon, FL 33050

RE: Stock Island Eckerd _____

Dear Mr. Gross:

This is to acknowledge that the above mentioned party has begun a coordination process with Keys Energy Services (Keys).

KEYS' Engineering Section requests that they be provided with a **Project Review Form** for the referenced project.

These *plans* are necessary in order for us to ensure that there is adequate service for your project, as well as our existing, surrounding customers.

Please return the *full set of plans and the Project Review Form* to one of our Customer Accounts Representatives.

Should you have any questions, please contact me at 295-1082.

Sincerely,

UTILITY BOARD-CITY OF KEY WEST

"Keys Energy Services"

Carl R. Jansen, General Manager

Mark Garcia

Customer Programs Representative

MG/sh

C:

D. Price, Engineering Supervisor

File: CUS-200

Utility Board Members

Robert R. Padron, Chairman Dr. Otha P. Cox, Vice-Chairman
Leonard H. Knowles, Member Gayle Swofford, Member Lou Hernandez, Member



received
11/20/03

(305) 295-1000
1001 James Street
PO Box 6100
Key West, FL 33041-6100
www.KeysEnergy.com

UTILITY BOARD OF THE CITY OF KEY WEST

November 17, 2003

Mr. Fred Gross
Director Lower Keys Planning Team
Monroe County Planning Department
2798 Overseas Highway, Suite 410
Marathon, Florida 33050

RE: STOCK ISLAND ECKERD
EMPLOYEE-HOUSING UNITS

Dear Mr. Gross:

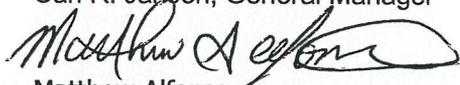
In reference to the above project, Keys Energy Services (KEYS) will need a full set of plans and a project review form to determine load requirements. Based on the submitted site plan, KEYS will service Eckerd's and the employee-housing units from MacDonald Ave. KEYS recommends underground primary and/or secondary 120/208 voltage for new 3-phase services.

KEYS has existing electrical facilities on MacDonald Ave., the driveway entrances may need to be adjusted accordingly to avoid conflicts with poles.

If you have any concerns, please advise Matthew Alfonso at 295-1054.

Sincerely,

UTILITY BOARD-CITY OF KEY WEST
"KEYS ENERGY SERVICES"
Carl R. Jansen, General Manager


Matthew Alfonso
Field Representative

MA/ba

C:
C. Jansen, General Manager
D. Finigan, Director of Engineering/Control Center
A. Tejada, Director of Customer Services
R. Rewolinski, Director T&D
D. Price, Engineering Services Supervisor
File:PLI-147

Utility Board Members
Robert R. Padron, Chairman Dr. Otha P. Cox, Vice-Chairman
Leonard H. Knowles, Member Gayle Swofford, Member Lou Hernandez, Member



received
11/18/03

Jeb Bush
Governor

Robert O. Agwunobi, M.D. M.B.A.
Secretary

November 17, 2003

Mr. Owen Trepanier
The Craig Company
P.O. Box 372
Key West, FL 33041-0372

Re: Stock Island Eckerd
Letter of Coordination

Dear Mr. Trepanier,

This letter will acknowledge receipt of your proposed redevelopment of a parcel upon which the Pearl Trailer Count on Stock Island had been located. The site is located a MM 5 and the RE number is 00124140-000000.

The Monroe County Health Department is the permitting authority for new establishments that produce domestic wastewater flows less than or equal to 10,000 gallons per day, and new establishments producing commercial wastewater sewage flows of less than or equal to 5,000 gallons per day. Establishments that exceed these estimated flows are regulated by the Florida Department of Environmental Protection.

A complete Plan Review to determine compliance with the provisions of chapter 64E-6 of the Florida Administrative Code, and Chapter 381 of the Florida Statutes is required when a completed application with all required documents is submitted to this department. The proposed onsite sewage treatment and disposal system must comply with the minimum requirements that are in effect at the time the application is submitted.

If you have any questions concerning this matter, please contact this office at any time. Your cooperation with the public health program of Monroe County and the State of Florida is greatly appreciated.

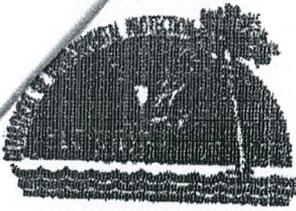
Yours truly,

A handwritten signature in cursive script, appearing to read "William Brookman".

William Brookman MPH
Environmental Specialist III

CC: Frank Kruppa, DOH
Fred Gross/Monroe County Planning

MONROE COUNTY HEALTH DEPARTMENT
Environmental Health Services
85960 Overseas Highway Suite 5
Islamorada, Florida 33036 Phone: (305) 853-1901



John Bush
Governor

Department of Environmental Protection

South District Marathon Branch Office
2796 Overseas Highway, Suite 221
Marathon, Florida 33050-4278
Telephone 305/289-2310

February 20, 2004

Mr. Fred Gross
Director Lower Keys Planning Team
Monroe County Planning Department
2798 Overseas Highway, Suite 410
Marathon, FL 33050

Re: Monroe County - ERP
Florida Keys Ecosystem Management Area
Stock Island Eckerd

Dear Mr. Gross:

This letter is in response to your letter of coordination dated November 7, 2003, received by the Department November 12, 2003. A review of your submittal revealed that proposed construction activities may require permits from the South Florida Water Management District (SFWMD).

The Department and the Water Management districts have executed Operating Agreements that divide responsibilities for processing environmental resource permit applications in accordance with the type of activity involved. This division of responsibilities is summarized in Attachment 1 of the "Joint Application for Environmental Resource Permit/Authorization to Use Sovereign Submerged Lands/Federal Dredge and Fill Permit" booklet.

It appears your proposal should be processed by the South Florida Water Management District. Enclosed is a "Joint Application for Environmental Resource Permit/Authorization to Use Sovereign Submerged Lands/Federal Dredge and Fill Permit" booklet. Please submit your application to the following address:

South Florida Water Management District
P. O. Box 24680
West Palm Beach, Florida 33416-4680.

Received
2/23/04
SIS 2
CMT WAS
David B. Scrubs
Secretary
Bill Pils
Review of
DML
L.
2/23

"More Protection, Less Process"

10 acres -
0/

2 acres
impervious

(1.56 acres of
impervious)



SOUTH FLORIDA WATER MANAGEMENT DISTRICT

3301 Gun Club Road, West Palm Beach, Florida 33406 • (561) 686-8800 • FL WATS 1-800-432-2045 • TDD (561) 697-2574
 Mailing Address: P.O. Box 24680, West Palm Beach, FL 33416-4680 • www.sfwmd.gov

CON 24-06

Application No.: 040325-2

April 23, 2004

PE&D INC
 1010 KENNEDY DR #400
 KEY WEST, FL 33040

Dear Sir or Madam:

Subject: Project: Eckerds - Stock Island

Location: Monroe County, S35/T67S/R25E
 S35/T68S/R25E

District staff has given a cursory review of the information submitted March 25, 2004 for the above referenced project. Pursuant to Rule 40E-400.315, Florida Administrative Code(FAC), it appears that your project qualifies for a "No Notice General Permit for Activities in Uplands." Any off-site impacts, changes in land use, or future modifications to the activities may require review by the District. A copy of Rule 40E-400.315 is enclosed for your information. Please use this in the determination of notification requirements for future projects. A refund will be issued under separate cover, if necessary.

This does not relieve you of the responsibility of obtaining all necessary Federal, State, Local or special District authorizations prior to the start of any construction.

If you have any questions or require further assistance, please contact Carlos A. DeRojas, P.E. at (561) 682-6505.

Sincerely,

Carlos A. DeRojas, P.E.
 Sr Supv Engineer
 Palm Beach Service Center
 CD/kd

Enclosures

c: Monroe County Engineer

GOVERNING BOARD

Nicolás J. Gutiérrez, Jr., Esq., *Chair*
 Pamela Brooks-Thomas, *Vice-Chair*
 Irela M. Bagué

Michael Collins
 Hugh M. English
 Lennart E. Lindahl, P.E.

Kevin McCarty
 Harkley R. Thornton
 Trudi K. Williams, P.E.

EXECUTIVE OFFICE

Henry Dean, *Executive Director*

40E-400.315 No Notice General Permit for Activities in Uplands.

(1) A no notice general permit is hereby granted for the construction or alteration of minor systems located entirely within uplands, provided that the proposed system meets all of the following criteria:

- (a) The total project area is less than 10 acres;
- (b) The total project area involves less than 2 acres of impervious surface;
- (c) No activities will impact wetlands or other surface waters;
- (d) No activities are conducted in, on, or over wetlands or other surface waters;
- (e) Drainage facilities shall not include pipes with diameters greater than 24 inches or the hydraulic equivalent and shall not utilize pumps in any manner;
- (f) The project is not part of a larger common plan of development or sale.

(2) A no notice general permit is hereby granted for the construction or alteration of surface water management systems, provided that the surface water management system meets all of the conditions of subsection (a), below, and all thresholds and conditions of at least one of the subsections (b) or (c), below.

(a) General Conditions.

- 1. The surface water management system design plans must be signed and sealed by a professional engineer or other individual authorized by law;
- 2. The surface water management system must meet the criteria specified in Rules 40E-4.301 and 40E-4.302, F.A.C.;
- 3. The project must not be located in natural water bodies, viable wetlands habitat, waters of the state, or a Florida Outstanding Water as listed in Rule 62-302.700, F.A.C.; and

4. The permittee must have obtained a works of the District permit pursuant to Chapter 40E-6, F.A.C., if the project proposes to connect with, place structures in or across or otherwise make use of works of the District.

(b) Thresholds and Additional Conditions Within Dade County.

- 1. The project must have less than 40 acres total land area with positive stormwater outfall or less than 320 acres total land area and less than 160 acres of impervious area with no positive stormwater outfall.

2. The project and surface water management system must have been approved by the Dade County Department of Environmental Resource Management or its successor agency subsequent to October 2, 1977.

(c) Thresholds and Additional Conditions Within Collier County.

- 1. The project must have less than 40 acres total land area.
- 2. The project and surface water management system must have been approved by Collier County subsequent to September 17, 1980.

Specific Authority 373.044, 373.113, 373.118, 373.171, 403.813, 403.814 FS. Law Implemented 373.118, 373.413, 373.416, 373.426 FS. History- New 10-3-95, Amended 4-14-03.

Appendix H

Traffic Study



March 27, 2009

Ms. Barbara Mitchell
Vice President
The Craig Company
P.O. Box 970
Key West, Florida 33041-0970

Re: Stock Island Drug Store (Formerly Stock Island Eckerd)
Traffic Analysis

Dear Barbara:

We are pleased to provide to you the results of the trip generation analysis in connection with the modified site plan for the proposed drug store development to be located on Stock Island near Milemarker 5. Jacobs Engineering Group Inc. accepts the responsibility relative to the content, conclusions, and recommendations contained in this memorandum.

Sincerely,

JACOBS ENGINEERING GROUP INC.

Karl B. Peterson, P.E.
Senior Project Manager

Karl B. Peterson, P.E.
Florida Registration Number 49897
Engineering Business Number 2822

3/27/09

Stock Island Drug Store Monroe County, Florida

Trip Generation Analysis

INTRODUCTION

The Stock Island Drug Store project is a proposed pharmacy / drugstore development with a residential housing component planned to be located on the ocean side of US 1, near Milemarker 5, on Stock Island, Florida. The site is bounded by MacDonald Avenue on the south, Fourth Street (closed) on the east, and US 1 / Overseas Highway on the north. Access to the site is planned through one driveway on US 1 and one on MacDonald Avenue. In addition, there will be a connection between the subject property and the adjacent commercial property to the west.

A traffic impact report for this development was previously prepared and submitted in August 2002. The previous development program for this site consisted of a 14,129 SF pharmacy / drugstore with drive-through window and 13 residential dwelling units¹. At the present time, the site plan has been revised to reduce the number of residential dwelling units to seven (7) market rate units. As a result, the currently proposed development plan consists of a 14,129 SF pharmacy / drugstore with a drive-through window and seven (7) residential dwelling units.

Jacobs Engineering Group Inc. has been retained by The Craig Company to conduct this trip generation analysis update. The purpose of this analysis is to document the anticipated change in trip generation between the previously approved development and the currently proposed development scenario.

¹ During the County's development review process, the density of the site was modified to include seven (7) residential dwelling units rather than 13. Although the revised site plan included six (6) fewer dwelling units than reflected in the traffic analyses, the referenced traffic impact analysis report was deemed to be acceptable with the originally proposed development intensity.

C:\Karl\Stock Island Drug Store\Stock Island Drug Store Trip Generation 03-27-09.doc

TRIP GENERATION

The trip generation analysis for the previously approved development was performed using the trip generation formulas / rates published in the Institute of Transportation Engineer's (ITE) *Trip Generation* (6th Edition). Since the previous traffic study was conducted, the 8th Edition of the *Trip Generation* report has been released. As a result, the "8th Edition" has been utilized for the revised development plan. For the purposes of trip generation, we offer the following information:

Previously Approved Development (Trip Generation, 6th Edition)

Residential Condominium / Townhouse (ITE Land Use #230):

Weekday trip generation rate: 5.86 trips / Dwelling Unit

Saturday trip generation rate: 5.67 trips / Dwelling Unit

Sunday trip generation rate: 4.84 trips / Dwelling Unit

Daily Weighted Average: 5.69 trips / Dwelling Unit

PM peak hour trip generation rate: 0.54 trips / Dwelling Unit (67% in / 33% out)

Pharmacy / Drugstore with Drive-Through Window (ITE Land Use #881):

Weekday trip generation rate: 88.16 trips / 1,000 SF

PM peak hour trip generation rate: 10.40 trips / 1,000 SF (49% in / 51% out)

Proposed Development (Trip Generation, 8th Edition)

Residential Condominium / Townhouse (ITE Land Use #230):

Weekday trip generation rate: 5.81 trips / Dwelling Unit

Saturday trip generation rate: 5.67 trips / Dwelling Unit

Sunday trip generation rate: 4.84 trips / Dwelling Unit

Daily Weighted Average: 5.65 trips / Dwelling Unit

PM peak hour trip generation rate: 0.52 trips / Dwelling Unit (67% in / 33% out)

Pharmacy / Drugstore with Drive-Through Window (ITE Land Use #881):

Weekday trip generation rate: 88.16 trips / 1,000 SF

PM peak hour trip generation rate: 10.35 trips / 1,000 SF (50% in / 50% out)

Table 1 on the following page summarizes the trip generation associated with the previously approved and the proposed development.

C:\Karl\Stock Island Drug Store\Stock Island Drug Store Trip Generation 03-27-09.doc

Table 1 Stock Island Drug Store Trip Generation Summary					
Land Use	Size	Daily Trips	PM Peak Hour Trips		
			In	Out	Total
<i>Approved Development</i>					
- Pharmacy w/ Drive Through	14,129 SF	1,246	72	75	147
- Residential	13 DU	74	5	2	7
Total		1,320	77	77	154
<i>Proposed Development</i>					
- Pharmacy w/ Drive Through	14,129 SF	1,246	73	73	146
- Residential	7 DU	40	3	1	4
Total		1,286	76	74	150
Difference:		-34	-1	-3	-4

Source: ITE Trip Generation (6th and 8th Editions) and Jacobs Engineering Group Inc. (2009).

As indicated in Table 1 above, the proposed development is projected to generate thirty-four (34) fewer trips on a daily basis as compared with the previously approved development scenario. During the PM peak period, the proposed development is also projected to result in a reduction in traffic. The difference in trips between the two development scenarios is four (4) during the PM peak period.

CONCLUSIONS

Based upon the foregoing trip generation analysis, it is apparent that the proposed development scenario (14,129 SF pharmacy with drive-through window and seven (7) market rate residential units) will result in a slight decrease in project trips on a daily basis and a peak hour basis as compared with the previously approved development scenario (14,129 SF pharmacy with drive-through window and 13 residential units). The decrease in the number of daily trips to be generated by this development is projected to be thirty-four (34) and the decrease in the number of PM peak hour trips is projected to be four (4).

Given the slight decrease in daily traffic and in PM peak period traffic, it is apparent that the revised development scenario for the Stock Island Drug Store site represents a minor deviation from the previously approved plan and, as such, further traffic analyses are not warranted.

Appendix I

Plans

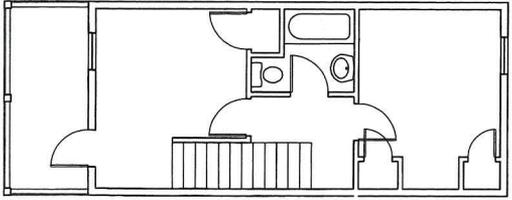
Survey

Site Plan, Floor Plans & Elevations

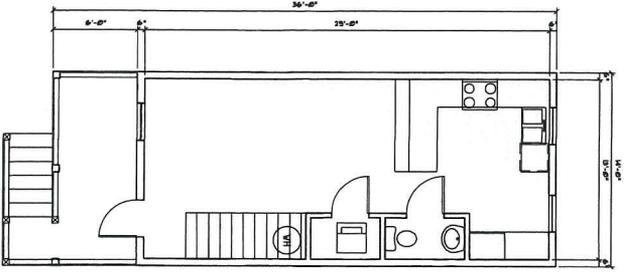
Landscape Plan

Drainage Plan

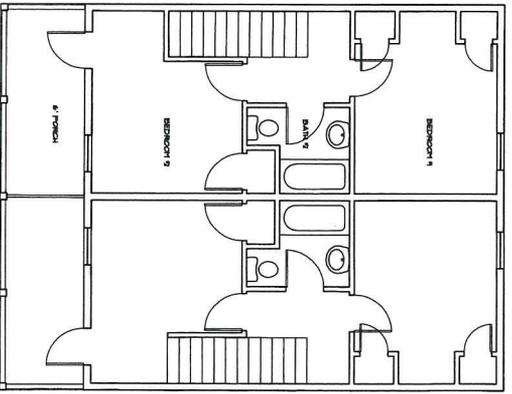
2nd Floor Plan
1/4" = 1'-0"



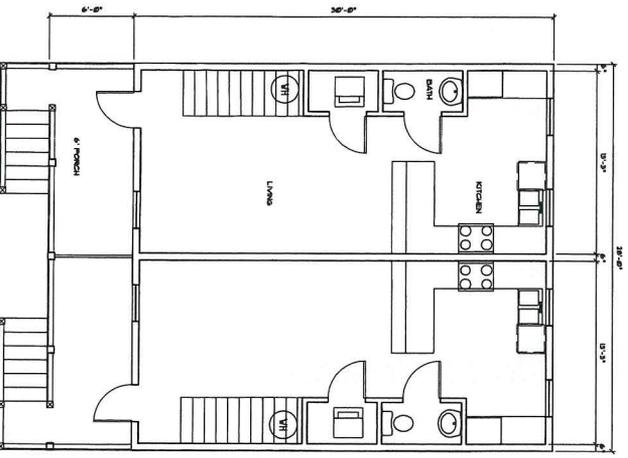
1st Floor Plan
1/4" = 1'-0"



Typical Duplex
2nd Floor Plan
1/4" = 1'-0"



Typical Duplex
1st Floor Plan
1/4" = 1'-0"



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BY: [Signature]

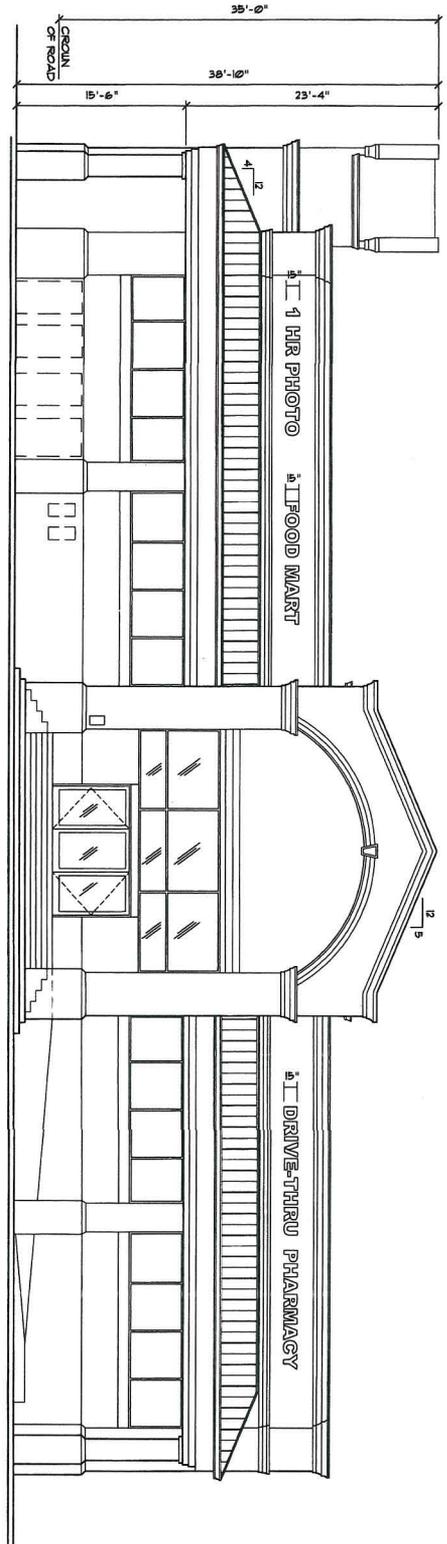
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Date: 4/7/09
7/1/09
2/1/09

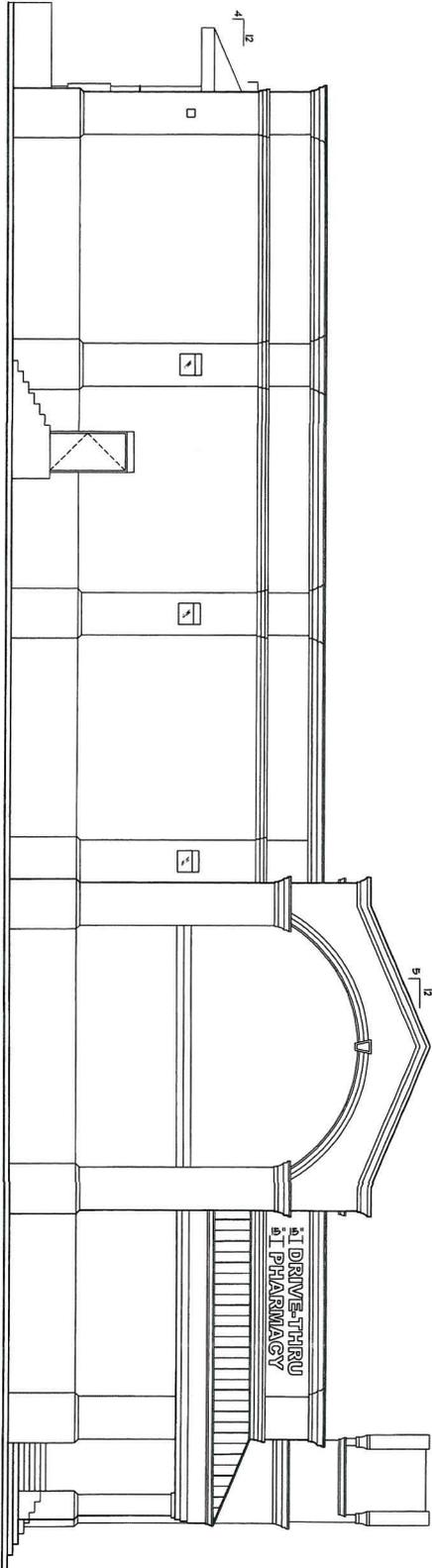
THOMAS E. POPE, P.A. ARCHITECT
7009 Shrimp Road #4, Key West FL
(305) 296 3611 TEPopePA@aol.com

Stock Island Drug Store
Overseas Highway Stock Island, FL





Overseas Highway
North Elevation



East Elevation

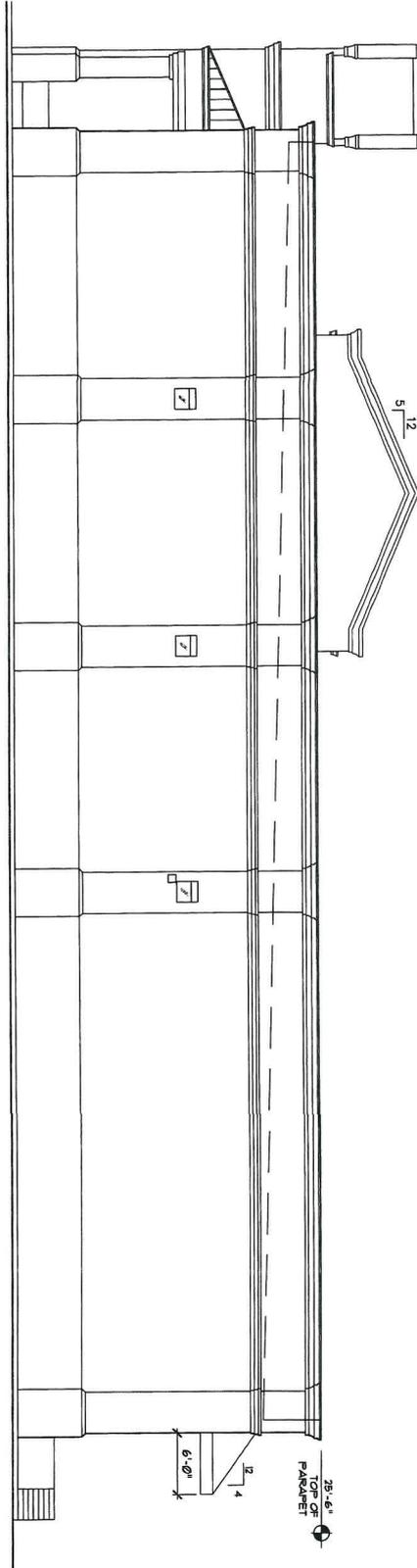
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APR 14 2009
BY: 281045

SHEET:
A3

DATE: 4/14/09
REVISION:
THOMAS E. POPE, P.A. ARCHITECT
7009 Shrimp Road #4, Key West FL
(305) 296 3611
TEPopePA@aol.com

Stock Island Drug Store
Overseas Highway Stock Island, FL





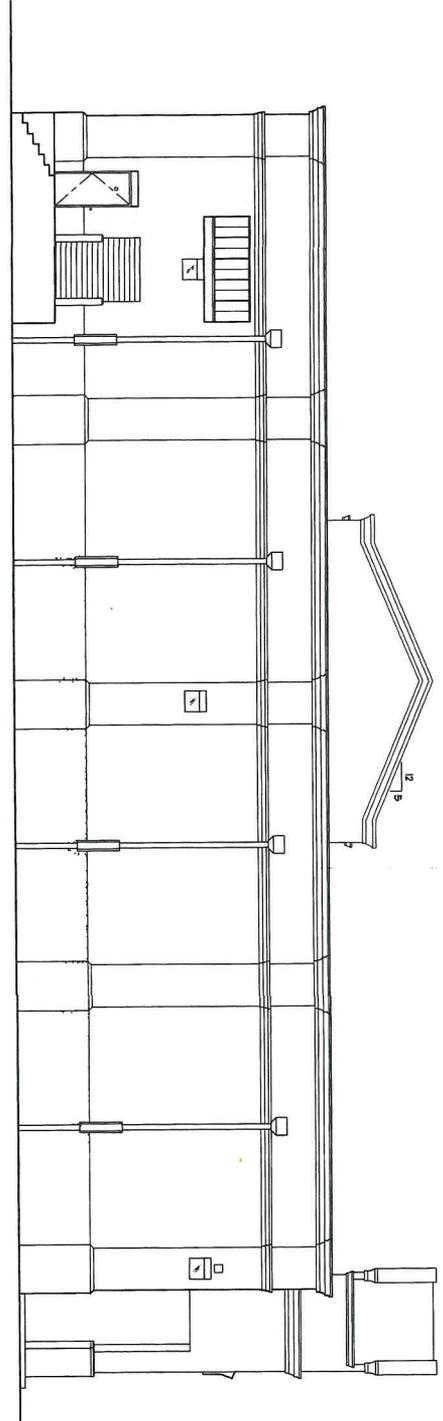
West Elevation
3/8\"/>

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JUN 14 2009
BY: 296412

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DATE:
3/20/09
revision:

THOMAS E. POPE, P.A. ARCHITECT
7009 Shrimp Road #4, Key West FL
(305) 296 3611 TEPopePA@aol.com

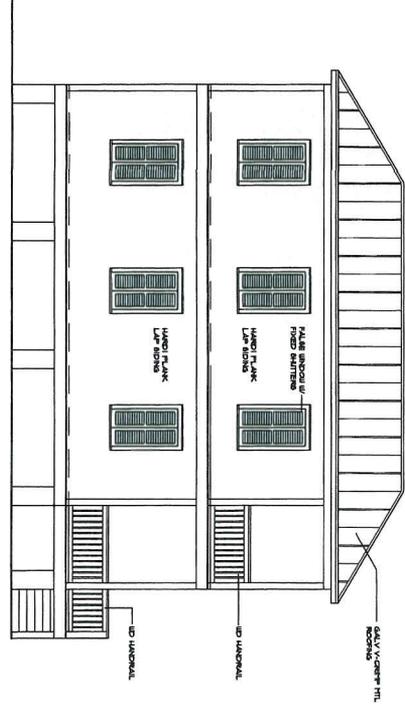


MacDonald Ave
South Elevation
3/8\"/>

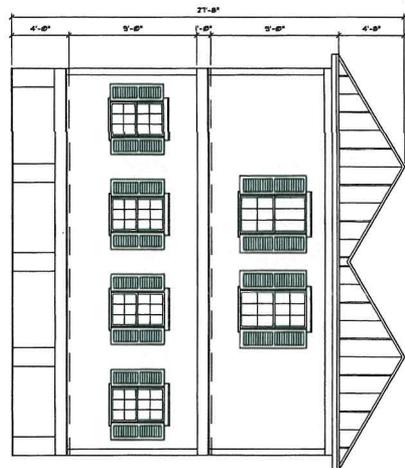
Stock Island Drug Store
Overseas Highway Stock Island, FL



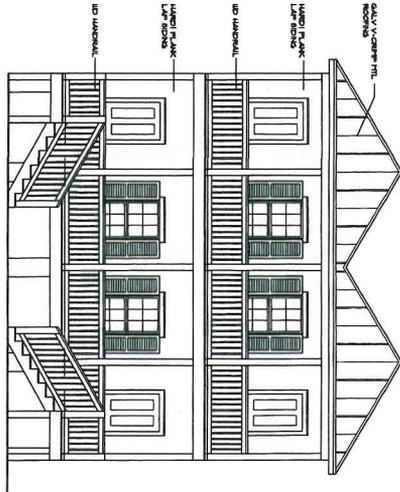
Side
North Elevation



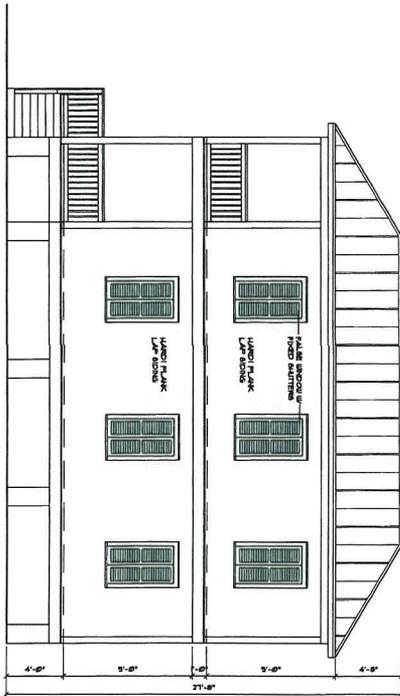
Rear
East Elevation



Front
West Elevation



Side
South Elevation



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APR 14 2009
BY: JNO/S

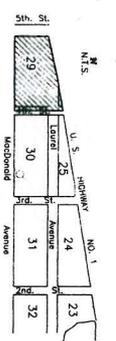
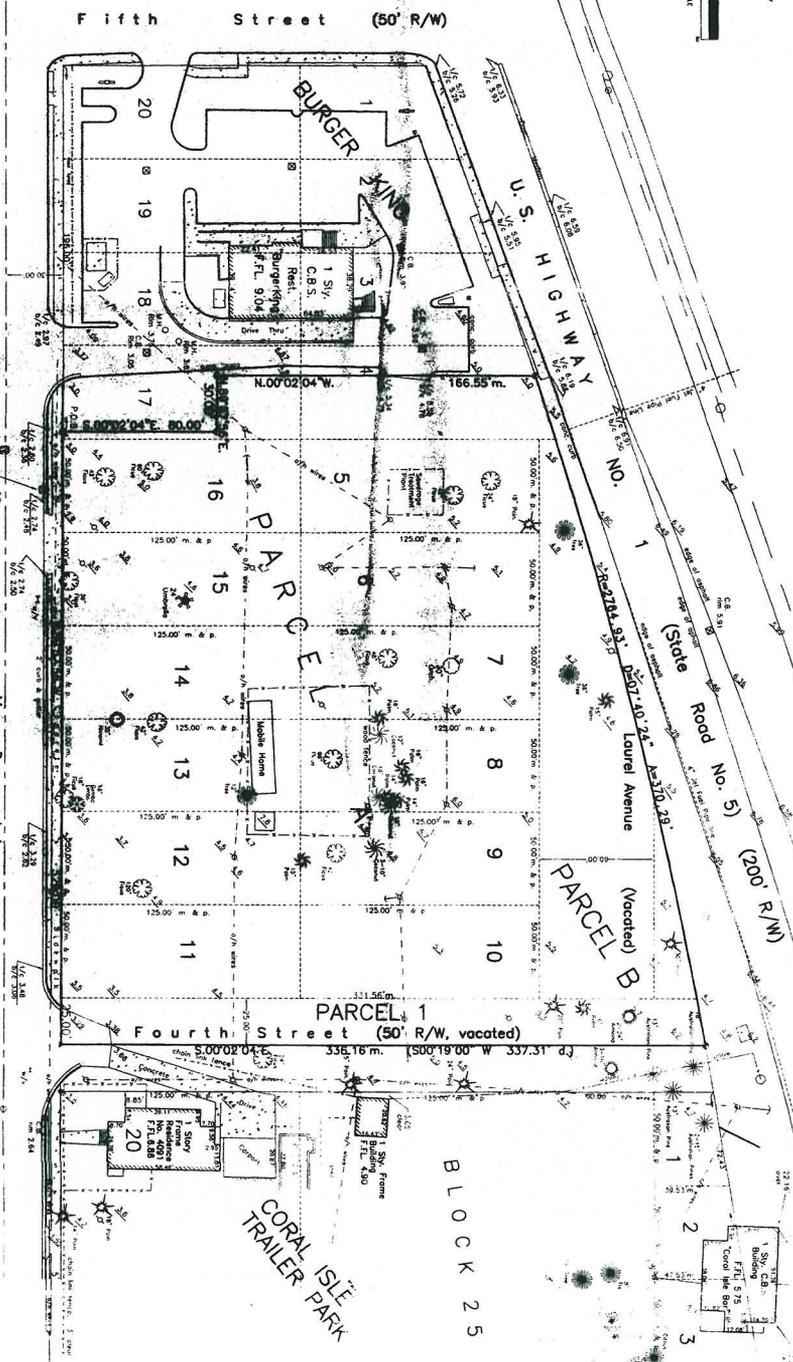
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date:
3/7/09
revision:

THOMAS E. POPE, P.A. ARCHITECT
7009 Shrimp Road #4, Key West FL
(305) 296 3611 TEPopePA@aol.com

Stock Island Drug Store
Overseas Highway Stock Island, FL





LOCATION MAP
A portion of Stock Island,
Key West, Florida

STAKEOUT NOTES

- 1. Set 1/2" from top of P.W. No. 214
- 2. Set P.W. No. 1, 5, No. 214
- 3. Set P.W. No. 1, 5, No. 214
- 4. Set P.W. No. 1, 5, No. 214
- 5. Set P.W. No. 1, 5, No. 214
- 6. Set P.W. No. 1, 5, No. 214
- 7. Set P.W. No. 1, 5, No. 214
- 8. Set P.W. No. 1, 5, No. 214
- 9. Set P.W. No. 1, 5, No. 214
- 10. Set P.W. No. 1, 5, No. 214
- 11. Set P.W. No. 1, 5, No. 214
- 12. Set P.W. No. 1, 5, No. 214
- 13. Set P.W. No. 1, 5, No. 214
- 14. Set P.W. No. 1, 5, No. 214
- 15. Set P.W. No. 1, 5, No. 214
- 16. Set P.W. No. 1, 5, No. 214
- 17. Set P.W. No. 1, 5, No. 214
- 18. Set P.W. No. 1, 5, No. 214
- 19. Set P.W. No. 1, 5, No. 214
- 20. Set P.W. No. 1, 5, No. 214
- 21. Set P.W. No. 1, 5, No. 214
- 22. Set P.W. No. 1, 5, No. 214
- 23. Set P.W. No. 1, 5, No. 214
- 24. Set P.W. No. 1, 5, No. 214
- 25. Set P.W. No. 1, 5, No. 214
- 26. Set P.W. No. 1, 5, No. 214
- 27. Set P.W. No. 1, 5, No. 214
- 28. Set P.W. No. 1, 5, No. 214
- 29. Set P.W. No. 1, 5, No. 214
- 30. Set P.W. No. 1, 5, No. 214
- 31. Set P.W. No. 1, 5, No. 214
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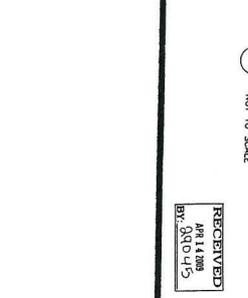
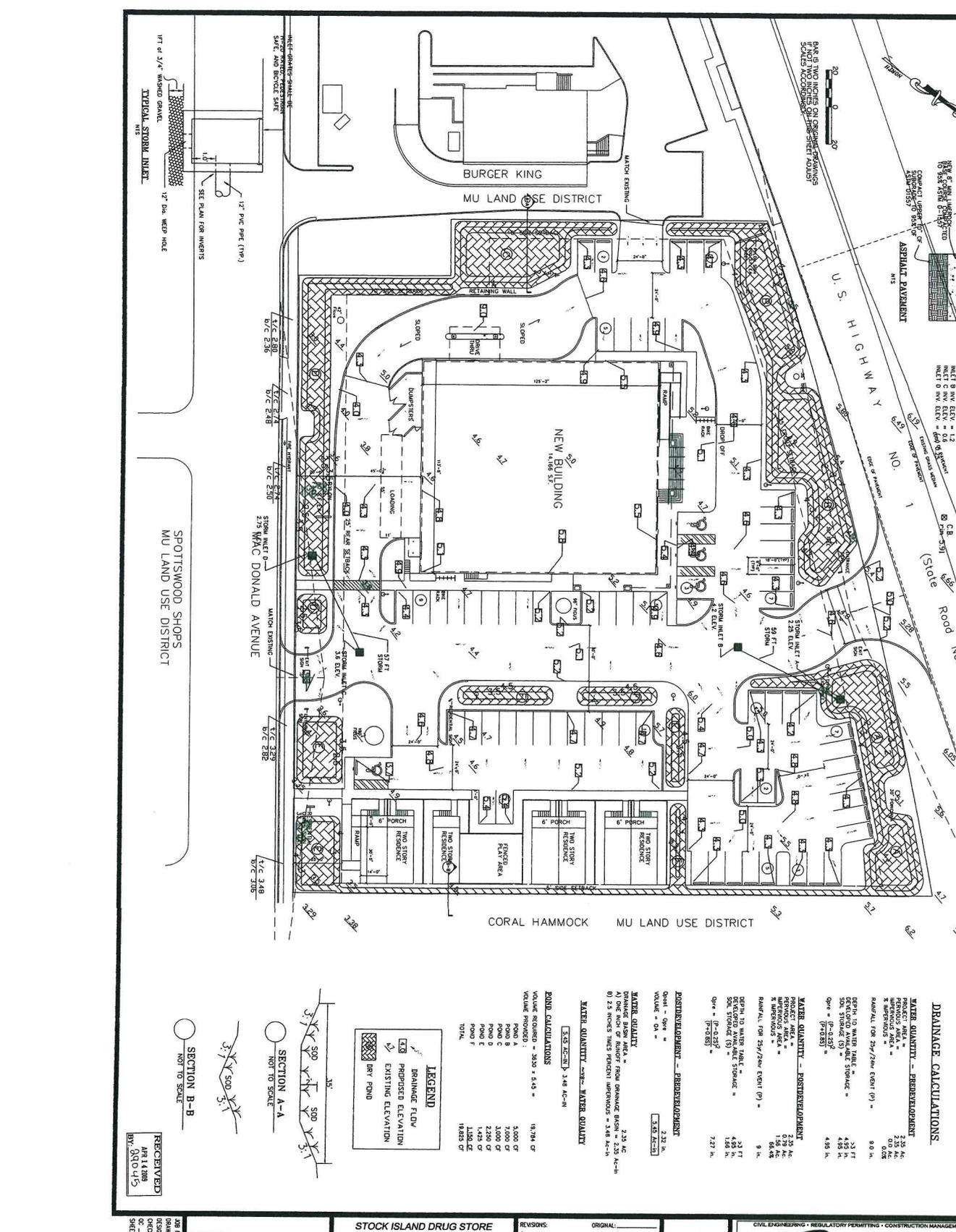
LEGAL DESCRIPTION:
PARCEL A: A parcel of land on Stock Island, Monroe County, Florida and being a part of Square 29, as shown on STOCK ISLAND MAP, SUBDIVISION AS RECORDED IN Plat Book 1 at Page 55 of the Public Records of the said Monroe County. Said parcel being described by metes and bounds as follows:
COMMENCE At the Southeast corner of the said Square 29 and run thence East along the South boundary line of the said Square for a distance of 300.00 feet; thence North and parallel with the South boundary line of the said Square for a distance of 300.00 feet; thence West and parallel with the South boundary line of the said Square for a distance of 167.26 feet to a point on the North boundary line of the said Square; thence North 76°59'03" East along the said North boundary line of the said Square for a distance of 8.4 feet to a point of deflection; thence East and parallel with the said North boundary line of the said Square for a distance of 250.00 feet to the South boundary line of the said Square; thence South along the East boundary line of the said Square for a distance of 250.00 feet to the South boundary line of the said Square; thence West along the South boundary line of the said Square for a distance of 300.00 feet back to the Point of Beginning.

LEGAL DESCRIPTION:
PARCEL ONE: That portion of Fourth Street, Stock Island, Monroe County, Florida, lying between the North right of way line of Macdonald Avenue and the South right of way line of U.S. Highway No. 1, more particularly described as follows:
BEGIN at the Southeast corner of Lot 11, Block 29, Plat Book 1, Page 55, as shown on the Public Records of Monroe County, Florida; thence N 0°19'00" E along the East line of said Block 29 and the Easterly line of the East Lateral Avenue deposited by Block 29 to a point on the Southern right of way line of U.S. Highway No. 1, a distance of 25.32 feet; thence Southwesterly along the Southern right of way line of U.S. Highway No. 1 to a point on the Easterly line of said Block 29, a distance of 139.51 feet; thence Northwesterly along the Easterly line of said Block 29 to the Southeast corner of Lot 11, Block 29, Plat Book 1, Page 55, as shown on the Public Records of Monroe County, Florida.

Station	Angle	Distance	Bearing
1	90°00'00"	300.00	N 0°00'00" E
2	90°00'00"	300.00	N 0°00'00" E
3	90°00'00"	167.26	N 0°00'00" E
4	90°00'00"	8.4	N 0°00'00" E
5	90°00'00"	250.00	N 0°00'00" E
6	90°00'00"	250.00	N 0°00'00" E
7	90°00'00"	300.00	N 0°00'00" E
8	90°00'00"	300.00	N 0°00'00" E
9	90°00'00"	300.00	N 0°00'00" E
10	90°00'00"	300.00	N 0°00'00" E
11	90°00'00"	300.00	N 0°00'00" E
12	90°00'00"	300.00	N 0°00'00" E
13	90°00'00"	300.00	N 0°00'00" E
14	90°00'00"	300.00	N 0°00'00" E
15	90°00'00"	300.00	N 0°00'00" E
16	90°00'00"	300.00	N 0°00'00" E
17	90°00'00"	300.00	N 0°00'00" E
18	90°00'00"	300.00	N 0°00'00" E
19	90°00'00"	300.00	N 0°00'00" E
20	90°00'00"	300.00	N 0°00'00" E

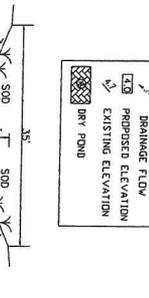
NOTED: THIS PLAN IS A PRELIMINARY BOUNDARY SURVEY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE SURVEYOR'S OFFICE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE SURVEYOR'S OFFICE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE SURVEYOR'S OFFICE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

FREDERICK H. WILKINSON
Professional Engineer No. 2149
NOT VALID UNLESS COUNTERSIGNED WITH REGISTERED SEAL & SIGNATURE



SECTION A-A
NOT TO SCALE

SECTION B-B
NOT TO SCALE



LEGEND

- DRAINAGE FLOW
- PROPOSED ELEVATION
- EXISTING ELEVATION
- DRY POND

BOND CALCULATIONS

3.50 (2.50) x 3.48 AC-IN

VOLUME REQUIRED = 3034 5/8

VOLUME

POND A	5000 CF	18784 CF
POND B	7000 CF	24680 CF
POND C	3000 CF	10680 CF
POND D	2250 CF	8025 CF
POND E	1500 CF	5340 CF
POND F	1100 CF	3960 CF
TOTAL		18283 CF

WATER QUANTITY - WATER QUALITY

3.50 (2.50) x 3.48 AC-IN

WATER QUALITY

DRIVER CASH AREA = 2.31 AC

RESIDENTIAL AREA FROM GRANITE DRIVE = 1.42 AC

2.5 INCHES THREE PERCENT SUPERNOUS = 1.88 AC-IN

POSTDEVELOPMENT - REDEVELOPMENT

Depth - One = 2.31 AC

Volume - One = 5.52 (2.25)

VALUE - One =

WATER QUANTITY - REDEVELOPMENT

PRODUCT AREA = 2.35 AC

RESIDENTIAL AREA = 1.42 AC

WATERWAYS = 0.00 AC

RAINFALL FOR 25%/YEAR EVENT (P) = 9.0 IN.

DEPTH TO WATER TABLE = 2.31 FT

SOIL STORAGE (S) = 5198 GAL

SOIL STORAGE (S) = 5198 GAL

One = (P-0.25) = 459 IN.

One = (P-0.25) = 459 IN.

REVISIONS

1	ORIGINAL
2	
3	
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6	
7	
8	
9	

STOCK ISLAND DRUG STORE
STOCK ISLAND, FL 33040

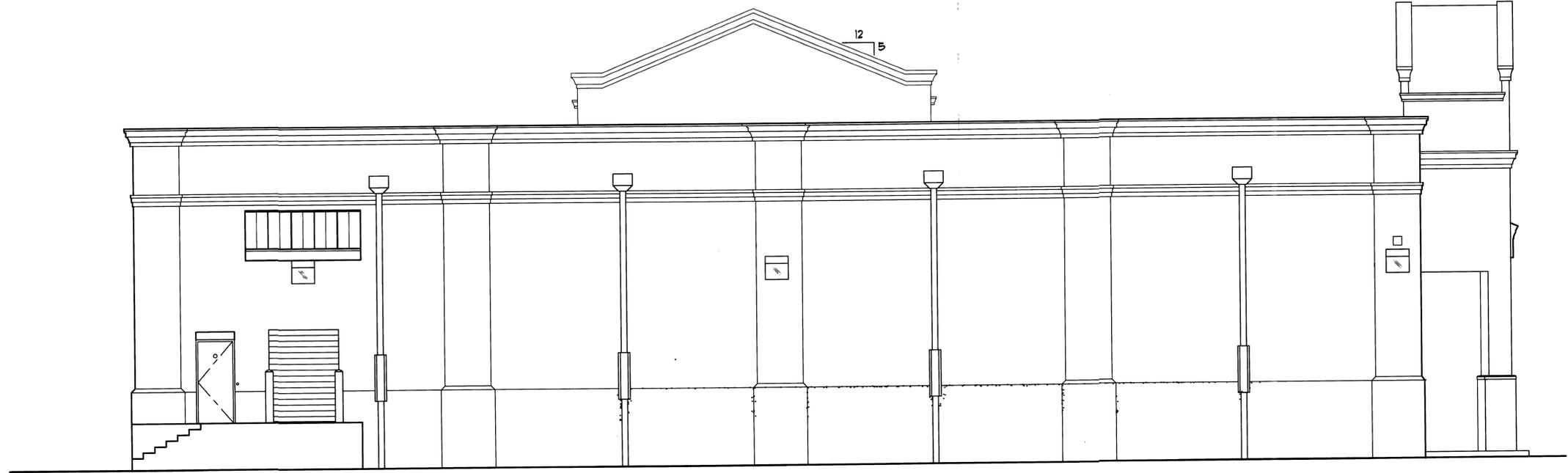
DRAINAGE PLAN

RECEIVED
APR 14 2009
BY: 0410415

ALLIEN PEREZ, P.E.
Florida P.E. NO. 51468
April 3, 2009

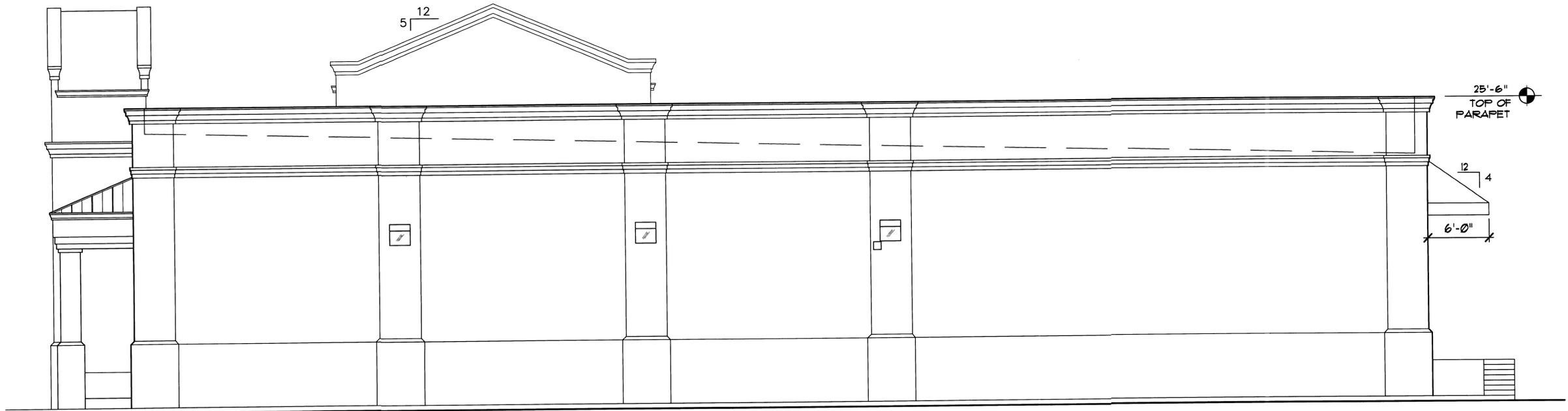
Perez Engineering & Development, Inc.
1010 EAST PHOENIX ROAD, SUITE 400
GULF BAY, FLORIDA 33040
TEL: (813) 527-0440 FAX: (813) 527-0640
3507 EAST PHOENIX ROAD, SUITE 1410
GULF BAY, FLORIDA 33040
TEL: (813) 527-1816 FAX: (813) 298-0710

\\SERVER\c-shared\Clients\Eckerd-Stock_Island\Site Plan Submittal 3-2009.dwg, 3/30/2009 9:40:40 AM



**MacDonald Ave
South Elevation**

3/16" = 1' - 0"



West Elevation

3/16" = 1' - 0"

RECEIVED
APR 14 2009
BY: 29043

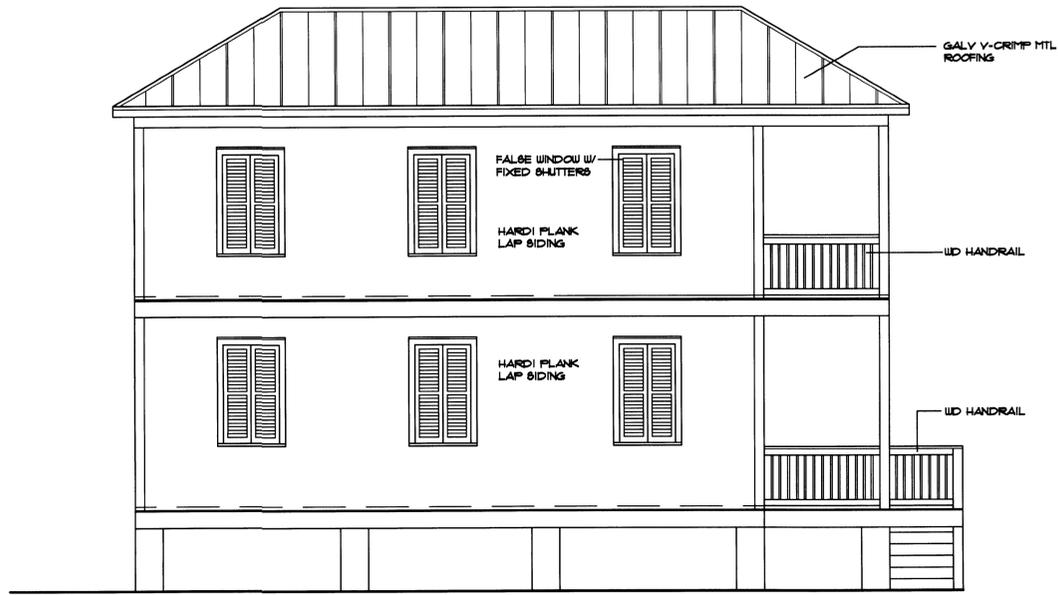
THOMAS E. POPE, P.A. ARCHITECT
7009 Shrimp Road #4, Key West FL
TEPopePA@aol.com
(305) 296 3611

date:
3/27/09
revision:

sheet:
A4

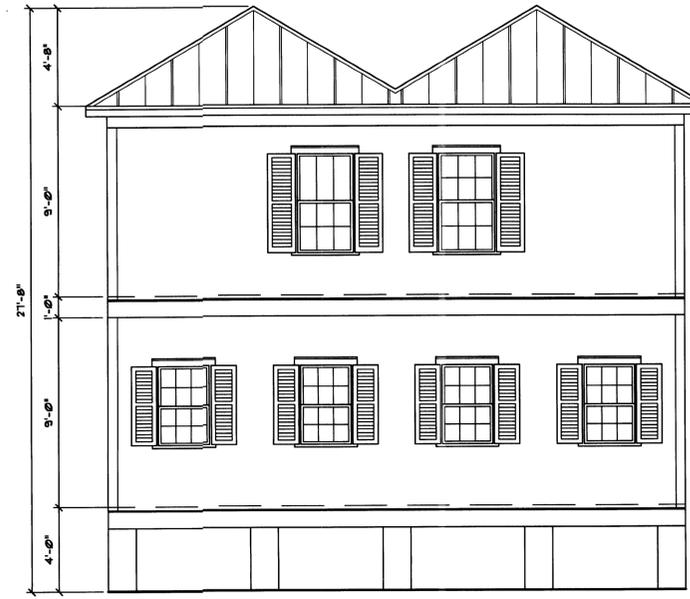
Stock Island Drug Store
Overseas Highway Stock Island, FL

\\SERVER01\shared\Clients\Echard-Stock Island\Site Plan Submittal 2-2009.dwg, 3/31/2009 9:40:55 AM



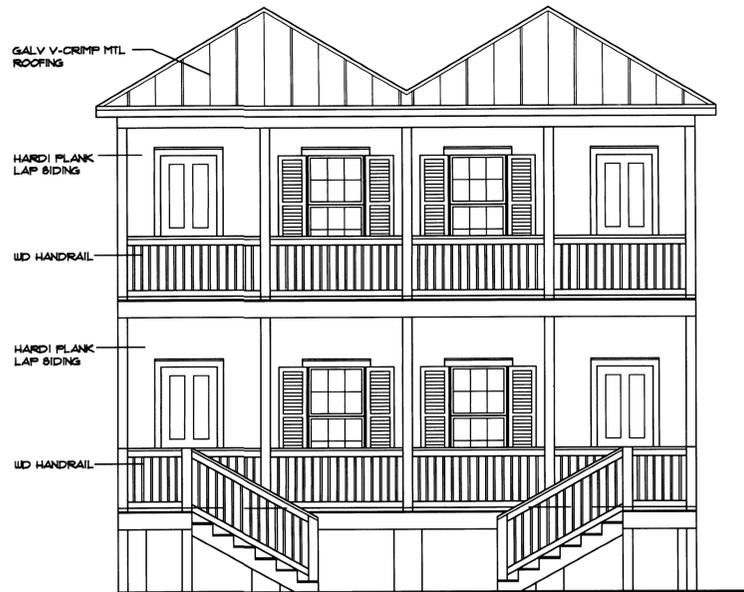
Side North Elevation

1/4" = 1' - 0"



Rear East Elevation

1/4" = 1' - 0"



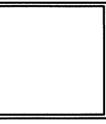
Front West Elevation

1/4" = 1' - 0"



Side South Elevation

1/4" = 1' - 0"



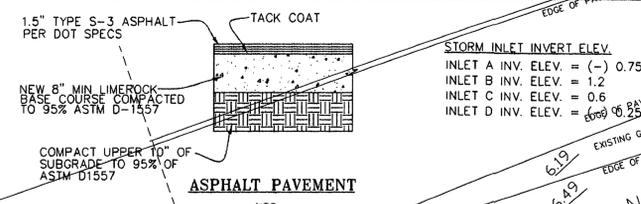
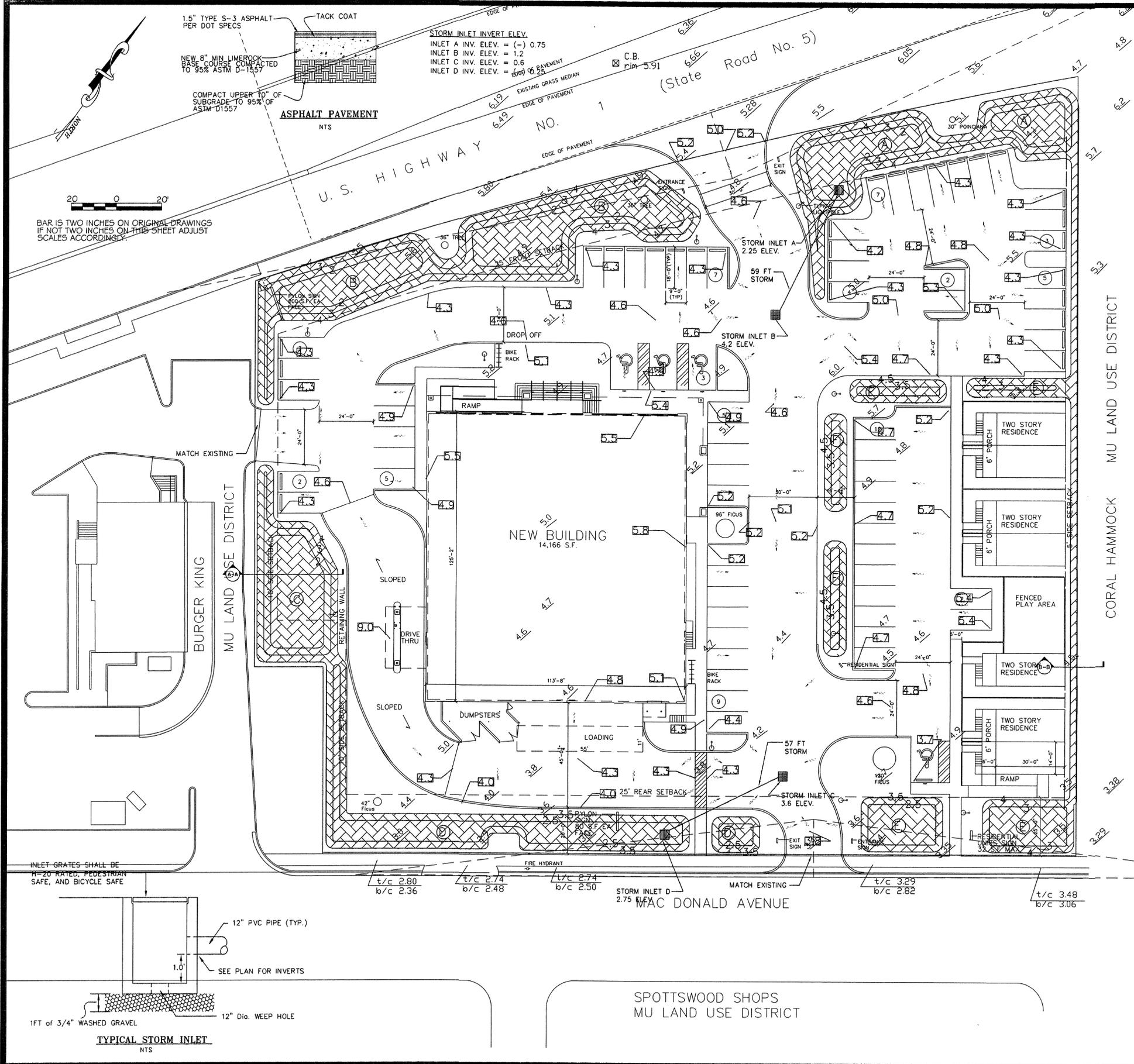
Stock Island Drug Store
Overseas Highway Stock Island, FL

THOMAS E. POPE, P.A. ARCHITECT
7009 Shrimp Road #4, Key West FL
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(305) 296 3611

date:
3/27/09
revision:

sheet:
A5

RECEIVED
APR 14 2009
BY: 22045



STORM INLET INVERT ELEV.
 INLET A INV. ELEV. = (-) 0.75
 INLET B INV. ELEV. = 1.2
 INLET C INV. ELEV. = 0.6
 INLET D INV. ELEV. = 2.75

20 0 20'
 BAR IS TWO INCHES ON ORIGINAL DRAWINGS
 IF NOT TWO INCHES ON THIS SHEET ADJUST
 SCALES ACCORDINGLY.

DRAINAGE CALCULATIONS

WATER QUANTITY - PREDEVELOPMENT
 PROJECT AREA = 2.35 Ac.
 PERVIOUS AREA = 2.35 Ac.
 IMPERVIOUS AREA = 0.0 Ac.
 % IMPERVIOUS = 0.0%
 RAINFALL FOR 25yr/24hr EVENT (P) = 9.0 in.

DEPTH TO WATER TABLE = >3 FT
 DEVELOPED AVAILABLE STORAGE = 4.95 in.
 SOIL STORAGE (S) = 4.95 in.
 $Q_{pre} = \frac{(P-0.2S)^2}{(P+0.8S)}$ = 4.95 in.

WATER QUANTITY - POSTDEVELOPMENT
 PROJECT AREA = 2.35 Ac.
 PERVIOUS AREA = 0.79 Ac.
 IMPERVIOUS AREA = 1.56 Ac.
 % IMPERVIOUS = 66.4%
 RAINFALL FOR 25yr/24hr EVENT (P) = 9 in.

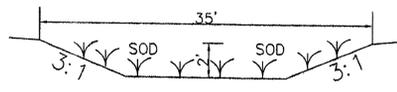
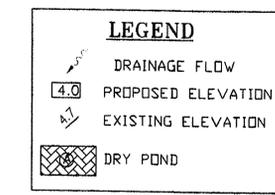
DEPTH TO WATER TABLE = >3 FT
 DEVELOPED AVAILABLE STORAGE = 4.95 in.
 SOIL STORAGE (S) = 1.66 in.
 $Q_{post} = \frac{(P-0.2S)^2}{(P+0.8S)}$ = 7.27 in.

POSTDEVELOPMENT - PREDEVELOPMENT
 $Q_{post} - Q_{pre} = 2.32$ in.
 VOLUME = $Q_{post} \times A = 5.45$ Ac-in

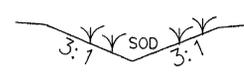
WATER QUALITY
 DRAINAGE BASIN AREA = 2.35 AC
 A) ONE INCH OF RUNOFF FROM DRAINAGE BASIN = 2.35 AC-in
 B) 2.5 INCHES TIMES PERCENT IMPERVIOUS = 3.48 AC-in

WATER QUANTITY ~vs~ WATER QUALITY
 5.45 AC-IN > 3.48 AC-IN

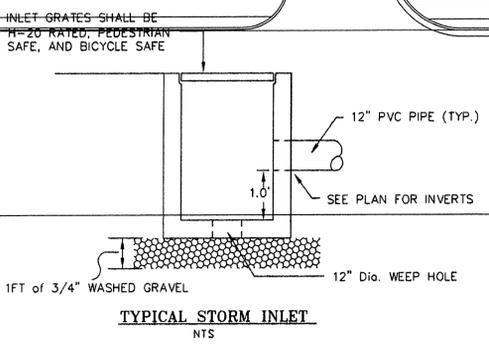
POND CALCULATIONS
 VOLUME REQUIRED = $3630 \times 5.45 = 19,784$ CF
 VOLUME PROVIDED:
 POND A = 5,000 CF
 POND B = 7,000 CF
 POND C = 3,000 CF
 POND D = 2,250 CF
 POND E = 1,425 CF
 POND F = 1,150 CF
 TOTAL = 19,825 CF



SECTION A-A
 NOT TO SCALE



SECTION B-B
 NOT TO SCALE



CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT
 KEY WEST OFFICE
 1010 EAST KENNEDY DRIVE, SUITE 400
 KEY WEST, FL 34639
 TEL: (305) 239-9440 FAX: (305) 239-0243
 TAMPA OFFICE
 CONCOURSE CENTER
 3507 EAST FRANKLIN ROAD, SUITE 140
 TAMPA, FL 33611
 TEL: (813) 879-1616 FAX: (813) 288-0710
PEREZ ENGINEERING & DEVELOPMENT, INC

ALLEN E. PEREZ, P.E.
 Florida P.E. NO. 51688
 April 3, 2009

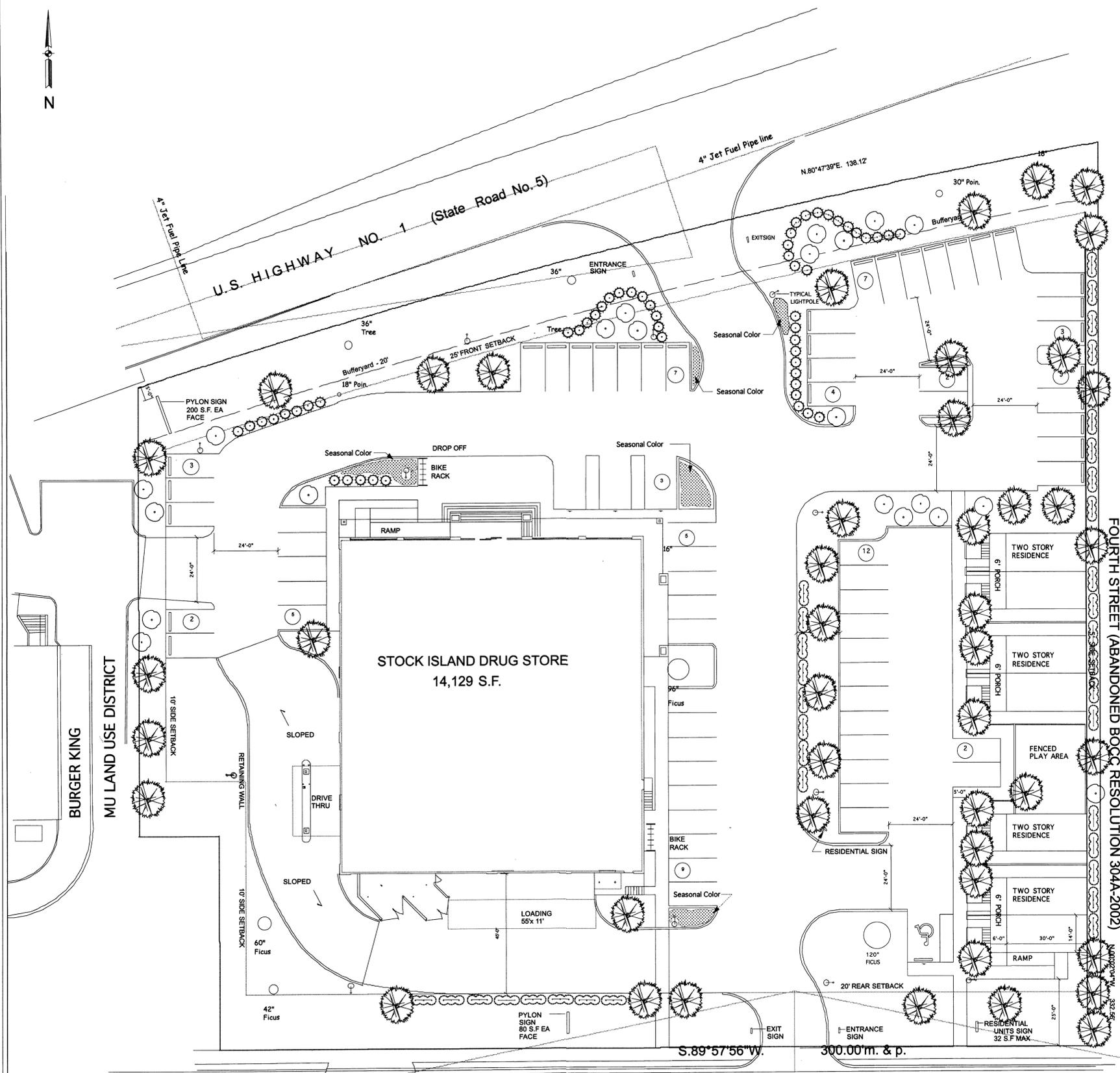
ORIGINAL: _____
 REVISIONS:

1	
2	
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6	

STOCK ISLAND DRUG STORE
 STOCK ISLAND, FL 33040
DRAINAGE PLAN

JOB NO. 061008
 DRAWN: GWS
 DESIGNED: AEP
 CHECKED: AEP
 QC: _____
 SHEET: C-1

RECEIVED
 APR 14 2009
 BY: 89045



M C C REQUIREMENTS

US HIGHWAY 1 BUFFER:

CLASS B: 365 LINEAR FEET @ 20' WIDE, US HIGHWAY 1.
 CANOPY: 3.7 X 12 = 4 CANOPY TREES
 UNDERSTORY: 3.7 X 4 = 2 UNDERSTORY TREES
 SHRUBS: 3.7 X 4 = 15 SHRUBS

RESIDENTIAL BUFFER PER SECTION 9.5-248(c)(3)(b)

CLASS C: 330 LINEAR FEET @ 5' WIDE, CORAL ISLE (1/2 REQ'D BUFFER)
 CANOPY: 3.3 X 5 = 16.5 / 2 = 8 CANOPY TREES
 UNDERSTORY: 3.3 X 1.8 = 2/2 = 1 UNDERSTORY TREES
 SHRUBS: 3.3 X 18 = 59 / 2 = 30 SHRUBS

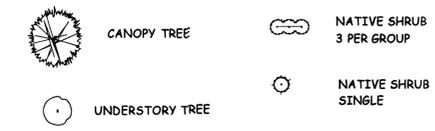
MAC DONALD AVENUE STREET TREES

BASED ON 300 LF @ 1 PER HUNDRED = 3 TREES
 4 EXISTING TREES EXCEED REQUIREMENT

PARKING LOT LANDSCAPING

CLASS C: BASED ON 70 SPACES DIVIDED BY 24 = 2.92
 430 S.F. X 2.92 = 1,257 SQUARE FEET
 CANOPY: 2.92 X 2 = 6 CANOPY TREES
 UNDERSTORY: NONE REQUIRED
 SHRUBS: 2.92 X 5 = 15 SHRUBS

SYMBOL LEGEND



PLANT MATERIAL OPTIONS

CLASS	PLANT MATERIAL OPTIONS	SIZE	QUANTITY PROVIDED
Canopy Tree	Mahogany (<i>Swietenia mahagoni</i>), Gumbo Limbo (<i>Bursera simaruba</i>), Pigeon Plum (<i>Clusia rosea</i>), GreenButtonwood (<i>Conocarpus erectus</i>)	14-16' overall, 3" dbh minimum	CLASS B: 6 (3 PROPOSED + 3 EX.) CLASS C: 8 PKG. LOT: 19 (16 PROP. + 3 EX.)
Street Tree	Paradise Tree (<i>Simarouba glauca</i>), Satinleaf (<i>Chrysophyllum oliviforme</i>)	12-14' overall, 3" dbh minimum	MACDONALD: 5 (4 PROP. + 1 EX.) RESIDENTIAL: 7
Understory Tree	Geiger Tree (<i>Cordia sebestena</i>), Florida Thatch Palm (<i>Thrinax radiata</i>), Sweet Acacia (<i>Acacia farnesiana</i>)	5-6' overall, 1 5 gal minimum	CLASS B: 5 CLASS C: 1 PKG. LOT: 15
Shrub (Single & Group)	Jamaica Caper (<i>Capparis cynophallophora</i>), Firebush (<i>Hamelia patens</i>), Spanish Stopper (<i>Eugenia axillaris</i>), Fakahatchee Grass (<i>Tripsacum dactyloides</i>), Cocoplum (<i>Chrysobalanus icaco</i>), Silver buttonwood (<i>Conocarpus erectus sericeus</i>)	24-30" spread, 3 to 5 gal.	CLASS B: 19 CLASS C: 57 PKG. LOT: 57 MACDONALD: 24

LAND PLANNERS & DESIGNERS
THE CRAIG COMPANY
 COMPREHENSIVE PLANNING
 RESORT/TOURISM PLANNING
 LAND USE REGULATIONS
 DEVELOPMENT FEASIBILITY
 SITE DESIGN
 EXPERT WITNESS
 LANDSCAPE DESIGN
 MAILING ADDRESS: P.O. BOX 970
 KEY WEST, FLORIDA 33041-0970
 OFFICE LOCATION: 610 WHITE ST.
 KEY WEST, FLORIDA 33040
 PHONE: (305) 294-1515
 FAX: (305) 292-1525
 E-MAIL: barb@craigcompany.com

STOCK ISLAND DRUG STORE
STOCK ISLAND, MONROE COUNTY
FLORIDA

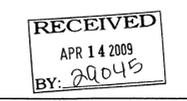
REVISIONS:

1	Survey Change	09.16.02
2	Housing and Setback Change	10.22.02
3	Resubmission for Conditional Use	04.10.09

CONCEPTUAL LANDSCAPE PLAN

Scale: 1" = 20' 0"

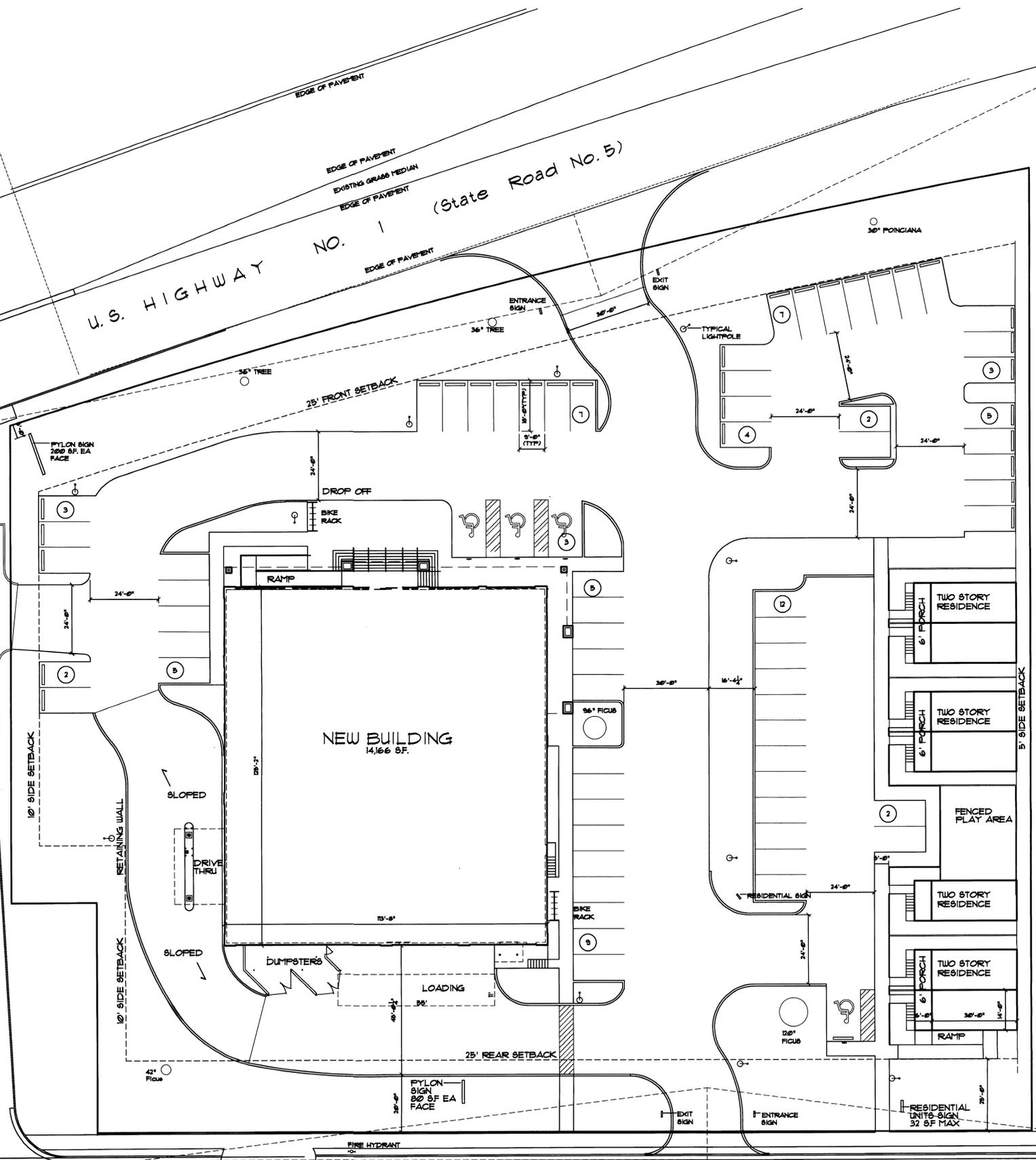
DRAWN BY: BBM DATE: 08.27.02
 CHECKED BY: BBM SHEET: LD-1



STOCK ISLAND DRUG STORE

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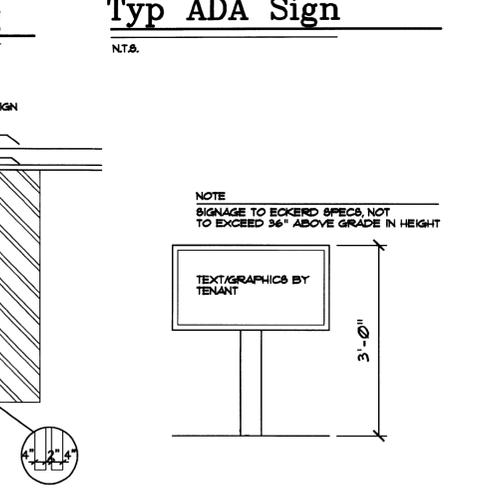
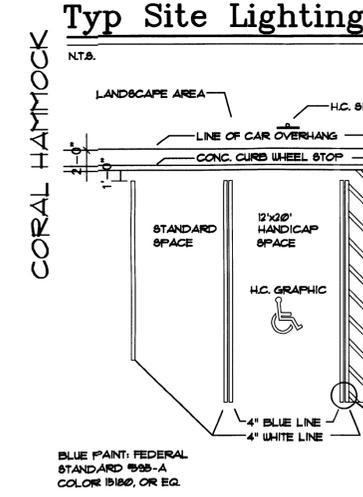
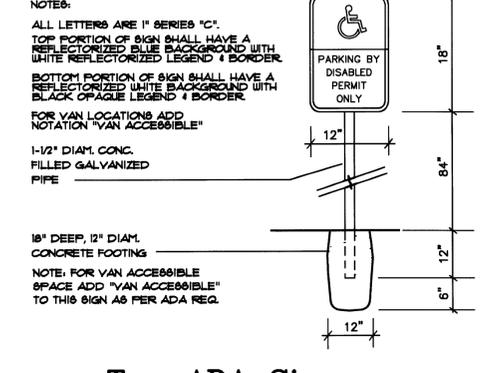
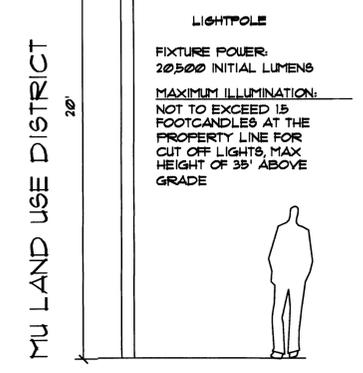
Site Plan
1" = 20'-0"



SITE ANALYSIS

ZONING	MU
SITE AREA	47,103,656+ (238 AC)
FLOOD ZONE	AE 9
MIN OPEN SPACE RATIO	0.2 (20,131 SF.)
PROPOSED OPEN SPACE RATIO	0.25
COMMERCIAL (INCLUDING OVER-HANGS)	19,500 SF.
1 HOUSING UNITS (# 840/UNIT)	9,800 SF.
ASPHALT PAVING	46,560 SF.
CONC WALKS	4,341 SF.
TOTAL IMPERVIOUS AREA	13,000 SF.

MAX FAR	0.25 (25,914 SF.)
TOTAL SITE UTILITY	85.5%
COMMERCIAL DEVELOPMENT	54.5% OF SITE
RESIDENTIAL DEVELOPMENT	31.0% OF SITE
TOTAL BUILDABLE AREA: 130 ACRES	
MAXIMUM NET RESIDENTIAL DENSITY: 12 UNITS/AC	
130 X 12 = 22.8 UNITS, 1 PROPOSED UNITS/22.8 = 31.0 % OF SITE	
MAX HEIGHT	35'
SETBACKS	
FRONT	25'
REAR	20'
SIDE	5', 10'
PARKING REQUIRED	
COMMERCIAL	141 X 3 = 423 SPACES
ATTACHED RESIDENTIAL	6 X 15 = 9 SPACES
SINGLE RESIDENTIAL	1 X 2 = 2 SPACES
TOTAL	533 = 53 SPACES
PARKING PROVIDED	
COMMERCIAL	55 SPACES
RESIDENTIAL	15 SPACES
TOTAL	70 SPACES



INDEX

SITE PLAN	S1
COMMERCIAL FLOOR PLAN	A1
RESIDENTIAL FLOOR PLANS	A2
COMMERCIAL ELEVATIONS	A3
COMMERCIAL ELEVATIONS	A4
RESIDENTIAL ELEVATIONS	A5

Stock Island Drug Store
Overseas Highway
Stock Island, FL

THOMAS E. POPE, P.A. ARCHITECT
7009 Shrimp Road #4, Key West FL
TEPopePA@aol.com
(305) 296 3611

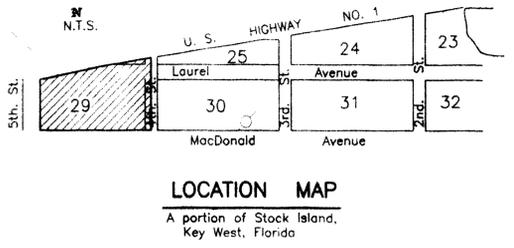
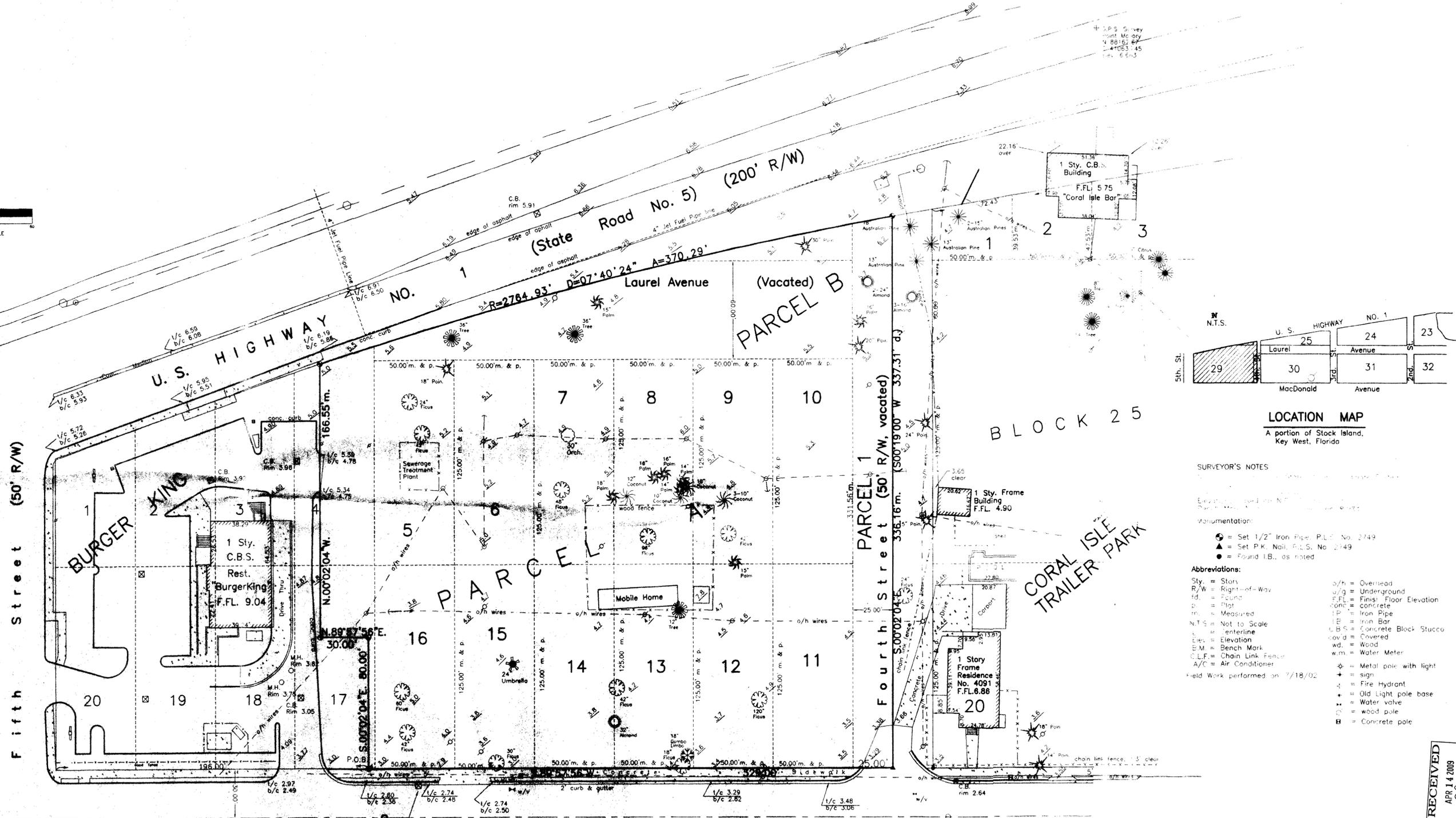
date: 3/27/09
revision:

RECEIVED
APR 14 2009
BY: 29045

sheet:
S1

MAC DONALD AVENUE

SPOTTSWOOD SHOPS
MU LAND USE DISTRICT



- SURVEYOR'S NOTES**
- Field Work performed on 7/18/02
- Monumentation:**
- = Set 1/2" Iron Pipe, P.L.S. No. 2749
 - ▲ = Set P.K. Nail, P.L.S. No. 2849
 - = Found I.B., as noted
- Abbreviations:**
- Sty. = Story
 - R/W = Right-of-Way
 - fd. = Foliage
 - p. = Plot
 - m. = Measured
 - N.T.S. = Not to Scale
 - ent. = entrance
 - Elev. = Elevation
 - B.M. = Bench Mark
 - C.L.F. = Chain Link Fence
 - A/C = Air Conditioner
 - o/h = Overhead
 - u/g = Underground
 - F.F.L. = Finish Floor Elevation
 - con. = concrete
 - IP = Iron Pipe
 - IB = Iron Bar
 - C.B.S. = Concrete Block Stucco
 - cov'd = Covered
 - wd. = Wood
 - w.m. = Water Meter
 - ⊕ = Metal pole with light
 - + = sign
 - ⊕ = Fire Hydrant
 - ⊕ = Old light pole base
 - ⊕ = Water valve
 - ⊕ = wood pole
 - = Concrete pole

LEGAL DESCRIPTION:

PARCEL A: A parcel of land on Stock Island, Monroe County, Florida and being a part of Square 29, as shown on STOCK ISLAND MALONEY SUBDIVISION AS RECORDED IN Plat Book 1 at Page 55 of the Public Records of the said Monroe County; said parcel being described by metes and bounds as follows:
COMMENCE AT THE Southwest corner of the said Square 29 and run thence East along the South boundary line of the said Square for a distance of 196.0 feet to the Point of Beginning of the parcel of land herein described; thence north and parallel with the East boundary of the said Square for a distance of 80.0 feet; thence West and parallel with the South boundary of the said Square for a distance of 30.0 feet; thence North and parallel with the East boundary line of the said Square for a distance of 167.26 feet to a point on the North boundary line of said Square; thence North 78°58'03" East along the said North boundary line of the said Square for a distance of 8.4 feet to a point of deflection; thence East and continuing along the said North boundary line of the said Square for a distance of 326.0 feet to the Northeast corner of the said Square; thence South along the East boundary of the said Square for a distance of 250 feet to the Southeast corner of said square; thence West along the South boundary line of the said Square for a distance of 304.0 feet back to the Point of Beginning.

PARCEL B: A parcel of land on Stock Island, Monroe County, Florida and being Block 26 and a portion of East Laurel Avenue, both as shown on STOCK ISLAND MALONEY SUBDIVISION as recorded in Plat Book 1 at Page 55 of the Public Records of the said Monroe County; said parcel being described by metes and bounds as follows:
BEGIN at the intersection of the West right of way line of 4th Street with the South right of way line of East Laurel Avenue and run thence West along the South right of way line of the said East Laurel Avenue for a distance of 326 feet, more or less, to the SE 1/4 right of way line of the said Highway U.S. No. 1; thence NE 1/4 along the SE 1/4 right of way line of the said Highway U.S. No. 1 for a distance of 343 feet, more or less, to the NE corner of the said Block 26; said NE corner of the said Block 26 being north of the Point of Beginning.

LEGAL DESCRIPTION:

That portion of Fourth Street, Stock Island, Monroe County, Florida, lying between the North right of way line of Mac Donald Avenue and the South right of way line of U.S. Highway No. 1 more particularly described as follows:

PARCEL ONE:

Begin at the Southeast corner of Lot 11, Block 29, Plat Book 1, Page 55, as found in the Public Records of Monroe County, Florida, thence N 00°19'00" E along the Easterly property lines of Lots 11 and 10, Block 29 and the Easterly line of that parcel on East Laurel Avenue abandoned by Monroe County Resolution 294-1989 and the Easterly property line of Block 26 to a point on the Southerly right of way line of U.S. Highway 1; thence N 81°15'35" E a distance of 25.32 feet along the Southerly right of way line of U.S. Highway No 1 to a point thence S 00°19'00" W a distance of 337.31 feet along the centerline of Fourth Street to a point; thence N 89°41'00" W a distance of 25 feet along the North right of way line of Mac Donald Avenue to the Point of Beginning.

CERTIFICATION:

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida, Statute Section 472.027 and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
 Professional Land Surveyor & Mapper No. 2749
 Professional Engineer No. 36610
 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

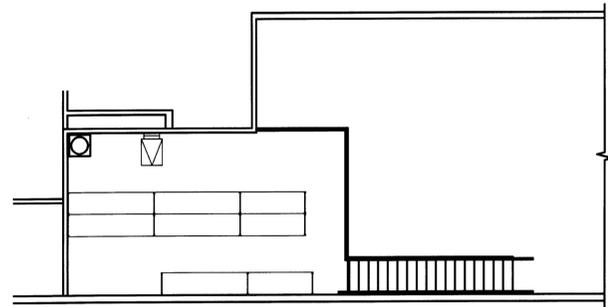
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BOUNDARY SURVEY		Dwn. By: F.H.H.
Scale: 1"=30'	Sheet: 1228 H	Flood Elev.:
Date: 8/2/02	Head Corp: AE	Flood Elev.:
REVISIONS/ADDENDUMS		
Stock Island, Block 26		

FREDERICK H. HILDEBRANDT
 ENGINEER PLANNER SURVEYOR

3150 Northside Drive
 Suite 101
 Key West, FL 33040
 (305) 293-0466
 Fax: (305) 293-0237

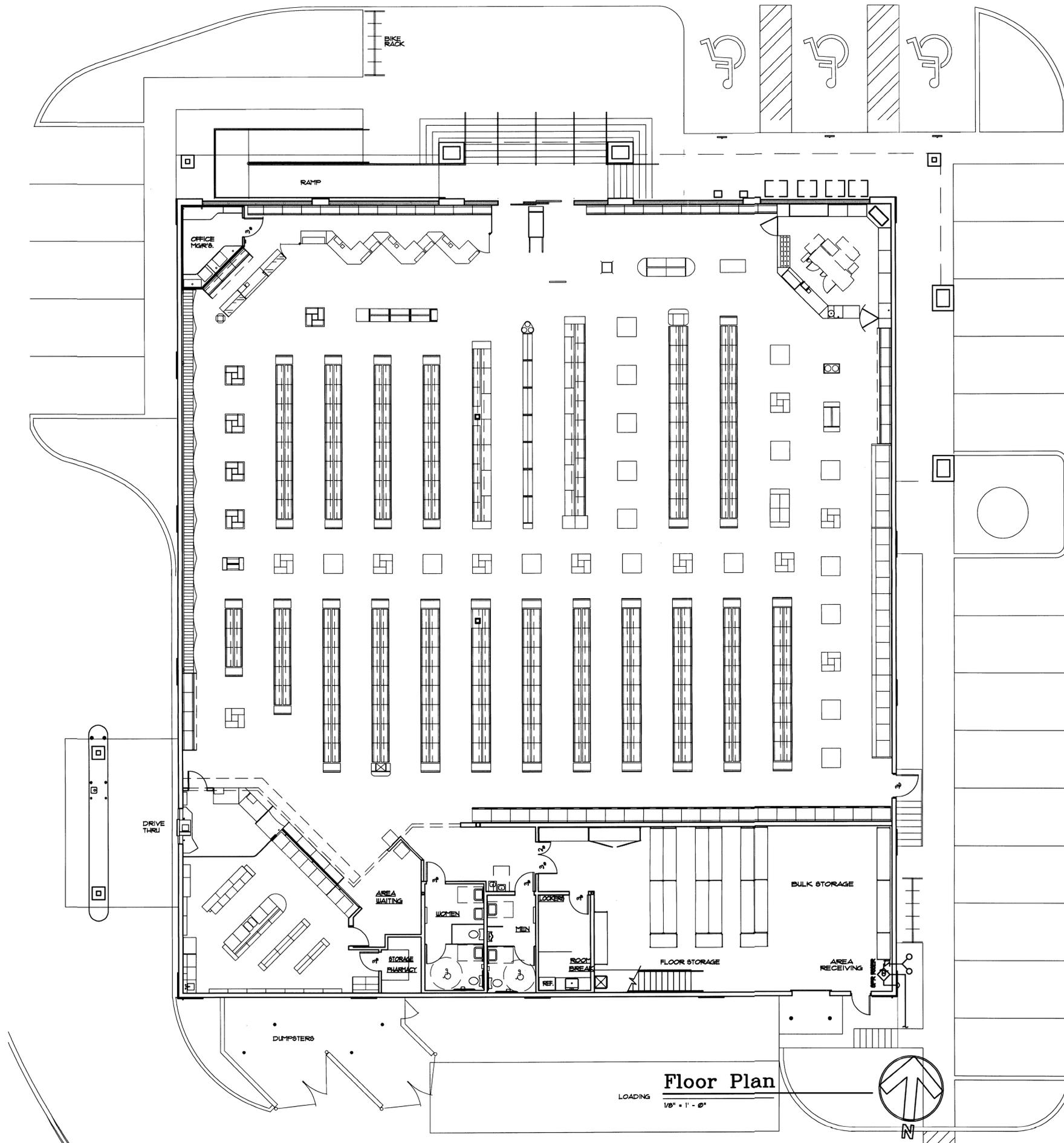
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Mezzanine Plan

1/8" = 1' - 0"



Floor Plan

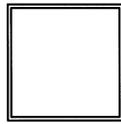
1/8" = 1' - 0"

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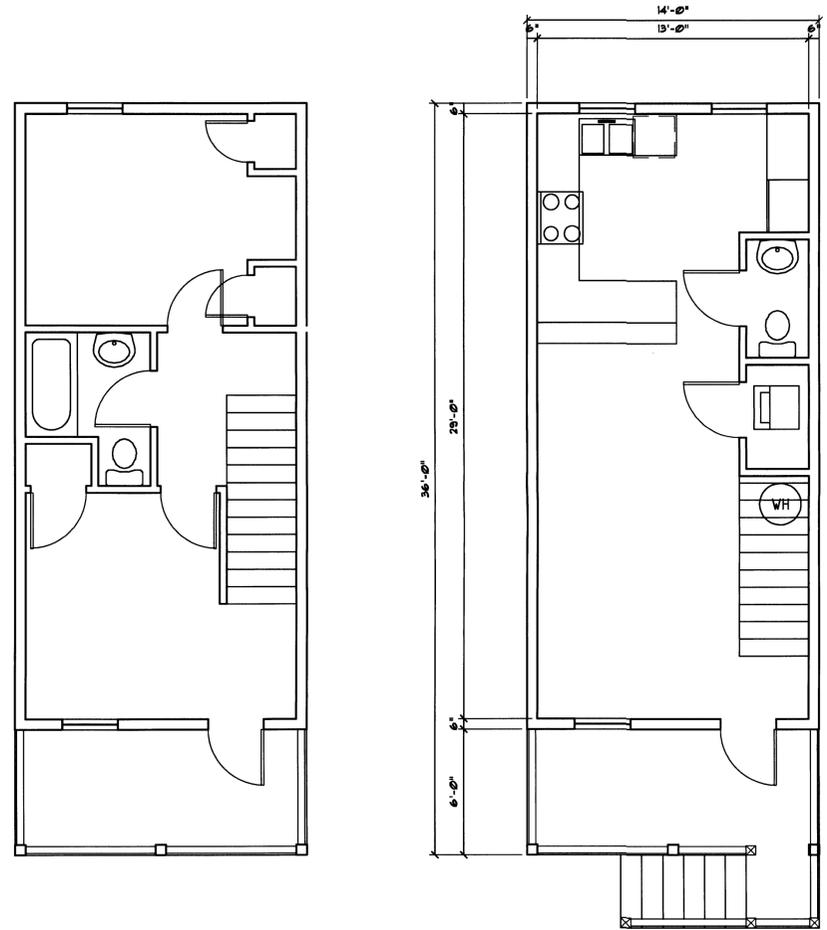
sheet:
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THOMAS E. POPE, P.A. ARCHITECT
7009 Shrimp Road #4, Key West FL
TEPopePA@aol.com
(305) 296 3611

Stock Island Drug Store
Overseas Highway Stock Island, FL



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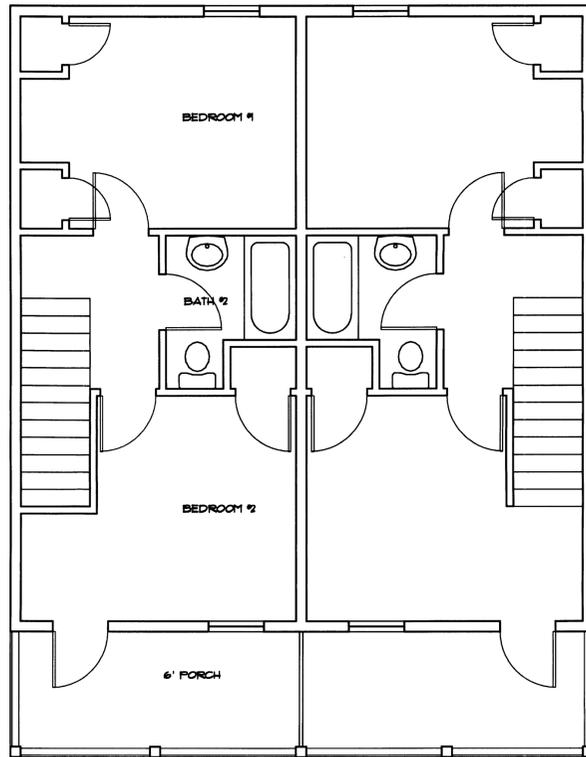
2nd Floor Plan

1/4" = 1' - 0"



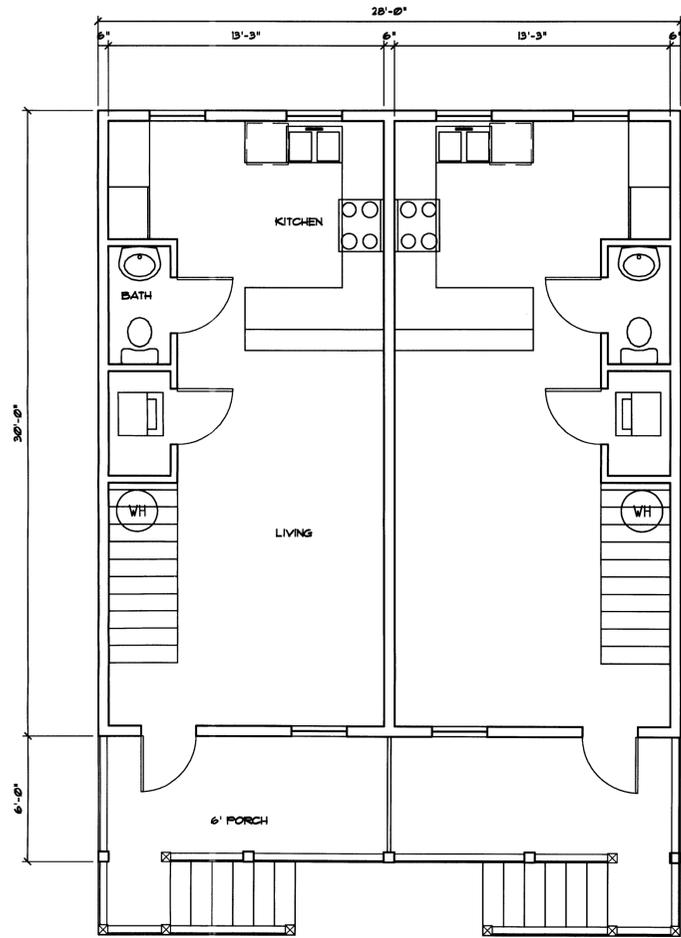
1st Floor Plan

1/4" = 1' - 0"



Typical Duplex
2nd Floor Plan

1/4" = 1' - 0"



Typical Duplex
1st Floor Plan

1/4" = 1' - 0"



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BY: 29046

sheet:
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THOMAS E. POPE, P.A. ARCHITECT
7009 Shrimp Road #4, Key West FL
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date:
3/27/09
revision:

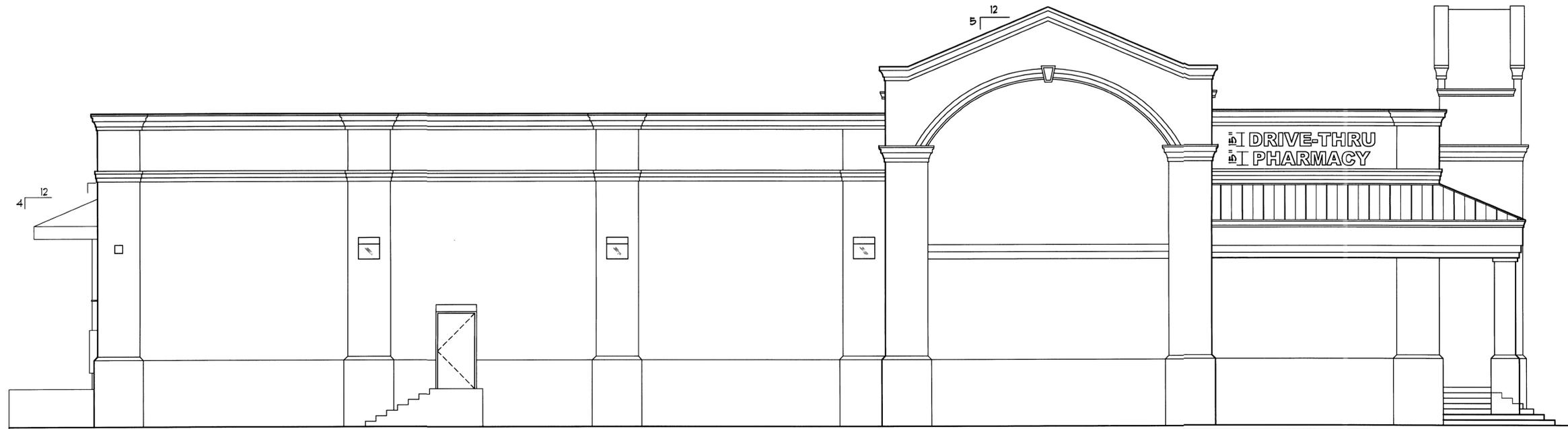
Stock Island Drug Store
Overseas Highway Stock Island, FL





**Overseas Highway
North Elevation**

3/16" = 1' - 0"



East Elevation

3/16" = 1' - 0"

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Stock Island Drug Store
Overseas Highway Stock Island, FL

THOMAS E. POPE, P.A. ARCHITECT
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date:
3/27/09
revision:

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BY: 29045



MEMORANDUM

MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

We strive to be caring, professional and fair

To: The Development Review Committee &
Townasley Schwab, Senior Director of Planning & Environmental Resources

From: Joseph Haberman, AICP, Principal Planner 
Janis Vaseris, Biologist

Date: August 12, 2009

Subject: *Request for a Major Conditional Use Permit in order to construct a drug store at
approximate mile marker 5 on the Overseas Highway, Stock Island, Real Estate
No. 00124140.000000*

Meeting: August 18, 2009

1 I REQUEST:

2
3 The applicant is requesting approval of a major conditional use permit in order to construct a
4 commercial retail building consisting of 14,129 ft² non-residential floor area; construct seven
5 (7) residential dwelling units; and carry out several miscellaneous site improvements. The
6 commercial retail building would serve as a drug store and have a drive through window.
7



Subject Property (outlined in blue) (2006)

1 Location:

2 Address: Overseas Highway (US 1), Stock Island, mile marker 5 (oceanside)

3
4
5 Legal Description: Square 29 and Block 26, Lots 5-16, part Lot 4, part Lot 17, Maloney
6 subdivision (PB1-55), also known as Parcels A and B; a vacated portion of East Laurel
7 Avenue; and a vacated portion of Fourth Street

8
9 Real Estate (RE) Number: 00124140.000000

10
11 Applicant:

12 Owner: Spottswood Partners Inc.

13
14 Agent: Barbara Mitchell, the Craig Company

15
16
17 II RELEVANT PRIOR COUNTY ACTIONS:

18
19 Development Order 02-1989 was approved by the Director of Planning in 1989. The
20 development order approved a minor conditional use permit for the redevelopment of 51
21 mobile homes.

22
23 Resolution P38A-96 was approved by the Planning Commission in 1996. The resolution
24 approved a major conditional use permit for the development of a 14,400 ft² low to medium-
25 intensity open air market and a 433 ft² restroom facility on the subject property, as well as for
26 additional development on a separate, non-contiguous parcel on MacDonald Avenue.

27
28 Resolution 070-1997 was approved by the BOCC in 1997. The BOCC adopted the
29 resolution as evidence of its approval of the Orders of the Vested Rights Hearing Officers,
30 promulgated pursuant to a Vested Rights Hearing held on November 21, 1996.

31
32 Resolution P12-00 was approved by the Planning Commission in 2000. The resolution
33 approved an amendment to a major conditional use permit approved under Resolution P38A-
34 96 for the development of a 14,400 ft² high-intensity open air market and a 433 ft² public
35 restroom facility on the subject property, as well as for additional development on a separate,
36 non-contiguous parcel on MacDonald Avenue.

37
38 Resolution 304A-2002 was approved by the BOCC in 2002. The resolution renounced and
39 disclaimed any rights that the County was entitled to a portion of Fourth Street between
40 MacDonald Avenue and US 1. Part of this abandoned portion of road is part of the subject
41 property.

42
43 The open air market and public restroom facility were never developed and the major
44 conditional use permit approved under Resolution P38A-96 and amended under Resolution
45 P12-00 is null and void with no further action required by the County due to the approval of
46 Resolution P04-03.

47
48 Resolution P04-03 was approved by the Planning Commission in 2003. The resolution
49 approved an amendment to the major conditional use permit approved under Resolutions
50 P38A-96 and P12-00 and permitted the construction of seven residential dwelling units and a

1 14,129 ft² Eckerd Drug Store on the property. Although filed as an amendment, the approval
2 was significantly different than that approved under Resolutions P38A-96 and P12-00.
3

4 Resolution P15-04 was approved by the Planning Commission in 2004. The resolution
5 approved an amendment to a major conditional use permit approved under Resolution P04-
6 03 and permitted the construction of 10 market-rate residential dwelling units and a 14,129
7 ft² Eckerd Drug Store on the property. The amendment also permitted several adjustments to
8 the site plan and the removal of a drive-through from the proposed drug store.
9

10 The 10 market-rate residential dwelling units and Eckerd Drug Store were never constructed
11 and the major conditional use permit approved under Resolution P04-03 and amended under
12 Resolution P15-04 is null and void with no further action required by the County due to the
13 approval of Resolution P32-05.
14

15 Resolution P32-05 was approved by the Planning Commission in 2005. The resolution
16 approved an amendment to a major conditional use permit for the construction of 46
17 residential dwelling units on the property.
18

19 Resolution P24-08 was approved by the Planning Commission in 2008. The resolution
20 approved a time extension and provided a new expiration date of April 27, 2009 to the major
21 conditional use permit approved under Resolution P32-05.
22

23 The 46 residential dwelling units were never constructed and the major conditional use
24 permit approved under Resolution P32-05 and extended under Resolution P24-08 expired
25 due to time limitations and is null and void with no further action required by the County.
26

27 III BACKGROUND INFORMATION: 28

- 29 A. Size of Site: 103,656 ft² (2.38 acres)
- 30 B. Land Use District: Mixed Use (MU)
- 31 C. Future Land Use Map (FLUM) Designation: Mixed Use/Commercial (MC)
- 32 D. Tier Designation: Tier 3
- 33 E. Flood Zone: AE – EL 9
- 34 F. Existing Use: Vacant
- 35 G. Existing Vegetation / Habitat: Predominately scarified with sparse vegetation throughout
36 composed of several native trees
- 37 H. Community Character of Immediate Vicinity: Mixed Use – commercial retail, multi-
38 family residential, mobile home, light industrial and golf course
- 39 I. Miscellaneous: Historically, the property had been developed with a trailer park known
40 as Pearl Mobile Home Park. In 1988, the court mandated the renovation of the park. In
41 1989, Development Order 02-1989 approved a redevelopment with 51 new mobile
42 homes. However, the proposed redevelopment did not materialize per the development
43 order and most of the mobile homes were removed prior to 1994. Although several
44 approvals have been granted since 1994, the property has not been redeveloped to date.
45
46

1 IV REVIEW OF APPLICATION:

2
3 MCC §110-67 provides the standards which are applicable to all conditional uses. When
4 considering applications for a conditional use permit, the Development Review Committee
5 and Director of Planning & Environmental Resources shall consider the extent to which:
6

7 *A. The conditional use is consistent with the purposes, goals, objectives and standards of the*
8 *comprehensive plan and the land development regulations:*
9

10 The proposed development is consistent with the purposes, goals, objectives and
11 standards of the MC future land use category and the MU District.
12

13 Policies from the Monroe County Year 2010 Comprehensive Plan that directly pertain to
14 the proposed development include:
15

16 Policy 101.4.5: The principal purpose of the MC land use category is to provide
17 for the establishment of commercial zoning districts where various types of
18 commercial retail and office may be permitted at intensities which are consistent
19 with the community character and the natural environment. Employee housing
20 and commercial apartments are also permitted. This land use category is also
21 intended to allow for the establishment of mixed use development patterns, where
22 appropriate. Various types of residential and non-residential uses may be
23 permitted; however, heavy industrial uses and similarly incompatible uses shall be
24 prohibited. In order to protect environmentally sensitive lands, the following
25 development controls shall apply to all hammocks, pinelands, and disturbed
26 wetlands within this land use category: 1) only low intensity commercial uses
27 shall be allowed; 2) a maximum floor area ratio of 0.10 shall apply; and 3)
28 maximum net residential density shall be zero.
29

30 *B. The conditional use is consistent with the community character of the immediate vicinity:*
31

32 There are several existing commercial and residential uses located on other parcels along
33 US 1 on Stock Island. The proposed uses, a commercial retail drug store and residential
34 dwelling units, serve the needs of the immediate planning area in which it is located.
35 Therefore, the proposed development would be consistent with the community character
36 of the immediate vicinity.
37

38 *C. The design of the proposed development minimizes adverse effects, including visual*
39 *impacts, on adjacent properties:*
40

41 The proposed commercial retail building would be larger than many of the existing non-
42 residential buildings along US 1; however its scale would not be out of context. Staff
43 requests that the applicant utilize architectural features that provide visual interest and
44 break up the mass of the structure and that similar and consistent design, materials and
45 colors be utilized for all new structures, including signage, in order to make the
46 redevelopment more attractive and cohesive with the Stock Island community. In

1 addition, as part of the development, it shall be required that additional trees and
2 landscaping elements be introduced to the site. Therefore, the proposed development
3 minimizes adverse effects, including visual impacts, on adjacent properties.
4

5 D. *The proposed use will have an adverse impact on the value of surrounding properties:*
6

7 There are several existing commercial and residential uses located on other parcels along
8 US 1 on Stock Island. Therefore, it is not anticipated that the proposed development will
9 have an adverse impact on the value of the surrounding properties.
10

11 E. *The adequacy of public facilities and services:*
12

13 1. Roads:
14

15 *Localized Impacts & Access Management:* Access to and from the development shall
16 be approved by the Public Works Division and the Florida Department of
17 Transportation (FDOT) and in compliance with the Land Development Code (See
18 section I-22).
19

20 *Level of Service (LOS):* A traffic evaluation study shall be approved by the county's
21 traffic consultant (See section I-22).
22

23 2. Stormwater: The applicant shall coordinate with the Public Works Division, and, if
24 necessary, the South Florida Water Management District (SFWMD) to determine
25 compliance with all applicable regulations (See section I-9).
26

27 3. Sewer: The applicant shall coordinate with the Florida Department of Health, Florida
28 Department of Environmental Protection and/or Key West Resort Utilities to
29 determine compliance with all applicable regulations (See section I-10).
30

31 4. Emergency Management: The applicant shall coordinate with the Office of the Fire
32 Marshal to determine compliance with the Florida Fire Prevention Code and the
33 Florida Building Code. The office provided a letter of coordination dated March 30,
34 2009 which provided the office's conceptual approval of the project.
35

36 F. *The applicant has the financial and technical capacity to complete the development as*
37 *proposed:*
38

39 Staff has no evidence to support or disprove the applicant's financial and technical
40 capacity.
41

42 G. *The development will adversely affect a known archaeological, historical or cultural*
43 *resource:*
44

45 The proposed redevelopment will not adversely affect a known archaeological, historical
46 or cultural resource.

1
2 H. *Public access to public beaches and other waterfront areas is preserved as part of the*
3 *proposed development:*
4

5 The property is land-locked. Therefore, the proposed redevelopment will not have an
6 adverse impact on public access to a waterfront area.
7

8 I. *The project complies with all additional standards imposed on it by the Land*
9 *Development Regulations:*
10

11 1. Residential Rate of Growth Ordinance (ROGO) (§138-19 – §138-28): *In compliance.*
12

13 The proposal involves the construction of seven (7) residential dwelling units.
14

15 Pursuant to Development Order 02-1989 and other County documentation, the
16 property is entitled to 51 exemptions from the ROGO permit allocation system as 51
17 mobile homes were lawfully-established on the site. If this application is approved,
18 the applicant would utilize seven (7) of the ROGO exemptions.
19

20 As a note, in the application, the applicant asserts that the remaining 44 ROGO
21 exemptions would be transferred off-site in the future. As required in the Land
22 Development Code, a minor conditional use permit, applied for under a separate
23 application, shall be required to establish the site as an eligible sender site.
24

25 2. **Non-Residential Rate of Growth Ordinance (NROGO) (§138-47 – §138-56):**
26 ***Compliance to be determined.***
27

28 The application states that the proposal involves the construction of a 14,129 ft² non-
29 residential building. However, the site plan indicates that the building would consist
30 of 14,166 ft² of floor area. In addition, on the site plan, it is not indicated whether or
31 not there shall be a covered canopy for the drive-through. If it is covered, the area of
32 the canopy shall count towards the total amount of non-residential floor area for
33 NROGO purposes.
34

35 The applicant asserts that the site has the rights to 14,400 ft² of vested high intensity
36 commercial retail floor area. This assertion is based on BOCC Resolution 070-1997.
37 The BOCC adopted the resolution as evidence of its approval of the Orders of the
38 Vested Rights Hearing Officers, promulgated pursuant to a Vested Rights Hearing
39 held on November 21, 1996. However, the resolution itself provides very little detail.
40 A settlement agreement or other written documentation from the hearing shall be
41 required prior to any determination relating to the continued exemption of any floor
42 area from the NROGO.
43

44 3. Purpose of the MU District (§130-38): *In compliance.*
45

1 The purpose is to establish or conserve areas of mixed uses, including commercial
2 fishing, resorts, residential, institutional and commercial uses, and preserve these as
3 areas representative of the character, economy and cultural history of the Florida
4 Keys.
5

6 **4. Permitted Uses (§130-88): *In compliance following the receipt of required major***
7 ***conditional use permit.***
8

9 The proposed drug store is a commercial retail use. According to the application and
10 the traffic study, there would be 14,129 ft² of floor area within the building.
11

12 A traffic study by Jacobs Engineering Group indicates that the drug store would
13 generate 1,246 daily trips. According to that finding, there would be 88 daily trips
14 per 1,000 ft² of non-residential floor area. Commercial retail uses that generate
15 between 50 and 100 average daily trips per 1,000 ft² of floor area are medium-
16 intensity.
17

18 In the MU District, medium-intensity commercial retail uses of greater than 10,000 ft²
19 of floor area may be permitted with major conditional use permit approval, provided
20 that there is access to US 1 by way of a) an existing curb cut; b) a signalized
21 intersection; or c) a curb cut that is separated from any other curb cut on the same
22 side of US 1 by at least 400 feet. Attached residential dwelling units may also be
23 permitted with major conditional use permit approval, provided that a) the structures
24 are designed and located so that they are visually compatible with established
25 residential development within 250 feet of the parcel proposed for development and
26 b) the parcel proposed for development is separated from any established residential
27 use by a class-C bufferyard.
28

29 **5. Residential Density and Maximum Floor Area Ratio (§130-157, §130-162 & §130-
30 164): *In compliance.***
31

32 The staff report filed for the approval under the expired Resolution P15-04 stated that
33 the maximum residential development potential of the site if combined with 14,129
34 ft² of commercial floor area is 10 units. For that approval, the County utilized
35 maximum net density as opposed to allocated density, presumably due to the fact that
36 51 dwelling units were lawfully-established on the site and that results in this project
37 being in part a redevelopment. Allowing the utilization of maximum net density
38 again, the following land use intensity calculations would apply.
39

Land Use	Floor Area Ratio / Density	Size of Site	Maximum Allowed	Proposed Amount	Potential Used
Commercial Retail (medium-intensity)	0.25 FAR	103,656 ft ² (2.38 acres)	25,914 ft ²	14,129 ft ²	54.5 %
Dwelling Units (market-rate)	12 units / buildable acre	103,656 ft ² (1.9 buildable acres)	22.8 units	7 units	30.7 %
Total					85.2 %

1
2 **Affordable and Employee Housing; Administration (§130-161): *Not in***
3 ***compliance.***
4

5 Although this is a redevelopment, the application does not indicate that any of the 7
6 proposed dwelling units would be deed-restricted as affordable housing. Staff finds
7 that this redevelopment would be subject to the inclusionary housing requirements.
8

9 Resolution P04-03 was approved in 2003 and allowed the redevelopment of 7 of the
10 51 lawfully-established dwelling units, Resolution P15-04 was approved in 2004 and
11 allowed the redevelopment of 10 of the 51 lawfully-established dwelling units, and
12 Resolution P32-05 was approved in 2005 and allowed the redevelopment of 46 of the
13 51 lawfully-established dwelling units. A specified amount of deed-restricted
14 affordable housing was not required by the County as part of any of these approvals.
15 However, all of these applications pre-dated the inclusionary housing ordinance.
16

17 Due to the time limitations of conditional use permits, Resolutions P04-03, P15-04
18 and P32-05 are expired and thereby are null and void with no further action required
19 by the County. In MCC §130-161, there is no language vesting past voided approvals
20 that were provided prior to the effective date of the ordinance and expired afterwards.
21

22 The purpose of the inclusionary housing regulations, consistent with Goal 601 of the
23 Comprehensive Plan, is to ensure that the need for affordable housing is not
24 exacerbated by new residential development and redevelopment of existing
25 affordable housing stock. The intent is to protect the existing affordable housing
26 stock, to permit owners of mobile homes and mobile home spaces to continue
27 established mobile home uses consistent with current building and safety standards
28 and regulations and to ensure that, as residential development, redevelopment and
29 mobile home conversions occur, plan policies regarding affordable housing are
30 implemented.
31

32 Pursuant to MCC §130-161(b)(2)b., the removal and replacement with other types of
33 dwelling units of 10 or more mobile homes that are located on a parcel or contiguous
34 parcels and/or the conversion of mobile home spaces located on a parcel or
35 contiguous parcels into a use other than mobile homes shall be required to include in
36 the development or redevelopment a number of affordable housing units equal to at
37 least 30 percent of the number of existing units being removed and replaced or
38 converted from mobile home use or, in the event the new use is nonresidential, to
39 develop affordable housing units at least equal in number to 30 percent of the number
40 of mobile homes or mobile home spaces being converted to other than mobile home
41 use.
42

43 There were 51 mobile homes in the Pearl Mobile Home Park determined to be
44 lawfully-established and exempt from the ROGO. Therefore, 30 percent or 15 of the
45 51 exemptions are required to be rebuilt as deed-restricted affordable housing. 30
46 percent of the 7 proposed dwelling units would be 2 dwelling units.

1
2 Applying the inclusionary housing regulations of MCC §130-161 to the
3 redevelopment, the following land use intensity calculations would apply:
4

Land Use	Floor Area Ratio / Density	Size of Site	Maximum Allowed	Proposed Amount	Potential Used
Commercial Retail (medium-intensity)	0.25 FAR	103,656 ft ² (2.38 acres)	25,914 ft ²	14,129 ft ² *	54.5 %
Dwelling Units (market-rate)	12 units / buildable acre	103,656 ft ² (1.9 buildable acres)	22.8 units	5 units	21.9 %
Total					76.4 %
Dwelling Units (affordable)	18 units / buildable acre	103,656 ft ² (1.9 buildable acres)	34.2 units	2 units	5.8 %
Total					5.8 %

5
6 Affordable housing on parcels classified as MU may be developed at an intensity up
7 to a maximum net residential density of 18 dwelling units per buildable acre.
8 Furthermore, when calculating density, any affordable housing on a parcel and the
9 floor area thereof shall be excluded from the calculation of the total gross non-
10 residential floor area development that may be lawfully-established on the parcel.
11

- 12 6. Required Open Space (§118-9, §118-12, §130-157, §130-162 & §130-164): *In*
13 *compliance*.

14
15 There is a required open space ratio of 0.20. Therefore, at least 20,732 ft² of the
16 103,656 ft² of the total land area must remain open space. The site plan indicates that
17 there would be 73,089 ft² of impervious area.
18

- 19 7. **Minimum Yards (§118-12 & §130-186): *Not in compliance*.**

20
21 The required non-shoreline setbacks in the MU District where there are attached
22 residential and non-residential components are as follows: Front yard – 25 feet; Rear
23 yard – 20 feet; and Side yard – 10/15 feet (where 10 feet is required for one side and
24 15 feet is the minimum combined total of both sides).
25

26 The property is a six-sided lot. The site has a front yard requirement of 25 feet along
27 the right-of-way of US 1 (the northern property line), a side yard setback of 10 or 5
28 feet along the eastern property line, a front yard setback of 25 feet along the right-of-
29 way of MacDonald Avenue (part of the southern property line), and a side yard
30 requirement of 10 or 5 feet along the western property lines.
31

32 As shown on the site plan, the proposed development would be in compliance with
33 the setback requirements.
34

35 As a note, the applicant chose to have a 5-foot side yard setback along the eastern
36 property line and a 10-foot side yard setback along the western property lines. There

1 is a commercial development to the west, Burger King, and a residential development
2 to the east, Coral Hammock. Staff needs clarification as to the reasoning behind not
3 providing greater separation from the established residential use versus the
4 commercial use. Furthermore, a 5-foot setback along the eastern property line, as
5 opposed to a 10-foot setback, effectively reduces the “backyards” of the proposed
6 residential units.
7

8 **8. Maximum Height (§130-187): *Compliance to be determined.***
9

10 From the “crown of road”, the proposed drug store building is 35 feet, 0 inches.
11 From its base, the proposed drug store building is 38 feet, 10 inches. Grade is the
12 highest natural elevation of the ground surface, prior to construction, next to the
13 proposed walls of a structure, or the crown or curb of the nearest road, whichever is
14 higher. Prior to any approval, staff will need documentation verifying that the crown
15 the nearest road to the building is at least 3 feet, 10 inches.
16

17 From their bases, the proposed residential buildings are 27 feet, 8 inches.
18

19 **9. Surface Water Management Criteria (§114-3): *Full compliance to be determined by***
20 ***the Public Works Division and/or SFWMD prior to issuance of a building permit.***
21

22 The Monroe County Project Management Department reviewed the stormwater plan
23 for the site and found that the plan is consistent with Monroe County Code but some
24 modifications shall be required prior to the issuance of a building permit. The
25 required modifications are provided in a memorandum dated May 15, 2009.
26

27 **10. Wastewater Treatment Criteria (§114-5): *Compliance to be determined by Florida***
28 ***Department of Health, Florida Department of Environmental Protection and/or Key***
29 ***West Resort Utilities prior to the issuance of a building permit.***
30

31 **11. Fencing (§114-20): *Full compliance to be determined upon submittal to Building***
32 ***Department.***
33

34 **12. Floodplain Management (§122-1 – §122-6): *Full compliance to be determined upon***
35 ***submittal to Building Department.***
36

37 The site is designated within an AE – EL 9 flood zone on the Federal Emergency
38 Management Agency (FEMA)’s flood insurance rate maps. All new structures must
39 be built to floodplain management standards that meet or exceed those for flood
40 protection.
41

42 **13. Energy Conservation Standards (§114-45): *In compliance.***
43

44 The development includes the provision of a bicycle rack, installation of native plants
45 in required landscaping, which will reduce the requirements for water and

1 maintenance; the installation of several shade trees, which will provide shade for
2 parking areas; and the provision of structural shading.

3
4 14. Potable Water Conservation Standards (§114-46): *Compliance to be determined*
5 *upon submittal to Building Department.*

6
7 15. Environmental Design Criteria and Mitigation Standards (§118-6, §118-7 & §118-8):
8 *Compliance to be determined by Biologist upon submittal to Building Department.*

9
10 16. Required Parking (§9.5-114-67): *In compliance.*

11
12 The development would be subject to the following off-street parking requirements:

13

<i>Specific Use</i>	<i>Multiplier</i>	<i>Proposed</i>	<i>Required Spaces</i>
Commercial Retail	3 spaces / 1,000 ft ²	14,129 ft ²	42.3 (42)
Dwelling Unit (multi-family)	1.5 spaces / unit	7 units	10.5 (11)
		Total	53 spaces

14
15 Using the shared-parking calculation, the development would be subject to the
16 following reduced off-street parking requirements:

17

<i>Specific use</i>	<i>Night</i>	<i>Weekday</i>		<i>Weekend</i>	
	12AM- 6AM	9AM-4PM	6PM-12AM	9AM-4PM	6PM-12AM
Residential (11 spaces)	11.0	6.6	9.9	8.8	9.9
Commercial Retail (42 spaces)	2.1	25.2	37.8	42.0	29.4
Total	13.1	31.8	47.7	50.8 or 51	39.3

18
19 According to the proposed site plan, 70 off-street parking spaces would be provided.
20 This would be in compliance with the 51 required. Of the 70 off-street parking
21 spaces, 55 are identified as commercial and 15 are identified as residential.

22
23 *Bicycle/Scooter Parking:* A bicycle rack is shown on the site plan.

24
25 17. Required Loading and Unloading Spaces (§114-69): *In compliance.*

26
27 One (1) loading/unloading space of 11 ft by 55 ft is required. A loading/unloading
28 space is shown on the site plan.

29
30 18. Required Landscaping (§114-99 – §114-105): *In compliance.*

31
32 Since the parking area is to contain six or more spaces and is within a MU District, a
33 class "C" landscaping standard is required.

1 **19. Required Buffer-yards (§114-124 – §114-130): *Not in compliance.***

2
3 No structure or land which abuts US 1 shall be developed, used or occupied unless a
4 scenic corridor or bufferyard is provided. In the MU District, the required major
5 street bufferyard is a class “B” bufferyard. The minimum class “B” bufferyard width
6 is 5 feet. Widths of 10, 15 and 20 are also optional with different planting
7 requirements. The landscape plan shows a 20-foot bufferyard along US 1.
8

9 Pursuant to MCC §130-88, attached residential dwelling units may be permitted with
10 major conditional use permit approval, only provided that the parcel proposed for
11 development is separated from any established residential use by a class “C”
12 bufferyard. There is an established residential development on the contiguous parcel
13 to the east. The site plan shows a 5-foot setback/bufferyard along the eastern
14 property line. There is a 10 foot minimum width for a class “C” bufferyard. The
15 applicant asserts that each side shall be responsible for half of the required buffer.
16 However this clause applies to land use district bufferyards, not bufferyards required
17 as part of the permitted use regulations. Land use district bufferyards are considered
18 the responsibility of both property owners, while the requirements of MCC §130-88
19 are intended to apply to the property owner seeking approval of a specific a type of
20 development. For attached residential, a 10-foot bufferyard must exist. Therefore,
21 the applicant shall be responsible for the entire minimum of 10 feet.
22

23 **20. Outdoor Lighting (§114-159 – §114-163): *Full compliance to be determined upon***
24 ***submittal to Building Department.***

25
26 **21. Signs (§142-1 – §142-7): *Full compliance to be determined upon submittal to***
27 ***Building Department.***

28
29 **22. Access Standards (§114-195 – §114-201): *Not in compliance.***

30
31 There are three (3) proposed access drives to the site, one from US 1, one from
32 MacDonald Avenue and one from the commercial property to the west, currently
33 occupied by Burger King. A letter of coordination from FDOT was submitted, dated
34 March 31, 2009. FDOT did not object to the access drive to US 1; however stated
35 that access and drainage permits may be required. Public Works Division has not
36 provided any approval of the access drive to MacDonald Avenue.
37

38 Site triangles are shown on the site plan; however vehicle maneuverability is not
39 clearly indicated.
40

41 A traffic study by Jacobs Engineering Group indicates that a 14,129 ft² pharmacy
42 with a drive-through and 7 residential dwelling units would generate 1,286 daily trips.
43 However, the county’s traffic consultant, Raj Shanmugam of URS Corporation,
44 determined that these findings were based on out-dated information from a traffic
45 study completed for the past approval in 2004 via Resolution P15-04. The traffic
46 consultant has requested that a revised traffic study, based on current information, be

1 submitted. Furthermore, a comparison to the figures approved in 2004 is not
2 necessary as that approval expired and is null and void.
3

4 23. Chapter 533, Florida Statutes: *Full compliance to be determined upon submittal to*
5 *Building Department.*
6

7 According to the site plan, 4 of the 70 off-street parking spaces provided would be
8 handicap-accessible only. This is compliant with the 2004 Florida Accessibility Code
9 for Building Construction, which states that if 76 to 100 parking spaces are provided,
10 4 spaces are required to be limited to handicap-accessible parking.
11

12 The proposed handicap parking spaces are of correct dimensions, located in proximity
13 to the building entrances and would have access aisles. Compliance of signage
14 requirements shall be determined upon submittal to the Building Department.
15

16 Other Issues:
17

- 18 1. On several occasions, the application refers to the “existing approval.” In addition,
19 the application was filed as an amendment to a major conditional use permit.
20

21 The past approval of Resolution P04-03 in 2003, which was later amended with the
22 approval of Resolution P15-04 in 2004, was for a very similar development
23 consisting of a drug store and 10 residential dwelling units. However, due to the time
24 limitations of conditional use permits, Resolutions P04-03 and P15-04 expired and
25 thereby are null and void with no further action required by the County. Furthermore,
26 the site plans approved in 2003 and 2004 were abandoned with the approval of
27 Resolution P32-05 in 2005 which was for a significantly different project of 46
28 residential dwelling units.
29

30 Staff found it would be misleading and inappropriate to label the proposal an
31 amendment to a major conditional use permit and shall request that the application be
32 advertised as a request for a major conditional use permit for the planning
33 commission public hearing.
34

- 35 2. No community impact statement was submitted with the application as required by
36 the Land Development Code.
37

38 In addition, several of the letters of coordination submitted with the application were
39 dated from 2002-2004 and were drafted for the previously submitted application
40 memorialized in Resolution P15-04. These letters must be updated and reference the
41 proposed development.
42

- 43 3. The written application and landscape plan state there would be 14,129 ft² of
44 commercial retail floor area while the site plan indicates that there would be 14,166
45 ft² of commercial retail floor area within the proposed drug store building.
46 Clarification is required.

- 1
2 4. If it is found that there is no vested rights to 14,400 ft² of NROGO floor area
3 associated the property, the development would require an allocation of non-
4 residential floor area through the NROGO permit allocation system. However, it is
5 important to note that pursuant to MCC §138-51(c), a structure shall not receive an
6 allocation that expands the structure to more than 10,000 ft² of nonresidential floor
7 area, except that nonresidential floor area of structures in the Urban Commercial
8 (UC) district.
9
10 5. Resolution P04-03 required a metal roof for the drug store to keep community
11 character. Staff shall again request that the commercial structure have metal roof. In
12 addition, staff requests that the applicant utilize architectural details that provide
13 visual interest and break up the mass of the structure.
14
15 Attached residential dwelling units may be permitted with major conditional use
16 permit approval provided that the structures are designed and located so that they are
17 visually compatible with established residential development within 250 feet of the
18 parcel proposed for development. Resolution P04-03 required that color schemes
19 match that of the neighboring Coral Hammock development. Staff again requests that
20 the residential color scheme, as well as any fencing, be consistent with the existing
21 Coral Hammock development.
22
23 6. To reduce traffic on US 1 and MacDonald Avenue, Resolution P04-03 requested the
24 feasibility of connection to the Burger King property. This connection is shown on
25 the site plan.
26
27 7. The applicant is interested in transferring the remaining 44 of the 51 lawfully
28 established ROGO residential dwelling units off-site. This application shall not
29 establish the site as a sender site. To do so, the applicant shall apply for a separate
30 approval in accordance with the Land Development Code.
31

32 **V RECOMMENDED ACTION:**
33

34 Staff recommends **APPROVAL** to the Planning Commission if all the following conditions
35 are met:
36

- 37 A. Prior to the scheduling of a public hearing by the Planning Commission, the applicant
38 shall reinitiate coordination with the following agencies and departments: South
39 Florida Water Management District, Florida Department of Environmental
40 Protection, Florida Keys Aqueduct Authority, Keys Energy Services, Monroe County
41 Health Department and Monroe County Solid Waste Management. Prior to the
42 issuance of a building permit, new letters of coordination shall be provided.
43
44 B. Prior to the scheduling of a public hearing by the Planning Commission, the applicant
45 shall submit a community impact statement prepared in accordance with the Monroe
46 County Code.

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- C. Prior to the scheduling of a public hearing by the Planning Commission, the applicant shall submit clarification as to which figure, 14,129 ft² or 14,166 ft², concerning the floor area of the proposed non-residential building is correct. If the site plan is incorrect, it shall be revised to reflect the correct figure. In addition, the applicant shall indicate whether or not there will be canopy for the drive-through and if so, its area shall be provided.
 - D. Prior to the scheduling of a public hearing by the Planning Commission, the applicant shall submit a settlement agreement or other written documentation from the Vested Rights Hearing held on November 21, 1996.
 - E. Prior to the scheduling of a public hearing by the Planning Commission, the applicant shall revise the site plan to:
 - a. Provide a floor area total of the non-residential building that matches the landscape plan.
 - b. Indicate whether or not the drive-through canopy shall be covered.
 - c. Provide a 10-foot setback along the eastern property line to allow for a required 10-foot bufferyard.
 - d. Correctly label the setback along MacDonald Avenue from “REAR” to “FRONT”.
 - e. Show vehicle maneuverability.
 - F. Prior to the scheduling of a public hearing by the Planning Commission, the applicant shall revise the landscape plan to:
 - a. Show a compliant class “C” major street bufferyard of at least 10-feet in width along the eastern property line.
 - b. Provide a floor area total of the non-residential building that matches the site plan.
 - G. Prior to a public hearing by the Planning Commission, the applicant shall submit a revised traffic study that is based on current information. If necessary this study shall be updated to reflect the same square footage as shown on the site plan. The methodology and findings of the revised traffic study shall be approved by the county’s traffic consultant.
 - H. Prior to a public hearing by the Planning Commission, the applicant shall submit an appropriate document, such as a boundary survey, verifying that the crown the nearest road to the building is at least 3 feet, 10 inches.
 - I. Prior to the issuance of a building permit, the applicant shall provide a stormwater plan and calculations in accordance with the request of the Monroe County Project Management Department.
 - J. Prior to the issuance of a building permit, the site plan and structures shall be found in compliance by the Monroe County Building Department, the Monroe County

1 Floodplain Administrator, the Monroe County Public Works Division and the
2 Monroe County Office of the Fire Marshal.

- 3
- 4 K. The two (2) required affordable housing units shall be deed restricted in accordance
5 with the Monroe County Code. Occupants of the units must meet all requirements for
6 occupancy of affordable housing.
7
- 8 L. During the County's review of the building permit application(s), the Director of
9 Planning & Environmental Resources shall review the application(s) to ensure that
10 the structures are visually compatible with the established residential development of
11 Coral Hammock, which is within 250 feet of the parcel proposed for development.
12 Similar and consistent design, materials and colors shall be utilized for all new
13 structures.
14
- 15 M. A metal roof and architectural details that provide visual interest and break up the
16 structural mass shall be required components of the non-residential building.
17
- 18 N. There shall be a sign stating that the 15 off-street parking spaces for the residents and
19 guests of the seven (7) dwelling units are residential parking only.
20

21 **VI PLANS REVIEWED:**

- 22
- 23 a. Site Plan (S1) by Thomas E. Pope, P.A. Architect, dated March 27, 2009
24 b. Conceptual Landscape Plan (LD-1) by the Craig Company dated August 27, 2002 and
25 last revised April 10, 2009
26 c. Drainage Plan (C-1) by Perez Engineering & Development, Inc., dated April 3, 2009
27 d. Floor Plan & Mezzanine Plan (A1) (*Drug Store*) by Thomas E. Pope, P.A. Architect,
28 dated March 27, 2009
29 e. Typical Floor Plans (A2) (*Dwelling Units*) by Thomas E. Pope, P.A. Architect, dated
30 March 27, 2009
31 f. Elevations (A3 & A4) (*Drug Store*) by Thomas E. Pope, P.A. Architect, dated March 27,
32 2009
33 g. Elevations (A5) (*Dwelling Units*) by Thomas E. Pope, P.A. Architect, dated March 27,
34 2009
35 h. Boundary Survey by Frederick H. Hildebrandt., dated August 2, 2002

Attachment: Photos of Site



View of Site (from western property line looking east towards Coral Hammock)



View of Site (from southern property line looking north towards US 1)

File #: **29066**

Agent Name: **Bob Webster**

Owner Name: **Circle K – Big Coppitt**

Type of Application: **Major - Amendment**

Key: **Big Coppitt**

RE #: **00154890-000000**

**Additional Information added to
File 29066**

County of Monroe
Growth Management Division

Planning Department
2798 Overseas Highway
Suite #410
Marathon, FL 33050
Voice: (305) 289-2500
FAX: (305) 289-2536



Board of County Commissioners
Mayor Charles "Sonny" McCoy, Dist. 3
Mayor Pro Tem, Mario Di Gennaro, Dist. 4
Commissioner George Neugent, Dist. 2
Commissioner Dixie M. Spehar, Dist. 1
Commissioner Sylvia J. Murphy, Dist. 5

We strive to be caring, professional and fair

Date: 6/30/09
Time: 11:30 am

Dear Applicant:

This is to acknowledge submittal of your application for Major Conditional Use /
Type of application

Amendment to a Major Cond. Use to the Monroe County Planning Department.
Project / Name

Thank you.

Shil Creech

Planning Staff

Ervin A. Higgs, CFA
Property Appraiser
Monroe County, Florida

office (305) 292-3420
 fax (305) 292-3501

Property Record View

Alternate Key: 1200344 Parcel ID: 00154890-000000

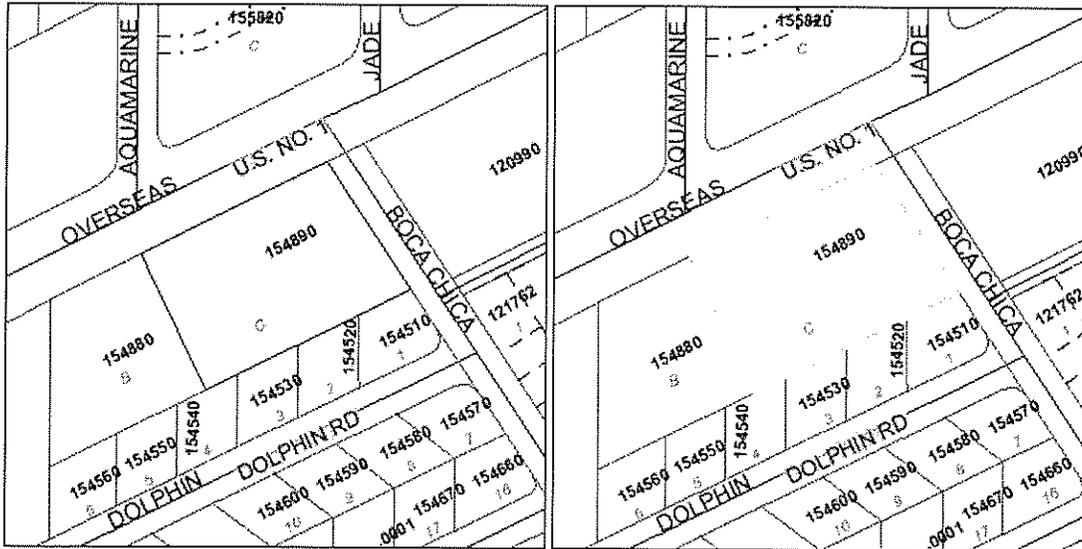
Ownership Details

Mailing Address:
 GUTY MICHAEL
 ATTN: PROPERTY TAX DEPT
 PO BOX 52085 DC-17
 PHOENIX, AZ 85072-2085

Property Details

PC Code: 26 - GAS STATION / CONVENIENCE STORE
 Millage Group: 100B
 Affordable Housing: No
 Section-Township-Range: 22-67-26
 Property Location: 1109 OVERSEAS HWY BIG COPPITT KEY
 Subdivision: PORPOISE POINT SEC 2
 Legal Description: PORPOISE POINT SECTION 2 BIG COPPITT KEY PB-5-111 TRACT C OR545-538 OR995-621/622(VE) OR1006-2497/98/JB

Parcel Map



Land Details

Land Use Code	Frontage	Depth	Land Area
2600 - SERVICE STATION	0	0	1.12 AC

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1
 Total Living Area: 2535
 Year Built: 1986

Building 1 Details

Building Type	Condition E	Quality Grade 400
Effective Age 15	Perimeter 208	Depreciation % 20
Year Built 1986	Special Arch 0	Grnd Floor Area 2,535
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type
Heat 1
Heat Src 1

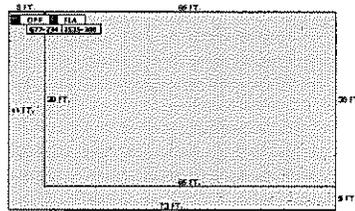
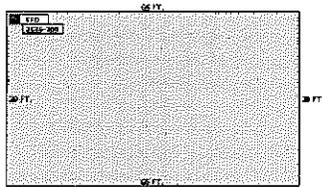
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 12

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1987					2,535
2	OPF		1	1987					677
3	EFD		1	1988					2,535

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT3:PATIO	13,750 SF	110	125	1985	1986	2	50
4	CC2:COM CANOPY	1,584 SF	24	66	1997	1998	5	40
5	FN2:FENCES	315 SF	45	7	1997	1998	4	30
6	FN3:WROUGHT IRON	140 SF	20	7	1997	1998	3	60
7	PT3:PATIO	529 SF	23	23	1997	1998	2	50
8	CL2:CH LINK FENCE	2,700 SF	450	6	1996	1997	3	30
9	RW2:RETAINING WALL	606 SF	1	606	1985	1986	4	50

Appraiser Notes

CIRCLE K BUILDING & MISC ASSESSED TO TRACT B PRIOR TO 1988 TAX ROLL 2000-04-13 UPDATED THE MEASUREMENTS FOR THE CANOPY ND THE PT3-02 AND ADDED ONE KITCHEN AND RW2-04 FOR THE Y2K TAX ROLL. DUG/SKI 2000-04-13 CHANGED THE LAND DATA FROM 10HC TO 10OH ALSO DUG/SKI 2002/6/7 SB, TPP AK: 1190 O/S HWY 8715510 - ALL STORE EQ 8924704 - ATM 8923317 - NUCO2 (LEASED EQ CIRCLE K #1707)

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	07104705	11/01/2007		3,500	Commercial	REPLACE AC 5 TON
	09100406	03/25/2009		25,000	Commercial	GAS TANKS-GROUND

1	98-1528	10/13/1998	01/01/2000	13,100	Commercial	REPLACE A/C
2	98-1995	12/07/1998	08/12/1998	5,000	Commercial	COMM.MISCELLANEOUS-
3	97-1232	09/29/1997	01/01/1998	3,800	Commercial	REPLACE A/C
4	00/4976	11/21/2000	01/01/2001	50,000	Commercial	REPAIR STAIRS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2008	339,194	110,410	1,139,063	1,588,667	1,588,667	0	1,588,667
2007	252,127	113,916	735,150	1,101,193	1,101,193	0	1,101,193
2006	252,127	117,531	735,150	1,104,808	1,104,808	0	1,104,808
2005	239,068	121,615	735,150	1,095,833	1,095,833	0	1,095,833
2004	239,059	125,277	294,060	658,396	658,396	0	658,396
2003	261,041	129,667	245,050	635,758	635,758	0	635,758
2002	261,041	133,326	171,535	565,902	565,902	0	565,902
2001	261,041	137,464	171,535	570,040	570,040	0	570,040
2000	261,041	56,896	171,535	489,472	489,472	0	489,472
1999	259,893	30,576	196,040	486,509	486,509	0	486,509
1998	173,666	28,058	196,040	397,764	397,764	0	397,764
1997	173,666	29,025	196,040	398,731	398,731	0	398,731
1996	157,879	29,872	196,040	383,791	383,791	0	383,791
1995	157,879	30,839	196,040	384,758	384,758	0	384,758
1994	157,879	31,650	196,040	385,569	385,569	0	385,569
1993	157,879	32,652	196,040	386,571	386,571	0	386,571
1992	157,879	33,463	196,040	387,382	387,382	0	387,382
1991	161,203	34,430	196,040	391,673	391,673	0	391,673
1990	150,414	35,277	242,600	428,291	428,291	0	428,291
1989	132,341	88,288	220,545	441,174	441,174	0	441,174
1988	104,237	84,214	248,726	437,177	437,177	0	437,177
1987	0	0	197,265	197,265	197,265	0	197,265
1986	0	0	112,723	112,723	112,723	0	112,723
1985	0	0	41,152	41,152	41,152	0	41,152
1984	0	0	41,152	41,152	41,152	0	41,152
1983	0	0	41,152	41,152	41,152	0	41,152
1982	0	0	41,321	41,321	41,321	0	41,321

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

This page has been visited 245,368 times.

Monroe County Property Appraiser
Ervin A. Higgs, CFA
P.O. Box 1176
Key West, FL 33041-1176

End of Additional Information
File 29066

APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



Request for a Major Conditional Use Permit / Amendment to a Major Conditional Use Permit

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review

Major Conditional Use Permit Application Fee: \$10,014.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Technology Fee: \$20.00

Date of Submittal: 06 / 15 / 09
Month Day Year

Property Owner:

CIRCLE K
Name

12911 N. TELECOM PARKWAY
Mailing Address (Street, City, State, Zip Code)
TAMPA, FL 33631

813-910-6876 CARLOS CASTILLO
Daytime Phone

CCASTILLO@CIRCLEK.COM
Email Address

Agent (if applicable):

BOB WEBSTER MDM SERVICES
Name

1412 SW 34TH AVE DEERFIELD BCH FL
Mailing Address (Street, City, State, Zip Code) 33442

954-427-3076 x103
Daytime Phone

BOB.WEBSTER@MDMSERVICES.COM
Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet)

Block	Lot	Subdivision	Key
<u>00154890-000000</u>		<u>OROVERSE POINT SEC 2</u>	<u>BIG COPPIT</u>
Real Estate (RE) Number		Alternate Key Number	
<u>1109 OVERSEAS HWY.</u>		<u>11</u>	
Street Address (Street, City, State, Zip Code)		Approximate Mile Marker	
<u>BIG COPPIT KEY, FL</u>			

APPLICATION

Land Use District Designation(s): SC
Present Land Use of the Property: SC - CONVENIENCE STORE / GAS STATION
Proposed Land Use of the Property: SC CONVENIENCE STORE / GAS STATION
Total Land Area: 1.12 AC

If non-residential or commercial floor area is proposed, please provide:

1 Total number of non-residential buildings
2535 Total non-residential floor area in square feet

If residential dwelling units are proposed, please provide:

_____ Total number of residential buildings
_____ Total number of permanent, market-rate units
_____ Total number of permanent, affordable / employee housing units
_____ Total number of transient units (hotel rooms, recreational vehicle / campground spaces)

Has a previous application been submitted for this site within the past two years? Yes ___ No ___

All of the following must be submitted in order to have a complete application submittal:
(Please check as you attach each required item to the application)

- Complete major conditional use permit application (unaltered and unbound);
- Correct fee (check or money order to Monroe County Planning & Environmental Resources);
- Proof of ownership (i.e. Warranty Deed);
- Current Property Record Card(s) from the Monroe County Property Appraiser;
- Location map;
- Photograph(s) of site from adjacent roadway(s);
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 16 sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat);
- Written description of project;
- Environmental Designation Survey (prepared in accordance with Monroe County Code); *SEE SITE PLAN*
- Community Impact Statement (prepared in accordance with Monroe County Code);
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect– 16 sets (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following:
 - Date, north point and graphic scale;

APPLICATION

- Boundary lines of site, including all property lines and mean high-water lines;
- Land use district of site and any adjacent land use districts;
- Flood zones pursuant to the Flood Insurance Rate Map(s);
- Locations and dimensions of all existing and proposed structures and drives;
- Type of ground cover (i.e. concrete, asphalt, grass, rock);
- Adjacent roadways;
- Setbacks as required by the land development regulations;
- Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones;
- Calculations for open space ratios, floor area ratios, residential density and parking;
- Location and type of outdoor lighting;
- Extent and area of wetlands, open space areas and landscape areas;
- Location of solid waste storage;
- Location of sewage treatment facilities;
- Location of existing and proposed fire hydrants or fire wells;
- Floor Plans for all proposed structures and for any existing structures to be redeveloped – 16 sets** (drawn at an appropriate standard architectural scale and including handicap accessibility features);
- Elevations for all proposed structures and for any existing structures to be modified – 16 sets** (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure);
- Landscape Plan by a Florida registered landscape architect – 16 sets** (may be shown on the site plan; however, if a separate plan, must drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the landscaping plan should include the following:
 - Date, north point and graphic scale;
 - Boundary lines of site, including all property lines and mean high-water lines;
 - Locations and dimensions of all existing and proposed structures and drives;
 - Open space preservation areas;
 - Existing natural features;
 - Size and type of buffer yards including the species, size and number of plants;
 - Parking lot landscaping including the species, size and number of plants;
 - Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced;
 - Transplantation plan (if required);
- Conceptual Drainage Plan – 16 sets** (with drainage calculations; existing and proposed topography; all drainage structures; retention areas; drainage swales; and existing and proposed permeable and impermeable areas);
- Traffic Study, prepared by a licensed traffic engineer;**
- Construction Management Plan**, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging);
- Typed name and address mailing labels of all property owners within a 300 foot radius of the property.** This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 300 foot radius, each unit owner must be included;
- Letters of Coordination are required from the following:**
 - Florida Keys Aqueduct Authority (FKAA);
 - Florida Keys Electric Cooperative (FKEC) or Keys Energy Services;
 - Monroe County Office of the Fire Marshal;

APPLICATION

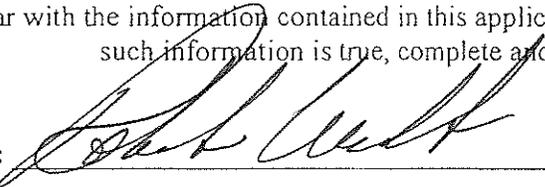
- Monroe County Health Department;
- Monroe County Solid Waste Management;
- Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day;

If applicable, the following must be submitted in order to have a complete application submittal:

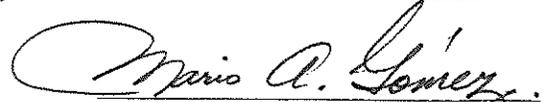
- Notarized Agent Authorization Letter** (note: authorization is needed from all owner(s) of the subject property)
- Vegetation Survey or Habitat Evaluation Index** (please contact Monroe County Environmental Resources prior to application submittal to determine if this documentation is necessary)
- Construction Phasing Plan**
- Additional Letters of Coordination** may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:
 - Key Largo Wastewater Treatment District (KLWTD)
 - South Florida Water Management District (SFWMD)
 - Florida Department of Transportation (FDOT)
 - Florida Department of Environmental Protection (FDEP)
 - Florida Department of State, Division of Historic Resources
 - Florida Game and Freshwater Fish Commission (FGFFC)
 - U.S. Army Corps of Engineers (ACOE)
 - U.S. Fish and Wildlife Service (USFW)

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant:  Date: 6/15/09

Sworn before me this 17 day of JUNE 2009.


Notary Public
My Commission Expires

Please send the complete application package to the Monroe County Planning & Environmental Resources Department, Marathon Government Center, 2798 Overseas Highway, Suite 400, Marathon, FL 33050.

THIS LEASE, made as of the 1ST day of OCTOBER, 1985, by and between MICHAEL GUTY ("Lessor") and CIRCLE K GENERAL, INC., a Texas corporation ("Lessee")

WITNESSETH

1. Demised Premises.

IN CONSIDERATION of the rents, terms, covenants and agreements hereinafter set forth on the part of the Lessee to be paid, kept and performed, Lessor demises and leases to Lessee, and Lessee accepts and leases from Lessor, the land and the improvements presently situated thereon, in the County of MONROE, State of FLA., described in Exhibit "A" attached hereto, with all and singular the appurtenances, rights, interests, easements and privileges in any wise appertaining thereto (collectively the "Demised Premises"); subject, however, only to the matters set forth on Exhibit "B" attached hereto (the "Permitted Exceptions").

TO HAVE AND TO HOLD the demised Premises for and during the initial and renewal terms hereinafter described.

2. Term and Renewal Options.

(a) The initial term of this Lease shall be 2 1/2 years commencing OCT. 1, 1985, (the "commencement date") and, unless extended, ending at midnight on OCT. 1, 198 2010

(b) Lessee shall have 2 separate options to renew the lease term. Each renewal term shall be for 5 years commencing immediately on the expiration of the prior term, and shall be on the same terms, covenants, conditions, provisions and agreements as in the Lease provided. To exercise any of such options, Lessee shall give written notice to Lessor prior to 90 days before the expiration of the then current Lease term, whether it be the initial term or a renewal term. Nothing herein contained shall be deemed to prevent Lessee from exercising any one or more of such options at one time.

3. Short Form of Memorandum of Lease.

At Lessee's request, Lessor shall execute and deliver promptly to Lessee a short form or memorandum of this Lease duly acknowledged and in recordable form setting forth, among other things, the names and addresses of the parties, a



re-let the Demised Premises or any part thereof in Lessor's name, for such term or terms and on such conditions as Lessor, in its reasonable discretion may determine, and may collect and receive the rentals therefor. In no event shall Lessee's obligation to pay the basic rent, Impositions, or other sums of money be accelerated, and Lessee's only obligation shall be to pay its obligations on a monthly basis, less the sums of money Lessor may receive from any other Person, party, or entity, and less the reasonable cost and expense to Lessor to put the Demised Premises in condition for the new tenant.

(e) Notwithstanding any provision of this Paragraph 15 to the contrary, so long as the obligations of Lessee are complied with and observed, including without limitation thereof, the payment of the basic rent, Impositions and other payments, by any person, party or entity, no default shall be deemed to have occurred under this Lease.

16. Alterations.

Lessee shall have the right, at any time and from time to time, at its own cost and expense, to make such changes, improvements, alterations and additions to the Demised Premises, erect such buildings and improvements thereon, and demolish any buildings, improvements, or structures that are now situated thereon or that may hereafter be erected as Lessee may desire. Lessor shall cooperate with Lessee, without expense to Lessor, in securing such permits as may be necessary to accomplish any of the work under the provisions of this Lease relating to such construction, alteration and demolition.

17. Condemnation.

(a) If the entire Demised Premises shall be taken by condemnation or the exercise of the right of eminent domain or by agreement between Lessor and those authorized to exercise such right for any public or quasi-public improvement or use, this Lease shall terminate on the date when title shall vest in the appropriate authority or, at Lessee's option, on the date when possession of the Demised Premises is required to be surrendered.

(b) If a portion of the Demised Premises or any building or improvements shall be so taken as to make same unusable in Lessee's opinion for the purpose to which the Demised Premises shall then be devoted; or there is a permanent deprivation of access to the Demised Premises from streets or highways abutting

40. Entire Agreement.

This Lease contains the entire agreement of the parties hereto with respect to the letting and hiring of the Demised Premises described above and this Lease may not be amended, modified, released, or discharged, in whole or in part, except by an instrument in writing signed by the parties hereto, their respective successors or assigns.

41. Rider.

A rider consisting of ~~ONE~~ page(s) with Paragraph(s) numbered consecutively from 41 through ~~is attached~~ hereto and made a part hereof.

IN WITNESS WHEREOF, the parties hereto have caused this Lease to be duly executed as of the day and year first above written.

Michael G. G. (LESSOR)

CIRCLE K GENERAL (LESSEE)

WITNESSES
Attest:

Samela S. Ammons
Secretary
Vianna of Bailey

By Michael G. G.
V/P Real Estate

EXHIBIT "A"

Lessor: Michael Guty

Lessee: Circle K General, Inc.

LEGAL DESCRIPTION OF PROPERTY:

Tract C, Porpoise Point Section Two, recording to plot thereof as recorded in Plot Book 5, Page III, of the Public Records of Monroe County, Florida and as shown on Boundary and Topo Survey dated August 1985, by Ralph D. Denuzzio & Associates, Inc., Job 85-189, a copy of which is attached hereto.

Ervin A. Higgs, CFA
Property Appraiser
Monroe County, Florida

office (305) 292-3420
 fax (305) 292-3501

Property Record View

Alternate Key: 1200344 Parcel ID: 00154890-000000

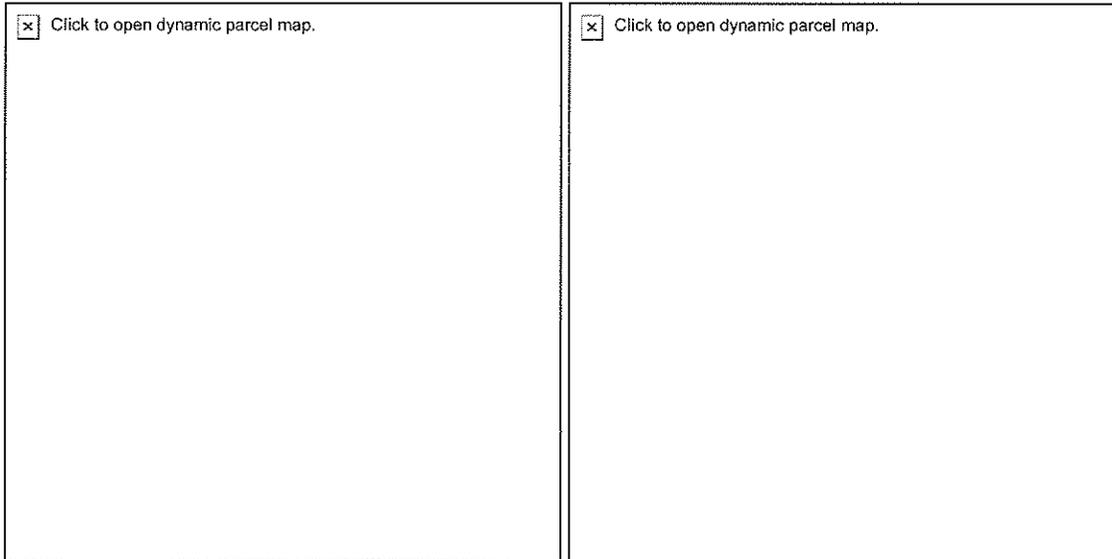
Ownership Details

Mailing Address:
 GUTY MICHAEL
 ATTN: PROPERTY TAX DEPT
 PO BOX 52085 DC-17
 PHOENIX, AZ 85072-2085

Property Details

PC Code: 26 - GAS STATION / CONVENIENCE STORE
 Millage Group: 100B
 Affordable Housing: No
 Section-Township-Range: 22-67-26
 Property Location: 1109 OVERSEAS HWY BIG COPPITT KEY
 Subdivision: PORPOISE POINT SEC 2
 Legal Description: PORPOISE POINT SECTION 2 BIG COPPITT KEY PB-5-111 TRACT C OR545-538 OR995-621/622(VE) OR1006-2497/98/JB

Parcel Map



Land Details

Land Use Code	Frontage	Depth	Land Area
2600 - SERVICE STATION	0	0	1.12 AC

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1
 Total Living Area: 2535
 Year Built: 1986

Building 1 Details

Building Type Condition E Quality Grade 400
 Effective Age 15 Perimeter 208 Depreciation % 20

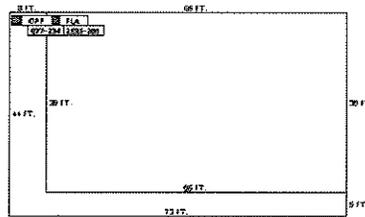
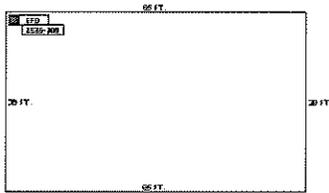
Year Built 1986 Special Arch 0 Grnd Floor Area 2,535
 Functional Obs 0 Economic Obs 0

Inclusions:

Roof Type Roof Cover Foundation
 Heat 1 Heat 2 Bedrooms 0
 Heat Src 1 Heat Src 2

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	12	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1987					2,535
2	OPF		1	1987					677
3	EFD		1	1988					2,535

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT3:PATIO	13,750 SF	110	125	1985	1986	2	50
4	CC2:COM CANOPY	1,584 SF	24	66	1997	1998	5	40
5	FN2:FENCES	315 SF	45	7	1997	1998	4	30
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8	CL2:CH LINK FENCE	2,700 SF	450	6	1996	1997	3	30
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Appraiser Notes

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Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
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	09100406	03/25/2009		25,000	Commercial	GAS TANKS-GROUND
1	98-1528	10/13/1998	01/01/2000	13,100	Commercial	REPLACE A/C
2	98-1995	12/07/1998	08/12/1998	5,000	Commercial	COMM.MISCELLANEOUS-
3	97-1232	09/29/1997	01/01/1998	3,800	Commercial	REPLACE A/C
4	00/4976	11/21/2000	01/01/2001	50,000	Commercial	REPAIR STAIRS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
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1986	0	0	112,723	112,723	112,723	0	112,723
1985	0	0	41,152	41,152	41,152	0	41,152
1984	0	0	41,152	41,152	41,152	0	41,152
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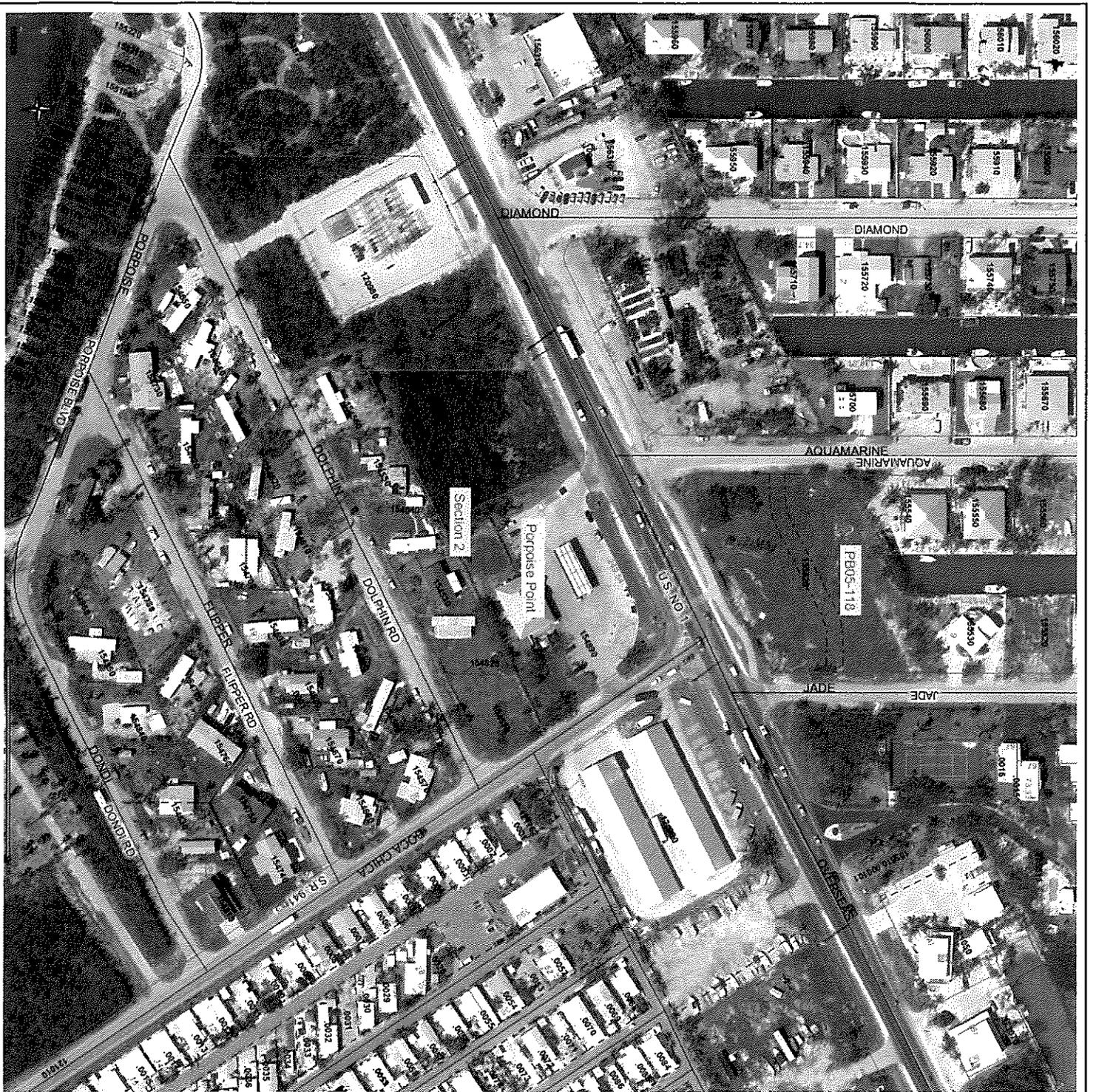
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There are no sales to display for this parcel.

This page has been visited 118,111 times.

Monroe County Property Appraiser
 Ervin A. Higgs, CFA
 P.O. Box 1176
 Key West, FL 33041-1176



- Legend**
- ▣ Highlighted Feature
 - ▣ Real Estate Number
 - ▣ Parcel Lot Text
 - ▣ Dimension Text
 - ▣ Block Text
 - ▣ Hooks/Leads
 - ▣ Lot Lines
 - ▣ Easements
 - ▣ Road Centerlines
 - ▣ Water Names
 - ▣ Parcels
 - ▣ Shoreline
 - ▣ Section Lines
 - ▣ 2006 Aerials

PALMIS

Morroe County Property Appraiser
 500 Whitehead Street
 Key West, FL

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for *ad valorem tax purposes only* and should not be relied on for any other purpose.

Date Created: May 18, 2009 1:23 PM



- Highlighted Feature
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Date Created: June 15, 2009 8:28 AM

Ervin A. Higgs, CFA
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Monroe County, Florida

office (305) 292-3420
 fax (305) 292-3501

Property Record View

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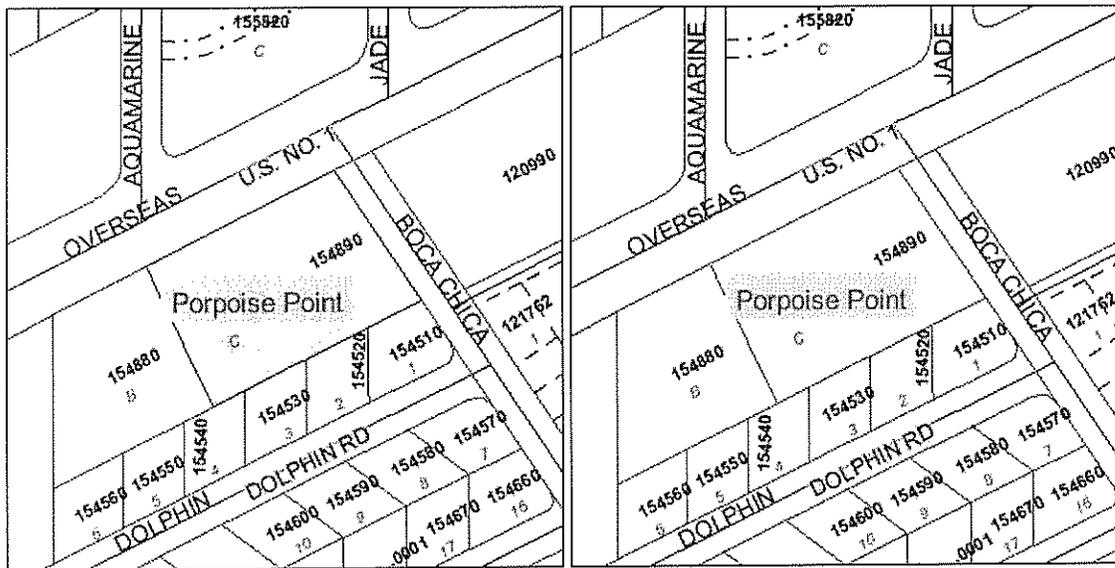
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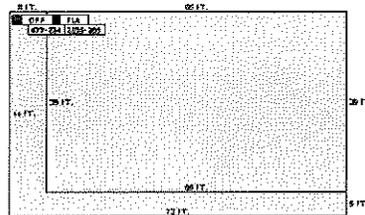
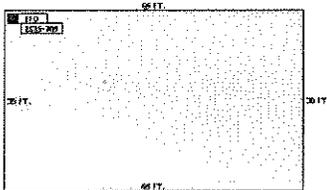
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FEMA MSC Viewer

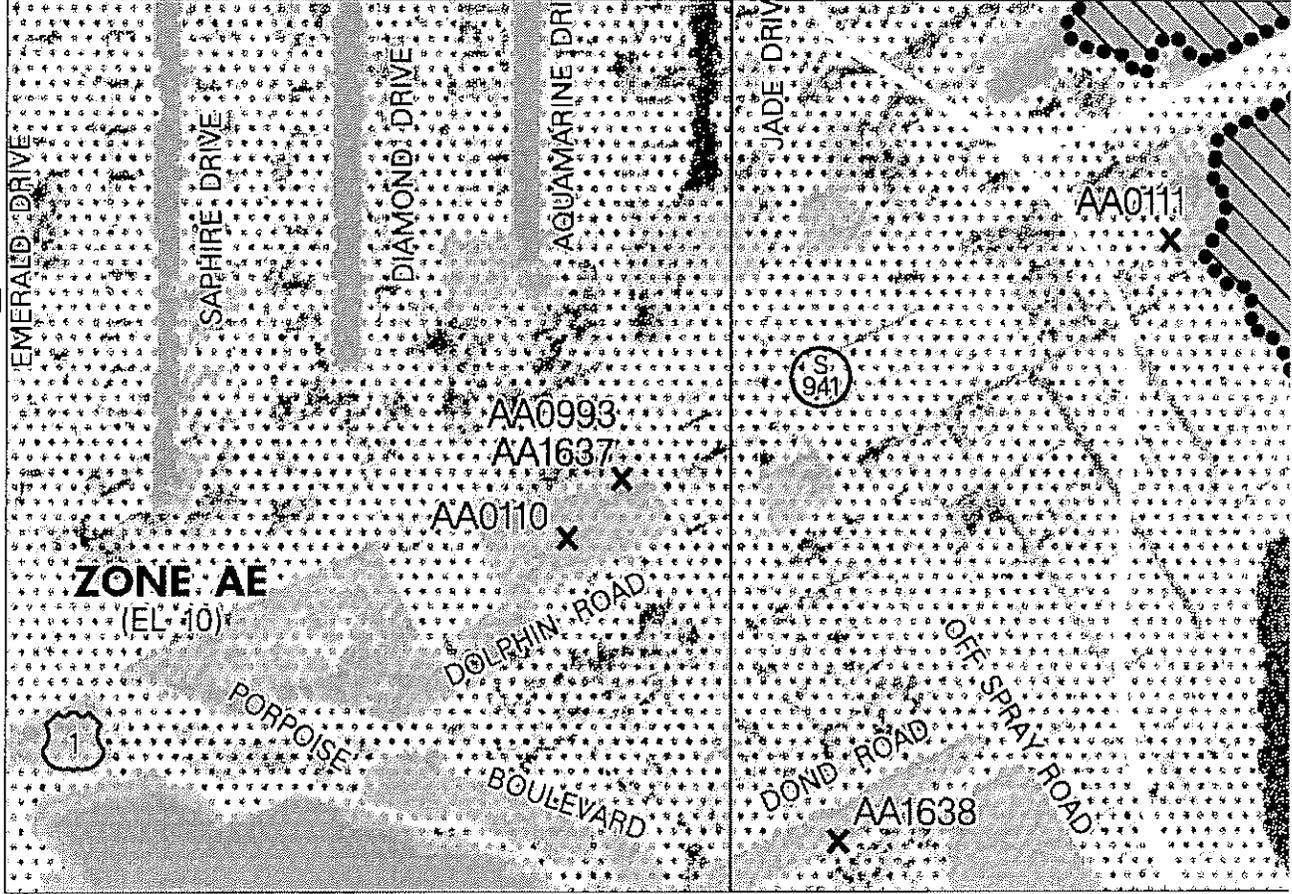
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2 Help

Zoom In Zoom Out

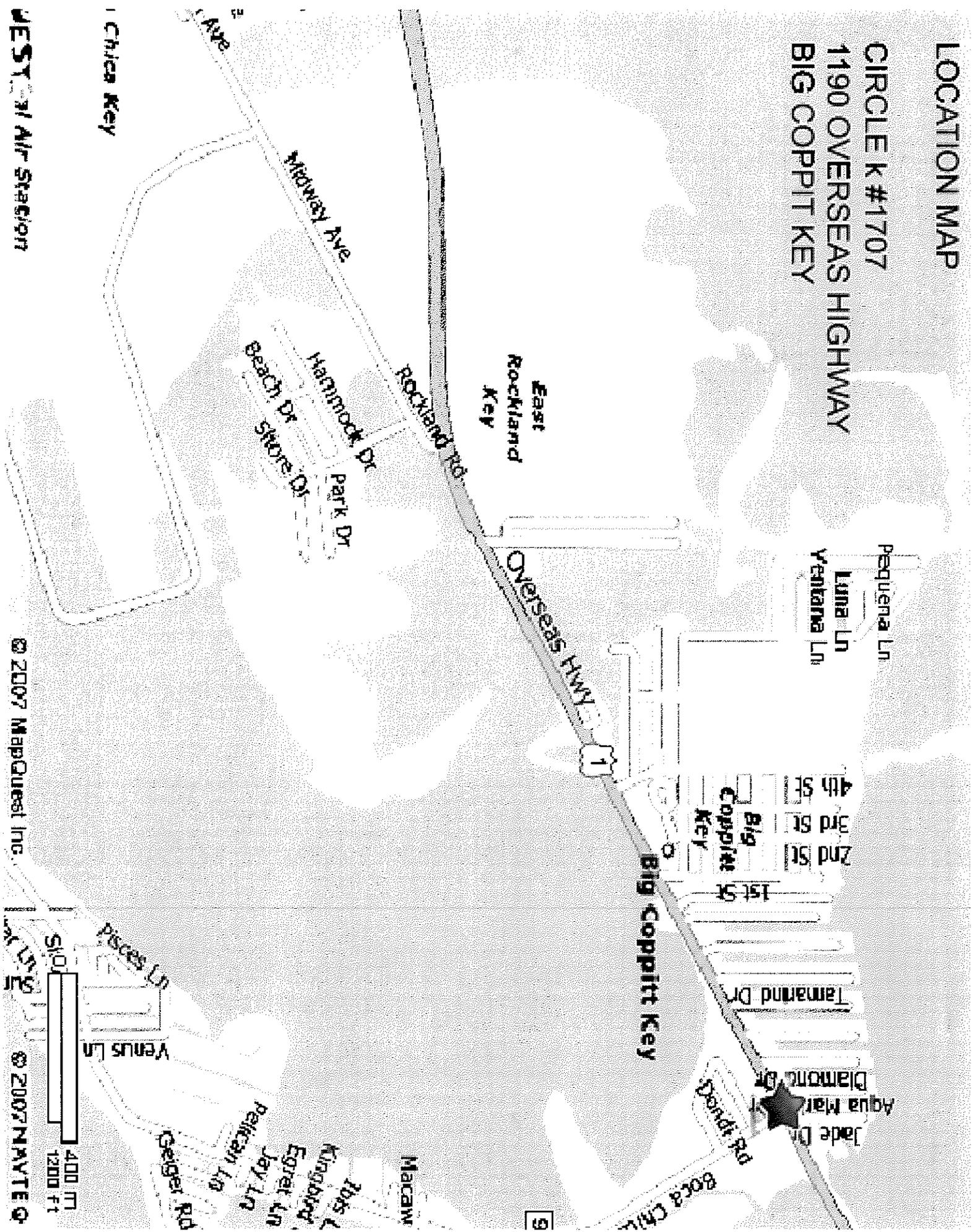
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Make a Printout

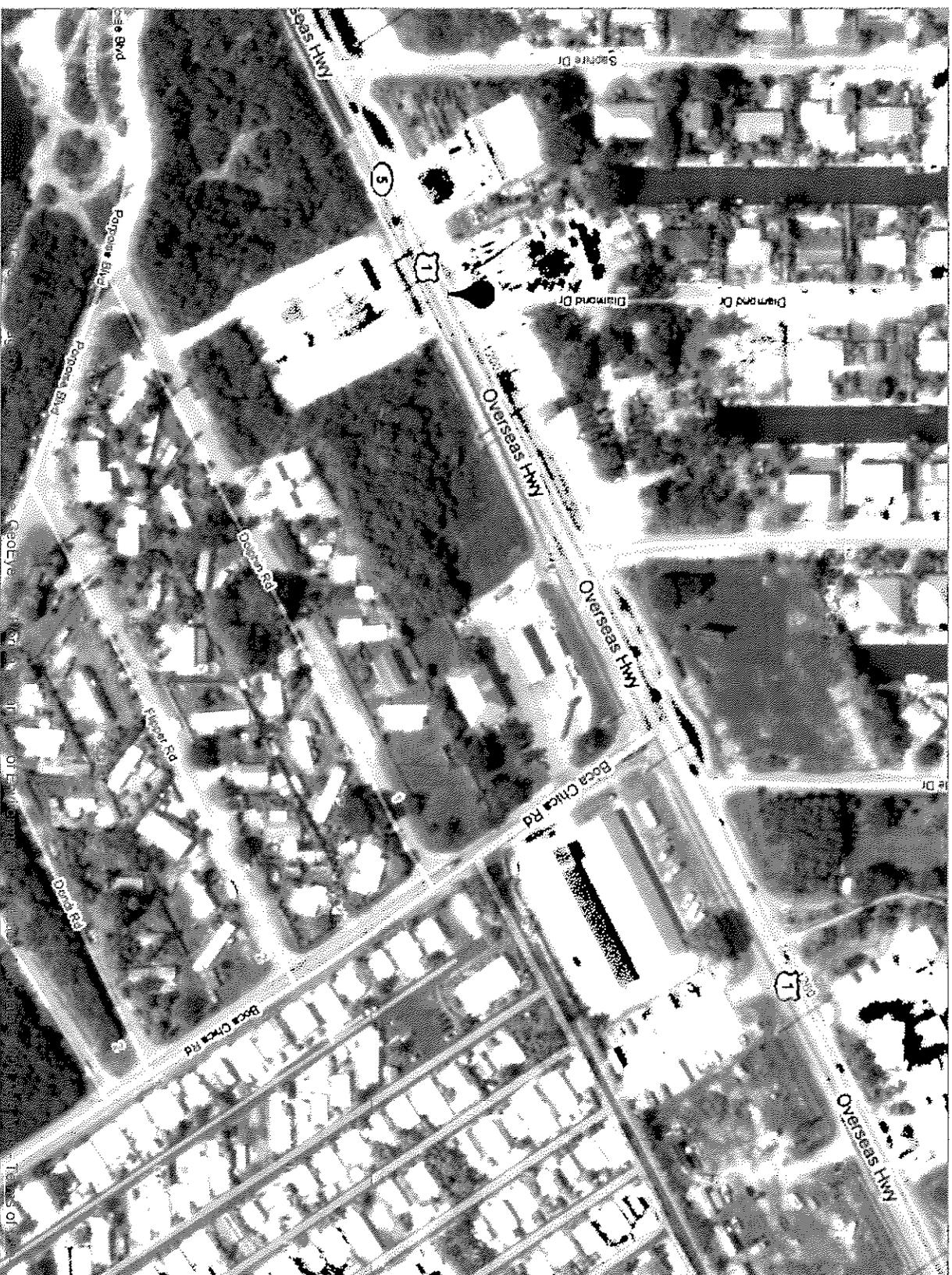


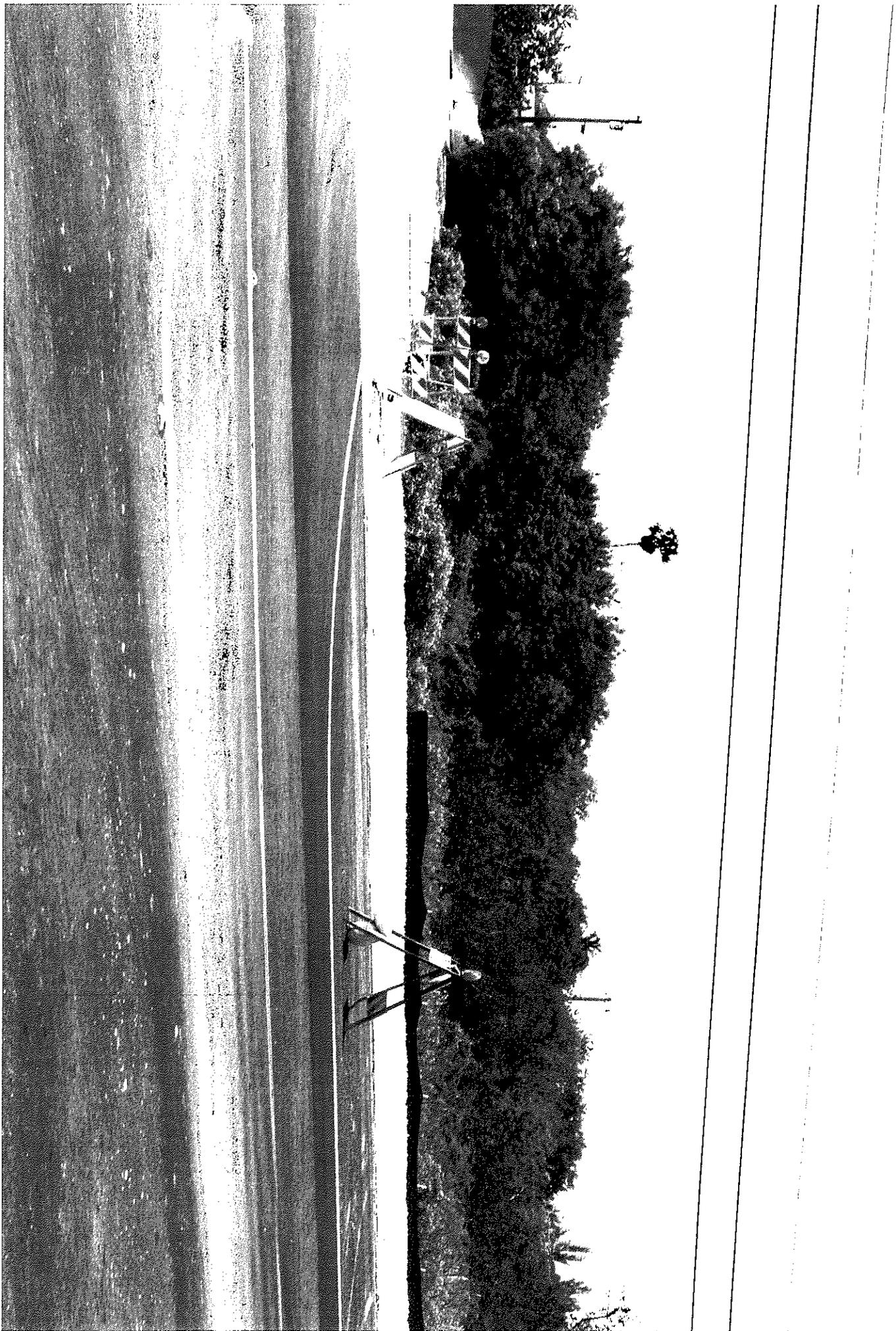
LOCATION MAP

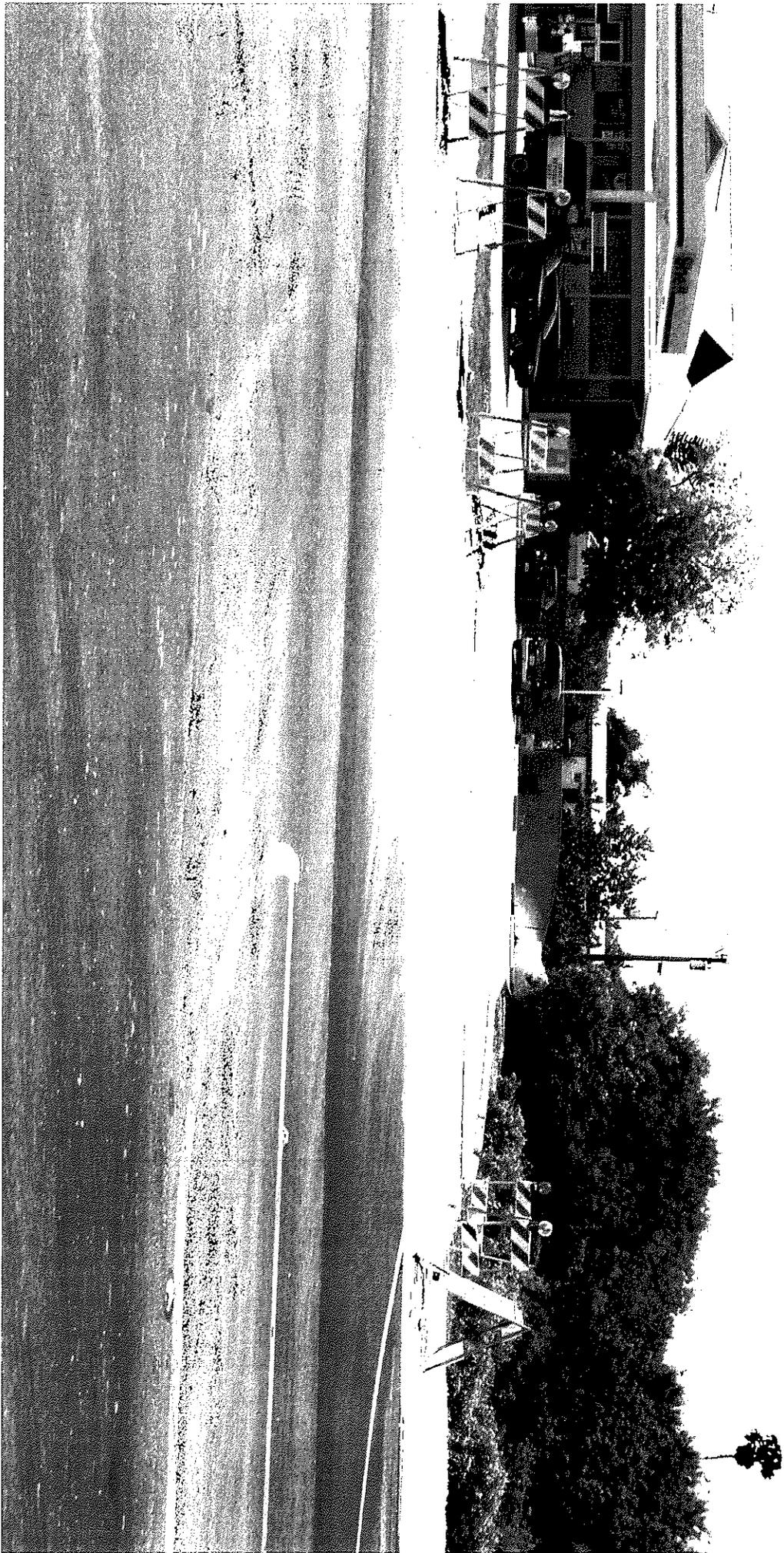
CIRCLE K #1707
1190 OVERSEAS HIGHWAY
BIG COPPITT KEY



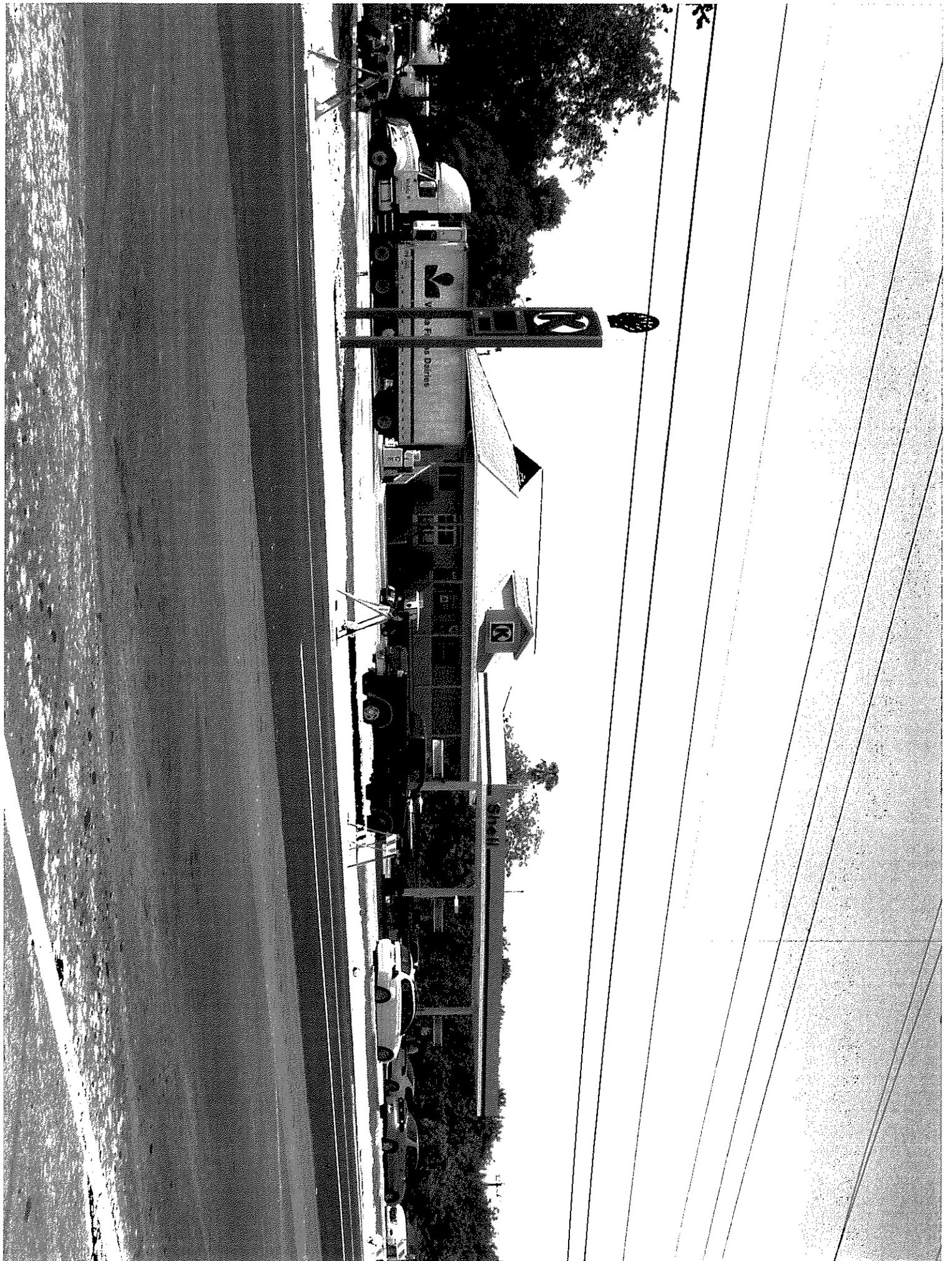
Google maps Address



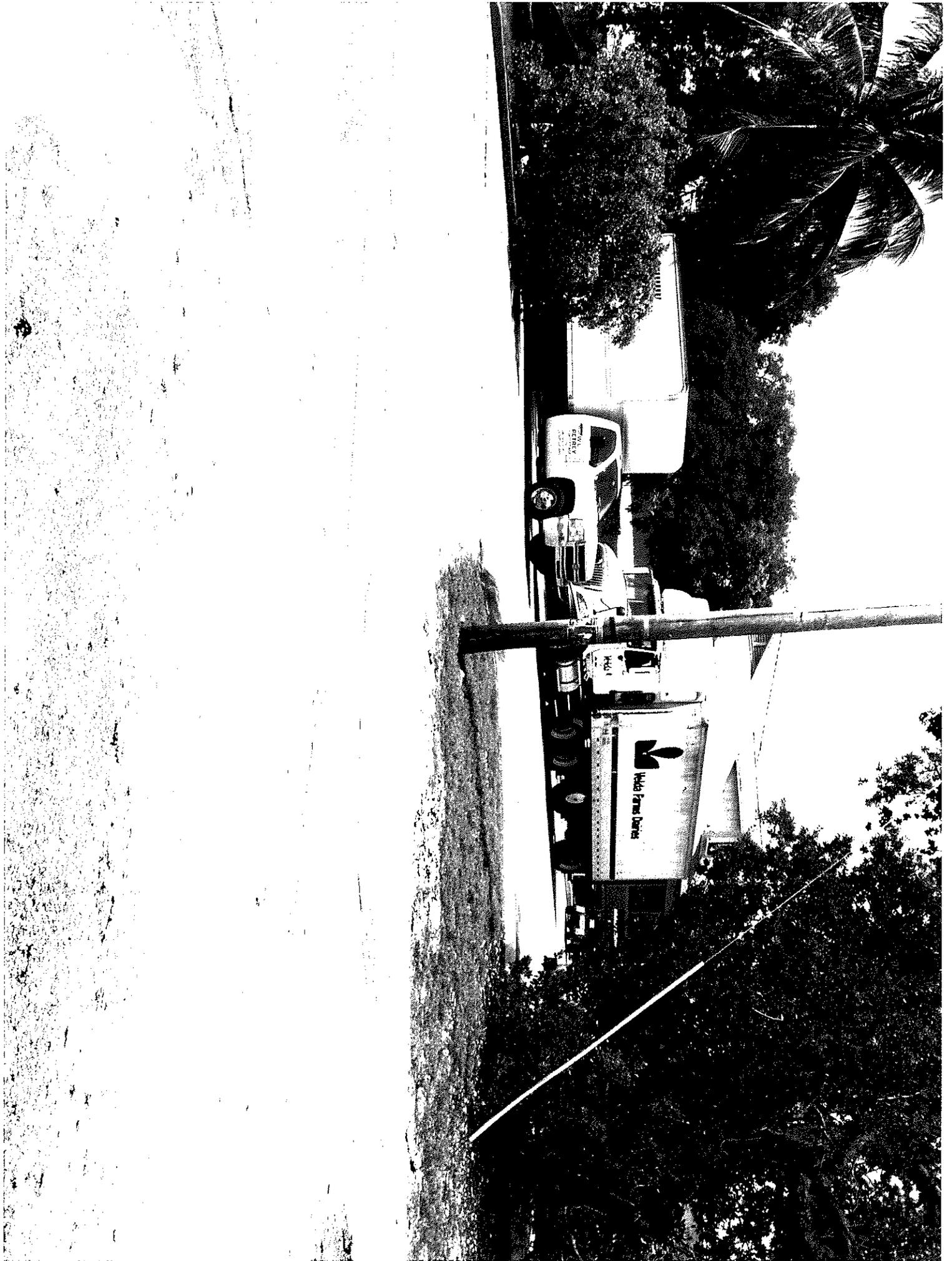


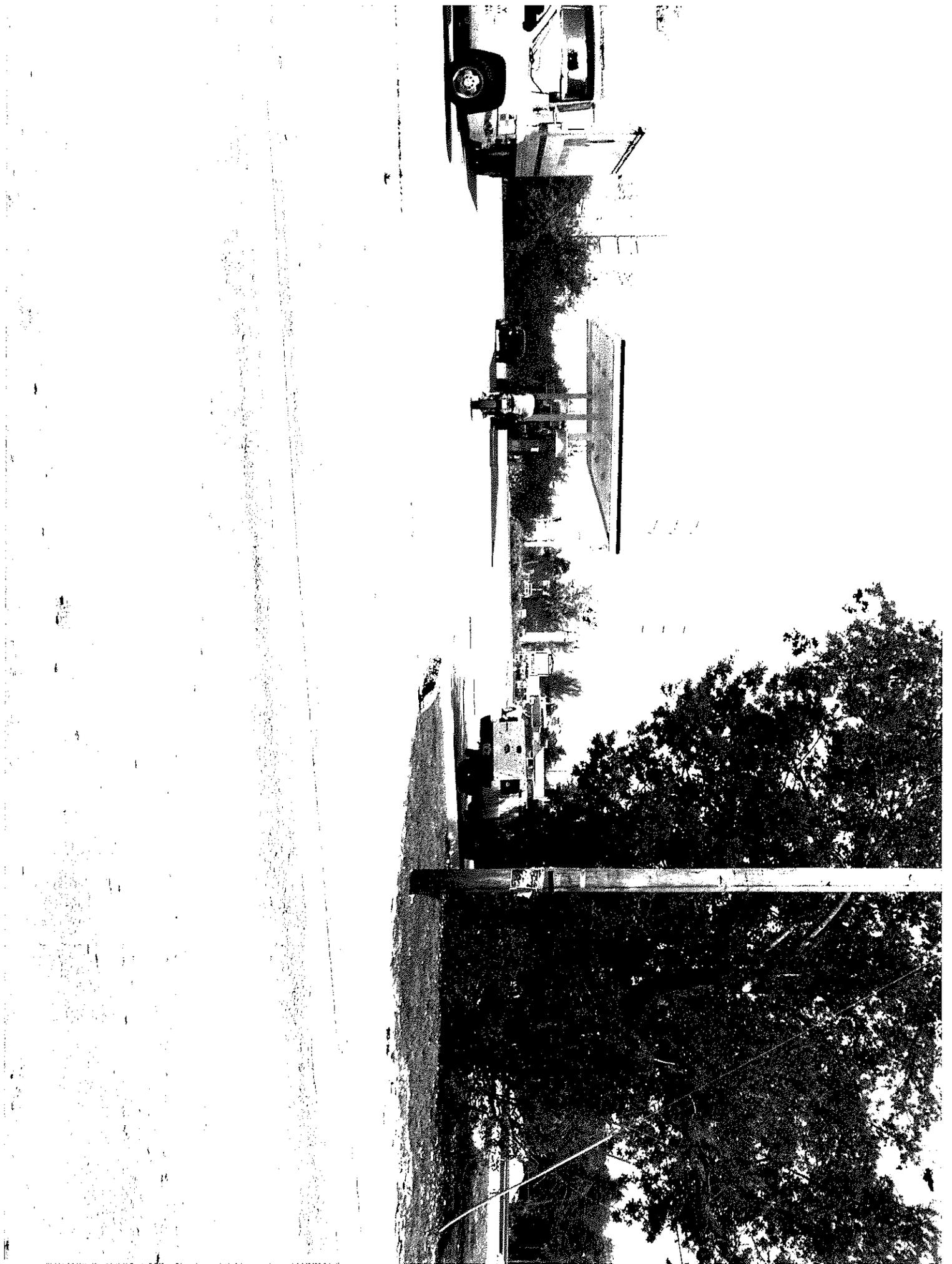


















**CIRCLE K #1707
1190 OVERSEAS HIGHWAY
BIG COPPIT KEY**

DESCRIPTION OF WORK

*ADD TWO ADDITIONAL FUEL DISPENSERS (FOUR FUELING
POSITIONS) TO EXISTING DISPENSERS TO MAKE A TOTAL OF FIVE
DISPENSERS (TEN FUELING POSITIONS)
EXISTING CANOPY TO REMAIN*

REMODEL INTERIOR OF CONVENIENCE STORE

*CIRCLE K
1190 OVERSEAS HIGHWAY
BIG COPPIT KEY*

Community Impact Statement

General Description

This is an existing convenience store and gasoline fueling station. The existing convenience store will be remodeled inside and out to bring it into compliance with the Florida Handicap Code and the 2007 Florida Building Code. There are presently 6 fueling positions which are proposed to expand to 10 positions and add diesel fuel availability. A new canopy will be erected to the square footage presently allowed, with an application for NROGO approval to cover all the fueling dispensers in the future. An upgrade in landscaping, parking, and an emergency temporary generator hookup are proposed.

There will be no expansion of the existing building footprint only the reworking of the interior layout to make the restrooms ADA compliant. New and additional equipment will be added to make the store more compatible to the needs of the surrounding residents.

Restrooms are not expanding in size, they are only being made ADA compliant so there will be no increase or impact to the water supply system or the waste water system. No increase in solid waste is expected.

Presently the building meets all required setbacks and County codes.

Round Key
Sail Key
Shark Key
Little Sandy Keys
Hill Key
Bird Key
Pelican Key
Saddlehill Key
Gelger Key
East Rockland Key
Rockland Key
Anonimo Key
Boca Chica Key
Monday Key

**CIRCLE K
CONVENIENCE STORE
MM 10.5
BIG COPPITT KEY,
FLORIDA**

**LEVEL II TRAFFIC
STUDY**

DECEMBER 2008

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Image ©2009 DigitalGlobe

CROSSROADS ENGINEERING

**CIRCLE K
CONVENIENCE STORE**

MILE MARKER 10.5

BIG COPPITT KEY, FLORIDA

LEVEL III TRAFFIC STUDY

DECEMBER 2008

**CIRCLE K
CONVENIENCE STORE
MILE MARKER 10.5
BIG COPPITT KEY, FLORIDA
LEVEL III TRAFFIC STUDY**

Prepared for
Circle K Stores, Inc.
12911 North Telecom Parkway
Tampa, Florida 33637
(813) 910-6876

Prepared by
Crossroads Engineering Data, Inc.
13284 SW 120th Street
Miami, Florida 33186
305 233-3997

December 2008
JN 08-105



6/3/09

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FL PE No. 60080

Richard P. Eichinger
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**CIRCLE K
CONVENIENCE STORE
MILE MARKER 10.5
BIG COPPITT KEY, FLORIDA
LEVEL III TRAFFIC STUDY**

TABLE OF CONTENTS

INTRODUCTION	1
ACCESS AND ADJACENT LAND USES	1
TRAFFIC GENERATION	1
DISTRIBUTION AND TRIP LENGTH	3
EXISTING US1 TRAFFIC.....	3
SEASONAL TRAFFIC ADJUSTMENT	4
HISTORICAL TRAFFIC VOLUME	4
APPROVED DEVELOPMENT TRAFFIC	4
TRAFFIC DISTRUBUTION FOR PEAK PERIOD ANALYSIS	4
FUTURE BUILD-OUT YEAR TRAFFIC	4
PM PEAK HOUR LEVEL OF SERVICE.....	4
US 1 ARTERIAL TRAFFIC SUMMARY	10
SECONDARY STREET IMPACTS	10
SIGHT TRIANGLES AND VEHICLE MANEUVERABILITY	10
LOCATION OF MEDIAN OPENINGS ALONG US 1	10

TABLES

Table 1 – Daily and PM Peak Hour Trip Generation	3
Table 2 – Existing and Proposed Traffic Volume	6
Table 3 – Levels of Service Analyses Summary	9
Table 4 – US 1 Arterial Summary	11

FIGURES

Figure 1 – General Location Map.....	2
Figure 2 – Existing Midday Peak Hour Traffic	5
Figure 3 – PM Peak Hour Site Only Traffic	7
Figure 4 – 2010 PM Peak Hour Volume with Site	8

APPENDIX

TURNING MOVEMENT DATA
ITE TRIP GENERATION/FDOT SEASONAL FACTORS
INTERSECTION ANALYSES
2008 MONROE COUNTY LOS AND CAPACITY TABLE
FDOT LOS TABLES
REDUCED SITE PLAN

**CIRCLE K
CONVENIENCE STORE
MILE MARKER 10.5
BIG COPPITT KEY, FLORIDA
LEVEL III TRAFFIC STUDY**

INTRODUCTION

The developer is proposing to redevelop an existing convenience store with six (6) fueling positions to a convenience store with ten (10) fueling positions. There are no plans to change the size of the convenience store building. The site is located at 1190 Overseas Highway near US 1 Mile Marker 10.5. Figure 1 depicts the general location and a reduced site plan is in the appendix.

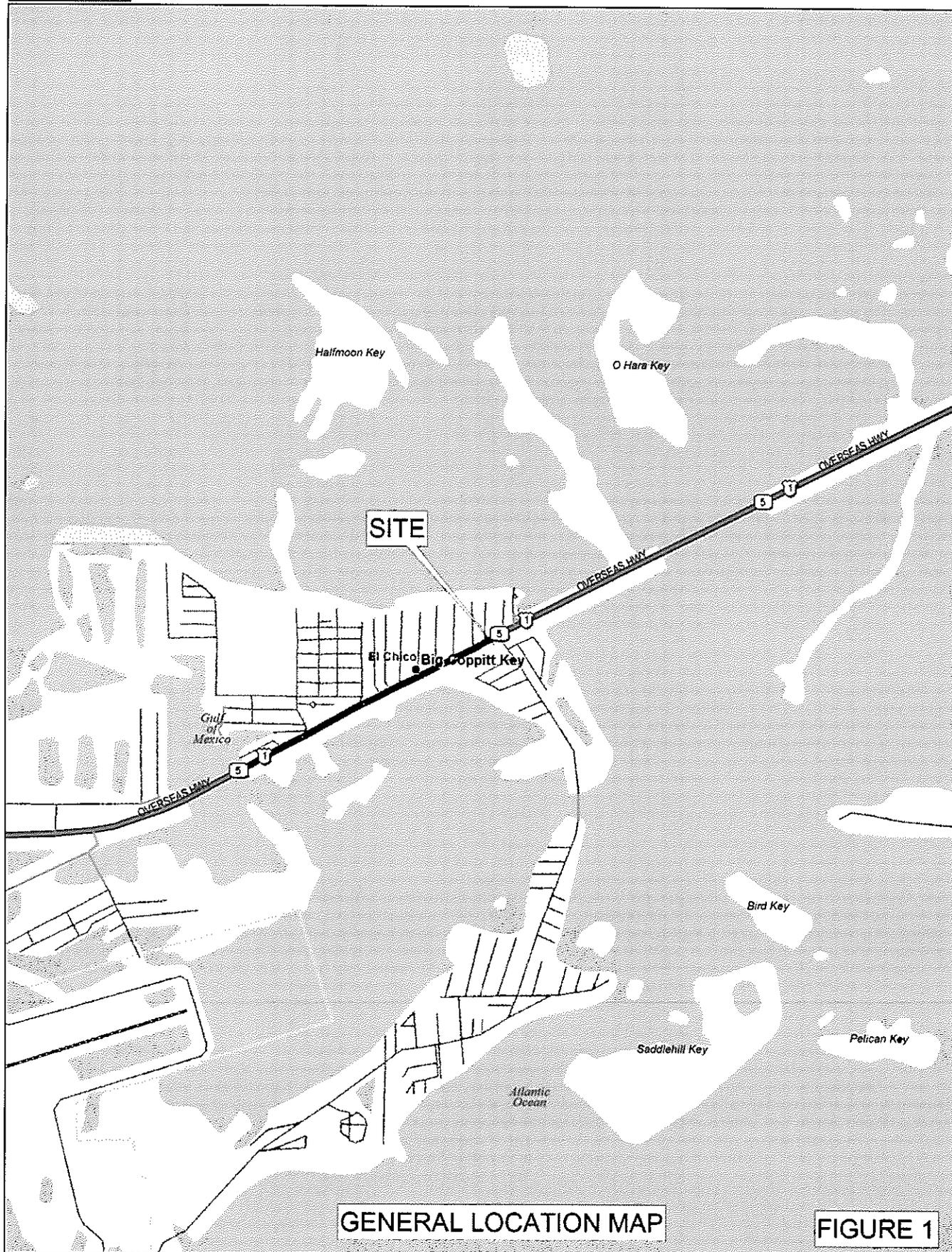
Monroe County's traffic consultant was contacted to discuss the scope of work needed for the traffic study. It was agreed that a level three study is needed to address the project's traffic impacts.

ACCESS AND ADJACENT LAND USES

The site is located at the intersection of US 1 and Boca Chica Road. Currently, one (1) driveway connection exists along US 1 and one (1) along Boca Chica Road. There are no plans to change site access. See the attached site plan for more details. The adjacent land use behind the site is residential and along US 1 there is an abutting commercial use.

TRAFFIC GENERATION

Trip generation is estimated using information from a January 1991 independent report, which appeared in the Institute of Transportation Engineers (ITE) monthly Journal regarding a study performed in Florida of convenience stores with fueling access. The article (*Trip Generation Studies of Gas/Convenience Stores*), estimated PM peak hour traffic at 18 sites in Collier, Lee and Palm Beach counties. Monroe County's traffic consultant agreed to use the trip generation as depicted in the independent study. However, no daily data were collected during the independent study. It was agreed to use the PM peak to daily trip generation ratio (0.082) as reported from nation-wide studies, which appear in the eighth edition of the *Trip Generation Report*, published by ITE (land use code No. 945). It was also agreed that a 56% pass-by rate is appropriate, as depicted in the nation-wide study, and is used in this report to estimate primary trips to be generated by the proposed change in development. Table 1 depicts the existing and proposed trip generation.



GENERAL LOCATION MAP

FIGURE 1

Data use subject to license.
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 www.delorme.com

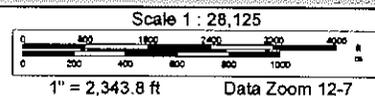


Table 1
Daily and PM Peak Hour
Trip Generation for a
Convenience Store with
Vehicle Fueling Positions (vfp's)
(ITE Land Use Code # 945)

Land Use	Weighted Daily Volume	PM Peak Hour		
		In	Out	Total
Proposed:				
C-store 3,200 sf	1,799	74	74	148
10 vfp's	<u>888</u>	<u>36</u>	<u>36</u>	<u>72</u>
Subtotal gross trips	<u>2,687</u>	<u>110</u>	<u>110</u>	<u>220</u>
Less pass-by trips (56%)	-1,505	-62	-62	-124
Subtotal primary trips¹	1,182	48	48	96
Existing:				
C-store 3,200 sf	-1,799	-74	-74	-148
6 vfp's	<u>-533</u>	<u>-22</u>	<u>-22</u>	<u>-22</u>
Subtotal gross trips	<u>-2,332</u>	<u>-96</u>	<u>-96</u>	<u>-192</u>
Less pass-by trips (56%)	-886	-54	-54	-108
Subtotal primary trips	-697	-42	-42	-84
Net new primary trips²	312	6	6	12

¹ Total site gross primary trips

² Net new trips on the roadway network

DISTRIBUTION AND TRIP LENGTH

One need not travel far in the Keys for convenient store and fuel services. Both daily and PM peak hour traffic are estimated to be equal in both the north/south directions. The average trip length to the north and south is estimated at four (4) miles. It is estimated that about 5% of the trips will use Boca Chica Road rather than US 1 to access the site.

EXISTING US 1 TRAFFIC

It was agreed with the County's traffic consultant that the following intersections along US 1 are to be analyzed in this study.

- Jade Drive – 100 feet east of site.
- Boca Chica Road – at the site.
- First Street – ½ mile
- Calle Uno – 1 ¼ miles
- Rockland Road 1 ½ miles
- Both site drives

All intersection data collection occurred on Tuesday December 9, 2008, between 4:00 PM and 6:00 PM. The PM peak period historically typifies peak period traffic that occurs hourly in this section of the Keys. Figure 2 depicts existing traffic volumes at the five (5) intersections under study.

SEASONAL TRAFFIC ADJUSTMENT

The Florida Department of Transportation year 2007 weekly volume factors (latest available) were used to estimate peak seasonal traffic conditions from the data collected in December. The data collected was increased by 23.3% to peak season conditions.

HISTORICAL TRAFFIC VOLUME

The company's intention is to have the project built and operating by the close of year 2010. Therefore, existing traffic volumes were factored for yearly growth. The year 2008 *US 1 Arterial Travel Time and Delay Study for Monroe County, Florida* was used as a guide to increase existing volume data by an annualized rate of 1.0% to year 2010, build-out conditions.

APPROVED DEVELOPMENT TRAFFIC

Monroe County Planning staff was contacted regarding other approved but not built projects in Big Coppitt Key area. According to staff, there are no approved, but not built projects in subject area, however there are projects currently going through the approval process.

TRAFFIC DISTRIBUTION FOR PEAK PERIOD ANALYSIS

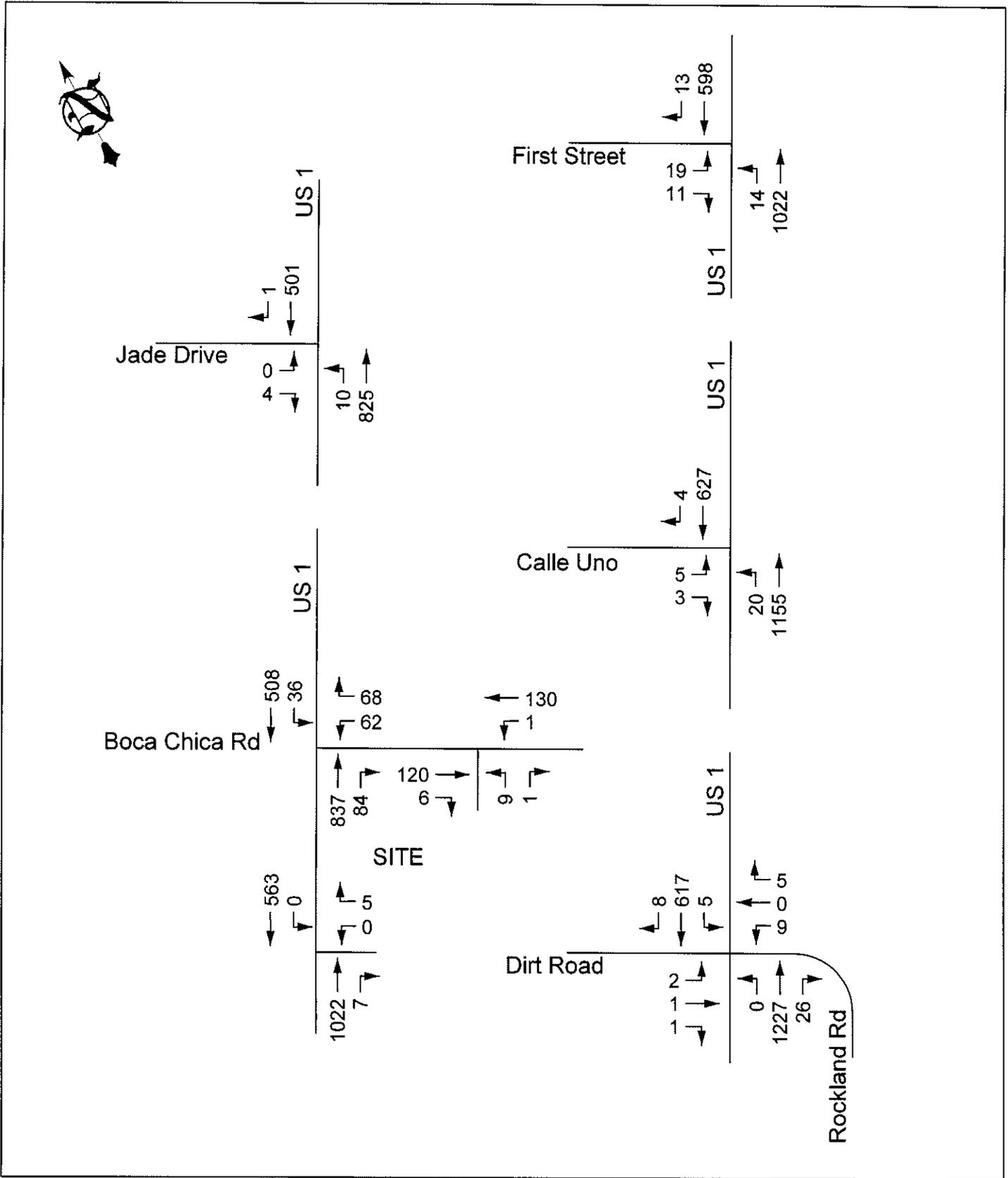
The north/south distribution of traffic volume along this general area of US 1 during the peak period is estimated to be about equal. Aerial photos aided in the distribution and assignment of site traffic.

FUTURE BUILD-OUT YEAR TRAFFIC

Table 2 depicts the PM peak hour volume collected at the intersections under study. Table 2 also shows peak season traffic, a two (2) year growth and the proposed development's PM peak hour traffic volume (as shown in Table 1). Figure 3 depicts site only traffic and Figure 4 depicts peak season, a one-year growth and site PM peak hour traffic at the study locations.

PM PEAK HOUR LEVEL OF SERVICE

Table 3 summarizes PM peak hour levels of service (LOS) analyses performed at the intersections under study. All future year analyses reflect PM peak hour traffic volume conditions during the peak season (peak day during the peak week) and a one year annualized growth. All intersection movements will operate within acceptable LOS conditions after build-out and occupancy of the proposed development expansion.



Circle K
Big Coppitt Key

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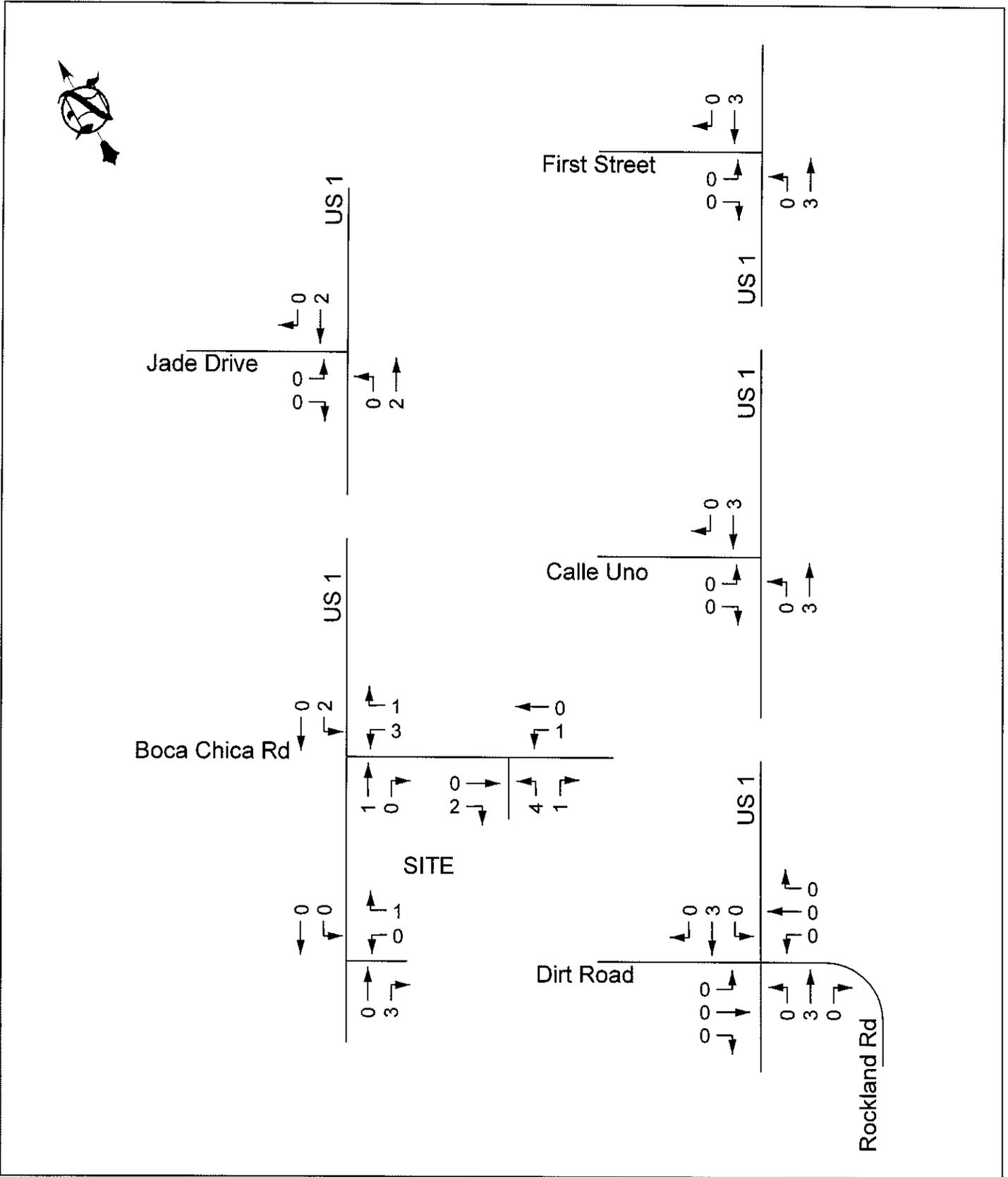
Figure 2
Existing PM
Peak Hour Traffic

TABLE 2
TRAFFIC VOLUME AT STUDY LOCATIONS
(US 1 considered an east / west roadway for analysis purposes)

OVERSEAS HIGHWAY (US 1) INTERSECTION AND APPROACH	2008 PM PEAK VOLUME	PEAK SEASON INCREASE VOLUME ¹	YEAR		SITE VOLUME	SITE VOLUME	YEAR 2010 WITH SITE TOTAL VOLUME
			BACKGROUND GROWTH INCREASE VOLUME ²	YEAR 2010 WITHOUT SITE SUBTOTAL			
Jade Drive							
EB LEFT	10	1	0	11	0	11	
EB THRU	825	192	8	1025	2	1027	
WB THRU	501	117	5	623	2	625	
WB RIGHT	1	0	0	1	0	1	
SB LEFT	0	0	0	0	0	0	
SB RIGHT	4	0	0	4	0	4	
Boca Chica Road							
EB THRU	837	195	8	1040	1	1041	
EB RIGHT	84	10	1	95	0	95	
WB LEFT	36	4	0	40	2	42	
WB THRU	508	118	3	629	0	629	
NB LEFT	62	7	0	69	3	72	
NB RIGHT	68	8	0	76	1	77	
Boca Chica Rd & Site Drive							
EB LEFT	9	1	0	10	4	14	
EB RIGHT	1	0	0	1	1	2	
NB LEFT	1	0	0	1	1	2	
NB THRU	130	15	0	145	0	145	
SB THRU	120	14	0	134	0	134	
SB RIGHT	6	1	0	7	2	9	
US 1 & Site Drive							
EB THRU	1022	238	10	1270	0	1270	
EB RIGHT	7	0	0	7	3	10	
WB LEFT	0	0	0	0	0	0	
WB THRU	563	131	6	700	0	700	
NB LEFT	0	0	0	0	0	0	
NB RIGHT	5	0	0	5	1	6	
First Street							
EB LEFT	14	2	0	16	0	16	
EB THRU	1022	238	10	1270	3	1273	
WB THRU	598	139	6	743	3	746	
WB RIGHT	13	2	0	15	0	15	
SB LEFT	19	2	0	21	0	21	
SB RIGHT	11	1	0	12	0	12	
Calle Uno							
EB LEFT	20	2	0	22	0	22	
EB THRU	1155	269	12	1436	3	1439	
WB THRU	627	146	0	773	3	776	
WB RIGHT	4	0	0	4	0	4	
SB LEFT	5	1	0	6	0	6	
SB RIGHT	3	0	0	3	0	3	
Rockland Road							
EB LEFT	0	0	0	0	0	0	
EB THRU	1227	286	12	1525	3	1528	
EB RIGHT	26	3	0	29	0	29	
WB LEFT	5	1	0	6	0	6	
WB THRU	617	144	6	767	3	770	
WB RIGHT	8	1	0	9	0	9	
NB LEFT	9	1	0	10	0	10	
NB THRU	0	0	0	0	0	0	
NB RIGHT	5	1	0	6	0	6	
SB LEFT	2	0	0	2	0	2	
SB THRU	1	0	0	1	0	1	
SB RIGHT	1	0	0	1	0	1	

1 Existing volume increased by 23.3% to depict peak season conditions and half that value for turns to and from US 1.

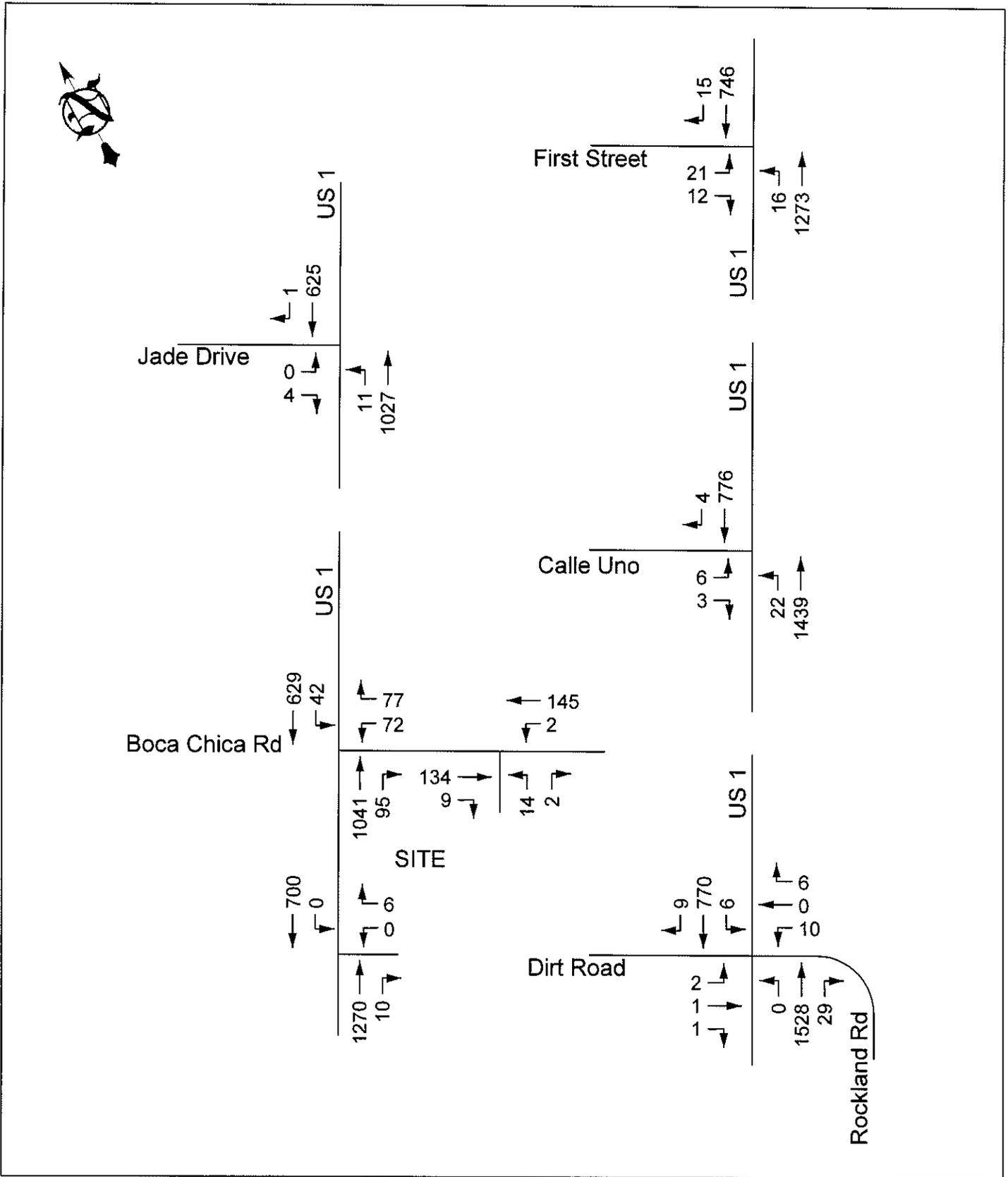
2 Existing volume increased by 1.0% to depict growth in 2008 condition



Circle K
Big Coppitt Key

CROSSROADS ENGINEERING

Figure 3
Midday Peak Hour
Site Only Traffic



Circle K
Big Coppitt Key

CROSSROADS ENGINEERING

Figure 4
Year 2010
With Site Volume

TABLE 3
LEVEL OF SERVICE AT STUDY INTERSECTIONS
 (US 1 considered a north / south roadway for analysis purposes)

OVERSEAS HIGHWAY (US 1) INTERSECTION AND APPROACH	EXISTING LOS	YEAR	
		2010 WITH- OUT SITE LOS	YEAR 2010 WITH SITE LOS
<u>Jade Drive</u>			
EB LEFT	A	A	A
SB LEFT & RIGHT	B	B	B
<u>Boca Chica Road</u>			
WB LEFT	A	A	B
NB LEFT	C	D	D
NB RIGHT	B	B	C
<u>Boca Chica Rd & Site Drive</u>			
NB LEFT & THRU	N/A	N/A	A
SB LEFT & RIGHT	N/A	N/A	A
<u>US 1 & Site Drive</u>			
NB LEFT & RIGHT	N/A	N/A	C
<u>First Street</u>			
EB LEFT & THRU	A	A	A
SB LEFT	C	D	D
SB RIGHT	B	B	B
<u>Calle Uno</u>			
EB LEFT	A	A	A
SB LEFT & RIGHT	C	D	D
<u>Rockland Road</u>			
EB LEFT	A	A	A
WB LEFT	B	B	B
NB LEFT	C	C	C
NB RIGHT	C	C	C
SB LEFT, THRU & RIGHT	A	A	A

US 1 ARTERIAL TRAFFIC SUMMARY

The proposed site is located in Segment 3 as identified in the *2008 US 1 Arterial Travel Time and Delay Study* published by Monroe County Planning Department. Segment 3 currently has a daily traffic reserve volume of 124 trips. To determine the US 1 reserve capacity for 5% below LOS C, the methodology presented on page 16 of the year 2008 US 1 Travel Time and Delay Study for Monroe County were used (the calculations are attached). The calculated volume in Segment 3 is estimated at 686 plus the current reserve volume of 124 trips for a total of 810 trips ($686+124=810$). It is estimated that daily traffic generated by the proposed development will have a distribution of traffic at 50% north and 50% south, which will decrease the reserve volume in Segment 3 by about 148 trips per day leaving a reserve of 662 daily trips in Segment 3. Table 4 summarizes the the impacts to US 1 segments.

SECONDARY STREET IMPACTS

Boca Chica Road will have approximately 286 PM peak hour trips in 2010 with the site. Using the FDOT's planning analysis peak hour factor (0.096), approximately 2,979 daily trips are estimated to use Boca Chica Road. A level of service "D" volume is estimated by FDOT at 13,600 vpd and a LOS "C" volume of 7,000 vpd. Hence, Boca Chica Road will operate at a LOS "C" condition with site traffic in 2010

SIGHT TRIANGLES AND ON-SITE VEHICLE MANEUVERABILITY

Sight triangles and vehicle maneuverability will be shown on the final site plan to be submitted with application.

LOCATION OF MEDIAN OPENINGS ALONG US 1

There are no median openings along this portion of US 1 on Big Coppitt Key.

TABLE 4 -- ARTERIAL TRIP ASSIGNMENT SUMMARY

Total Daily Trips		Percent Pass-By Trips	Percent Primary Trips	(1) Primary Trips	US-1 Segment Number	US-1 Segment Begin MM	US-1 Segment End MM	(2) Percent Directional Split	(3) % Impact Based on Trip Length	(1) (2) (3) Project Generated Trips	Year 2008 Reserve Capacity	Less Estimated Site Volume	2008 Remaining Reserve Capacity
296	0	100	296	#1	4.0	5.0	50	25	(296 * 0.5 * 0.25) = 37	1,767	37	1,730	
				#2	5.0	9.0	50	56	(296 * 0.5 * 0.56) = 83	3,810	83	3,727	
				#3	9.0	10.5	50	100	(296 * 0.5 * 1.00) = 148	810*	148	662*	
				#4	10.5	16.5	50	100	(296 * 0.5 * 1.00) = 148	1,921	148	1,773	
				#5	16.5	20.5	50	6	(296 * 0.5 * 0.06) = 9	0	9		
				#6	20.5	23.0	50	0	(296 * 0.5 * 0.00) = 0				
				#7	23.0	24.0	50	0	(296 * 0.5 * 0.00) = 0				
				#8	24.0	27.5	50	0	(296 * 0.5 * 0.00) = 0				
				#9	27.5	29.5	50	0	(296 * 0.5 * 0.00) = 0				
				#10	29.5	33.0	50	0	(296 * 0.5 * 0.00) = 0				
				#11	33.0	40.0	50	0	(296 * 0.5 * 0.00) = 0				
				#12	40.0	47.0	50	0	(296 * 0.5 * 0.00) = 0				
				#13	47.0	54.0	50	0	(296 * 0.5 * 0.00) = 0				
				#14	54.0	60.5	50	0	(296 * 0.5 * 0.00) = 0				
				#15	60.5	63.0	50	0	(296 * 0.5 * 0.00) = 0				
				#16	63.0	73.0	50	0	(296 * 0.5 * 0.00) = 0				
				#17	73.0	77.5	50	0	(296 * 0.5 * 0.00) = 0				
				#18	77.5	79.5	50	0	(296 * 0.5 * 0.00) = 0				
				#19	79.5	84.0	50	0	(296 * 0.5 * 0.00) = 0				
				#20	84.0	86.0	50	0	(296 * 0.5 * 0.00) = 0				
				#21	86.0	91.5	50	0	(296 * 0.5 * 0.00) = 0				
				#22	91.5	99.5	50	0	(296 * 0.5 * 0.00) = 0				
				#23	99.5	106.0	50	0	(296 * 0.5 * 0.00) = 0				
				#24	106.0	112.5	50	0	(296 * 0.5 * 0.00) = 0				

* With LOS "C" allocation

Project: Circle K
 Location: Big Coppitt Key
 Approx. US-1 MM: 10.5
 Development Type: Convenience Store With Fuel
 Project Size: See report
 Average Trip Length: Trip Distribution: 50% N/E, 50% S/W
 Trip Generation Source: ITE ITE Land Use Code No., OTHER See Report
 Daily Trip Ends - Weekday: Saturday: Sunday: Weighted Daily: 296

APPENDIX

TURNING MOVEMENT DATA

Crossroads Engineering
 13284 SW 120th Street
 Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

File Name : JADE@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 1

Start Time	JADE DR			US1			US1			Int. Total
	From North	From East	From West	From North	From East	From West	From North	From East	From West	
	Left	Right	Thru	Left	Right	Thru	Left	Right	Thru	
04:00 PM	1	2	156	0	0	0	3	0	174	336
04:15 PM	0	0	175	0	0	0	3	0	170	348
04:30 PM	0	2	153	0	0	0	0	0	155	310
04:45 PM	0	1	132	0	0	0	2	0	189	324
Total	1	5	616	0	0	0	8	0	688	1318
05:00 PM	0	2	131	1	0	0	4	0	205	343
05:15 PM	0	1	102	1	0	0	1	0	209	314
05:30 PM	0	0	136	0	1	0	3	0	222	362
05:45 PM	0	0	105	0	1	0	2	0	196	304
Total	0	3	474	2	2	0	10	0	832	1323
Grand Total	1	8	1090	2	2	0	18	0	1520	2641
Approch %	9.1	72.7	99.8	18.2	0.2	0	1.2	0	98.8	0
Total %	0	0.3	41.3	0.1	0.1	0	0.7	0	57.6	0
AUTOS	1	8	1064	2	2	0	18	0	1485	2580
% AUTOS	100	100	97.6	100	100	0	100	0	97.7	97.7
HEAVY VEHICLES	0	0	26	0	0	0	0	0	35	61
% HEAVY VEHICLES	0	0	2.4	0	0	0	0	0	2.3	2.3

Crossroads Engineering
 13284 SW 120th Street
 Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

File Name : JADE@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 2

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

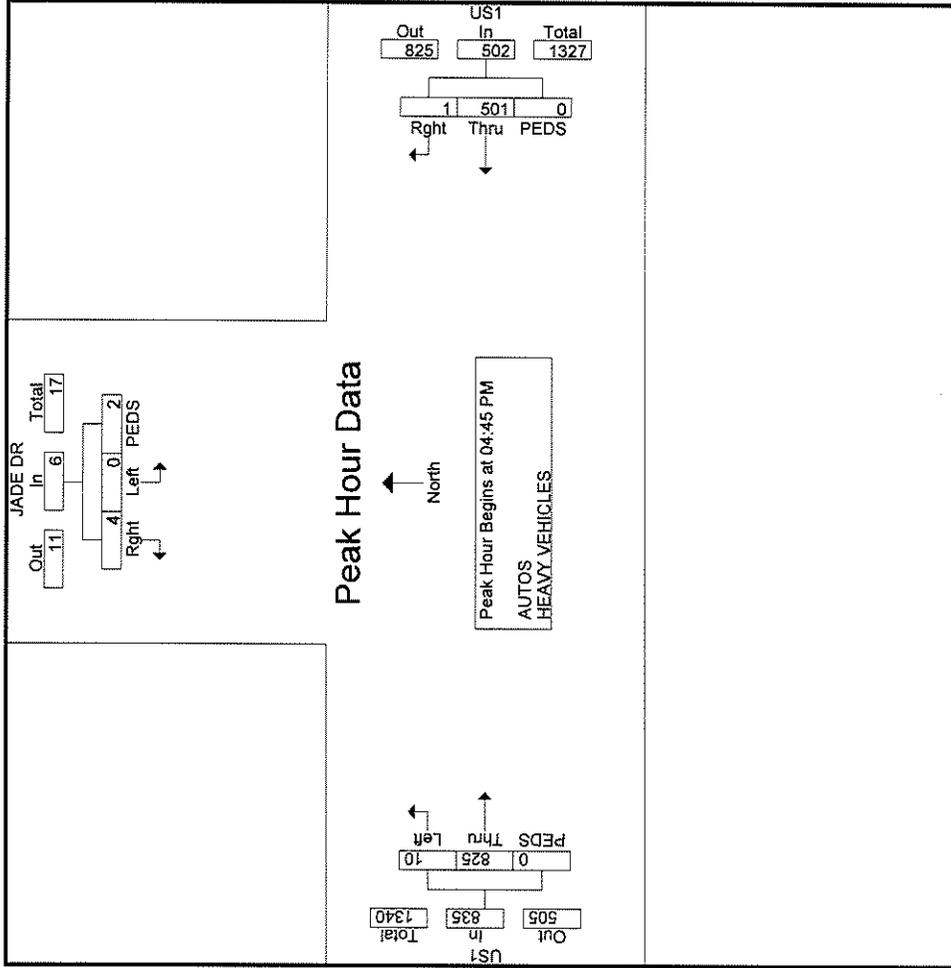
Start Time	JADE DR			US1			US1			Int. Total
	Left	Right	App. Total	Thru	Right	App. Total	Left	Thru	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1										
Peak Hour for Entire Intersection Begins at 04:45 PM										
04:45 PM	0	1	0	132	0	0	2	189	0	191
05:00 PM	0	2	1	131	0	0	4	205	0	209
05:15 PM	0	1	1	102	0	0	1	209	0	210
05:30 PM	0	0	0	136	1	0	3	222	0	225
Total Volume	0	4	2	501	1	0	10	825	0	835
% App. Total	0	66.7	33.3	99.8	0.2	0	1.2	98.8	0	928
PHF	.000	.500	.500	.921	.250	.000	.625	.929	.000	.927

Crossroads Engineering
 13284 SW 120th Street
 Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

File Name : JADE@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 3



Crossroads Engineering

13284 SW 120th Street

Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

CLIENT: CIRCLE K

JOB NO.: 2008-105

PROJECT: CIRCLE K BIG COPPITT KEY

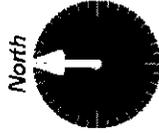
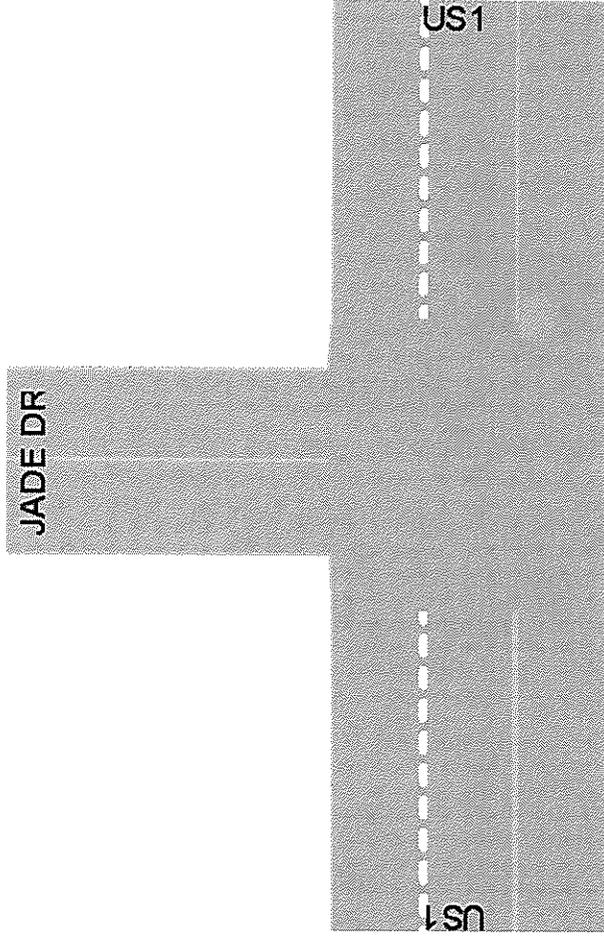
COUNTY: MONROE

File Name : JADE@US1

Site Code : 00000000

Start Date : 12/9/2008

Page No : 4



Crossroads Engineering
 13284 SW 120th Street
 Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

File Name : BOCA@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 1

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

Groups Printed- AUTOS - HEAVY VEHICLES

Start Time	US1 From East			BOCA CHICA RD From South			US1 From West			Int. Total
	Left	Thru	PEDS	Left	Right	PEDS	Thru	Right	PEDS	
04:00 PM	7	158	0	15	15	0	177	20	0	392
04:15 PM	5	178	0	12	17	0	172	25	0	409
04:30 PM	10	155	0	12	21	0	157	26	0	381
04:45 PM	10	134	0	18	13	0	192	27	0	394
Total	32	625	0	57	66	0	698	98	0	1576
05:00 PM	8	133	0	15	19	0	208	23	0	406
05:15 PM	9	103	0	13	15	0	212	23	0	375
05:30 PM	9	138	0	16	21	0	225	11	0	420
05:45 PM	4	107	0	18	9	0	199	22	0	359
Total	30	481	0	62	64	0	844	79	0	1560
Grand Total	62	1106	0	119	130	0	1542	177	0	3136
Apprch %	5.3	94.7	0	47.8	52.2	0	89.7	10.3	0	
Total %	2	35.3	0	3.8	4.1	0	49.2	5.6	0	
AUTOS	59	1080	0	117	130	0	1507	176	0	3069
% AUTOS	95.2	97.6	0	98.3	100	0	97.7	99.4	0	97.9
HEAVY VEHICLES	3	26	0	2	0	0	35	1	0	67
% HEAVY VEHICLES	4.8	2.4	0	1.7	0	0	2.3	0.6	0	2.1

Crossroads Engineering

13284 SW 120th Street

Miami, FL 33186

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File Name : BOCA@US1

Site Code : 00000000

Start Date : 12/9/2008

Page No : 2

CLIENT: CIRCLE K

JOB NO.: 2008-105

PROJECT: CIRCLE K BIG COPPITT KEY

COUNTY: MONROE

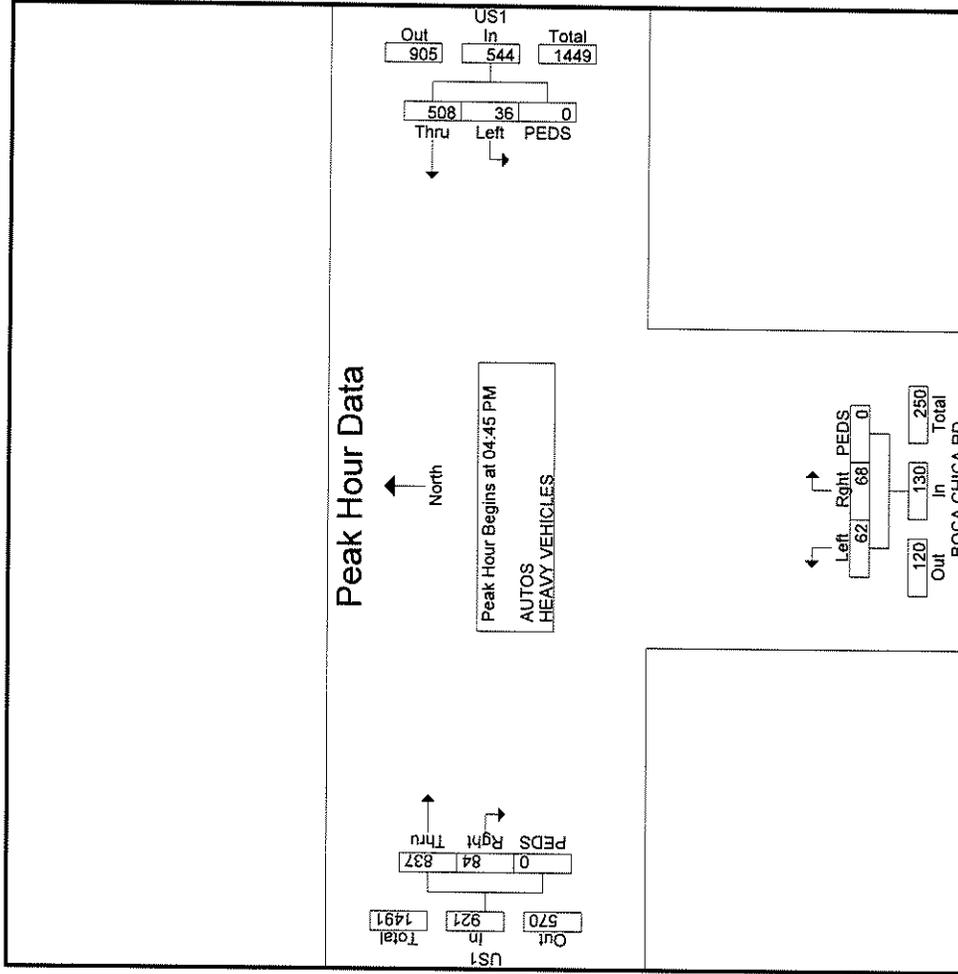
Start Time	US1 From East			BOCA CHICA RD From South			US1 From West			App. Total	PEDS	Int. Total
	Left	Thru	Right	Left	Right	Thru	Left	Right	Thru			
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1												
Peak Hour for Entire Intersection Begins at 04:45 PM												
04:45 PM	10	134	0	18	13	0	31	27	192	0	219	394
05:00 PM	8	133	0	15	19	0	34	23	208	0	231	406
05:15 PM	9	103	0	13	15	0	28	23	212	0	235	375
05:30 PM	9	138	0	16	21	0	37	11	225	0	236	420
Total Volume	36	508	0	62	68	0	130	84	837	0	921	1595
% App. Total	6.6	93.4	0	47.7	52.3	0	87.8	9.1	90.9	0	97.6	94.9
PHF	.900	.920	.000	.861	.810	.000	.878	.778	.930	.000	.976	.949

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CLIENT: CIRCLE K
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 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

File Name : BOCA@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 3

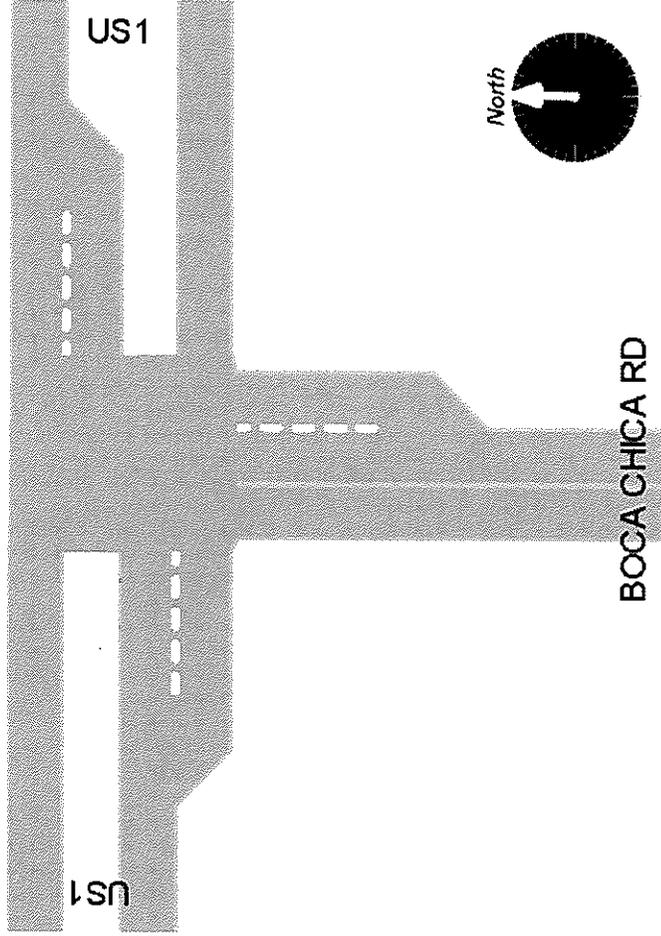


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File Name : BOCA@US1
Site Code : 00000000
Start Date : 12/9/2008
Page No : 4

CLIENT: CIRCLE K
JOB NO.: 2008-105
PROJECT: CIRCLE K BIG COPPITT KEY
COUNTY: MONROE



Crossroads Engineering
 13284 SW 120th Street
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Tel: 305-233-3997 Fax: 305-233-7720

File Name : BOCA@SITEDRIVEWAY
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 1

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY : MONROE

Start Time	Groups Printed- AUTOS										Int. Total
	BOCA CHICA RD Southbound			BOCA CHICA RD Northbound			SITE DRIVEWAY Eastbound				
	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Right	
04:00 PM	26	1	0	28	0	0	1	0	1	0	56
04:15 PM	29	0	0	29	0	0	0	0	0	0	58
04:30 PM	31	2	0	34	0	0	2	0	2	0	69
04:45 PM	30	3	0	32	0	0	3	1	3	1	69
Total	116	6	0	123	0	0	6	1	6	1	252
05:00 PM	28	2	1	34	0	0	2	0	2	0	67
05:15 PM	31	1	0	30	0	0	1	0	1	0	63
05:30 PM	18	0	0	34	0	0	3	0	3	0	55
05:45 PM	26	0	0	27	0	0	0	0	0	0	53
Total	103	3	1	125	0	0	6	0	6	0	238
Grand Total	219	9	1	248	0.4	0.2	12	1	12	1	490
Apprch %	96.1	3.9	0.4	99.6	0.2	0.2	92.3	7.7	92.3	7.7	490
Total %	44.7	1.8	0.2	50.6			2.4	0.2	2.4	0.2	

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File Name : BOCA@SITEDRIVEWAY
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 2

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY : MONROE

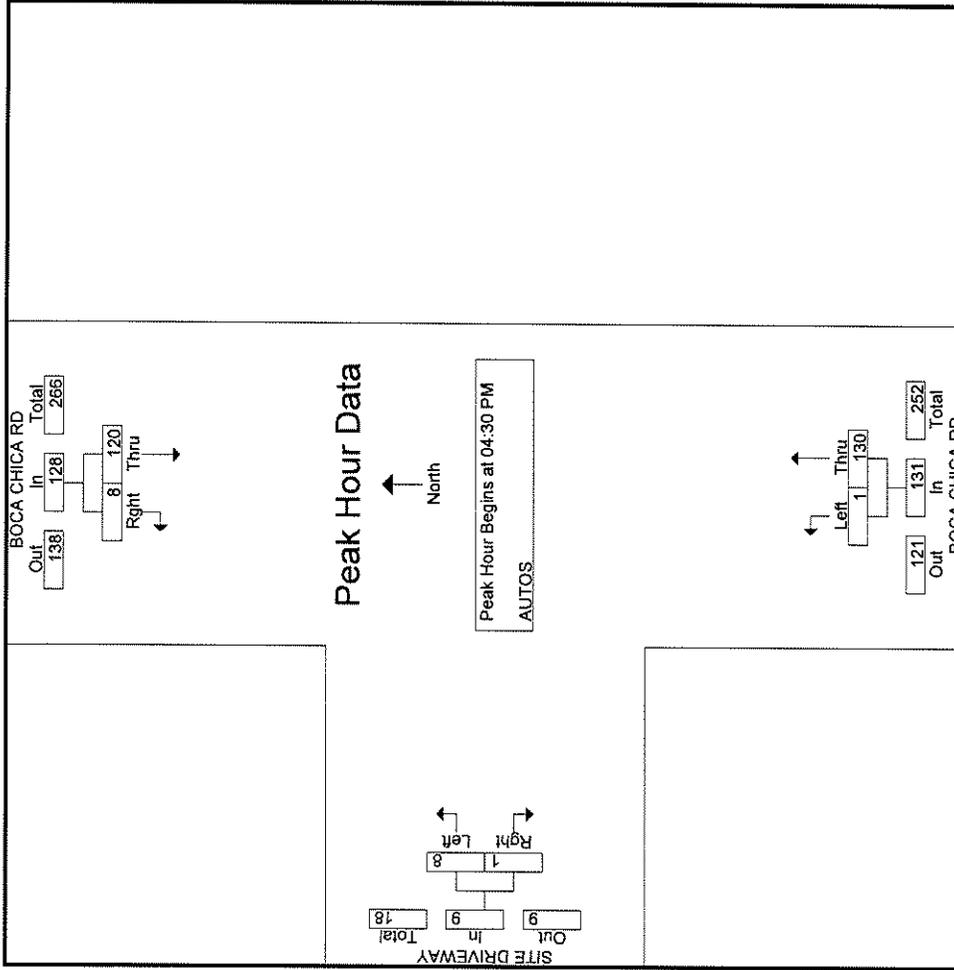
Start Time	BOCA CHICA RD Southbound			BOCA CHICA RD Northbound			SITE DRIVEWAY Eastbound			Int. Total
	Thru	Right	App. Total	Left	Thru	App. Total	Left	Right	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1										
Peak Hour for Entire Intersection Begins at 04:30 PM										
04:30 PM	31	2	33	0	34	34	2	0	2	69
04:45 PM	30	3	33	0	32	32	3	1	4	69
05:00 PM	28	2	30	1	34	35	2	0	2	67
05:15 PM	31	1	32	0	30	30	1	0	1	63
Total Volume	120	8	128	1	130	131	8	1	9	268
% App. Total	93.8	6.2	.970	0.8	99.2	.936	88.9	11.1	.563	.971
PHF	.968	.667	.970	.250	.956	.936	.667	.250	.563	.971

Crossroads Engineering
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Tel: 305-233-3997 Fax: 305-233-7720

File Name : BOCA@SITEDRIVEWAY
 Site Code : 0000000
 Start Date : 12/9/2008
 Page No : 3

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY : MONROE



Crossroads Engineering
 13284 SW 120th Street
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Tel: 305-233-3997 Fax: 305-233-7720

File Name : US1@SITEDRIVEWAY
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 1

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY : MONROE

Start Time	US1 Westbound		Thru	SITE DRIVEWAY Northbound		US1 Eastbound		Int. Total
	Left	Right		Left	Right	Thru	Right	
04:00 PM	0	0	155	0	0	178	1	334
04:15 PM	0	0	175	0	1	188	0	364
04:30 PM	0	0	153	0	1	191	2	347
04:45 PM	0	0	148	0	3	239	1	391
Total	0	0	631	0	5	796	4	1436
05:00 PM	0	0	140	0	1	258	3	402
05:15 PM	0	0	141	0	1	262	1	405
05:30 PM	0	0	134	0	0	263	2	399
05:45 PM	1	0	103	0	2	215	0	321
Total	1	0	518	0	4	998	6	1527
Grand Total	1	0	1149	0	9	1794	10	2963
Approch %	0.1	0	99.9	0	100	99.4	0.6	
Total %	0	0	38.8	0	0.3	60.5	0.3	

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File Name : US1@SITEDRIVEWAY
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 2

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY : MONROE

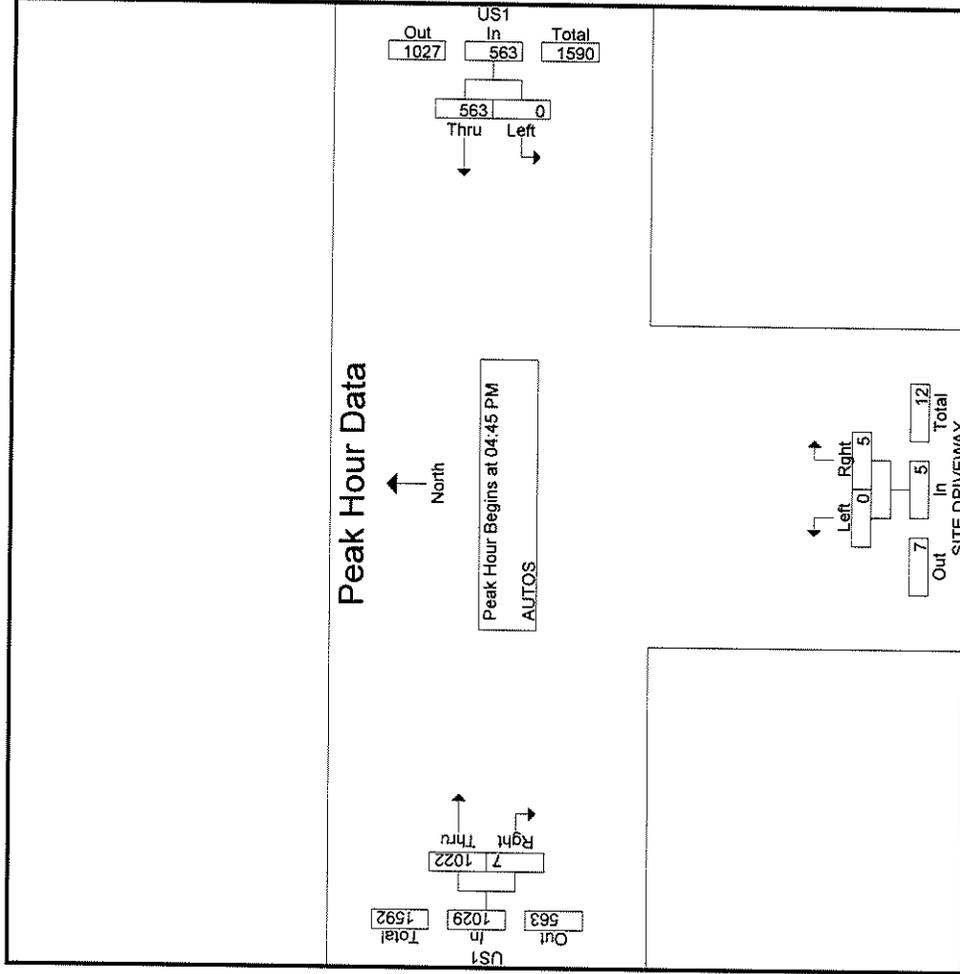
Start Time	US1 Westbound			SITE DRIVEWAY Northbound			US1 Eastbound			Int. Total
	Left	Thru	App. Total	Left	Right	App. Total	Thru	Right	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1										
Peak Hour for Entire Intersection Begins at 04:45 PM										
04:45 PM	0	148	148	0	3	3	239	1	240	391
05:00 PM	0	140	140	0	1	1	258	3	261	402
05:15 PM	0	141	141	0	1	1	262	1	263	405
05:30 PM	0	134	134	0	0	0	263	2	265	399
Total Volume	0	563	563	0	5	5	1022	7	1029	1597
% App. Total	0	100	100	0	100	100	99.3	0.7	97.1	98.6
PHF	.000	.951	.951	.000	.417	.417	.971	.583	.971	.986

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CLIENT: CIRCLE K
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 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY : MONROE

File Name : US1@SITEDRIVEWAY
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 3

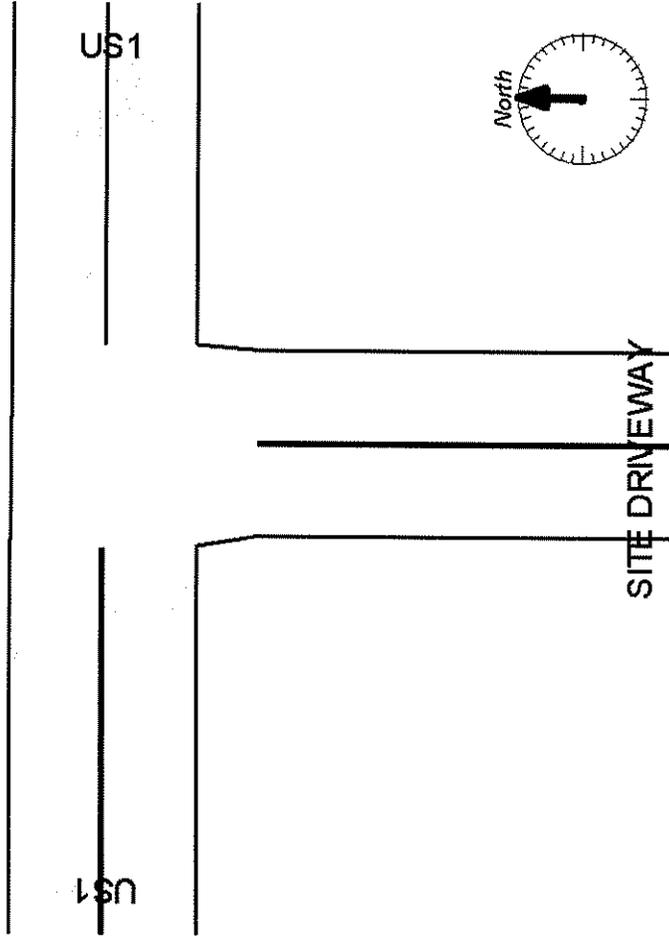


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CLIENT: CIRCLE K
JOB NO.: 2008-105
PROJECT: CIRCLE K BIG COPPITT KEY
COUNTY : MONROE

File Name : US1@SITEDRIVEWAY
Site Code : 00000000
Start Date : 12/9/2008
Page No : 4



Crossroads Engineering
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Tel: 305-233-3997 Fax: 305-233-7720

File Name : 1ST@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 1

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

Groups Printed- AUTOS - HEAVY VEHICLES

Start Time	FIRST STREET						US1						Int. Total	
	From North			From East			From West			Left	PEDS	Left		PEDS
	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left					
04:00 PM	5	0	5	4	161	0	0	0	0	210	3	0	0	388
04:15 PM	4	0	2	3	172	0	0	0	0	224	2	0	0	407
04:30 PM	0	0	0	1	177	3	0	0	0	221	2	0	0	404
04:45 PM	2	0	3	5	180	2	0	0	0	233	3	0	0	428
Total	11	0	10	13	690	5	0	0	0	888	10	0	0	1627
05:00 PM	1	0	7	2	145	0	0	0	0	264	4	0	0	423
05:15 PM	4	0	6	4	121	0	0	0	0	266	3	0	0	404
05:30 PM	4	0	3	2	152	0	0	0	0	259	4	0	0	424
05:45 PM	0	0	3	2	119	0	0	0	0	241	5	0	0	370
Total	9	0	19	10	537	0	0	0	0	1030	16	0	0	1621
Grand Total	20	0	29	23	1227	5	0	0	0	1918	26	0	0	3248
Approch %	37	0	53.7	1.8	98.2	9.3	0	0	0	98.7	1.3	0	0	
Total %	0.6	0	0.9	0.7	37.8	0.2	0	0	0	59.1	0.8	0	0	
AUTOS	19	0	27	20	1198	5	0	0	0	1868	26	0	0	3163
%AUTOS	95	0	93.1	87	97.6	100	0	0	0	97.4	100	0	0	97.4
HEAVY VEHICLES	1	0	2	3	29	0	0	0	0	50	0	0	0	85
% HEAVY VEHICLES	5	0	6.9	13	2.4	0	0	0	0	2.6	0	0	0	2.6

Crossroads Engineering
 13284 SW 120th Street
 Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

File Name : 1ST@US1
 Site Code : 0000000
 Start Date : 12/9/2008
 Page No : 2

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

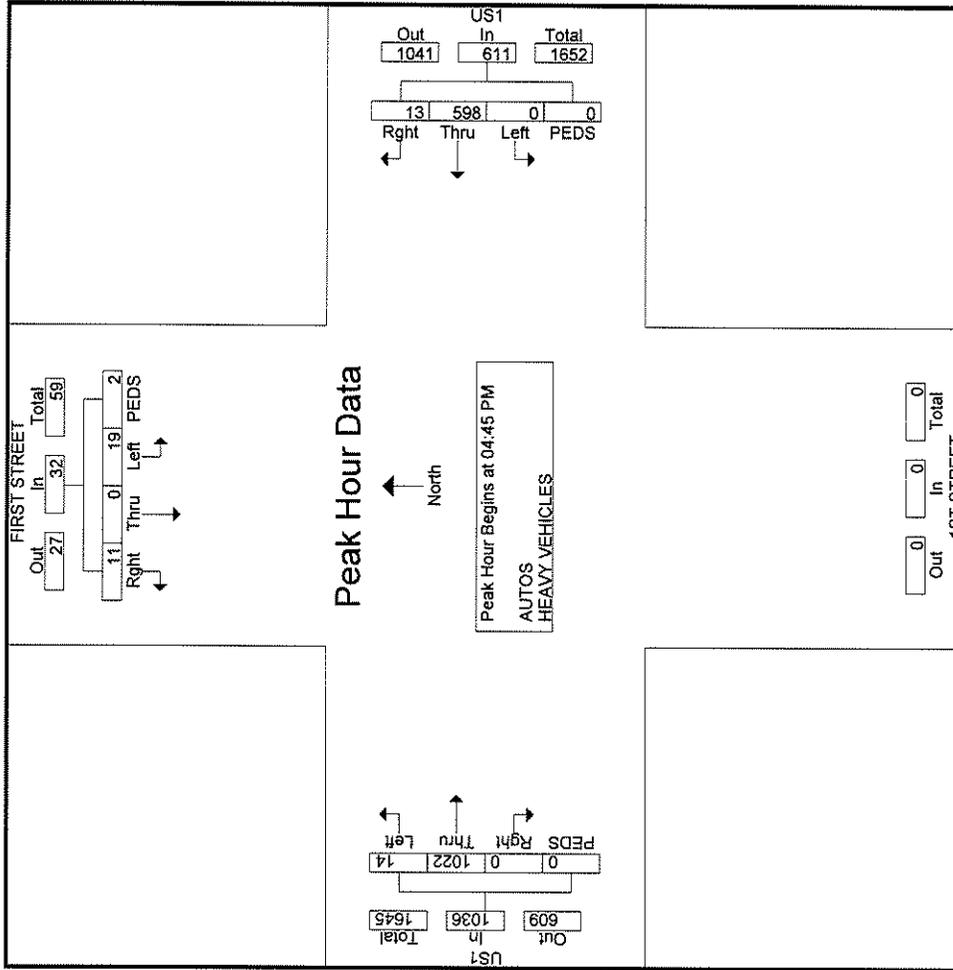
Start Time	FIRST STREET				US1				US1					
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Int. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1														
Peak Hour for Entire Intersection Begins at 04:45 PM														
04:45 PM	2	0	3	2	5	180	0	0	185	0	233	3	236	428
05:00 PM	1	0	7	0	2	145	0	0	147	0	264	4	268	423
05:15 PM	4	0	6	0	4	121	0	0	125	0	266	3	269	404
05:30 PM	4	0	3	0	2	152	0	0	154	0	259	4	263	424
Total Volume	11	0	19	2	13	598	0	0	611	0	1022	14	1036	1679
% App. Total	34.4	0	59.4	6.2	2.1	97.9	0	0	826	0	98.6	1.4	1036	1679
PHF	.688	.000	.679	.250	.650	.831	.000	.000	.826	.000	.961	.875	.963	.981

Crossroads Engineering
 13284 SW 120th Street
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File Name : 1ST@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 3

CLIENT: CIRCLE K
 JOB NO.: 2008-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

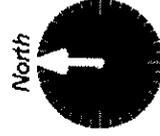
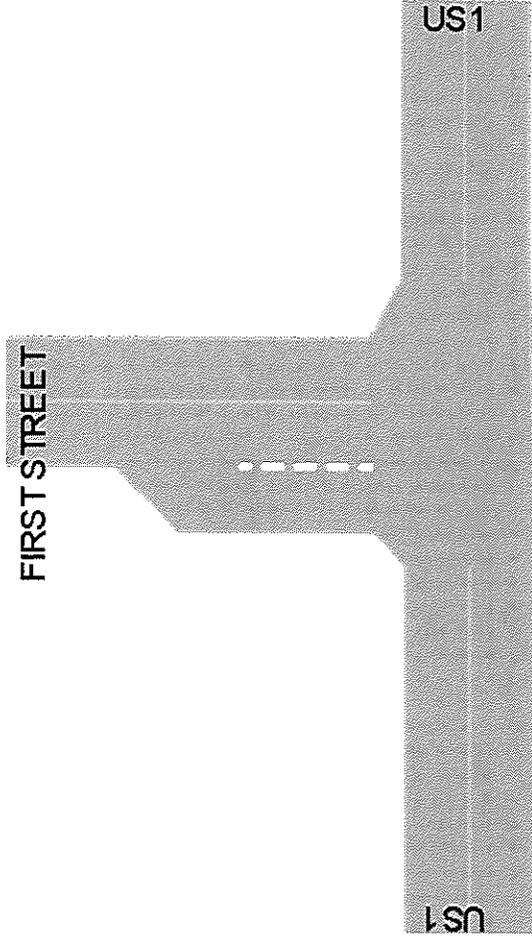


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File Name : 1ST@US1
Site Code : 00000000
Start Date : 12/9/2008
Page No : 4

CLIENT: CIRCLE K
JOB NO.: 2008-105
PROJECT: CIRCLE K BIG COPPITT KEY
COUNTY: MONROE



Crossroads Engineering
 13284 SW 120th Street
 Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

File Name : UNO@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 1

CLIENT: CIRCLE K
 JOB NO.: 200/-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

Start Time	CALLE UNO						US1						US1						
	From North			From East			From West			From North			From East			From West			
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Int. Total
04:00 PM	2	0	1	0	178	1	0	1	0	225	1	0	1	225	1	0	0	0	409
04:15 PM	2	0	3	0	198	1	0	1	0	236	0	0	5	236	0	0	0	0	445
04:30 PM	1	0	2	0	185	1	0	1	0	252	0	0	6	252	0	0	0	0	447
04:45 PM	1	0	0	0	173	2	0	2	0	259	0	0	2	259	0	0	0	0	437
Total	6	0	6	0	734	5	0	5	0	972	1	0	14	972	1	0	0	0	1738
05:00 PM	1	0	0	0	157	0	0	0	0	298	0	0	6	298	0	0	0	0	462
05:15 PM	1	0	0	0	138	1	0	1	0	309	0	0	4	309	0	0	0	0	453
05:30 PM	2	0	3	0	159	1	0	1	0	289	0	0	8	289	0	0	0	0	462
05:45 PM	1	0	0	0	123	1	0	1	0	280	0	0	9	280	0	0	0	0	414
Total	5	0	3	0	577	3	0	3	0	1176	0	0	27	1176	0	0	0	0	1791
Grand Total	11	0	9	0	1311	8	0	8	0	2148	1	0	41	2148	1	0	0	0	3529
Approach %	55	0	45	0	99.4	0.6	0	0	0	98.1	0	0	1.9	98.1	0	0	0	0	
Total %	0.3	0	0.3	0	37.1	0.2	0	0	0	60.9	0	0	1.2	60.9	0	0	0	0	
AUTOS	10	0	9	0	1288	8	0	8	0	2110	0	0	41	2110	0	0	0	0	3466
% AUTOS	90.9	0	100	0	98.2	100	0	100	0	98.2	0	0	100	98.2	0	0	0	0	98.2
HEAVY VEHICLES	1	0	0	0	23	0	0	0	0	38	1	0	0	38	1	0	0	0	63
% HEAVY VEHICLES	9.1	0	0	0	1.8	0	0	0	0	1.8	100	0	0	1.8	100	0	0	0	1.8

Crossroads Engineering
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File Name : UNO@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 2

CLIENT: CIRCLE K
 JOB NO.: 200/-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

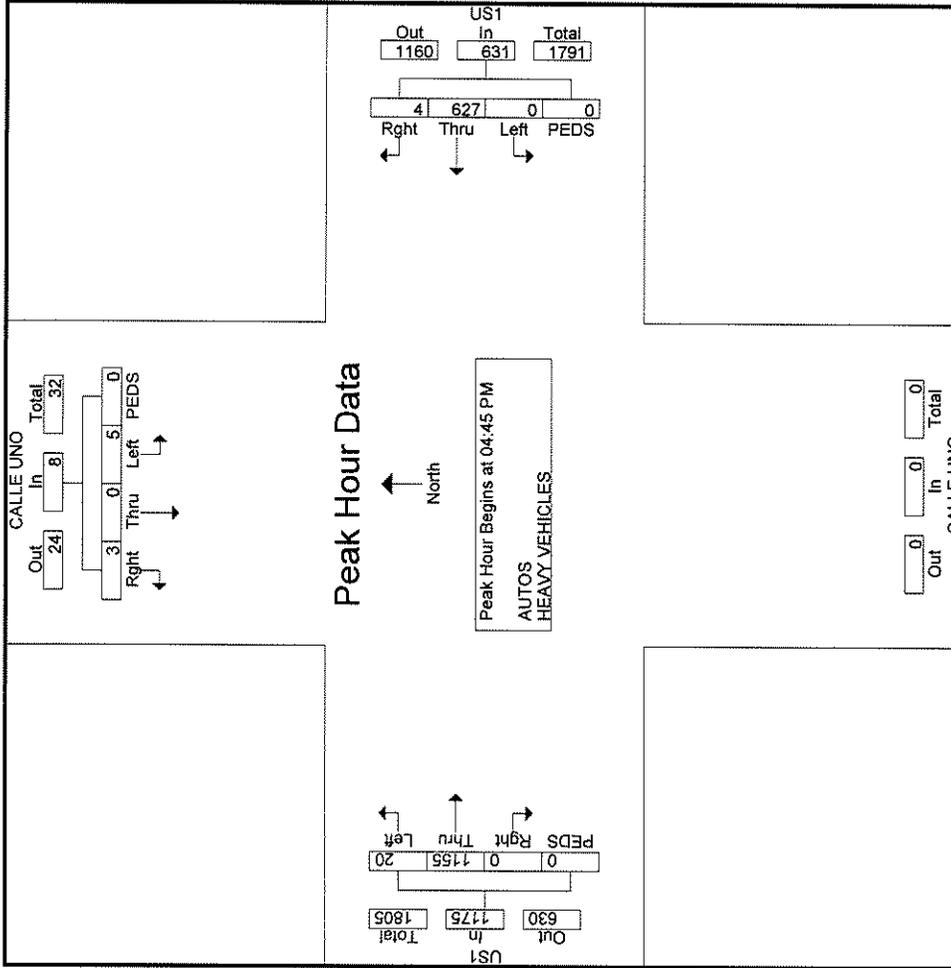
Start Time	CALLE UNO				US1				US1				Int. Total	
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total		Int. Total
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1														
Peak Hour for Entire Intersection Begins at 04:45 PM														
04:45 PM	1	0	0	1	0	173	2	175	2	259	0	261	0	437
05:00 PM	1	0	0	1	0	157	0	157	6	298	0	304	0	462
05:15 PM	1	0	0	1	0	138	1	139	4	309	0	313	0	453
05:30 PM	2	0	3	5	0	159	1	160	8	289	0	297	0	462
Total Volume	5	0	3	8	0	627	4	631	20	1155	0	1175	0	1814
% App. Total	62.5	0	37.5	400	0	99.4	0.6	901	1.7	98.3	0	938	0	982
PHF	.625	.000	.250	.400	.000	.906	.500	.901	.625	.934	.000	.938	.000	.982

Crossroads Engineering
 13284 SW 120th Street
 Miami, FL 33186

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CLIENT: CIRCLE K
 JOB NO.: 200/-105
 PROJECT: CIRCLE K BIG COPPITT KEY
 COUNTY: MONROE

File Name : UNO@US1
 Site Code : 00000000
 Start Date : 12/9/2008
 Page No : 3



Crossroads Engineering

13284 SW 120th Street
Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

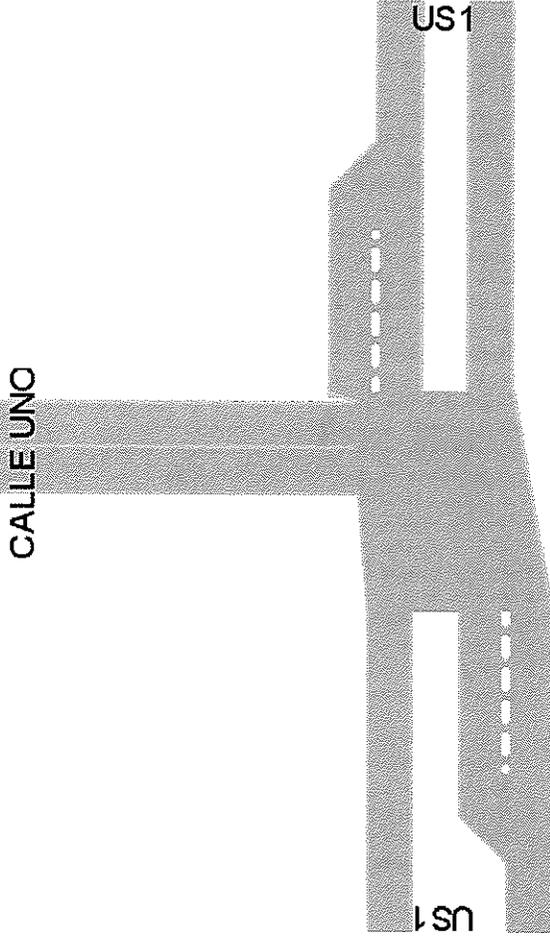
CLIENT: CIRCLE K

JOB NO.: 200/-105

PROJECT: CIRCLE K BIG COPPITT KEY

COUNTY: MONROE

File Name : UNO@US1
Site Code : 00000000
Start Date : 12/9/2008
Page No : 4



Crossroads Engineering Data, Inc.

13284 SW 120th Street
Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

File Name : rock@us1
Site Code : 00000000
Start Date : 12/9/2008
Page No : 1

CLIENT: CIRCLE K
JOB NO.: 2008-105
PROJECT: CIRCLE K BIG COPPITT KEY
COUNTY: MONROE

Groups Printed- AUTOS - HEAVY VEHICLES

Start Time	DIRT RD						ROCKLAND RD						US1								
	Southbound			Northbound			Westbound			Northbound			Eastbound			US1					
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Int. Total		
04:00 PM	0	0	0	0	0	0	1	172	1	0	0	3	0	0	2	0	0	248	4	0	431
04:15 PM	0	0	0	3	193	0	0	0	0	0	0	5	0	0	0	0	0	253	4	0	458
04:30 PM	0	0	0	0	186	0	0	0	0	0	0	4	0	0	0	0	0	265	4	0	459
04:45 PM	0	0	0	1	172	0	0	0	0	0	1	0	0	1	0	0	0	282	6	0	462
Total	0	0	0	5	723	1	0	0	0	0	3	12	0	0	3	0	0	1048	18	0	1810
05:00 PM	0	0	0	0	121	1	0	0	0	0	1	5	0	0	1	0	0	309	13	0	450
05:15 PM	0	0	0	4	174	2	0	0	0	0	2	3	0	0	2	0	0	333	2	0	520
05:30 PM	2	1	1	0	150	5	0	0	0	0	1	1	0	0	1	0	0	303	5	0	469
05:45 PM	0	0	0	1	119	2	0	0	0	0	2	2	0	0	2	0	0	286	3	0	415
Total	2	1	1	5	564	10	0	0	0	0	6	11	0	0	6	0	0	1231	23	0	1854
Grand Total	2	1	1	10	1287	11	0	0	0	0	9	23	0	0	9	0	0	2279	41	0	3664
Approch %	50	25	25	0.8	98.4	0.8	0	0	0	0	28.1	71.9	0	0	28.1	0	0	98.2	1.8	0	98.2
Total %	0.1	0	0	0.3	35.1	0.3	0	0	0	0	0.2	0.6	0	0	0.2	0	0	62.2	1.1	0	62.2
AUTOS	2	1	1	10	1264	11	0	0	0	0	9	23	0	0	9	0	0	2237	39	0	3597
% AUTOS	100	100	100	100	98.2	100	0	0	0	0	100	100	0	0	100	0	0	98.2	95.1	0	98.2
HEAVY VEHICLES	0	0	0	0	23	0	0	0	0	0	0	0	0	0	0	0	0	42	2	0	67
% HEAVY VEHICLES	0	0	0	0	1.8	0	0	0	0	0	0	0	0	0	0	0	0	1.8	4.9	0	1.8

Crossroads Engineering Data, Inc.

13284 SW 120th Street
Miami, FL 33186

Tel: 305-233-3997 Fax: 305-233-7720

File Name : rock@us1
Site Code : 00000000
Start Date : 12/9/2008
Page No : 2

CLIENT: CIRCLE K
JOB NO.: 2008-105
PROJECT: CIRCLE K BIG COPPITT KEY
COUNTY: MONROE

Start Time	DIRT RD Southbound			US1 Westbound			ROCKLAND RD Northbound			US1 Eastbound			Int. Total				
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		App. Total			
04:45 PM	0	0	0	1	172	0	0	0	1	0	0	6	1	282	0	288	462
05:00 PM	0	0	0	0	121	1	0	122	0	1	0	309	0	309	0	322	450
05:15 PM	0	0	0	0	0	2	0	3	0	0	0	2	5	0	0	0	0
05:30 PM	0	0	0	0	150	150	0	155	1	0	1	5	2	303	5	308	469
Total Volume	2	1	1	5	617	8	0	630	9	5	0	26	14	1227	26	1253	1901
% App. Total	50	25	25	0.8	97.9	1.3	0	64.3	0	35.7	0	97.9	0	97.9	2.1	0	0
PHF	.250	.250	.250	.313	.886	.400	.000	.875	.450	.000	.625	.000	.583	.921	.500	.935	.914

Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1
Peak Hour for Entire Intersection Begins at 04:45 PM

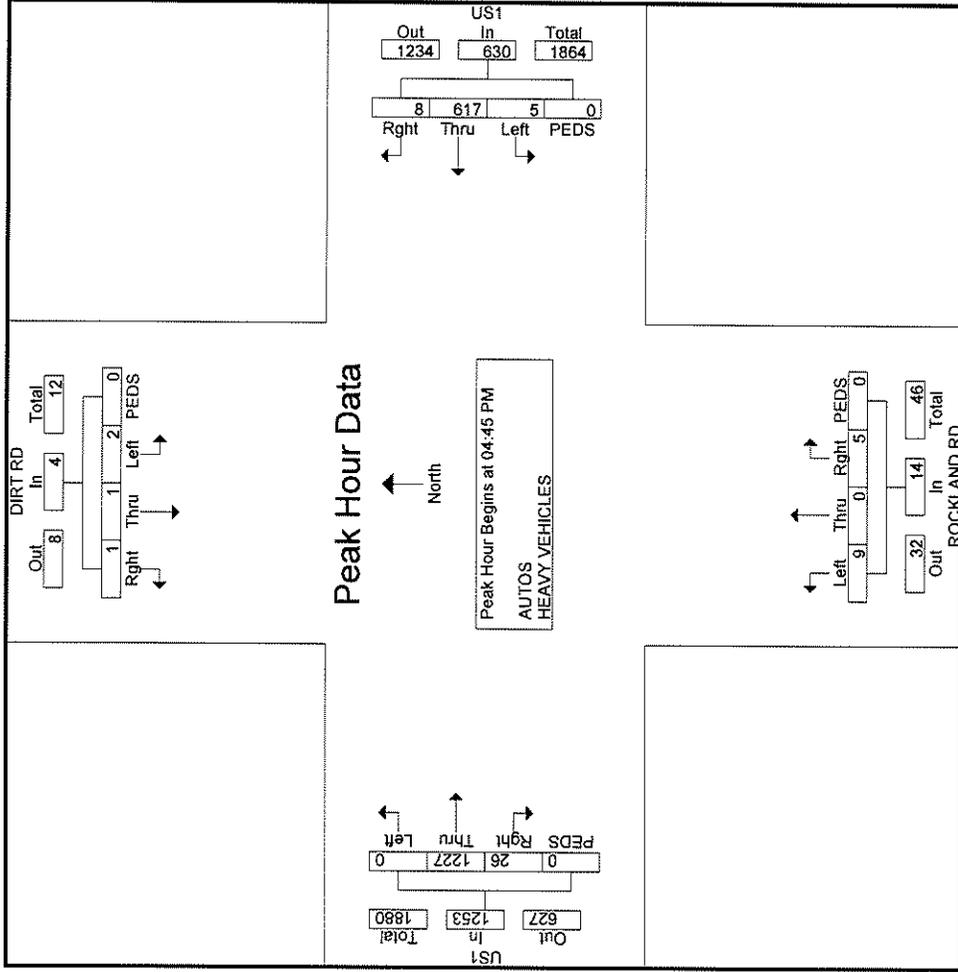
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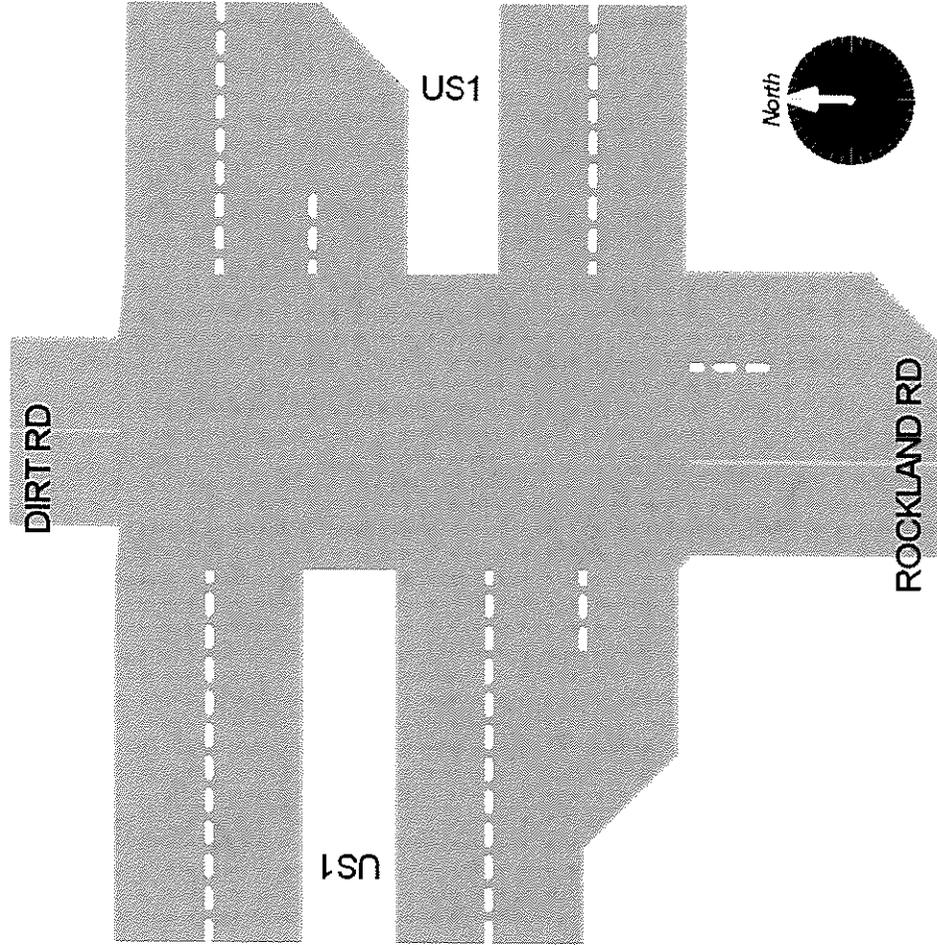


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Page No : 4



**ITE TRIP GENERATION
FDOT SEASONAL FACTORS**

Trip Generation Studies of Gas/Convenience Stores

BY GREG LUTTRELL

The purpose of this study was to begin establishing a local database of trip generation characteristics for gas-convenience sites. Recently, the development review process has seen an increasing number of these combined-use sites, which include both the sale of gas and convenience (grocery) items. The increase in popularity of these sites leads to an emphasis on the need to know and understand their trip characteristics. By establishing a local database containing these data, a more realistic assessment of their impacts may be made.

Recently, the trip generation subcommittee of the Florida District/Section of the Institute of Transportation Engineers sent out a call for additional data. Among the new land uses identified as having data needs is the "Convenience Market with Gasoline Pumps" (land-use code 853). Currently, little published data exist for this land use. Afternoon peak-hour trip generation data for this land use were collected in our study. The study acts as an initial step in helping local development and traffic engineering communities to understand trip characteristics relating to gas/convenience sites.

Study Methodologies

The trip generation subcommittee has distributed for comment a draft procedures manual for the collection of trip generation data. Titled *Trip Generation Data Collection Procedures Manual* (April 1988),¹ it is meant to be used in

conjunction with the ITE trip generation report.² This procedure manual outlines a summary of current thinking on what data are required for "a thorough trip generation study."³ This thorough study would include the following items:

1. The average weekday traffic generated by a particular land use.
2. Variations in rates to be expected on weekends.
3. The specific peak hour and peak-hour traffic volumes of the generator (study site).
4. The volume of traffic generated by the study site during the peak hour of the adjacent roadway(s).
5. The directional split (entering versus exiting) of traffic during the peak hours and on a daily basis.
6. The person-per-vehicle (occupancy) factor for site-oriented trips.
7. The distribution of trips by mode (passenger car, truck, bus, taxi, etc.).
8. The number of new trips generated by the study site versus the number of trips diverted from the existing traffic stream.

For many different land uses, each of these items will have a varying degree of availability and importance. For example, is the weekend trip variation of an office building necessary? Probably not because most offices are closed on weekends, thus generating little or no traffic. Likewise, without the support of many technicians, attempting to collect pass-by data for a regional mall with many out parcels would be extremely difficult.

This type of reasoning led to the collection of only that data that were obtainable with current resources and that would be the most usable.

The data actually collected focused on three principal areas: trip generation data during the afternoon peak hour of the adjacent roadway; directional distribution (split) during this time period; and a breakdown of trips by purpose (gas, convenience, or both).

Data were collected only during the afternoon peak hour for two reasons. Locally, the afternoon peak hour is the critical time period for roadway operations and the period used for site impact analysis. Morning peak hour and daily data were not collected. This study strived to collect and analyze only information that could be readily used by the engineering and development sectors. Collecting morning peak-hour data would not have satisfied this purpose. Also, collecting data for longer periods becomes very manpower intensive.

Directional split is not an important variable for this land use because each vehicle spends only a small amount of time on site. It is presented here because it was a by-product of the other data collected. This study did not attempt to collect all eight of the previously presented items. To do so would have required a prohibitive number of technicians be-

Conversion Factor

To convert from	to	multiply by
sq. ft	m ²	0.0929

cause physical presence is required on site during the study period. This study is, however, valid when considering the eight items because it begins the process toward understanding the critical trip characteristics of the gas/convenience land use.

The third item, trips by purpose, leads to the major difference in collecting trip generation data for gas/convenience sites versus most other land uses. The variables involved in this land use are number of pumps and building size. These two items vary by site and have an influence on the site trip generation. In order to assign trip rates to both of these variables, each trip must be defined as a gas only, convenience only, or combined trip. This determination is made by observing the occupants of each vehicle as they enter and exit the store. Physical site presence and attentiveness are required to track all of each vehicle's occupants. The criteria used to make the trip purpose determination were as follows. A trip was determined to be a gas-only trip if a vehicle's occupant(s) pumped gas and did not leave the store with grocery items. Trips in which a vehicle entered the site and did not pull up to the pumps were considered convenience- (grocery) only trips. If a vehicle's occupant(s) pumped gas and one or more of the occupants left the store with grocery items, the trip was considered a combination trip. By determining the trip purpose, an assignment of the trips to the two site variables was possible. Gas/convenience sites cannot be studied simply by mechanical means.

Study Procedures

An overview of specific criteria used in this study is discussed here:

- Each site was studied for one afternoon peak-hour period (4-6 P.M.). These studies were performed Tuesday through Thursday so that the traffic variations commonly experienced on Monday and Friday would not affect the results.
- To ensure that the hour of data selected for later analysis at each site matched the actual afternoon peak hour of the adjacent roadway, 15-minute machine counts were taken on the adjacent major road. These counts were taken from approximately 3:30 to 6:15 P.M. on the same day the manual site counts were performed.
- Actual location of the survey vehicle was within public right-of-way. Attempting to get permission from each local owner/operator to enter the site would have been very time consuming and would not have greatly increased the validity of the study results.
- Manual counts were taken in 15-minute intervals from 4 to 6 P.M. These included driveway (in/out) and trip purpose (gas, convenience, or both) counts.
- It became apparent that occupants from 100 percent of the vehicles using the site could not be accurately watched or their purpose determined. Classification of trip purpose for most of the sites ranged from 30 percent to 50 percent of the total site trips for the peak hour.

Collecting only that data actually needed and available allowed each site to be studied quickly and easily. The counts at each site took 7-8 person-hours (3.5-4 hours per person) to complete. This included travel time, machine counter setup and take down, and the actual 4-6 P.M. manual count time. Each site required two persons. This allowed one person to count only the driveway volumes and the other to devote complete attention to the task of trip purpose classification. By using these parameters, studies of this type can be performed on a spare-time basis and still yield the needed data.

Data Analysis

The analysis of the data collected included both standard and non-standard trip generation calculations. The collected data classified a sampling of the site trips by purpose. The gas-only and convenience-only trips could be converted to generation rates using standard calculations. These sites, however, also include a combined category for those trips utilizing both the gas and convenience aspects of the site. To distribute these trips to one of the two site variables so that trip rates could then be calculated, the following assumption was used: Assume that the gas availability had a trip attraction (pull) to the site equal to its relative percent of "gas-only" trips when compared with the "convenience-only" trips. Likewise, the convenience site attraction was equal to

its "convenience-only" percent relative to the "gas-only" trips.

An example is presented in Table 1. Site LC4 (Newman's/Fowler) had adjusted counts of 45 gas-only and 82 convenience-only trips for the peak hour of the adjacent road. Relating this to the assumption, there were a total of 127 "only" trips to this site. The split of these "only" trips was 45/82 (35%/65%). The combination (both) trips were distributed using the percentage split of the "only" trips. For this site, the both trips were distributed in the 35%/65% split to the gas-only and convenience-only categories, respectively. The total 27 combined trips yielded an additional 10 trips to the gas column and 17 trips to the convenience column. These adjusted totals were then related to their standard unit of number of pumps for gas and thousand square feet (KSF) for convenience. This yielded the trip generation rates relative to both site variables.

It has been suggested that the volume of the adjacent roadway should be factored into trip generation calculations. This was not done for three reasons. First, the volume of the adjacent roadway does not enter into any other trip generation calculations. The adjacent road volumes only become important when site impact calculations are made relative to road capacity and site capture. Second, all sites studied were established, successful businesses. We reasoned that a site would not be functioning if the company or owner did not feel that it would be successful, thus qualifying the site to be included in the database. Finally, no apparent correlation between the adjacent road volume and the trip rates was found. For example, site L11 (Super America) on S.R. 78 had 260 total site trips while site L10 (7-11), also on S.R. 78, had only 106 total site trips. Both are on the same road, but generate traffic much differently. Also, site PB4 (Stop-n-Go) is located at one of the busiest intersections in Palm Beach County, yet it generated relatively little traffic. We strongly feel, and the data support, that the importance of the amount of adjacent roadway volume, relative to this database, is not valid.

Table 1 presents the data collected for each of the 18 sites studied. The site characteristics noted in the table include

Table 1. Trip Generation Calculations

Site No.	Site Identification Store Name/Location	Site Characteristics			No. Pumps	Bldg. Size (sq. ft.)	Raw			Site Trips	Adjusted			Total		Trip Rates	
		A	B	C			Gas	Both	Conven.		Gas	Both	Conven.	Gas	Conven.	T/Pump	T/KSF
<i>Collier County</i>																	
CC1	Super America/Pine Ridge	*	*	*	12	4750	42	43	119	342	70	72	199	89	253	743	53.2
CC2	Super America/Airport	*	*	*	12	4750	26	26	58	248	59	59	131	77	171	6.40	36.1
<i>Lee County</i>																	
LC1	Super America/Gottview	*	*	*	12	4230	26	19	27	168	61	44	63	82	86	6.87	20.2
LC2	Newman's/Pondella	—	—	*	6	1914	13	5	12	70	30	12	28	36	34	6.07	176
LC3	Chevron/Crystal	*	—	*	10	352	13	8	9	76	33	20	23	45	31	4.49	88.3
LC4	Newman's/Fowler	—	*	*	6	2400	15	9	27	154	45	27	82	55	99	9.17	41.3
LC5	Super America/Lehigh	*	*	*	12	4136	33	23	54	225	67	47	110	85	140	7.1	33.8
LC6	Handy Food/Lehigh	—	—	*	8	2700	16	6	50	170	38	14	118	41	129	5.15	427
LC7	Mobil Mart/College	*	—	*	12	816	63	17	29	239	138	37	64	164	75	13.64	92.3
LC8	Mobil Mart/Crystal	*	—	*	12	912	31	9	17	138	75	22	41	89	49	743	53.6
LC9	Racetrac/Daniels	—	—	*	8	1925	12	16	19	249	64	85	101	96	153	12.05	79.3
L10	7-11/Sr 78	*	—	—	4	2640	2	3	46	106	4	6	96	4	102	1.40	38.5
L11	Super America/SR 78	*	*	*	12	4185	26	22	42	260	75	64	121	99	161	8.28	38.4
<i>Palm Beach County</i>																	
PB1	Gulf Food Mart/Congress	*	—	*	9	697	34	10	5	109	76	22	11	95	14	10.56	20.0
PB2	7-11/Congress	*	—	*	4	2805	16	14	59	230	41	36	152	49	181	12.27	64.5
PB3	Food Mart/Forest Hill	—	—	*	10	1632	25	9	41	135	45	16	74	51	84	5.11	51.4
PB4	Stop-n-Go/Military Ter.	—	—	*	8	2535	9	4	37	89	16	7	66	17	72	2.18	28.2
PB5	Step Saver/Forest Hill	—	—	*	8	2700	22	7	33	116	41	13	62	46	70	5.80	25.8

A = National Chain. B = Diesel Available. C = Air, Water, Phone Available. * = Yes — = No.

information relative to the store being a national chain; the site having diesel fuel available; and whether air, water, and phone(s) were present. These variables were used as sorting criteria to better characterize the trip rates. Although these characteristics did yield different trip rates, some results need to be further defined through comparison with additional data.

The number of pumps was defined as the number of vehicle stations available. For example, if a pump island contains one pump that can be accessed simultaneously by vehicles from both sides, then it would be counted as two pumps. Therefore, a site having three pump islands with two pumps each (one for each of two grades of gas), which can be used from both sides simultaneously, would be defined as having six pumps.

The building size represents an exterior measurement. Although it does not represent the exact size of the building, small variations in this value have little or no effect on the final results. These site variables were used to later obtain trip rates.

The raw and adjusted counts for the afternoon peak hour are also listed in Table 1. These represent the sampling results of the trip purpose classification. Site trips are defined as the total site

peak-hour trip ends (in plus out). Although directional split data are not presented here, it varied little from the expected 50/50% split. The adjusted columns of counts are a breakdown of the total site trips by purpose. For example, site LC8 (Mobil Mart/Crystal) had 31 of the sampled trips for gas only and total site trips of 138. When this gas-only value is compared with the total sampled value of 57 trips and then related to the 138 site trips, an adjusted gas-only value of 75 is obtained. The adjustments are standard for trip generation calculations.

The values shown in the total gas and convenience columns of Table 1 were generated based on the assumption discussed earlier. That is, the both (combined) trips were split into the gas and convenience totals relative to the attractiveness of the gas-only and convenience-only adjusted values. These values were then divided into the site variables. The results are the afternoon peak-hour trip generation rates for gas/convenience store sites.

Further analysis was then performed on the trip rates based on the different site characteristics observed. A summary of these results is given in Table 2. These values include an average of the 18 site trip rates resulting in average trip

rates of 7.28 trips per pump and 46.1 trips per KSF of building. Although these overall values are valid, sortings based on the three site characteristics were performed that suggest a valuable further classification of rates. These values show variation in the with and without trip rates, which indicate that the presence of certain site characteristics does affect the ultimate site trip total. For example, a national chain appears to generate more trips for both site variables. This equates to approximately 1.28 trips per pump and 7.4 trips per KSF. These variations should be applied to a site impact analysis to more realistically assess its impacts. The values based on these site characteristics sortings should be used with caution. In certain instances, the sample sizes are too small to be reliable or to draw any specific conclusions. This specifically applies to characteristic C, which was not shown in Table 2. This type of data sorting does, however, represent an attempt to further understand the different items affecting trip rates.

Table 2 also shows the results of other data sortings relative to the location and physical site variables. The sites are located in three Florida counties. As shown in Table 2, trip rates for the different counties vary from 6.92 to 7.40 for

Table 2. Trip Generation Rate Summary

Parameters	Trip Rates	
	T/Pump	T/KSF
Trip Generation Averages (all 18 sites)	7.28	46.1
<i>Sorted Trip Generations Averages</i>		
Characteristic "A"		
No	6.50	41.6
Yes	7.78	49.0
Characteristic "B"		
No	7.15	—
Yes	7.54	—
<i>Location Averages by County</i>		
Collier County	6.92	44.7
Lee County	7.40	50.1
Palm Beach County	7.18	38.0
<i>Building Size Averages (sq. ft.)</i>		
<1000	—	63.6
1000-3000	—	43.8
>3000	—	36.3
Characteristic "A" = national chain.		
Characteristic "B" = diesel available.		

trips/pump and from 38.0 to 50.1 for trips/KSF. This further reinforces the need for local trip generation data (when available) versus the use of nationwide averages. Data sorting based on the number of pumps did not yield any strong conclusions and was therefore not shown in the table. The data sorted based on building size do indicate that a threefold categorization may be appropriate. These would be for buildings under 1 KSF, between 1 and 3 KSF, and those over 3 KSF. These different groups produced quite different trip rates, with the smaller categories having higher trip rates. Once again, this type of further focusing of the trip generation characteristics will allow site impacts to be more accurately assessed.

Conclusions

Trip generation rates relative to the two site variables were obtained from this study. These rates show that the gas/convenience site generates traffic varying relative to its number of pumps, building size, and site characteristics. The calculations leading to the trip rates were shown (Table 1) and explained. These rates were determined using an assumption of trip attractiveness of the two site variables, which allowed for the analysis of these mixed-use sites. The rates were then sorted relative to the factors listed previously to better understand the trip

generation characteristics of this land use. The data strongly suggest that different sites *do* generate different amounts of traffic and that variability can be somewhat categorized. By performing these sortings, better values can be achieved, which will then lead to much better site impact analysis.

Many items require additional study, including site capture and pass-by traffic rates, as well as other items mentioned earlier. Those attempting to collect capture data should be aware that because trip rates must address two independent site variables, so must the capture rates.

For instance, the capture percentage for gas may be "x" and for convenience "y." These percentages must also address the combined (both) trips. It would be expected that capture rates would vary greatly and be dependent on many of those items that influence trip rates.

This study was performed to better our understanding of the trip characteristics of these popular sites. By collecting, analyzing, and using local data, we may more accurately project the traffic impacts of land uses on our road networks.

References

1. Florida Section Institute of Transportation Engineers, Trip Generation Subcommittee. *Trip Generation Data Collection Procedures Manual*. Draft report. West Palm Beach, FL: ITE Florida Section, April 1988.
2. Institute of Transportation Engineers. *Trip Generation*, 4th Ed. Washington D.C.: Institute of Transportation Engineers, 1987.

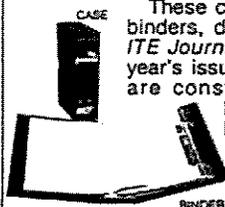


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Table 5.30
Pass-By Trips and Diverted Linked Trips
Weekday, p.m. Peak Period
Land Use 945—Gasoline/Service Station with Convenience Market

SIZE (1,000 SQ. FT. GFA)	VEHICLE FUELING POSITIONS	LOCATION	WEEKDAY SURVEY DATE	NO. OF INTERVIEWS	TIME PERIOD	PRIMARY TRIP (P)	NON-PASS-BY TRIP (N)	DIVERTED LINKED TRIP (D)	PASS-BY TRIP (S)	ADJ. STREET PEAK-HOUR VOLUME	SOURCE
0.8	8	Louisville area, KY	1993	83	4:00-6:00 p.m.	8	—	40	52	4,965	Barton-Aschman Assoc.
0.6	8	Louisville, KY	1993	60	4:00-6:00 p.m.	20	—	27	53	1,491	Barton-Aschman Assoc.
0.7	10	Louisville, KY	1993	n/a	4:00-6:00 p.m.	19	—	24	57	1,812	Barton-Aschman Assoc.
0.7	8	Louisville area, KY	1993	n/a	4:00-6:00 p.m.	7	—	21	72	2,657	Barton-Aschman Assoc.
0.7	10	Louisville area, KY	1993	n/a	4:00-6:00 p.m.	16	—	29	55	2,657	Barton-Aschman Assoc.
0.8	8	Silver Spring, MD	1992	36	4:00-6:00 p.m.	14	—	19	67	3,095	RBA
0.4	8	Derwood, MD	1992	46	4:00-6:00 p.m.	11	—	43	46	3,770	RBA
2.1	8	Kensington, MD	1992	31	4:00-6:00 p.m.	13	—	35	52	1,785	RBA
1	8	Silver Spring, MD	1992	35	4:00-6:00 p.m.	3	—	43	54	7,080	RBA

Average Pass-By Trip Percentage: 56

2007 Peak Season Factor Category Report - Report Type: ALL
 Category: 9000 MONROE COUNTYWIDE

Week	Dates	SF	MOCF: 0.90 PSCF
1	01/01/2007 - 01/06/2007	1.06	1.17
2	01/07/2007 - 01/13/2007	1.02	1.13
3	01/14/2007 - 01/20/2007	0.97	1.07
4	01/21/2007 - 01/27/2007	0.96	1.06
* 5	01/28/2007 - 02/03/2007	0.94	1.04
* 6	02/04/2007 - 02/10/2007	0.93	1.03
* 7	02/11/2007 - 02/17/2007	0.91	1.01
* 8	02/18/2007 - 02/24/2007	0.90	1.00
* 9	02/25/2007 - 03/03/2007	0.89	0.98
*10	03/04/2007 - 03/10/2007	0.88	0.97
*11	03/11/2007 - 03/17/2007	0.86 Peak	0.95 Peak Season
*12	03/18/2007 - 03/24/2007	0.88	0.97 $1.06/0.86 = 1.233$
*13	03/25/2007 - 03/31/2007	0.89	0.98 23.3%
*14	04/01/2007 - 04/07/2007	0.90	1.00
*15	04/08/2007 - 04/14/2007	0.91	1.01
*16	04/15/2007 - 04/21/2007	0.92	1.02
*17	04/22/2007 - 04/28/2007	0.94	1.04
18	04/29/2007 - 05/05/2007	0.96	1.06
19	05/06/2007 - 05/12/2007	0.97	1.07
20	05/13/2007 - 05/19/2007	0.99	1.10
21	05/20/2007 - 05/26/2007	0.99	1.10
22	05/27/2007 - 06/02/2007	1.00	1.11
23	06/03/2007 - 06/09/2007	1.01	1.12
24	06/10/2007 - 06/16/2007	1.01	1.12
25	06/17/2007 - 06/23/2007	1.01	1.12
26	06/24/2007 - 06/30/2007	1.00	1.11
27	07/01/2007 - 07/07/2007	0.99	1.10
28	07/08/2007 - 07/14/2007	0.99	1.10
29	07/15/2007 - 07/21/2007	0.98	1.08
30	07/22/2007 - 07/28/2007	0.99	1.10
31	07/29/2007 - 08/04/2007	1.00	1.11
32	08/05/2007 - 08/11/2007	1.02	1.13
33	08/12/2007 - 08/18/2007	1.03	1.14
34	08/19/2007 - 08/25/2007	1.06	1.17
35	08/26/2007 - 09/01/2007	1.09	1.21
36	09/02/2007 - 09/08/2007	1.12	1.24
37	09/09/2007 - 09/15/2007	1.15	1.27
38	09/16/2007 - 09/22/2007	1.14	1.26
39	09/23/2007 - 09/29/2007	1.13	1.25
40	09/30/2007 - 10/06/2007	1.13	1.25
41	10/07/2007 - 10/13/2007	1.12	1.24
42	10/14/2007 - 10/20/2007	1.11	1.23
43	10/21/2007 - 10/27/2007	1.11	1.23
44	10/28/2007 - 11/03/2007	1.10	1.22
45	11/04/2007 - 11/10/2007	1.09	1.21
46	11/11/2007 - 11/17/2007	1.08	1.19
47	11/18/2007 - 11/24/2007	1.08	1.19
48	11/25/2007 - 12/01/2007	1.07	1.18
49	12/02/2007 - 12/08/2007	1.07	1.18
50	12/09/2007 - 12/15/2007	1.06 Data	1.17
51	12/16/2007 - 12/22/2007	1.03	1.14
52	12/23/2007 - 12/29/2007	1.00	1.11
53	12/30/2007 - 12/31/2007	0.97	1.07

* Peak Season

Page 1 of 1

INTERSECTION ANALYSES

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	RPE/CE			Intersection	US 1 & Jade Drive		
Agency/Co.				Jurisdiction			
Date Performed	12/18/2008			Analysis Year	Existing		
Analysis Time Period	PM Peak						
Project Description <i>Circle K Big Coppitt</i>							
East/West Street: <i>US 1</i>				North/South Street: <i>Jade Drive</i>			
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>			
Vehicle Volumes and Adjustments							
Major Street	Eastbound			Westbound			
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume (veh/h)	10	825			501	1	
Peak-Hour Factor, PHF	0.93	0.93	1.00	1.00	0.92	0.92	
Hourly Flow Rate, HFR (veh/h)	10	887	0	0	544	1	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Undivided						
RT Channelized			0			0	
Lanes	0	1	0	0	1	1	
Configuration	LT				T	R	
Upstream Signal		0			0		
Minor Street	Northbound			Southbound			
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume (veh/h)				0		4	
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.50	1.00	0.50	
Hourly Flow Rate, HFR (veh/h)	0	0	0	0	0	8	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)		0			0		
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0			0	
Lanes	0	0	0	0	0	0	
Configuration					LR		
Delay, Queue Length, and Level of Service							
Approach	Eastbound	Westbound	Northbound			Southbound	
Movement	1	4	7	8	9	10	11
Lane Configuration	LT						LR
v (veh/h)	10						8
C (m) (veh/h)	1034						651
v/c	0.01						0.01
95% queue length	0.03						0.04
Control Delay (s/veh)	8.5						10.6
LOS	A						B
Approach Delay (s/veh)	--	--					10.6
Approach LOS	--	--					B

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	RPE/CE			Intersection	US 1 & Boca Chica Rd			
Agency/Co.				Jurisdiction				
Date Performed	12/18/2008			Analysis Year	2008 Existing			
Analysis Time Period	PM Peak							
Project Description <i>Circle K Big Coppitt Key</i>								
East/West Street: <i>US 1</i>				North/South Street: <i>Boca Chica Road</i>				
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)		837	84	36	508			
Peak-Hour Factor, PHF	1.00	0.98	0.98	0.93	0.93	1.00		
Hourly Flow Rate, HFR (veh/h)	0	854	85	38	546	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0			0		
Lanes	0	1	1	1	1	0		
Configuration		T	R	L	T			
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	62		68					
Peak-Hour Factor, PHF	0.88	1.00	0.88	1.00	1.00	1.00		
Hourly Flow Rate, HFR (veh/h)	70	0	77	0	0	0		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)		0			0			
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	1	0	1	0	0	0		
Configuration	L		R					
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration		L	L		R			
v (veh/h)		38	70		77			
C (m) (veh/h)		738	315		480			
v/c		0.05	0.22		0.16			
95% queue length		0.16	0.83		0.57			
Control Delay (s/veh)		10.1	19.7		13.9			
LOS		B	C		B			
Approach Delay (s/veh)	--	--	16.7					
Approach LOS	--	--	C					

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	RPE/CE			Intersection	US 1 & First Street			
Agency/Co.				Jurisdiction				
Date Performed	12/18/2008			Analysis Year	2008 Existing			
Analysis Time Period	PM Peak							
Project Description <i>Circle K Big Coppitt</i>								
East/West Street: <i>US 1</i>				North/South Street: <i>First Street</i>				
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	14	1022			598	13		
Peak-Hour Factor, PHF	0.96	0.96	1.00	1.00	0.83	0.83		
Hourly Flow Rate, HFR (veh/h)	14	1064	0	0	720	15		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0			0		
Lanes	0	1	0	0	1	0		
Configuration	LT					TR		
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)				19		11		
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.80	1.00	0.80		
Hourly Flow Rate, HFR (veh/h)	0	0	0	23	0	13		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	1	0	1		
Configuration				L		R		
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	LT					L		R
v (veh/h)	14					23		13
C (m) (veh/h)	879					246		544
v/c	0.02					0.09		0.02
95% queue length	0.05					0.31		0.07
Control Delay (s/veh)	9.2					21.1		11.8
LOS	A					C		B
Approach Delay (s/veh)	--	--				17.8		
Approach LOS	--	--				C		

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	RPE/CE			Intersection	US 1 & Calle Uno		
Agency/Co.				Jurisdiction			
Date Performed	12/18/2008			Analysis Year	2008 Existing		
Analysis Time Period	PM Peak						
Project Description <i>Circle K Big Coppitt Key</i>							
East/West Street: <i>US 1</i>				North/South Street: <i>Calle Uno</i>			
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>			
Vehicle Volumes and Adjustments							
Major Street	Eastbound			Westbound			
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume (veh/h)	20	1155			627	4	
Peak-Hour Factor, PHF	0.94	0.94	1.00	1.00	0.90	0.90	
Hourly Flow Rate, HFR (veh/h)	21	1228	0	0	696	4	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Undivided						
RT Channelized			0				0
Lanes	1	1	0	0	1	1	
Configuration	L	T			T	R	
Upstream Signal		0			0		
Minor Street	Northbound			Southbound			
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume (veh/h)				5		3	
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.40	1.00	0.40	
Hourly Flow Rate, HFR (veh/h)	0	0	0	12	0	7	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)	0			0			
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0			0	
Lanes	0	0	0	0	0	0	
Configuration					LR		
Delay, Queue Length, and Level of Service							
Approach	Eastbound	Westbound	Northbound			Southbound	
Movement	1	4	7	8	9	10	11 12
Lane Configuration	L						LR
v (veh/h)	21						19
C (m) (veh/h)	906						278
v/c	0.02						0.07
95% queue length	0.07						0.22
Control Delay (s/veh)	9.1						18.9
LOS	A						C
Approach Delay (s/veh)	--	--					18.9
Approach LOS	--	--					C

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	RPE/CE			Intersection	US 1 & Rockland Rd			
Agency/Co.				Jurisdiction				
Date Performed	12/18/2008			Analysis Year	2008 Existing			
Analysis Time Period	PM Peak							
Project Description: <i>Circle K Big Coppitt Key</i>								
East/West Street: <i>US 1</i>				North/South Street: <i>Rockland Road</i>				
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	0	1227	26	5	617	8		
Peak-Hour Factor, PHF	0.94	0.94	0.94	0.88	0.88	0.88		
Hourly Flow Rate, HFR (veh/h)	0	1305	27	5	701	9		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Raised curb							
RT Channelized			0			0		
Lanes	1	1	1	1	1	1		
Configuration	L	T	R	L	T	R		
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	9	0	5	2	1	1		
Peak-Hour Factor, PHF	0.58	0.58	0.58	0.25	0.25	0.25		
Hourly Flow Rate, HFR (veh/h)	15	0	8	8	4	4		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	1	1	0	1	0		
Configuration	LT		R		LTR			
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L	L	LT		R		LTR	
v (veh/h)	0	5	15		8		16	
C (m) (veh/h)	899	525	291		305		319	
v/c	0.00	0.01	0.05		0.03		0.05	
95% queue length	0.00	0.03	0.16		0.08		0.16	
Control Delay (s/veh)	9.0	11.9	18.0		17.1		16.9	
LOS	A	B	C		C		C	
Approach Delay (s/veh)	--	--	17.7			16.9		
Approach LOS	--	--	C			C		

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	RPE/CE			Intersection	US 1 & Jade Drive		
Agency/Co.				Jurisdiction			
Date Performed	12/18/2008			Analysis Year	2010 Without site		
Analysis Time Period	PM Peak						
Project Description <i>Circle K Big Coppitt</i>							
East/West Street: <i>US 1</i>				North/South Street: <i>Jade Drive</i>			
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>			
Vehicle Volumes and Adjustments							
Major Street	Eastbound			Westbound			
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume (veh/h)	11	1025			623	1	
Peak-Hour Factor, PHF	0.93	0.93	1.00	1.00	0.92	0.92	
Hourly Flow Rate, HFR (veh/h)	11	1102	0	0	677	1	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Undivided						
RT Channelized			0			0	
Lanes	0	1	0	0	1	1	
Configuration	LT				T	R	
Upstream Signal		0			0		
Minor Street	Northbound			Southbound			
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume (veh/h)				0		4	
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.50	1.00	0.50	
Hourly Flow Rate, HFR (veh/h)	0	0	0	0	0	8	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)	0			0			
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0			0	
Lanes	0	0	0	0	0	0	
Configuration					LR		
Delay, Queue Length, and Level of Service							
Approach	Eastbound	Westbound	Northbound			Southbound	
Movement	1	4	7	8	9	10	11
Lane Configuration	LT						LR
v (veh/h)	11						8
C (m) (veh/h)	923						572
v/c	0.01						0.01
95% queue length	0.04						0.04
Control Delay (s/veh)	8.9						11.4
LOS	A						B
Approach Delay (s/veh)	--	--					11.4
Approach LOS	--	--					B

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	RPE/CE			Intersection	US 1 & Boca Chica Rd			
Agency/Co.				Jurisdiction				
Date Performed	12/18/2008			Analysis Year	2010 Without Site			
Analysis Time Period	PM Peak							
Project Description <i>Circle K Big Coppitt Key</i>								
East/West Street: <i>US 1</i>				North/South Street: <i>Boca Chica Road</i>				
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)		1040	95	40	629			
Peak-Hour Factor, PHF	1.00	0.98	0.98	0.93	0.93	1.00		
Hourly Flow Rate, HFR (veh/h)	0	1061	96	43	676	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0				0	
Lanes	0	1	1	1	1		0	
Configuration		T	R	L	T			
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	69		0					
Peak-Hour Factor, PHF	0.88	1.00	0.88	1.00	1.00	1.00		
Hourly Flow Rate, HFR (veh/h)	78	0	0	0	0	0		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)		0			0			
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0				0	
Lanes	1	0	1	0	0	0		
Configuration	L		R					
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration		L	L		R			
v (veh/h)		43	78		0			
C (m) (veh/h)		611	231		391			
v/c		0.07	0.34		0.00			
95% queue length		0.23	1.42		0.00			
Control Delay (s/veh)		11.3	28.3		14.2			
LOS		B	D		B			
Approach Delay (s/veh)	--	--	28.3					
Approach LOS	--	--	D					

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	RPE/CE			Intersection	US 1 & First Street			
Agency/Co.				Jurisdiction				
Date Performed	12/18/2008			Analysis Year	2010 Without Site			
Analysis Time Period	PM Peak							
Project Description: Circle K Big Coppitt								
East/West Street: US 1				North/South Street: First Street				
Intersection Orientation: East-West				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	16	1270			743	15		
Peak-Hour Factor, PHF	0.96	0.96	1.00	1.00	0.83	0.83		
Hourly Flow Rate, HFR (veh/h)	16	1322	0	0	895	18		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0			0		
Lanes	0	1	0	0	1	0		
Configuration	LT						TR	
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)				21		12		
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.80	1.00	0.80		
Hourly Flow Rate, HFR (veh/h)	0	0	0	26	0	14		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	1	0	1		
Configuration				L			R	
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	LT					L		R
v (veh/h)	16					26		14
C (m) (veh/h)	755					167		457
v/c	0.02					0.16		0.03
95% queue length	0.06					0.54		0.09
Control Delay (s/veh)	9.9					30.5		13.1
LOS	A					D		B
Approach Delay (s/veh)	--	--				24.4		
Approach LOS	--	--				C		

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	RPE/CE			Intersection	US 1 & Calle Uno			
Agency/Co.				Jurisdiction				
Date Performed	12/18/2008			Analysis Year	2010 Without Site			
Analysis Time Period	PM Peak							
Project Description <i>Circle K Big Coppitt Key</i>								
East/West Street: <i>US 1</i>				North/South Street: <i>Calle Uno</i>				
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	22	1436			773	4		
Peak-Hour Factor, PHF	0.94	0.94	1.00	1.00	0.90	0.90		
Hourly Flow Rate, HFR (veh/h)	23	1527	0	0	858	4		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	<i>Undivided</i>							
RT Channelized			0			0		
Lanes	1	1	0	0	1	1		
Configuration	L	T			T	R		
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)				6		0		
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.40	1.00	0.40		
Hourly Flow Rate, HFR (veh/h)	0	0	0	14	0	0		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration					LR			
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L						LR	
v (veh/h)	23						14	
C (m) (veh/h)	789						143	
v/c	0.03						0.10	
95% queue length	0.09						0.32	
Control Delay (s/veh)	9.7						32.9	
LOS	A						D	
Approach Delay (s/veh)	--	--				32.9		
Approach LOS	--	--				D		

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	RPE/CE			Intersection	US 1 & Rockland Rd		
Agency/Co.				Jurisdiction			
Date Performed	12/18/2008			Analysis Year	2010 Without Site		
Analysis Time Period	PM Peak						
Project Description: Circle K Big Coppitt Key							
East/West Street: US 1				North/South Street: Rockland Road			
Intersection Orientation: East-West				Study Period (hrs): 0.25			
Vehicle Volumes and Adjustments							
Major Street	Eastbound			Westbound			
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume (veh/h)	0	1525	29	6	767	9	
Peak-Hour Factor, PHF	0.94	0.94	0.94	0.88	0.88	0.88	
Hourly Flow Rate, HFR (veh/h)	0	1622	30	6	871	10	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Raised curb						
RT Channelized			0			0	
Lanes	1	1	1	1	1	1	
Configuration	L	T	R	L	T	R	
Upstream Signal		0			0		
Minor Street	Northbound			Southbound			
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume (veh/h)	10	0	0	2	1	1	
Peak-Hour Factor, PHF	0.58	0.58	0.58	0.25	0.25	0.25	
Hourly Flow Rate, HFR (veh/h)	17	0	0	8	4	4	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)	0			0			
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0			0	
Lanes	0	1	1	0	1	0	
Configuration	LT		R		LTR		
Delay, Queue Length, and Level of Service							
Approach	Eastbound	Westbound	Northbound			Southbound	
Movement	1	4	7	8	9	10	11 12
Lane Configuration	L	L	LT		R		LTR
v (veh/h)	0	6	17		0		16
C (m) (veh/h)	776	396	225		220		252
v/c	0.00	0.02	0.08		0.00		0.06
95% queue length	0.00	0.05	0.24		0.00		0.20
Control Delay (s/veh)	9.6	14.2	22.3		21.4		20.3
LOS	A	B	C		C		C
Approach Delay (s/veh)	--	--	22.3			20.3	
Approach LOS	--	--	C			C	

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	RPE/CE			Intersection	US 1 & Jade Drive			
Agency/Co.				Jurisdiction				
Date Performed	12/18/2008			Analysis Year	2010 with site			
Analysis Time Period	PM Peak							
Project Description Circle K Big Coppitt								
East/West Street: US 1				North/South Street: Jade Drive				
Intersection Orientation: East-West				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	11	1027			625	1		
Peak-Hour Factor, PHF	0.93	0.93	1.00	1.00	0.92	0.92		
Hourly Flow Rate, HFR (veh/h)	11	1104	0	0	679	1		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0			0		
Lanes	0	1	0	0	1	1		
Configuration	LT				T	R		
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)				0		4		
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.50	1.00	0.50		
Hourly Flow Rate, HFR (veh/h)	0	0	0	0	0	8		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)		0			0			
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration					LR			
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	LT						LR	
v (veh/h)	11						8	
C (m) (veh/h)	922						571	
v/c	0.01						0.01	
95% queue length	0.04						0.04	
Control Delay (s/veh)	9.0						11.4	
LOS	A						B	
Approach Delay (s/veh)	--	--					11.4	
Approach LOS	--	--					B	

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	RPE/CE			Intersection	US 1 & Boca Chica Rd		
Agency/Co.				Jurisdiction			
Date Performed	12/18/2008			Analysis Year	2010 With Site		
Analysis Time Period	PM Peak						
Project Description <i>Circle K Big Coppitt Key</i>							
East/West Street: <i>US 1</i>				North/South Street: <i>Boca Chica Road</i>			
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>			
Vehicle Volumes and Adjustments							
Major Street	Eastbound			Westbound			
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume (veh/h)		1041	95	42	629		
Peak-Hour Factor, PHF	1.00	0.98	0.98	0.93	0.93	1.00	
Hourly Flow Rate, HFR (veh/h)	0	1062	96	45	676	0	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Undivided						
RT Channelized			0			0	
Lanes	0	1	1	1	1	0	
Configuration		T	R	L	T		
Upstream Signal		0			0		
Minor Street	Northbound			Southbound			
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume (veh/h)	72		77				
Peak-Hour Factor, PHF	0.88	1.00	0.88	1.00	1.00	1.00	
Hourly Flow Rate, HFR (veh/h)	81	0	87	0	0	0	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)		0			0		
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0			0	
Lanes	1	0	1	0	0	0	
Configuration	L		R				
Delay, Queue Length, and Level of Service							
Approach	Eastbound	Westbound	Northbound			Southbound	
Movement	1	4	7	8	9	10	11 12
Lane Configuration		L	L		R		
v (veh/h)		45	81		87		
C (m) (veh/h)		611	230		390		
v/c		0.07	0.35		0.22		
95% queue length		0.24	1.51		0.84		
Control Delay (s/veh)		11.4	28.9		16.9		
LOS		B	D		C		
Approach Delay (s/veh)	--	--	22.7				
Approach LOS	--	--	C				

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	RPE/CE			Intersection	Boca Chica Rd & Site Drive		
Agency/Co.				Jurisdiction			
Date Performed	12/18/2008			Analysis Year	2010 With Site		
Analysis Time Period	PM Peak						
Project Description <i>Circle K Big Coppitt Key</i>							
East/West Street: <i>Site Drive</i>				North/South Street: <i>Boca Chica Road</i>			
Intersection Orientation: <i>North-South</i>				Study Period (hrs): <i>0.25</i>			
Vehicle Volumes and Adjustments							
Major Street	Northbound			Southbound			
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume (veh/h)	2	145			134	9	
Peak-Hour Factor, PHF	0.80	0.80	1.00	1.00	0.80	0.80	
Hourly Flow Rate, HFR (veh/h)	2	181	0	0	167	11	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Undivided						
RT Channelized			0				0
Lanes	0	1	0	0	1	0	
Configuration	LT						TR
Upstream Signal		0			0		
Minor Street	Eastbound			Westbound			
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume (veh/h)	14		2				
Peak-Hour Factor, PHF	0.50	1.00	0.50	1.00	1.00	1.00	
Hourly Flow Rate, HFR (veh/h)	28	0	4	0	0	0	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)		0			0		
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0			0	
Lanes	0	0	0	0	0	0	
Configuration		LR					
Delay, Queue Length, and Level of Service							
Approach	Northbound	Southbound	Westbound			Eastbound	
Movement	1	4	7	8	9	10	11 12
Lane Configuration	LT						LR
v (veh/h)	2						32
C (m) (veh/h)	1410						809
v/c	0.00						0.04
95% queue length	0.00						0.12
Control Delay (s/veh)	7.6						9.6
LOS	A						A
Approach Delay (s/veh)	--	--				9.6	
Approach LOS	--	--				A	

TWO-WAY STOP CONTROL SUMMARY								
General Information			Site Information					
Analyst	RPE/CE		Intersection	US 1 & Big Coppitt Key				
Agency/Co.			Jurisdiction					
Date Performed	12/18/2008		Analysis Year	2010 With Site				
Analysis Time Period	PM Peak							
Project Description <i>Circle K Big Coppitt Key</i>								
East/West Street: <i>US 1</i>			North/South Street: <i>Site Drive</i>					
Intersection Orientation: <i>East-West</i>			Study Period (hrs): <i>0.25</i>					
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)		1270	10		700			
Peak-Hour Factor, PHF	1.00	0.90	0.90	1.00	0.90	1.00		
Hourly Flow Rate, HFR (veh/h)	0	1411	11	0	777	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0			0		
Lanes	0	1	1	0	1	0		
Configuration		T	R		T			
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	0		6					
Peak-Hour Factor, PHF	0.50	1.00	0.50	1.00	1.00	1.00		
Hourly Flow Rate, HFR (veh/h)	0	0	12	0	0	0		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)		0			0			
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration		LR						
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration				LR				
v (veh/h)				12				
C (m) (veh/h)				274				
v/c				0.04				
95% queue length				0.14				
Control Delay (s/veh)				18.7				
LOS				C				
Approach Delay (s/veh)	--	--		18.7				
Approach LOS	--	--		C				

TWO-WAY STOP CONTROL SUMMARY								
General Information					Site Information			
Analyst	RPE/CE				Intersection	US 1 & First Street		
Agency/Co.					Jurisdiction			
Date Performed	12/18/2008				Analysis Year	2010 With Site		
Analysis Time Period	PM Peak							
Project Description Circle K Big Coppitt								
East/West Street: US 1					North/South Street: First Street			
Intersection Orientation: East-West					Study Period (hrs): 0.25			
Vehicle Volumes and Adjustments								
Major Street		Eastbound			Westbound			
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	16	1273			746	15		
Peak-Hour Factor, PHF	0.96	0.96	1.00	1.00	0.83	0.83		
Hourly Flow Rate, HFR (veh/h)	16	1326	0	0	898	18		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0			0		
Lanes	0	1	0	0	1	0		
Configuration	LT					TR		
Upstream Signal		0			0			
Minor Street		Northbound			Southbound			
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)				21		12		
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.80	1.00	0.80		
Hourly Flow Rate, HFR (veh/h)	0	0	0	26	0	14		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)		0			0			
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	1	0	1		
Configuration				L		R		
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	LT					L		R
v (veh/h)	16					26		14
C (m) (veh/h)	753					166		456
v/c	0.02					0.16		0.03
95% queue length	0.07					0.54		0.09
Control Delay (s/veh)	9.9					30.7		13.1
LOS	A					D		B
Approach Delay (s/veh)	--	--				24.5		
Approach LOS	--	--				C		

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	RPE/CE			Intersection	US 1 & Calle Uno			
Agency/Co.				Jurisdiction				
Date Performed	12/18/2008			Analysis Year	2010 With Site			
Analysis Time Period	PM Peak							
Project Description <i>Circle K Big Coppitt Key</i>								
East/West Street: <i>US 1</i>				North/South Street: <i>Calle Uno</i>				
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	22	1439			776	4		
Peak-Hour Factor, PHF	0.94	0.94	1.00	1.00	0.90	0.90		
Hourly Flow Rate, HFR (veh/h)	23	1530	0	0	862	4		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0			0		
Lanes	1	1	0	0	1	1		
Configuration	L	T			T	R		
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)				6		3		
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.40	1.00	0.40		
Hourly Flow Rate, HFR (veh/h)	0	0	0	14	0	7		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration					LR			
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L						LR	
v (veh/h)	23						21	
C (m) (veh/h)	786						185	
v/c	0.03						0.11	
95% queue length	0.09						0.38	
Control Delay (s/veh)	9.7						26.9	
LOS	A						D	
Approach Delay (s/veh)	--	--					26.9	
Approach LOS	--	--					D	

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	RPE/CE			Intersection	US 1 & Rockland Rd		
Agency/Co.				Jurisdiction			
Date Performed	12/18/2008			Analysis Year	2010 With Site		
Analysis Time Period	PM Peak						
Project Description: Circle K Big Coppitt Key							
East/West Street: US 1				North/South Street: Rockland Road			
Intersection Orientation: East-West				Study Period (hrs): 0.25			
Vehicle Volumes and Adjustments							
Major Street		Eastbound			Westbound		
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume (veh/h)	0	1528	29	6	770	6	
Peak-Hour Factor, PHF	0.94	0.94	0.94	0.88	0.88	0.88	
Hourly Flow Rate, HFR (veh/h)	0	1625	30	6	875	6	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Raised curb						
RT Channelized			0				0
Lanes	1	1	1	1	1	1	
Configuration	L	T	R	L	T	R	
Upstream Signal		0			0		
Minor Street		Northbound			Southbound		
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume (veh/h)	10	0	6	2	1	1	
Peak-Hour Factor, PHF	0.58	0.58	0.58	0.25	0.25	0.25	
Hourly Flow Rate, HFR (veh/h)	17	0	10	8	4	4	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)		0			0		
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0			0	
Lanes	0	1	1	0	1	0	
Configuration	LT		R		LTR		
Delay, Queue Length, and Level of Service							
Approach	Eastbound	Westbound	Northbound			Southbound	
Movement	1	4	7	8	9	10	11 12
Lane Configuration	L	L	LT		R		LTR
v (veh/h)	0	6	17		10		16
C (m) (veh/h)	776	395	225		220		246
v/c	0.00	0.02	0.08		0.05		0.07
95% queue length	0.00	0.05	0.24		0.14		0.21
Control Delay (s/veh)	9.6	14.3	22.3		22.1		20.6
LOS	A	B	C		C		C
Approach Delay (s/veh)	--	--	22.2			20.6	
Approach LOS	--	--	C			C	

**2007 MONROE COUNTY
LOS & CAPACITY TABLE
RESERVE CAPACITY
CALCULATION**

2007 LEVEL OF SERVICE AND RESERVE CAPACITY

SEGMENT	LENGTH (miles)	FACILITY TYPE	POSTED SPEED		ADJ. FOR SIGNAL (mph)	ADJUSTED LOS C CRITERIA (mph)	MEDIAN TRAVEL SPEED (mph)	LOS	RESERVE SPEED (mph)	2007		2006	
			Limits (mph)	Average (mph)						MAXIMUM RESERVE VOLUME (trips)	5% ALLOCATION BELOW LOS C (trips)	MAXIMUM RESERVE VOLUME (trips)	5% ALLOCATION BELOW LOS C (trips)
1 Stock Island (4.0 - 5.0)	1.1	4-L/D	30/35/45	38.3	N/A	22.0	34.6	B	12.6	2,295	N/A	1,676	N/A
2 Boca Chica (5.0- 9.0)	3.9	4-L/D	55/45	54.1	N/A	49.6	57.9	A	8.3	5,360	N/A	5,231	N/A
3 Big Coppitt (9.0- 10.5)	1.5	2-L/U	45/55	49.7	N/A	45.2	45.2	C	0.0	0	568	248	N/A
4 Saddlebunch (10.5- 16.5)	5.8	2-L/U	45/55	54.1	N/A	49.6	52.2	C	2.6	2,497	N/A	2,401	N/A
5 Sugarloaf (16.5- 20.5)	4.0	2-L/U	45/55	52.1	N/A	47.6	47.8	C	0.2	132	N/A	331	N/A
6 Cudjoe (20.5- 23.0)	2.5	2-L/U	45/55	45.5	N/A	41.0	48.5	A	7.5	3,105	N/A	2,939	N/A
7 Summerland (23.0- 25.0)	2.2	2-L/U	45	45.0	N/A	40.5	45.6	B	5.1	1,858	N/A	1,894	N/A
8 Ramrod (25.0- 27.5)	2.3	2-L/U	45	45.0	N/A	40.5	48.1	A	7.6	2,895	N/A	2,209	N/A
9 Torch (27.5- 29.5)	2.1	2-L/U	45	45.0	N/A	40.5	47.1	A	6.6	2,295	N/A	2,678	N/A
10 Big Pine (29.5- 33.0)	3.4	2-L/U	45	45.0	3.4	37.1	39.0	C	1.9	1,070	N/A	394	N/A
11 Bahia Honda (33.0- 40.0)	7.0	2-L/U (70%) 4-L/D (30%)	45/50/55	52.1	N/A	47.6	54.1	A	6.5	7,535	N/A	7,767	N/A
12 7-Mile Bridge (40.0- 47.0)	6.8	2-L/U	55	55.0	N/A	50.5	55.1	B	4.6	5,180	N/A	3,829	N/A
13 Marathon (47.0- 54.0)	7.3	2-L/U (13%) 4-L/D (87%)	35/45	42.2	N/A	22	37.7	A	15.7	18,979	N/A	16,924	N/A
14 Grassy (54.0- 60.5)	6.4	2-L/U	45/55	54.4	N/A	49.9	50.9	C	1.0	1,060	N/A	424	N/A
15 Duck (60.5- 63.0)	2.7	2-L/U	55	55.0	N/A	50.5	52.9	C	2.4	1,073	N/A	1,520	N/A
16 Long (63.0- 73.0)	9.9	2-L/U	55/45	53.5	N/A	49	51.3	C	2.3	3,771	N/A	5,082	N/A
17 L Matecumbe (73.0- 77.5)	4.5	2-L/U	55	55.0	N/A	50.5	51.1	C	0.6	447	N/A	0	766
18 Tea Table (77.5- 79.5)	2.2	2-L/U	55/45	54.6	N/A	50.1	49.8	D	-0.3	0	805	0	916
19 U Matecumbe (79.5- 84.0)	4.1	2-L/U	45	45.0	N/A	40.5	41.4	C	0.9	611	N/A	68	N/A
20 Windley (84.0- 86.0)	1.9	2-L/U	45	45.0	7.8	32.7	42.4	A	9.7	3,052	N/A	2,612	N/A
21 Plantation (86.0- 91.5)	5.8	2-L/U	45	45.0	2.5	38.0	41.8	B	3.8	3,650	N/A	4,034	N/A
22 Tavernier (91.5- 99.5)	8.0	4-L/D	45/50	47.1	1.1	41.5	49.9	A	8.4	11,128	N/A	9,936	N/A
23 Key Largo (99.5- 106.0)	6.8	4-L/D	35/45	44.4	3.4	36.5	45.7	A	9.2	10,360	N/A	10,698	N/A
24 Cross (106.0- 112.5)	6.2	2-L/U	35/45/55	48.2	N/A	43.7	37.1	E	-6.6	0	0	308	N/A
Overall	108.4					45.0	45.7	C	0.7				

Reserve Capacities

The difference between the median speed and the LOS C standard gives the reserve speed, which in turn can be converted into an estimated reserve capacity of additional traffic volume and corresponding additional development. The median overall speed of 45.9 mph compared to the LOS C standard of 45 mph leaves an overall reserve speed of 0.9 mph. This reserve speed is converted into an estimated number of reserve trips using the following formula:

$$\begin{aligned}\text{Reserve Volume} &= \frac{\text{Reserve Speed} \times k \times \text{Overall Length}}{\text{Trip Length}} \\ \text{Reserve Volume} &= \frac{0.9 \text{ mph} \times 1656 \text{ daily trips/mph} \times 112 \text{ miles}}{10 \text{ miles}} \\ \text{Reserve Volume} &= 16,693 \text{ daily trips}\end{aligned}$$

The estimated reserve capacity is then converted into an estimated capacity for additional residential development, assuming balanced growth of other land uses, and using the following formula:

$$\begin{aligned}\text{Residential Capacity} &= \frac{\text{Reserve Volume}}{\text{Trip Generation Rate} \times \% \text{ Impact on US 1}} \\ \text{Residential Capacity} &= \frac{16693 \text{ daily trips}}{8 \text{ (daily trips / unit)} \times 0.8} \\ \text{Residential Capacity} &= 2,608 \text{ units}\end{aligned}$$

Applying the formula for reserve volume to each of the 24 segments of U.S. 1 individually gives maximum reserve volumes for all segments totaling 83,203 trips. These individual reserve volumes may be unobtainable, due to the constraint imposed by the overall reserve volume.

County regulations and FDOT policy allow segments that fail to meet LOS C standards to receive an allocation not to exceed five percent below the LOS C standard. The so-called five percent allocation was calculated for such segments as follows:

$$5\% \text{ Allocation} = \frac{(\text{median speed} - 95\% \text{ of LOS C}) \times 1656 \times \text{Length}}{\text{Trip Length}}$$

The resulting flexibility will allow a limited amount of additional land development to continue until traffic speeds are measured again next year or until remedial actions are implemented. These segments are candidates for being designated either "backlogged" or "constrained" by FDOT.

Based on this year's results, Lower Matecumbe (Segment 17) is the only segment below the LOS C threshold, and Tea Table (Segment 18) is at the LOS C threshold. However, both of these segments have reserve capacities within the 5% allocation. Segments that have used-up all the 5% reserve trips are restricted in new development or redevelopment, except where redevelopment has no net increase in trips. A detailed summary table displaying level of service and reserve capacity values for each segment is contained in Appendix G.

FDOT LOS TABLES

TABLE 4 - 2

GENERALIZED ANNUAL AVERAGE DAILY VOLUMES FOR FLORIDA'S
AREAS TRANSITIONING INTO URBANIZED AREAS OR
AREAS OVER 5,000 NOT IN URBANIZED AREAS*

UNINTERRUPTED FLOW HIGHWAYS						FREEWAYS							
		Level of Service							Level of Service				
Lanes	Divided	A	B	C	D	E	Lanes		A	B	C	D	E
2	Undivided	2,400	8,000	14,900	21,100	26,700	4		23,500	38,700	52,500	62,200	69,100
4	Divided	18,600	30,200	43,600	56,500	64,200	6		36,400	59,800	81,100	96,000	106,700
6	Divided	27,900	45,200	65,500	84,700	96,200	8		49,100	80,900	109,600	129,800	144,400
							10		61,800	101,800	138,400	163,800	182,000
STATE TWO-WAY ARTERIALS						BICYCLE MODE							
Class I (>0.00 to 1.99 signalized intersections per mile)						(Note: Level of service for the bicycle mode in this table is based on roadway geometrics at 40 mph posted speed and traffic conditions, not number of bicyclists using the facility.) (Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)							
		Level of Service							Level of Service				
Lanes	Divided	A	B	C	D	E	Paved Shoulder/ Bicycle Lane Coverage		A	B	C	D	E
2	Undivided	**	4,000	13,100	15,500	16,300	0-49%	**	1,900	3,300	13,600	>13,600	
4	Divided	4,600	27,900	32,800	34,200	***	50-84%	**	2,500	4,000	>4,000	***	
6	Divided	6,900	42,800	49,300	51,400	***	85-100%	3,200	7,100	>7,100	***	***	
Class II (2.00 to 4.50 signalized intersections per mile)						PEDESTRIAN MODE							
Class III (more than 4.5 signalized intersections per mile)						(Note: Level of service for the pedestrian mode in this table is based on roadway geometric at 40 mph posted speed and traffic conditions, not number of pedestrians using the facility.) (Multiply motorized vehicle volumes shown by number of directional roadway lanes to determine two-way maximum service volumes.)							
		Level of Service							Level of Service				
Lanes	Divided	A	B	C	D	E	% Sidewalk Coverage		A	B	C	D	E
2	Undivided	**	**	5,000	11,800	14,600	0-49%	**	**	**	**	6,300	15,400
4	Divided	**	**	11,700	27,200	30,800	50-84%	**	**	**	**	9,800	18,800
6	Divided	**	**	18,400	42,100	46,300	85-100%	**	2,200	11,200	>11,200	***	
NON-STATE ROADWAYS						ARTERIAL/NON-STATE ROADWAY ADJUSTMENTS							
Major City/County Roadways						(alter corresponding volume by the indicated percent)							
		Level of Service					Lanes	Median	Left Turn Lanes	Adjustment Factors			
2	Undivided	**	**	7,000	13,600	14,600	2	Divided	Yes	+5%			
4	Divided	**	**	16,400	29,300	30,900	2	Undivided	No	-20%			
6	Divided	**	**	25,700	44,100	46,400	Multi	Undivided	Yes	-5%			
Other Signalized Roadways (signalized intersection analysis)						Multi							
<th colspan="5">Level of Service</th> <td colspan="2"></td> <td colspan="3">ONE-WAY FACILITIES</td>		Level of Service							ONE-WAY FACILITIES				
Lanes	Divided	A	B	C	D	E	Multiply the corresponding two-directional volumes in this table by 0.6.						
2	Undivided	**	**	4,400	9,400	12,000							
4	Divided	**	**	10,300	20,200	24,000							
Source: Florida Department of Transportation Systems Planning Office 605 Suwannee Street, MS 19 Tallahassee, FL 32399-0450 http://www.dot.state.fl.us/planning/systems/sm/los/default.htm													
*Values shown are presented as two-way annual average daily volumes for levels of service and are for the automobile/truck modes unless specifically stated. Although presented as daily volumes, they actually represent peak hour direction conditions with applicable K and D factors applied. This table does not constitute a standard and should be used only for general planning applications. The computer models from which this table is derived should be used for more specific planning applications. The table and deriving computer models should not be used for corridor or intersection design, where more refined techniques exist. Level of service letter grade thresholds are probably not comparable across modes and, therefore, cross modal comparisons should be made with caution. Furthermore, combining levels of service of different modes into one overall roadway level of service is not recommended. Calculations are based on planning applications of the Highway Capacity Manual, Bicycle LOS Model, Pedestrian LOS Model and Transit Capacity and Quality of Service Manual, respectively for the automobile/truck, bicycle, pedestrian and bus modes.													
**Cannot be achieved using table input value defaults.													
***Not applicable for that level of service letter grade. For automobile/truck modes, volumes greater than level of service D become F because intersection capacities have been reached. For bicycle and pedestrian modes, the level of service letter grade (including F) is not achievable, because there is no maximum vehicle volume threshold using table input value defaults.													

REDUCED SITE PLAN

*CIRCLE K
1190 OVERSEAS HIGHWAY
BIG COPPIT KEY*

Construction Management Plan

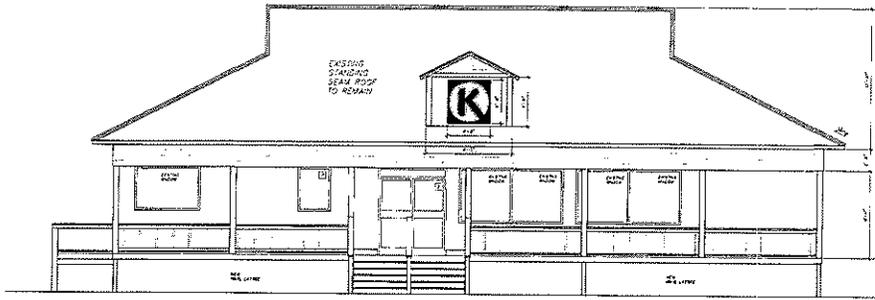
General Description

This is an existing convenience store and gasoline fueling station. Water retention during the remodeling of the property will be controlled by the placement of berms or hay bales with silt screen at the perimeter of the property wherever there is no curbing to contain runoff. The gasoline tank and line work will follow all state, county, and local guidelines.

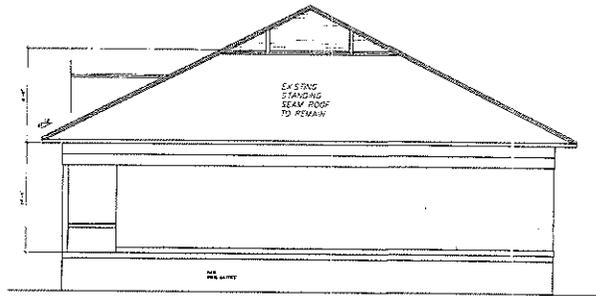
Construct debris will be contained in roll-off construction dumpsters with wind borne protection.

In the event of a hurricane, the site will be secured a minimum of 24 hours before the storms arrival or evacuation from the Keys.

Perimeter work, ie. driveways, will be done in accordance with FDOT Rules and permits



NORTH ELEVATION



WEST ELEVATION

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Windloadcalc.com
 4048 FMS
 813.282.8100
 www.windloadcalc.com
 Wind Program

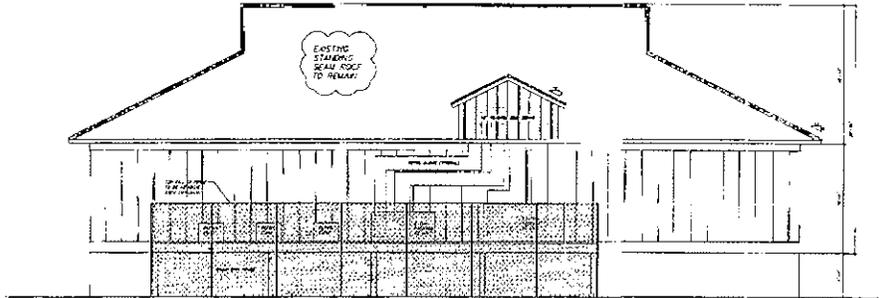
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CIRCLE K STORES
 MDM Services, Inc.
 CONSULTING & ENGINEERING
 FL 58, 9849
 1180 OVERSEAS HWY.
 BIG COPPIT KEY, FL 34914

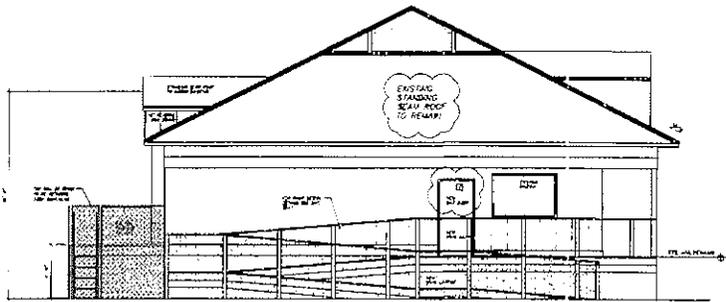
RECEIVED
 JUN 8 2008

854 1707
 1180 OVERSEAS HWY.
 BIG COPPIT KEY, FL

ELEVATIONS
 A-2



SOUTH ELEVATION



EAST ELEVATION


 CIRCLE K STORES
MDM
 Drafting, Inc.
 Mechanical & Electrical
 11.18.2008
 1190 OVERSEAS HWY
 BIG CORKY KEY, FL 34914

8.8# 007
 1190 OVERSEAS HWY
 BIG CORKY KEY, FL

DATE:	8/24/08
BY:	MDM
CHECKED BY:	MDM
SCALE:	AS SHOWN
PROJECT NO.:	8249

MECHANICAL DEC
 ELEVATIONS
 A-2.1

IRRIGATION SPECIFICATIONS

1. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE FOLLOWING SPECIFICATIONS:
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO APPLY WATER TO THE CROPS AT THE RATE OF 1.0 INCH PER WEEK AT THE PEAK OF THE GROWING SEASON.
3. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A PRESSURE OF 100 PSI.
4. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A FLOW RATE OF 100 GPM.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A HEAD OF 100 FEET.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A SLOPE OF 0.001.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A TEMPERATURE OF 70°F.
8. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A HUMIDITY OF 50%.
9. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A WIND SPEED OF 10 MPH.
10. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A DUST LEVEL OF 100 MICROGRAMS PER CUBIC METER.
11. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A SOLID PARTICLE CONCENTRATION OF 100 PARTS PER MILLION.
12. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A pH OF 7.0.
13. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A SALINITY OF 1.0 D.S.M.
14. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A HARDNESS OF 100 PPM.
15. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A CHLORINE CONCENTRATION OF 1.0 MG/L.
16. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A FLUORIDE CONCENTRATION OF 1.0 MG/L.
17. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A NITRATE CONCENTRATION OF 10.0 MG/L.
18. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A AMMONIUM CONCENTRATION OF 1.0 MG/L.
19. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A PHOSPHATE CONCENTRATION OF 1.0 MG/L.
20. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A POTASSIUM CONCENTRATION OF 1.0 MG/L.
21. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A SODIUM CONCENTRATION OF 1.0 MG/L.
22. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A CALCIUM CONCENTRATION OF 1.0 MG/L.
23. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A MAGNESIUM CONCENTRATION OF 1.0 MG/L.
24. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A ZINC CONCENTRATION OF 1.0 MG/L.
25. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A COPPER CONCENTRATION OF 1.0 MG/L.
26. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A MANGANESE CONCENTRATION OF 1.0 MG/L.
27. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A IRON CONCENTRATION OF 1.0 MG/L.
28. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A BORON CONCENTRATION OF 1.0 MG/L.
29. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A SILICON CONCENTRATION OF 1.0 MG/L.
30. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE AT A SELENIUM CONCENTRATION OF 1.0 MG/L.

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SECTION 11.00

IRRIGATION SYSTEMS

11.01.00 - IRRIGATION SYSTEMS

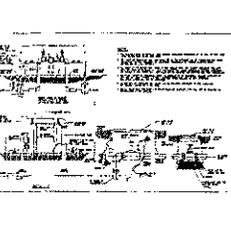
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SECTION 11.00

IRRIGATION SYSTEMS

11.01.00 - IRRIGATION SYSTEMS

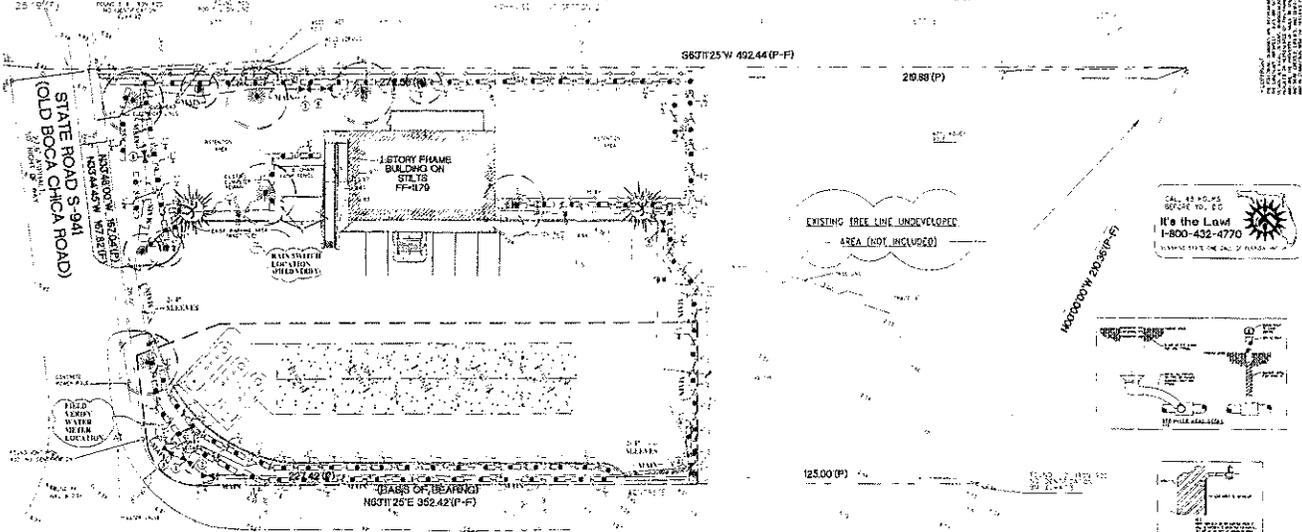
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R. BARTLETT LANDSCAPE, INC.
 1100 OVERSEAS HWY
 SUITE 201
 WELLINGTON, FL 33414
 (407) 733-1111

CIRCLE K STORES
 1100 OVERSEAS HWY
 SUITE 201
 WELLINGTON, FL 33414
 (407) 733-1111

MDM
 1100 OVERSEAS HWY
 SUITE 201
 WELLINGTON, FL 33414
 (407) 733-1111



U.S. HIGHWAY NO. 1
 (S.R. #5, OVERSEAS HWY.)

IRRIGATION PLAN

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 (407) 733-1111

1100 OVERSEAS HWY
 SUITE 201
 WELLINGTON, FL 33414
 (407) 733-1111

SS# 1707
 1100 OVERSEAS HWY
 BIG COPPIT KEY, FL

IRRIGATIC PLAN

L-3

WSMP SE Colorado LP
PO BOX U
Columbia, MO 65205

Calzadilla Anthony
361 Ave E – Big Coppit Key
Key West, FL 33040

Arnold Richard W Sr and Dons R
23 Flipper Road
Key West, FL 33040

O'Connell Tiffany M Silvers
3 Dolphin Road
Key West, FL 33040

Pierce David M & Patricia C
4 Dolphin Road
Key West, FL 33040

Columbo James R
1213 14th Street Unit 49
Key West, FL 33040

Vaughn Robert C and Harriette G
5 Dolphin Road
Key West, FL 33040

Bove Richard and Rose Ann
640 Tompkins Avenue
Staten Island, NY 10305

Voorhees Ralph W Jr
219 Sweetmans Lane
Englishtown, NJ 07726

Rathemacher John W
7852 Green Cove Ct
Pensacola, FL 32506

Perez Edward M Jr
9 Dolphin Road
Key West, FL 33040

Suler Frank J
19 Flipper Road
Key West, FL 33040

Love Susan
0 Dolphin Road
Key West, FL 33040

Hansen Ralph & Brigitte
20 Flipper Road Big Coppitt
Key West, FL 33040

Isaacson William Robin
11 Dolphin Rd Big Coppitt Key
Key West, FL 33040

Farkas Richard F and Beverly M
12 Flipper Rd
Key West, FL 33040

Averette Alan R and Sandra L
5 Bamboo Terrace
Key West, FL 33040

Gonzales Roberto and Bonnie Sue
22 Flipper Rd
Key West, FL 33040

Caraballo Cherie Y
13 Dolphin Road
Key West, FL 33040

Guty Michael Property Tax Dept
PO BOX 52085 DC-17
Phoenix, AZ 85072-2085

Circle K Properties Inc
Attn: Property Tax Dept
PO BOX 52085 DC-17
Phoenix, AZ 85072-2085

City of Key West
PO BOX 1409
Key West, FL 33041

DOT/ ST.OF FL
STATE ROAD DEPT
TALLAHASSEE, FL 32399

Porpoise Point Reel & Racquet
Club

FL Keys Community Housing and
Land Trust Inc
30320 Overseas Highway
Big Pine Key, FL 33043

Coconut Cove Land LLC
10 Evergreen Avenue
Key West, FL 33040

Katalinic Joe
17 Flipper Rd.
Key West, FL 33040

Katalinic Joe
17 Flipper Rd
Key West, FL 33040

Meitz Debora D
1200 Fourth St Apt 156
Key West, FL 33040

Herber Renee Sue & Johnson
Rhonda Sue T/C
5415 W 760 N
Orlando, FL 46776

Stroh Charles H Rev Tr (7-23-98)
84 New Home
Salem, MO 65560

Pagani Yvonne P and Gino N
2817 Tifton Street South
Gulfport, FL 33711

Hollenbeck Cynthia & Steven L
APTED (W/H)
875 Pine Hill Blvd
Geneva, FL 32732

Maier Gene Trust
8391 Reading Rd
Pittsford, MI 497271

Hunter Gilbert W
55 Boca Chica Rd 406
Key West, FL 33040

Flagg William G & Agnes I R/S
55 Boca Chica Rd # 83
Key West, FL 33040

Kunreuther Family Trust 2/14/2006
C/O Sunreuther Francis E Trustee
126 SW Airview Ave
Port St. Lucie, FL 34984

Murray Thomas R. and Vera A
55 Boca Chica Rd Lot 409
Key West, FL 33040

Stock Jack O
55 Boca Chica Rd - #411
Key West, FL 33040

Dosta Joseph
55 Boca Chica Rd Lot 412
Key West, FL 33040

Thrasher Rosemarie C
55 Boca Chica Rd Unit 413
Key West, FL 33040

Satkofsky Charles and Patricia
55 Boca Chica Rd Lot 414
Key West, FL 33040

Millett Elizabeth Ann
28 Main Street
Cermilion, OH 44089

Blaisdell Cecil and Eileen P
55 Boca Chica Rd Lot 416
Key West, FL 33040

Semasek Joseph P
331 Monroe Street
Mcadoo, PA 18237

Johnson Timothy and Catherine P
1018 W Berry
Fort Wayne, IN 46802

Whelen J & Grunow B
Routon & Routon K Bradley T/C
872 Fathom Ct
N Palm Beach, FL 33408

Battillo John V and Chiang Fong
LIV TR DTD3/17/08
135 Key Haven Rd
Key West, FL 33040

Ryan Gerald O and Judith A
55 Boca Chica Rd Lot 421
Key West, FL 33040

Branch Banking and Trust Co
2713 Forest Hills Road
Wilson, NC 27894

Edmonds Hugh B and Barbara A
PO BOX 530425
Miami, FL 33153

Edmonds Hugh B and Barbara A
PO BOX 530425
Miami, FL 33153

Millett Florence L/E
55 Boca Chica Rd Lot 425
Key West, FL 33040

Crockett Gerald F
55 Boca Chica Rd Lot 426
Key West, FL 33040

Atwood Michael S and Barbara May
PO BOX 7646
Fort Myers, FL 33911

Ward Douglas W & Teresa R
3743 Ruhl Road
New Freedom, PA 17349

McMenamin William & Gayle
42 Sunset Blvd Seaview Harbor
Longport, NJ 08403

Ellis Donald R Jr and AJ
TR DTD 11/23/05
55 Boca Chica Rd Unit 430
Key West, FL 33040

Ellis Aaron P & Lane E B R/S
1132 E Grand Blanc Road
Grand Blanc, MI 33027

Malgrat James D & CJ
The Malgrat LIV TRUST
1876 SW 163 Avenue
Miramar, FL 33027

Howley John L. & Deborah L
15 Boca Chica Rd Lot 433
Key West, FL 33040

Minton James
15 Lavender Lane
Tomkins Cove, NY 10986

McMenamin Mary
105 N 35th Avenue
Longport NJ 08483

Aspinwall Gary R
1823 Riverside Ln
Fort Myers, FL 33919

Pajaro Shirley
55 Boca Chica Road Lot 437
Key West, FL 33040

Stehre Ralph B. and Beverly J
8401 SW 107th Ave Unit 227E
Miami FL 33173

Keenan Sharon J
15 Boca Chica Rd Unit 439
Key West, FL 33040

Hiller Claire
220 County Line Rd
Trevose, PA 19053

Wilburn Terry
PO BOX 971129
Ypsilanti, MI 48197

Nicholas Olen and Betty S
17925 Circle Drive
Harrison Township, MI 48045

Wanat Loretta L
11090 Woodruff Rd
Fairburn, GA 30213

Blendowski Deborah L and John G
2410 Glennwood Dr.
Washington, IN 47501

Crockett G & Crockett T & J T/C
1 Crockett Dr
Clyde, OH 43410

Jastrzemski Richard and Felicia
393 Palm Drive
Islamorada, FL 33036

Clickner Linda Kay T/C
9302 Kennerson Ct
Fairfax, VA 22032

Baxter D & Baxter W
1015 Concord
Trenton, MI 48183

Logue Patrick J
55 Boca Chica Rd Unit 82
Key West, FL 33040

Sieminski Robert and Patricia
1296 Drift Rd.
West Port, MA 02790

Gordon Lonnie A
15 Boca Chica Rd Unit 8
Key West, FL 33040

Turner Derek Paul
Flat 2 Beechwood Ct
4 Cranbane Rd, Bournemouth BH2
5BR England

Semasek Joseph P
331 Monroe Street
Mcadoo, PA 18237

Brown David J
15 Boca Chica Rd Lot 454
Key West, FL 33040

O'Brien Troy E
15 Pearly Gates Ct
Franklin, NC 28734

Bolash R & M & Bolash TM R/S
PO BOX 172
West Fairlee, VT 05083

Petre Mary Jane E
1403-1 Bay Club Dr.
Fort Lauderdale, FL 33308

Armstrong Dorothy
10 Birch Ln RR # 1
Parry Sound, Ontario
P2A 2W7 Canada

Ward Lyle O and Celina R
55 Boca Chica Rd Lot 459
Key West, FL 33040

Archibald Marion S
113 Barbara Lane
Toms River, NJ 08753

Zielinski L and K
6808 Grand Point Rd
Presque Isle, MI 49777

Select Rentals Inc
16200 SW 172 Ave
Miami, FL 33187

Butler James A
1801 Spring Creek Dr
Key West, IN 46808

Fenton R & S
55 Boca Chica Rd LOT 464
Key West, FL 33040

Sanko Stephen S
55 Boca Chica Rd Unit 410
Key West, FL 33040

Page Francis J
15 Boca Chica Rd Unit 1
Key West, FL 33040

Gauthier J & M
1434 S Main Street
Racine, WI 53403

Gauthier Vincent Trust UTD
C/O Gauthier L W TR
6225 Arrowhead Dr.
Fennville, MI 49408

Flagg William G & Agnes
13 Seaside Park
Key West, FL 33040

Flagg William G & Agnes
55 Boca Chica Rd # 83
Key West, FL 33040

Keane James Derek & Mary
24 Scotfield St
Rowley, MA 01969

Chatters Chris E & Kay L
15 Boca Chica Rd # 7
Key West, FL 33040

Gordon Lonnie A TR
55 Boca Chica Rd LOT 8
Key West, FL 33040

Kneeland R & B
51 Wethersfield St.
Rowley, MA 01969

Kneeland John D & Cynthia A
PO BOX 311
Rowley, MA 01969

Grundstrom J E & JH Trustees
60 Railroad Avenue
Rowley, MA 01969

Price L & K
96 Wright Street
Richmond Hill
Ontario L4C 4A5 Canada

Anderson Patricia
15 Boca Chica Rd Unit 13
Key West, FL 33040

Sandage C & A
55 Boca Chica Rd Unit 14
Key West, FL 33040

Smith H & J
250 Horseneck Road
Westport, MA 02790

Roberts Family Trust
C/O Roberts M Trustee
2048 Roberts Rd
Croton, OH 43013

Deangelis John
330 Maria Drive
Toms River, NJ 08753

Frost Robert W II
PO BOX 2192
Key West, FL 33040

Rikas Micholas K and Laurel A
15 S Fourth Street
Rogers City, MI 49779

Muttie J & J
505 Signal Lane
Toms River, NJ 08755

Erdman R & Kirkpatrick C (E/Q)
Lot 21 Seaside Resort
Key West, FL 33040

Smith Karen L
156 Horseneck Rd.
Westport, MA 02790

Dicks Richard L
2410 Glennwood Drive
Washington, IN 47501

Johnson Family LIV TR of 2005
6014 East Shore Drive
Fort Wayne, IN 40835

Pino S & J
100 Ironwood Dr Unit 217
Monte Vedra Beach, FL 32082

Sutherland S & S
1367 Pinewood Road
Jacksonville Beach, FL 32250

Nichols Kenneth B
PO Box 323
Summerland Key, FL 33042

Boyd Dennis
55 Boca Chica Rd LOT 28
Key West, FL 33040

Dibbell D & Dibbell S Trustees
4814 Ford De Lac Trail
Madison, WI 53705

Hiller E & M
5 Sapphire Drive
Key West, FL 33040

Griffin Michael R
55 Boca Chica Rd Unit 31
Key West, FL 33040

Apostolou J and B
55 Boca Chica Rd LOT 32
Key West, FL 33040

Whicher R & D
101 Four Rod Rd UNIT 16
Rochester, NY 03867-4250

Hollinger John C
PO BOX 292
Key West, FL 33041

Ezell Timmy D
55 Boca Chica Rd UNIT 35
Key West, FL 33040

Key Norwest LLC
3254 Riverwoods Dr.
Rockford, MI 49341

Leathers C & J
55 Boca Chica Rd, # 37
Key West, FL 33040

Salvage R & N
33 Old Center Rd South
Deerfield, NH 03037-1406

Niles Lori
55 Boca Chica Rd # 39
Key West, FL 33040

Welfare RT and LC
421 Lane Rd Unit 232B
Nephyrhills, FL 33541

Roberts Charles E
55 Boca Chica Rd LOT 41
Key West, FL 33040

Roofner Rance C
55 Boca Chica Rd #42
Key West, FL 33040

Katehis Dionisios
312 Northside Drive # 515
Key West, FL 33040

McCormick D & S
2890 Arbella Lane
Thousands Oaks, CA 91362

Cadotte E & T
55 Boca Chica Rd - LOT 45
Key West, FL 33040

Hedrick Pauline B
55 Boca Chica Rd UNIT 46
Key West, FL 33040

Garrett Carmen Donehoo
5710 Oakland Rd
Baltimore, MD 21227

GKM LLC
7390 NW 5 St., Suite 1
Plantation, FL 33317

White James Gregory
55 Boca Chica Rd LOT 49
Key West, FL 33040

Waugaman Richard A
55 Boca Chica Rd UNIT 50
Key West, FL 33040

Jop John R
55 Boca Chica Rd. LOT 51
Key West, FL 33040

Flagg William G
13 Seaside Resort
Key West, FL 33040

Fellows Gerard M
34 Lakeside Drive
Hiram, GA 30141

Velardo Roberta P
55 Boca Chica Rd LOT 54
Key West, FL 33040

Ingram Agnes M
55 Boca Chica Rd LOT 55
Key West, FL 33040

Spinney Larry E
1866 Merrimac Drive
Toms River, NJ 08753

Wright James W
1220 Sugarloaf Blvd
Summerland Key, FL 33042

Pittorino J and K
15 Boca Chica Rd LOT 58
Key West, FL 33040

Siltman S & J
723 Bradley Rd UNIT 2-D
Ocean City, MD 21842

Smith Alexander P
PO Box N36
Westport, MA 02790

Gillespie Deborah K T/C
15 Boca Chica Rd UNIT 69
Key West, FL 33040

Whicher R & D
55 Boca Chica Rd LOT 33
Key West, FL 33040

Hernholm Susan R
55 Boca Chica Rd # 63
Key West, FL 33040

BAJ Family Trust
124 Water Landing Drive
Oak Hill, FL 32759

Guillotte Kenneth M
55 Boca Chica Rd UNIT 65
Key West, FL 33040

Hiller E & M
5 Sapphire Drive
Key West, FL 33040

Woehr F & A
Elliot Tr
Grafton, MA 01519

Reed D & L
25 Lana 755A Snow Lake
Fremont, IN 46737

Gillespie J & D
55 Boca Chica Rd Lt 69
Key West FL 33040

Merkle Gustave Leland
1640 Bellevue Avenue
Augusta, GA 30904

Fix William R & Eileen J
C/O Seaside Rst LOT 71 &72
59 Fix Road
Hudson, NY 12534

Dixon Douglas REV LIV TRUST
PO BOX 1000
Paintsville, KY 41240

McNulty Gale D
C/O McNulty Motors Inc
147 S Main Street
Englewood, OH 45322

McNulty Gale D
547 S Main Street
Englewood, OH 45322

McNulty Velmar Gale D McNulty
547 S Main Street
Englewood, OH 45322

Wisnesky Harry J
1001 Jardomg Rd
Essexville MI 48732

Kuhn Dale L and Cynthia J
5615 Martys Hill PL
Ft Wayne, IN 46815

Bojo Enterprises LLC
960 Lane 340 Jimmerson Lake
Freemont, IN 46737

Holland Ruth
55 Boca Chica Rd
Lot 81
Key West. FL 33040

Holland Ruth Ann
55 Boca Chica Rd
Lot 81
Key West. FL 33040

Logue Patrick J
55 Boca Chica Rd
Lot 82
Key West. FL 33040

Flagg William G (Q) & Agnes I
55 Boca Chica Rd
Lot 83
Key West. FL 33040

Morin Henry Louis Jr.
TR C/O Morin Henry Louis Jr.
Trustee
P.O. Box 687
Hampstead, NH 03841

Long David L
55 Boca Chica Rd
Lot 85
Key West. FL 33040

**Lawrence Patrick C &
Shepherd Sheila M R/S**
1070 Westchester Dr
Kannapolis, NC 28081-7714

**Bacchiochi Robert S and
Constance E**
P.O. Box 408
East Dennis, MA 02641

Russell Edward B. and Sandra S
P.O. Box 408
East Dennis, MA 02641

Pagano Salvatore P & Rose
56-15 174th St.
Flushing, NY 11365

McNulty Gale D
547 S Main Street
Englewood, OH 45322

Graham William E
1782 Mayview Rd.
Bridgeville, PA 15017-1517

Westrick Bruce A & Deborah J
11531 Brigdoon CT
FT Wayne, IN 46814

Lewis David D
55 Boca Chica LT 94
Key West, FL 33040

Jarman Carolyn L
55 Boca Chica LT 95
Key West, FL 33040

Graham Patricia A.
1782 Mayview Rd.
Bridgeville, PA 15017-1517

Scalise Fred & May
3010 Shore Rd
Bellmore, NY 11710

Silva Dale
3314 Northside Dr.
Unit 22
Key West, FL 33040

Droge Herman
55 Boca Chica LT 99
Key West, FL 33040

**Rowe Thomas Alfred &
Whitehead Carol (T/C)**
118 King Street West
Bolton, Ontario L7E 1A2
Canada

King William H & Nancy B
7 Hillside Drive
Annandale, NJ 08801

Battillo John V and Chiang Fong
LIV TR DTD 3/17/08
135 Key Haven Rd.
Key West, FL 33040

McNulty Gale D
547 S Main Street
Englewood, OH 45322

Muolo Louis S and Norma
17 Matlyn Dr
Rochester, NY 14624

Keller Charles and Ruth
188 Yellowbank Rd
Toms River, NJ 08753

Savino Frank E & Helen M
Trustees (Frank & Helen Savino
Family TR 5/16/96)
934 Southgate
Davis, IL 61019

Rettig Richard L Rev Liv TR
12/29/99 Reins 6/17/02
P.O. Box 6044
Key West, FL 33041

Keenan Peggy E
55 Boca Chica Rd.
Lot 107
Key West, FL 33040

Thornton Shirley A REV AGR and
DEC TR 12/13/05
12234 Lois St.
Bishopville, MD 21813-1652

Little Rush L and Margaret E.
P.O. Box 876
Hardy, VA 24101

Liotta Eugene J & Beth H
55 Boca Chica Rd.
Lot 111
Key West, FL 33040

Graham William P.
1450 Mayview Rd.
Upper St Clair, PA 15241

Laatsch Albert R and Lois J
55 Boca Chica Rd.
Lot 113
Key West, FL 33040

Graham Keith R and Denise R
1382 Skyridge Dr Uppr
St Clair, PA 15241

Meng Lloyd & Lynnetta
30204 Raintree Dr.
Oregon, MO 64473

Graham William & Patricia A
1782 Mayview Rd.
Bridgeville, PA 15017

Johnson Marily J TR DTD
12/31/1983
8000 Warren Woods Rd Lot 84
Three Oaks. MI 49128-9574

Graham Frank J III
P.O. Box 1433
Ederwater, FL 32132

Blair Leslie L & Ilagean Trust
12/17/2003 C/O Blair Leslie L &
Ilagean
709 Airport Rd.
Osage Beach, MO 65065

Dunford Jacquelyn G TR (Clyde
W & Jacquelyn G Dunford Loving
TR)
55 Boca Chica Rd. - Lot 121
Key West, FL 33040

Laatsch Albert R
55 Boca Chica Rd.
Lot 122
Key West, FL 33040

Phillips Duane & Joann
3081 River Rd
Kankakee, IL 60901

Decker Wayne and Carol TR
10/26/2004
1165 Lascombes
Bourbonnais, IL 60914-4536

Christensen Donald A
55 Boca Chica Rd.
Lot 125
Key West, FL 33040

Christensen Margaret A
55 Boca Chica Rd.
Lot 126
Key West, FL 33040

Butler James A
2910 Gosheb Rd.
Ft Wayne, In 46808

Aldous Eleanor A & Herbert J
55 Boca Chica Rd.
Lot 128
Key West, FL 33040

Moncur Shirley
107 Maple Ave. Box 314
Seymour Beach
RR 3 Harrow,
Ontorio N0R1G0 - Canada

Kujaczynski Mary L TR C/O
Kujaczynski Mary L
55 Boca Chica Rd.
Lot 130
Key West, FL 33040

Shetzer Richard J and Susan M
55 Boca Chica Rd.
Lot 131
Key West, FL 33040

Crockett Thomas L & Joanne M
11 Crockett Dr
Clyde, OH 43410

Kneeland John D & Cynthia &
Kneeland John D Jr & Christine
63 Hammond St.
Rowley, MA 01969

Barefoot Wayne L
258 Meadowbrook Dr.
Four Oaks, NC 27524



BOARD OF COUNTY COMMISSIONERS

Mayor George Neugent, District 2
Mayor Pro Tem Sylvia Murphy, District 5
Heather Carruthers, District 1
Kim Wigington, District 3
Mario Di Gennaro, District 4

Office of the Fire Marshal
490 63rd Street Ocean
Marathon, FL 33050
305-289-6010
305-289-6013



June 16, 2009

Mr. Bob Webster
MDM Services Inc.
1412 SW 34 Avenue
Deerfield Beach, FL 33442

RE: Circle K Store # 1707 Big Coppitt Key, Florida

Dear Mr. Webster,

Pursuant to the requirements of the Monroe County Planning Department Development Permit Application, this shall serve as the letter of coordination between the Monroe County Fire Marshal's Office and the agent and/or property owner for the Circle K Store # 1707 project to be located in Big Coppitt, Florida.

- The Fire Marshals' Office enforces the Florida Fire Prevention Code, Florida Building Code, the National Fire Protection Association (NFPA 1), Life Safety Code 101, 2000 edition and related NFPA standards as applicable.
- Approved fire hydrants and shall be provided for building to meet necessary fire flow requirements as determined by the Fire Official, and approved by the Florida Keys Aqueduct Authority (FKAA). In addition, all fire hydrants shall be located by the Fire Marshal's Office prior to installation, and certified as 1000 g.p.m prior to acceptance.
- If an automatic sprinkler system and/or standpipe system is required pursuant to FSS 553.895(2), system shall be installed per NFPA 13 or 13R.
- If a fire alarm is required pursuant to FSS 533.895(2), system shall be installed per NFPA 70 and 72.
- Provide the Fire Marshal's Office with a copy of the coordination letter with the Florida Keys Aqueduct Authority (FKAA), Engineering Dept., regarding fire hydrant installation and adequate fire flow for fire sprinkler system per project requirements.

Note: In the event that the FKAA cannot provide adequate fire flow to this location, a site plan shall be provided indicating the proposed location of the water storage tank and fire pump installation.

It is understood that after conceptual approval of the project has been granted, preliminary fire protection plans, to include improvements to water supply via fire hydrant and/or fire well, shall be submitted to the Fire Marshal's Office prior to final plan review for issuance of a building permit. Monroe County Fire Rescue provides fire suppression service to the proposed project location.

If you have any questions or require any further information, please do not hesitate to contact me at my office.

Sincerely,

A handwritten signature in black ink that reads "A. Romero". The signature is written in a cursive, slightly slanted style.

Arthur "Wally" Romero
Assistant Fire Marshal
Monroe County Fire Rescue

cc: Joe Paskalik, Senior Building Official
Joe Haberman, Growth Management



**BOARD OF COUNTY
COMMISSIONERS**

Mayor George Neugent, District 2
Mayor Pro Tem Sylvia J. Murphy, District 5
Kim Wigington, District 1
Heather Carruthers, District 3
Mario Di Gennaro, District 4



June 11, 2009

Bob Webster
MDM Services, Inc.
1412 S.W. 34th Avenue
Deerfield Beach, Fl. 33442

RE: Circle K's construction project in Big Coppitt Key (S.S. #1707), Monroe County, Fl.

Dear Mr. Webster:

After reviewing the proposed plans for your Circle K project in Big Coppitt Key, we find that they show adequate provision for solid waste and recycling management.

Note that in Big Coppitt Key, our franchise hauler Waste Management Inc., (305) 296-2825, is available to assist you in demolition/construction waste disposal, as well as solid waste and recycling management. Further, please forward to this office a confirmation of how many tons of demolition/construction waste was recycled in this project, along with the name and address of the materials processor where it was recycled.

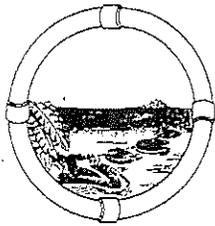
If you have any questions, please feel free to call me at (305) 292-4432.

Sincerely,

A handwritten signature in cursive script that reads 'Rosa Washington'.

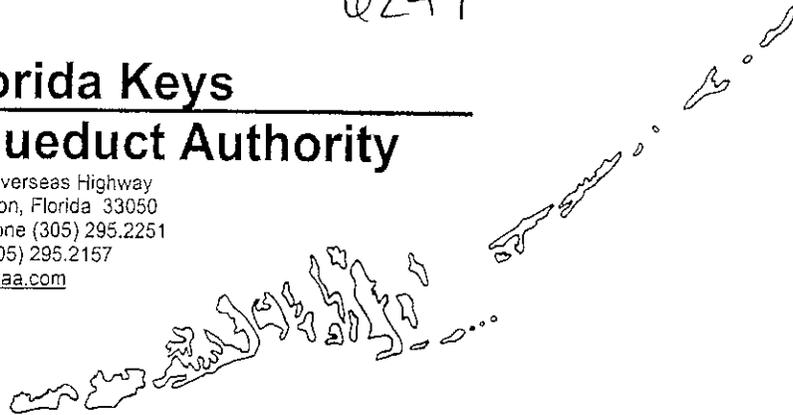
Rosa Washington
Sr. Administrator
Monroe County Public Works – Solid Waste

6249



Florida Keys Aqueduct Authority

3200 Overseas Highway
Marathon, Florida 33050
Telephone (305) 295.2251
Fax (305) 295.2157
www.fkaa.com



David C. Ritz
Chairman
Key Largo

Elena Z. Herrera
Vice-Chairman
Rockland Key

Rose M. Dell
Secretary/Treasurer
Big Pine Key

J. Robert Dean
Key West

Antoinette M. Appell
Marathon

James C. Reynolds
Executive Director

FACSMILE COVER SHEET

To: Amy From: Megan Hughes

Fax: 954-427-3420 Pages: 2

Phone: Date:

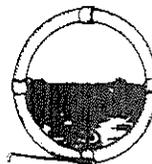
Re: cc:

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

● COMMENTS:

Please feel free to reach me at (305)295.2251 if you have any questions.

Florida Keys Aqueduct Authority



Megan Hughes
Sr. Customer Service Rep / Middle Keys
Customer Service Department

3200 Overseas Highway
Marathon, FL 33050

Office: 305.295.2251
Fax: 305.295.2157
mhughes@ikaa.com

ICS - [UBM200: Account Master Update]

File Edit Help

Account No	2210 036536 15	Path	
Name	CIRCLE K CORP#1707-M1015	Search Meter	48103359
Address 1.	C/O ACIS-MAIL STOP 468	Service Order No	0045156575
2.	PO BOX 36230	Customer No	860490422
City	LOUISVILLE St KY	Customer id	3653615
Zip/CARRIER	40233 6230	Phones	
Seq Name	CIRCLE K CORP #1707		
Serv Addr		US 1 & STATE RD	
Serv Zip	33040H	Geo Code	
Acct Desc Id	US 1 & STATE RD 941 TRACT "B"&		
E-Mail Addr	PORPOISE POINT SECT 2 BIG COPPITT KEY		

AT	AC	CC	SC	CR	Start	Dis Date	Final	Comments
c		02			12/15/86			
Tenant	PC	Acct Com	Flow Com	Cust Com				
1 of 1		06/02/01						
Alt	Pymt Arr	Crd Act	Scan Line	APP				
			11111111					
ServOrder								
12/29/05								

UPDATE

New Account	Repeat Section	Other Keys	Screen Keys	OK	Page Search	Print Screen	Exit
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MJH NUM

Account

Actions: Save Clear Delete Next ID Redisplay Write Letters 221003653615

Location	036536	US 1 & STATE RD SHARK KEY FL 33040	Past Due	\$0.00
Location	COMMERCIAL	Zone AREA 2	Current	\$0.00
			Unposted	\$147.35
			Account Balance	\$147.35

Mailing Address: 507105 - CIRCLE K CORP#1707-M1015
PO BOX 2440 SPOKANE WA USA 99210-2440

Circle K Stores, Inc.
12911 N. Telecom Pkwy.
Tampa, FL 33637
Phone 813 910 6800
Fax 813 910 6906



May 18th, 2009

State of Florida
Department of Transportation

Reference: Circle K – Store #1707
1190 Overseas Hwy
Big Coppit Key, FL 33040

To Whom It May Concern:

Please accept this letter as authorization for Bob Webster of MDM Services, Inc, to act as agent in correspondence and representation of all approval and permitting matters in relation to the Circle K location referenced above.

If you have any questions, please contact me at (813) 910-6800.

Sincerely,

A handwritten signature in cursive script that reads "Robert J. Kittleson".

Robert Kittleson
Assistant Secretary
Circle K Stores, Inc.
Florida Division

Subscribed and sworn to before me this 18th day of May, 2009.

Notary Public Frances I. Franconi
Seal

My Commission Expires:

NOTARY PUBLIC-STATE OF FLORIDA
Frances I. Franconi
Commission #DD763427
Expires: APR. 11, 2012
BONDED THRU ATLANTIC BONDING CO., INC.

RECEIVED
 JUN 3 9 2009
 BY: *[Signature]*

NO.	DATE	REVISION DESCRIPTION
1	2/24/08	REMOVE GENERAL

SITE ADDRESS:
SS# 1707
1190 OVERSEAS HWY
BIG COPPIT KEY, FL

SCALE: 1" = 20' - 0"	
DATE: 4/13/07	
DESIGNED BY:	
DRAWN BY: DJ	MDM JOB No. 624
CHECKED BY:	

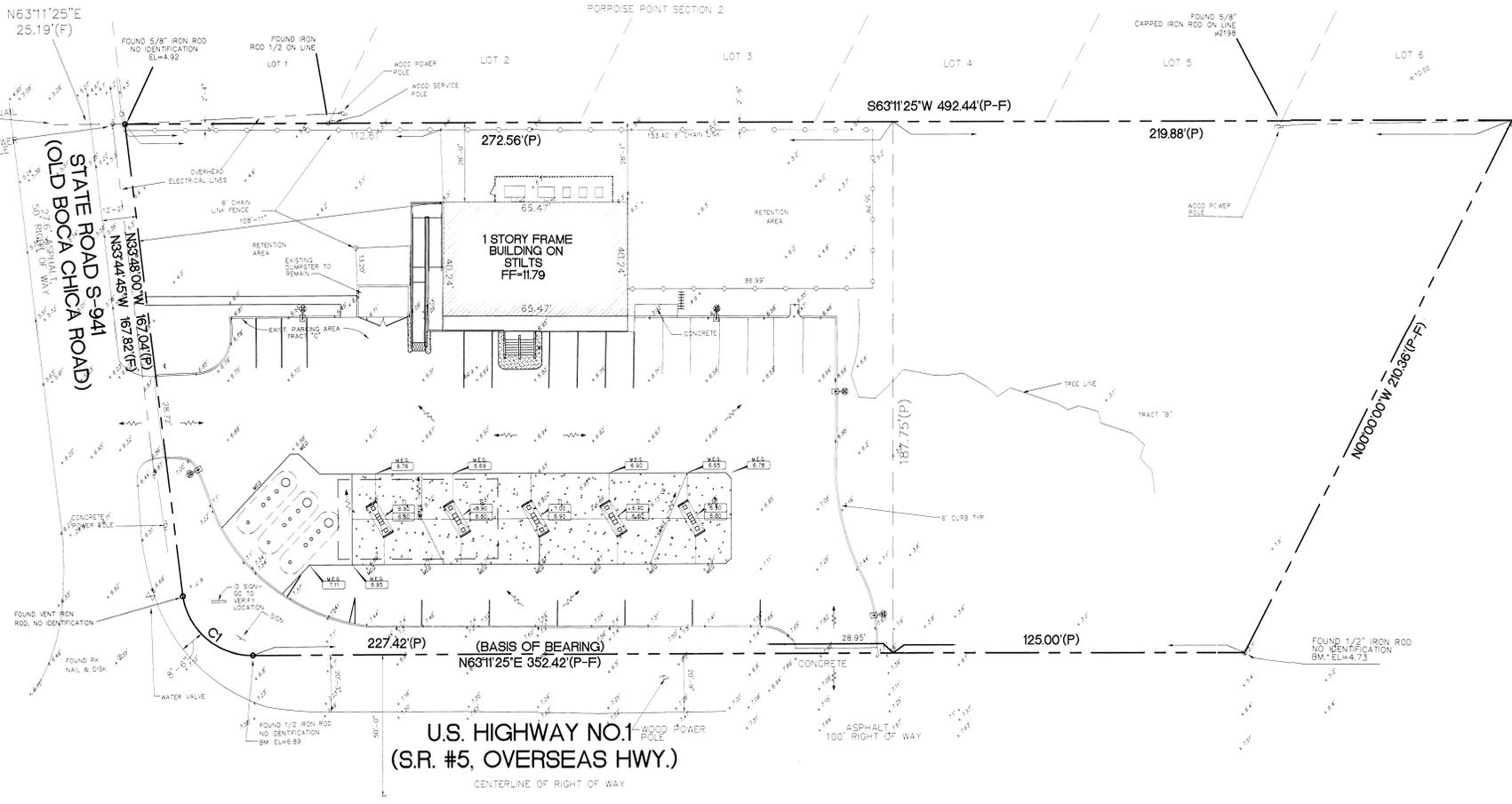
DRAWING TITLE:
GRADE PLAN
 SHEET NO.:
C-4

DRAINAGE NOTE:
 CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC. THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER/ AND/OR AUTHORITIES.
 A FILTER CLOTH SHALL BE PLACED AT THE SIDES AND BOTTOM OF THE UNDERLAND TANK EXCAVATION WITH A MINIMUM 4 FOOT LAP AT THE TOP, WHEN USING PEA-GRAVEL BACKFILL.
DRAINAGE INSPECTION:
 THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND GOVERNING AUTHORITIES 48 HOURS IN ADVANCE TO OBTAIN A DRAINAGE INSPECTION. THE DRAINAGE SYSTEM MUST BE INSPECTED PRIOR TO BACK FILLING.

DRAINAGE STATEMENT:
 EXISTING IMPERVIOUS AREA WILL NOT CHANGE WITH NEW DEVELOPED AREA STORM WATER RUN-OFF. STORM WATER RUN-OFF WILL CONTINUE TO FLOW AS EXISTING.

DRAINAGE LEGEND

100.00	PROPOSED ELEVATION
EXISTING SPOT ELEVATION TO REMAIN	
---	HAY BALE LOCATION
□	STORM INLET
→	DRAINAGE FLOW
M.S.L.	MATCH EXISTING GRADE

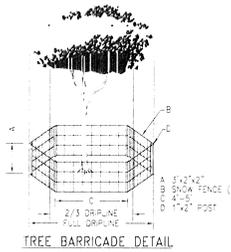


U.S. HIGHWAY NO.1
(S.R. #5, OVERSEAS HWY.)
 CENTERLINE OF RIGHT OF WAY

NOTES:

- SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN SPACES AND STANDARDS FOR NURSERY PLANTS TO LOCAL DEPT. OF AGRICULTURE SPACES AND STANDARDS CURRENTLY IN EFFECT.
- WATER AND IRRIGATION CONSERVATION, SEC. 2-4-45.
- OWNER TO WATER LANDSCAPE MATERIALS FOR THE PURPOSE OF WATERING IN PLANT MATERIALS AND TO MAINTAIN FOR THE FIRST FORTY-FIVE (45) DAYS AFTER INSTALLATION REQUIRED TO ESTABLISH PLANT MATERIALS.
- IF REQUIRED, ALL EXISTING TREES SHALL BE TRIMMED AS PER THE AMERICAN NATIONAL STANDARD (NURS. AND ASSOC.'S 1997) CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER & FLORIDA HOLLY FROM SITE.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION AS PER MARSHMOUTH ORDINANCE, VEGETATION REMOVAL REQUIREMENTS, LANDSCAPE ARCHITECT (72 HOURS) PRIOR TO CONSTRUCTION TO ENSURE LEAST AMOUNT OF DAMAGE TO EXISTING PRESERVED TREES AS REQUIRED INCLUDING ANY DEMOLITION.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS & NOxious PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- VEGETATION REMOVAL/TRANSPLANT PERMITS SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS.
- A PREPLANTING MEETING SHALL BE HELD WITH THE MONROE COUNTY PLANNING DEPARTMENT PRIOR TO ANY INSTALLATION.
- ALL TREES SHALL HAVE A WOOD RING WITH A MINIMUM 20% OF 1" MINIMUM OF 1" AND A DIAMETER OF 1-4" AROUND THEIR BASE. ALL WOOD SHOULD BE KEPT 1" FROM THE BASE OF ALL PLANT MATERIAL. MOUND BODIES SHALL BE A MINIMUM OF 1" WIDER THAN PLANTS (MEASURED FROM OUTSIDE EDGE OF FOUNDED).
- ALL SYNTHETIC BURIAL, SYNTHETIC STRING OR GROSS, OR FIRE BARRIERS SHALL BE REMOVED BEFORE ANY TREES ARE PLANTED. ALL SYNTHETIC TAPE (I.E. TACKING TAPE) MUST BE REMOVED FROM ALL PLANT MATERIALS PRIOR TO ANY INSPECTION. THE TOP ONE THIRD (1/3) OF ANY NATURAL BURIAL SHALL BE REMOVED OR COVERED WITH THE PLANTING HOLE BEFORE THE TREES ARE BACK FILLED.

- ALL PLANTING BED AREAS MUST HAVE A MINIMUM OF 1" OF PLANTING SOIL AND ALL SOILS MUST BE FREE OF NOxious PESTS AND DISEASE. ALL SOILS MUST BE TESTED AND FOUND TO BE FREE OF NOxious PESTS AND DISEASE. ALL SOILS MUST BE TESTED AND FOUND TO BE FREE OF NOxious PESTS AND DISEASE.
- GENERAL CONTRACTOR SHALL REMOVE EXISTING ASPHALT ROAD ROCK TO A MINIMUM DEPTH OF 12" AND REPLACE WITH 12" OF 3/4" SAND. LAYERS SHALL BE COMPACTED AND FINISHED TO MATCH EXISTING ADJACENT DRIVEWAYS.
- LANDSCAPE CONTRACTOR SHALL REMOVE EXISTING ASPHALT ROAD ROCK TO A MINIMUM DEPTH OF 12" AND REPLACE WITH 12" OF 3/4" SAND. LAYERS SHALL BE COMPACTED AND FINISHED TO MATCH EXISTING ADJACENT DRIVEWAYS.
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TREE BARRICADE NOTES:

- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS & NOxious PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- VEGETATION REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.

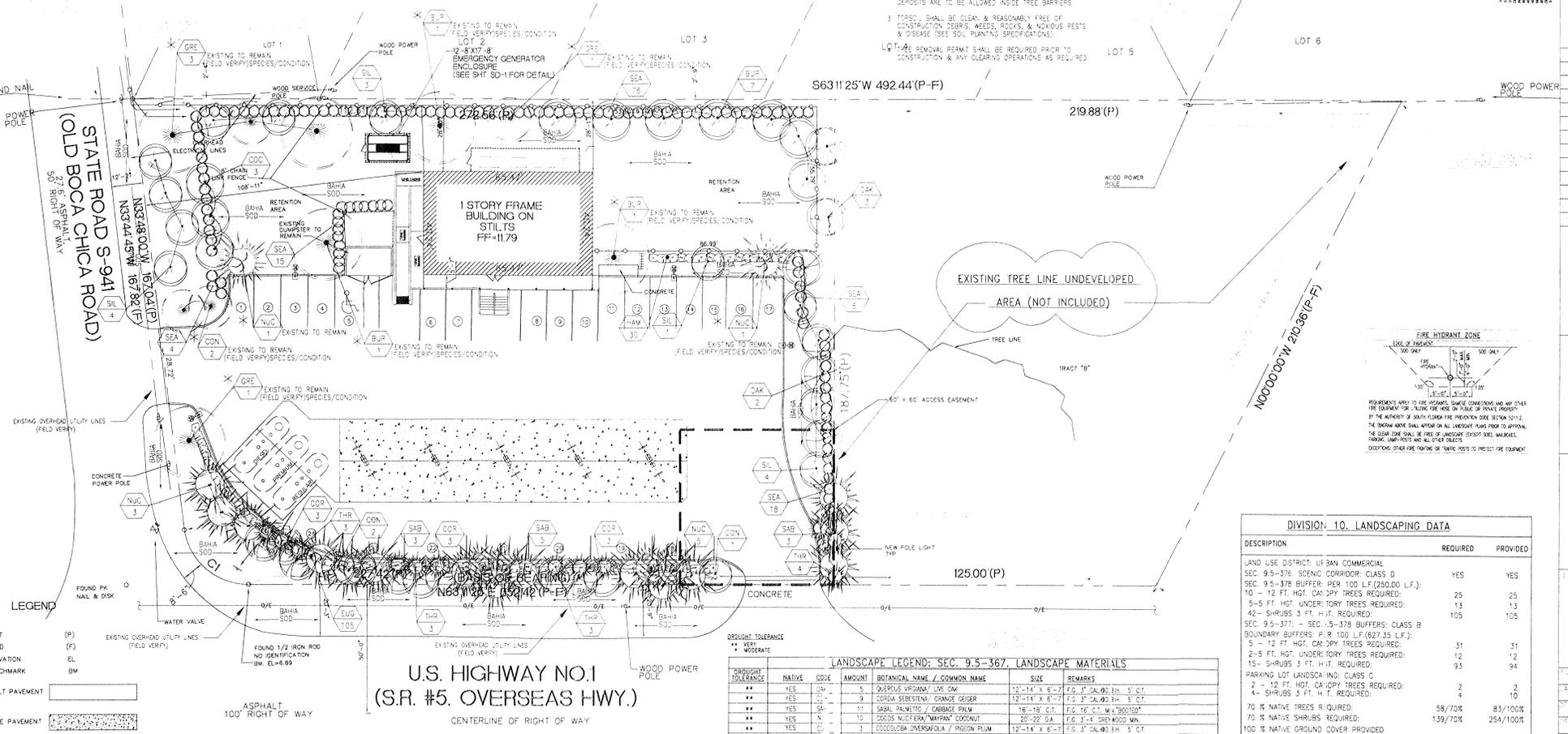
SITE DATA

ORLEANS FACILITY #1707
 1190 OVERSEAS HWY.
 BIG COPPET KEY
 SITE AREA = 81,303.78 SF = 1.87 AC.
 EXISTING STORE AREA 42'4" x 65'4" = 2,634.51 SF.
 EXISTING CANOPY (TO BE REMOVED) 13' x 107'48" = 1,384.69 SF.
 PROPOSED CANOPY = 28' x 139' = 3,892.00 SF.
 EXISTING CANOPY HAS THREE ISLANDS WITH ONE MULTIPLE PRODUCT DISPENSER (MFD) ON EACH ISLAND (3).
 PROPOSED CANOPY HAS FIVE ISLANDS WITH ONE MFD ON EACH ISLAND (5).
 FLOOR / AREA RATIO (FAR) = 0.15 (SITE AREA (81,303.78) = 12,195.57 MAX. ALLOWABLE BUILDING SQUARE FOOTAGE.
 SALES BUILDING 2,634.51 SF.
 NEW CANOPY 3,892.00 SF.
 OPEN SPACE RATIO REQUIRED = 0.21
 EXISTING / PROPOSED PERVIOUS AREAS (NON ASPHALT / CONCRETE / ROOFS) = 53,129.78 SF = 0.55 > 1.00 OK
 PARKING REQUIREMENTS = 11 SPACES / 1,000 SF. BUILDING AREA
 BUILDING AREA 2,634.51 SF = 2.63 x 10^3 = 18 SPACES
 24 SPACES PROVIDED

D. CLARKE ETT, LANDSCAPE ARCHITECT
 12723 W. FOREST HILL BLVD.
 SUITE 213
 WELLSINGTON, FL 33414
 (888) 888-8888
 WWW.DCLARKEETT.COM

CIRCLE K STORE
MDM Services, Inc.
 ENGINEERING & ENVIRONMENTAL
 F.L.E.# 14857
 501 N. READING ST., LAKELAND, FLORIDA
 PH: (883) 646-3100 FAX: (883) 646-3100
RECEIVED
 JUN 30 2009
 BY: [Signature]

PORPOISE POINT SECTION 2



U.S. HIGHWAY NO.1
 (S.R. #5. OVERSEAS HWY.)
 CENTERLINE OF RIGHT OF WAY

LANDSCAPE PLAN

SCALE: 1" = 20'

LANDSCAPE LEGEND: SEC. 9.5-367, LANDSCAPE MATERIALS

DROUGHT TOLERANCE	NATIVE	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
**	YES	OW	5	ORBEVOLA VIRGATA / LIVE OAK	12-14" x 6"	F.S. 3" CAL. 90 3H. 5' CT.
**	YES	OW	3	CORALA BREVIFLORA / ORANGE OLENDER	12-14" x 6"	F.S. 3" CAL. 90 3H. 5' CT.
**	YES	SA	11	SABAL PALMETTO / CARIBBEAN PALM	16-18" C.T.	F.S. 16" C.T. W/ "BOOTH"
**	YES	N	10	COCCOS NUCIFERA / MARIANA COCONUT	20-22" O.A.	F.S. 3-4" SH. WOOD MIN.
**	YES	OW	3	COCCOLUBA OREMSAOLA / PRINCE PLUM	12-14" x 6"	F.S. 3" CAL. 90 3H. 5' CT.
**	YES	BU	10	BURSERIA SIMARUBA / TAMBO LIME	12-14" x 6"	F.S. 3" CAL. 90 3H. 5' CT. (1-EXISTING TO REMAIN)
**	YES	OW	5	CONOCARPUS SERICEUS / SILVER BUTTWOOD	12-14" x 6"	F.S. 3" CAL. 90 3H. 5' CT. (2-EXISTING TO REMAIN)
**	YES	SL	12	CONOCARPUS SERICEUS / SILVER BUTTWOOD	5" HOT MIN.	15 GAL. MIN. FILL TO BASE
**	YES	OW	5	CONOCARPUS ERICOIDES / GREEN BUTTWOOD	18-24" HTS.	EXISTING TO REMAIN (FIELD VERIFY)
**	YES	OW	13	THORNTON TROPICAL / TROPICAL TROPIC PALM	8" HOT MIN.	25 GAL. MIN.
**	YES	HAW	30	HAMELIA NOBILIS / DWARF FIREBUSH	18"x18" 3 GAL	24" O.C.
**	YES	EL	105	EUGENIA FOENICIFOLIA / SPANISH STOPPER	36"x18" 3 GAL	24" O.C.
**	YES	SEA	119	COCCOLUBA VERRERA / SEAGRASS	36"x18" 3 GAL	AS SHOWN

DIVISION 10. LANDSCAPING DATA

DESCRIPTION	REQUIRED	PROVIDED
LAND USE DISTRICT: UF BAN COMMERCIAL		
SEC. 9.5-376 SCENIC CORRIDOR: CLASS D	YES	YES
SEC. 9.5-378 BUFFER: PER 100 L.F. (250.00 L.F.):		
10 - 12 FT. HOT. CANOPY TREES REQUIRED:	25	25
5-5 FT. HOT. UNDERORY TREES REQUIRED:	13	13
42- SHRUBS 3 FT. H.F. REQUIRED:	105	105
SEC. 9.5-377: - SEC. 15-378 BUFFERS: CLASS B		
BOUNDARY BUFFERS: PER 100 L.F. (527.35 L.F.):		
5 - 12 FT. HOT. CANOPY TREES REQUIRED:	31	31
2-5 FT. HOT. UNDERORY TREES REQUIRED:	12	12
15- SHRUBS 3 FT. H.F. REQUIRED:	93	94
PARKING LOT LANDSCAPING: CLASS C		
2 - 12 FT. HOT. CANOPY TREES REQUIRED:	2	2
4- SHRUBS 3 FT. H.F. REQUIRED:	4	10
70 % NATIVE TREES REQUIRED:	58/70%	83/100%
70 % NATIVE SHRUBS REQUIRED:	139/70%	254/100%
100 % NATIVE GROUND COVER PROVIDED		
*TOTAL TREES:	83	83
*TOTAL SHRUBS:	198	254

NOTE: ALL NEW TREES / PLANTS ALONG EXISTING OVERHEAD UTILITY LINES SHALL BE INSTALLED PER FBAL GUIDELINES IN PLANT THE RIGHT TREE IN THE RIGHT PLACE.
 * FIELD VERIFY EXISTING TREES TO REMAIN. IF NOT EXISTING OR IN POOR CONDITION REPLACE WITH SAME SPECIES. * REQUIRED 12-14" x 6" = 3" DIAMETERS

SS.# 1707
 1190 OVERSEAS HWY.
 BIG COPPET KEY, FL
 MONROE COUNTY
 SCALE: 1" = 20'-0"
 DATE: 4/13/07
 DRAWN: RBG/CBH
 CHECKED: RICK-BARTLETT
 PROJECT NO: 6249-CD
 SHEET NO: RBG/CBH
LANDSCAPE PLAN
 SHEET 2 OF 2
L-1

CLIENT:



CIRCLE K STORES

DESIGN TEAM TITLE:

MDM
Services, Inc.
ENGINEERING & ENVIRONMENTAL
F.L. E.S. #4857

501 W. PEACHTREE ST., LAKELAND, FLORIDA 33801
PH: (883) 644-2930 FAX: (883) 648-1120

RECEIVED
JUN 30 2009
BY: [Signature]

NO. DATE REVISION DESCRIPTION

JUN 16 2009
RICHARD E. MORRIS
FL. P.E. REG. #34748

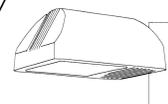
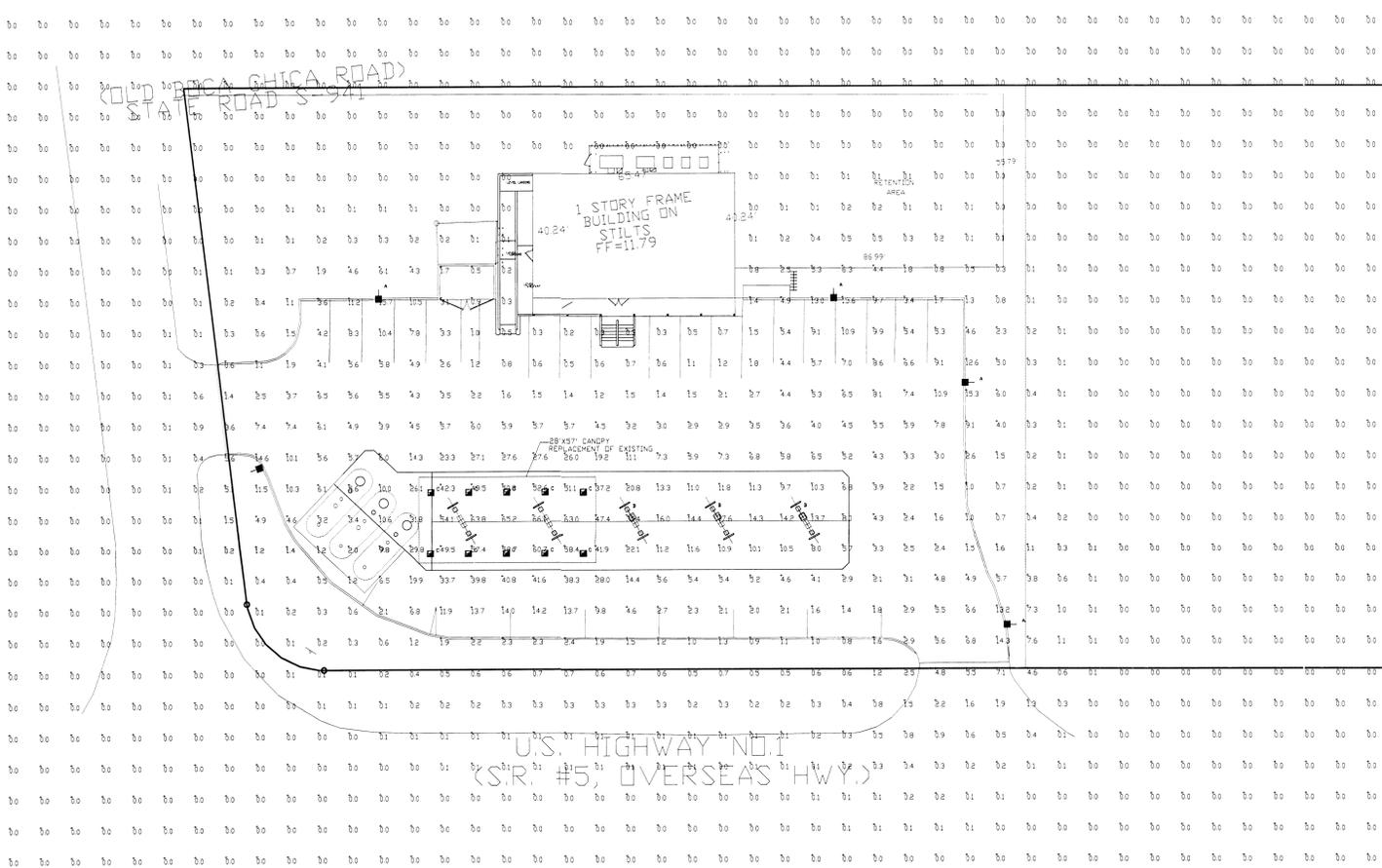
SITE ADDRESS:
S.S.# 1707
1190 OVERSEAS HWY
BIG COPPIT KEY, FL

SCALE:
DATE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
MCM JOB NO.
6249

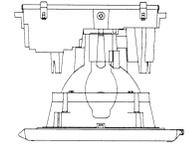
INDUSTRIES
LIGHTING PROPOSAL FOR
CIRCLE K #1707
1190 OVERSEAS HWY
BIG COPPIT KEY, FL

DATE: 06-15-09
SCALE: L0-8555-1
SHEET 1 OF 1

DRAWING TITLE:
PHOTOMETRICS
SHEET NO.
PH-1



**CHALLENGER
FLAT LENS
IESNA FULL CUTOFF**



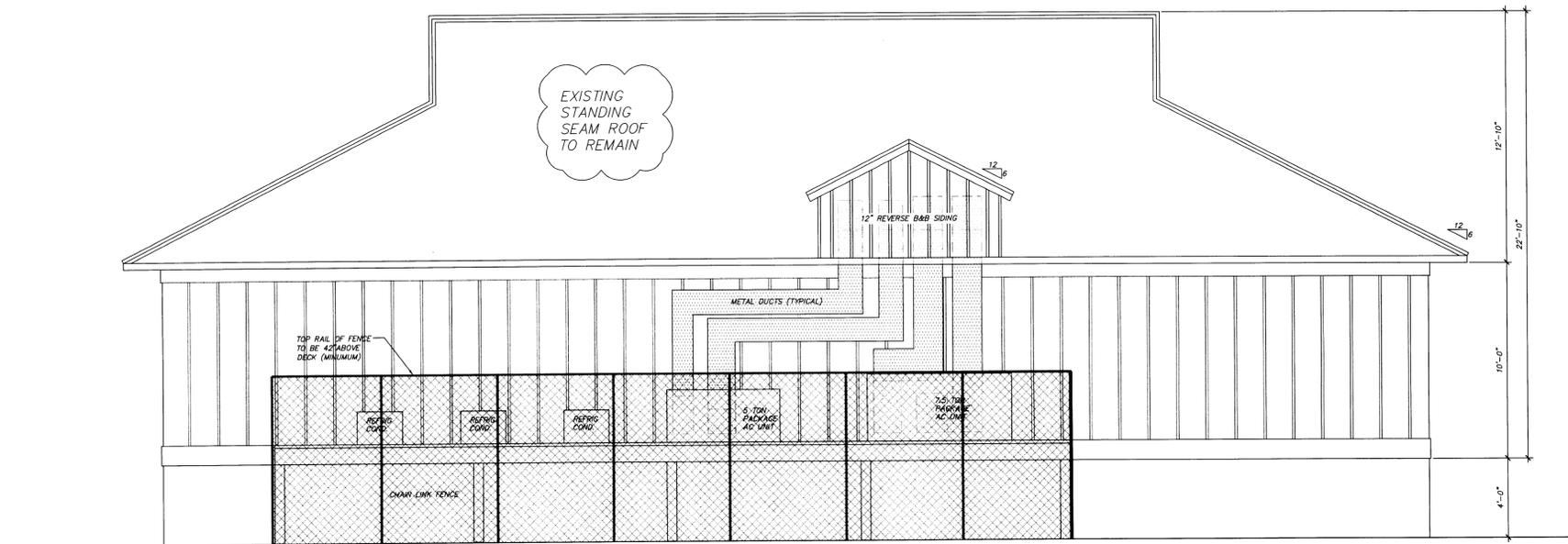
**ENCORE TOP ACCESS
FLAT LENS
IESNA FULL CUTOFF**

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	Total Watts
A	5	A	SINGLE	36800	0.700	CHH-FT-400-PSMH-F-S-14' POLE-3' BASE	432
B	3	B	SINGLE	36800	0.700	CHH-S-400-PSMH-F-S-14' POLE	432
C	10	C	SINGLE	34000	0.700	ECLA-S-280-PSHV-F	368

Label	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	242	661	0.0	NA	NA
CANDY	53.87	165.1	37.3	1.45	1.78
INSIDE CURB	7.32	41.6	0.2	36.60	209.00

Monitored Footcandle Levels

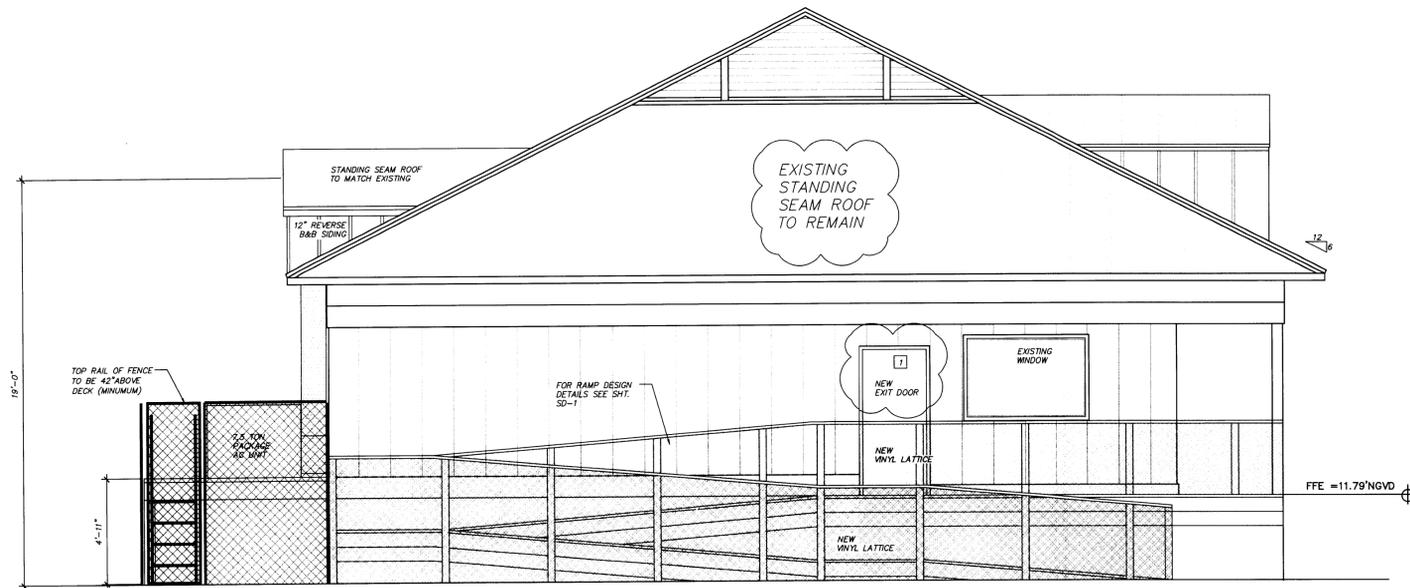
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting system represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance lamps and other variable field conditions.



SEE SHEET SD-1.1 FOR DETAILS

SOUTH ELEVATION

SCALE 1/4" = 1'-0"



SEE SHEET SD-1 FOR DETAILS

EAST ELEVATION

SCALE 1/4" = 1'-0"

CLIENT:



CIRCLE K STORES

DESIGN TEAM TITLE:

MDM
Services, Inc.

ENGINEERING & ENVIRONMENTAL
F.L. E.B. #4857
501 W. PEACHTREE ST., LAKELAND, FLORIDA 33815
PH: (863) 646-9130 FAX: (863) 648-1106

2	1-18-08	door/window PRESSURES
1	1-18-08	ROOF PRESSURES

NO.	DATE	REVISION DESCRIPTION
-----	------	----------------------

AUG 27 2009
RICHARD R. MORRIS
FL. P.E. #34778

SITE ADDRESS:

S.S.# 1707
1190 OVERSEAS HWY.
BIG COPPIT KEY, FL

SCALE: 1/4" = 1'-0"

DATE: 03/14/07

DESIGNED BY:

DRAWN BY: T.S. MDM JOB No. 6249

CHECKED BY:

DRAWING TITLE:

MECHANICAL DECK ELEVATIONS

SHEET NO.:

A-21

RECEIVED
AUG 28 2009
BY: 290666

CLIENT:



CIRCLE K STORES

DESIGN TEAM TITLE:

MDM
Services, Inc.
ENGINEERING & ENVIRONMENTAL

F.L. E.B. #4857

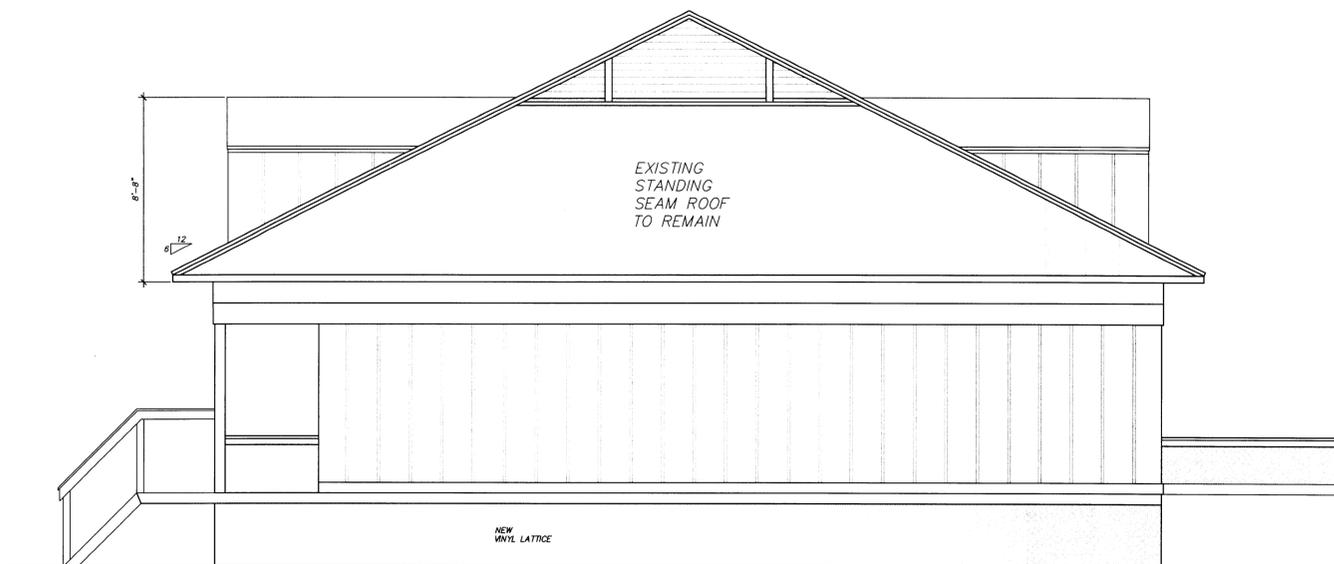
501 W. PEACHTREE ST., LAKELAND, FLORIDA 33815
PH: (863) 646-9130 FAX: (863) 646-1106



SEE SHEET SD-1.1 FOR DETAILS

NORTH ELEVATION

SCALE 1/4" = 1'-0"



WEST ELEVATION

SCALE 1/4" = 1'-0"

BUILDING INFORMATION		Windloadcalc.com® Your Window to Success		JOB INFORMATION																																													
Wind Velocity (mph)	150	ABCE 7-02 www.windloadcalc.com 2003 - 2006 Copyright © Walls Program	Job Number	1707																																													
Building Category	II Hurricane		Client's Name	CIRCLE K																																													
Importance Factor	1		Owner's Name	Circle K																																													
Exposure	C		Address	1190 OVERSEAS HWY BIG COPPIT KEY																																													
Internal Pressure	Enclosed		TOPOGRAPHIC FACTOR																																														
Mean Roof Height (ft)	19.6		Roof Shape	Flat - No Hill																																													
Building Width (ft)	40.1		H ₁ (ft)	0.0																																													
Building Length (ft)	65.5		L ₁ (ft)	0.0																																													
Roof Slope (α/12)	6.0		x ₁ (ft)	0.0																																													
Roof Angle (degrees)	26.57		z ₁ (ft)	0.0																																													
(α) Edge Slope (ft)	4.01	WIND LOAD DESIGN INFORMATION																																															
Wind Zone (ft)	0.03	ITEM	OPENING TYPE	ZONE	ELEVATION (feet)	WIDTH (feet)	HEIGHT (feet)	EFFECTIVE WIND AREA (sqft)	NOM Manufacturer Series Number	NOA Approval Number	Minimum Pressure Per NOA	MAXIMUM POSITIVE PRESSURE (psf)	MAXIMUM NEGATIVE PRESSURE (psf)																																				
<table border="1"> <tbody> <tr> <td>1</td> <td>Single Door</td> <td>4</td> <td>7.3</td> <td>3.0</td> <td>7.0</td> <td>21</td> <td>L.M.I.</td> <td>05-0829.08</td> <td>70.0</td> <td>49.1</td> <td>-53.4</td> </tr> <tr> <td>2</td> <td>Double Door</td> <td>4</td> <td>7.3</td> <td>6.0</td> <td>7.0</td> <td>42</td> <td>L.M.I.</td> <td>05-0829.08</td> <td>70.0</td> <td>46.7</td> <td>-51.1</td> </tr> <tr> <td>3</td> <td>Other</td> <td>4</td> <td>9.5</td> <td>2.0</td> <td>3.6</td> <td>9</td> <td>L.M.I.</td> <td>05-0906.05</td> <td>87.0</td> <td>51.5</td> <td>-55.9</td> </tr> </tbody> </table>														1	Single Door	4	7.3	3.0	7.0	21	L.M.I.	05-0829.08	70.0	49.1	-53.4	2	Double Door	4	7.3	6.0	7.0	42	L.M.I.	05-0829.08	70.0	46.7	-51.1	3	Other	4	9.5	2.0	3.6	9	L.M.I.	05-0906.05	87.0	51.5	-55.9
1	Single Door	4	7.3	3.0	7.0	21	L.M.I.	05-0829.08	70.0	49.1	-53.4																																						
2	Double Door	4	7.3	6.0	7.0	42	L.M.I.	05-0829.08	70.0	46.7	-51.1																																						
3	Other	4	9.5	2.0	3.6	9	L.M.I.	05-0906.05	87.0	51.5	-55.9																																						

NO.	DATE	REVISION DESCRIPTION
1	1-18-08	door/window PRESSURES

AUG 27 2009
RICHARD R. MORRIS
FL. P.E. REG # 34748

SITE ADDRESS:
S.S.# 1707
1190 OVERSEAS HWY.
BIG COPPIT KEY, FL

SCALE: 1/4" = 1'-0"
DATE: 03/14/07
DESIGNED BY:
DRAWN BY: T.S. MDM JOB No. 6249
CHECKED BY:
DRAWING TITLE:

ELEVATIONS

SHEET NO.:

A-2

RECEIVED
AUG 28 2009
BY: [Signature]

BOUNDARY SURVEY

TRACTS B & C, PORPOISE POINT SECTION 2 PLAT BOOK 5, PAGE 111 MONROE COUNTY, FLORIDA.

LEGAL DESCRIPTION:

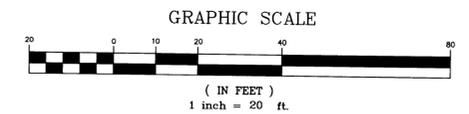
TRACT B AND TRACT C, PORPOISE POINT SECTION TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111 OF THE PUBLIC RECORDS OF MONROE COUNTY FLORIDA. SAID LANDS LYING IN BIG COPPIT KEY, MONROE COUNTY FLORIDA.

SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON/OR ADJACENT TO THIS SITE.
3. LANDS SHOWN HEREON WERE SURVEYED WITHOUT BENEFIT OF TITLE SEARCH.
4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF S.63°11'25"W. ALONG THE CENTERLINE OF U.S. HIGHWAY NO. 1.
5. THIS SITE LIES IN FLOOD ZONE 'AE' (BASE ELEVATION 10.0') AS SCALED AND INTERPOLATED ON FEMA MAP NO. 12087C-1532-K, DATED: FEBRUARY 18, 2005.
6. ELEVATIONS SHOWN HEREON ARE BASED ON FOUND NATIONAL OCEANIC SURVEY BENCHMARK "4489H-1986" ELEVATION 6.88' AND ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
7. LEGAL DESCRIPTION FURNISHED BY CLIENT.
8. SITE AREA: 81,286.55 SQUARE FEET OR 1.866 ACRES MORE OR LESS.

CERTIFICATIONS:

1. MDM SERVICES, INC.



SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS IN CHAPTER 61C17-6, FLORIDA STATUTES, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER.

RECEIVED
AUG 28 2009
BY: 29066

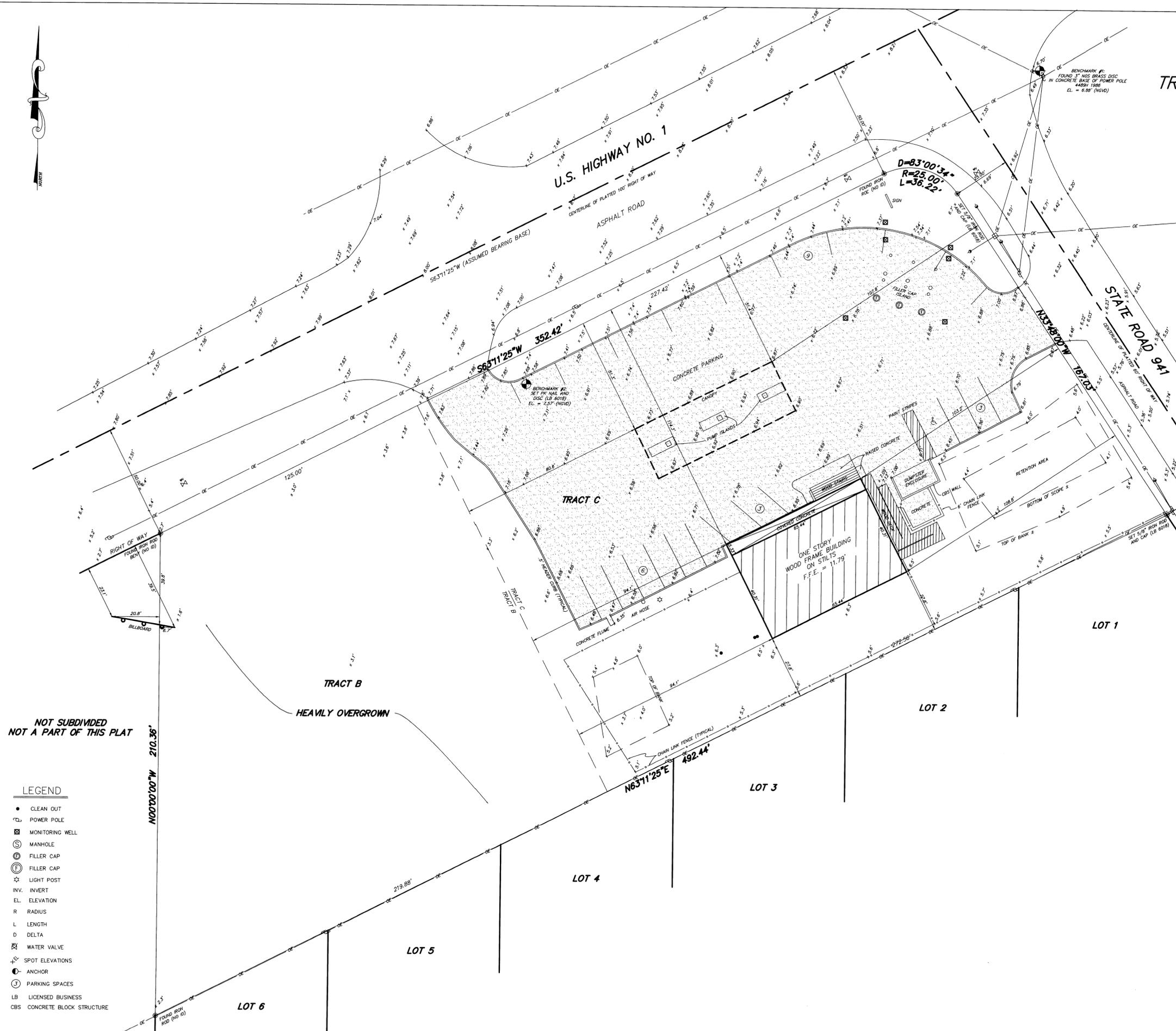
ROBERT BLOOMSTER JR.
PROFESSIONAL LAND SURVEYOR
NO. 4134 STATE OF FLORIDA

BLOOMSTER
PROFESSIONAL LAND
SURVEYORS, INC.
L.B. #6018

791 NORTHEAST DIXIE HIGHWAY
JENSEN BEACH, FLORIDA 34957
PHONE 772-334-0868

PREPARED FOR: CIRCLE K
1190 US 1 & SR 941
BIG COPPIT KEY, MONROE COUNTY, FLORIDA

SHEET 1 OF 1		
DRAWN BY: FJY		
SCALE: 1" = 20'		
FIELD WORK COMPLETED: 11-9-06		
FIELD BOOK: SKETCH		
JOB NO. 9872		
REVISIONS		
DATE:	DESCRIPTION:	BY:
8/21/09	BILLBOARD LOC.	DPK



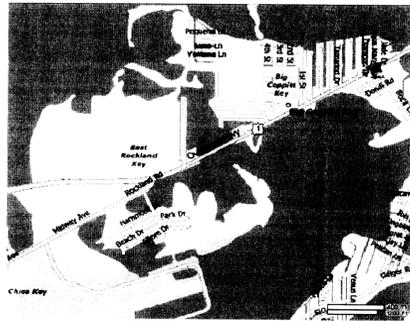
**NOT SUBDIVIDED
NOT A PART OF THIS PLAT**

LEGEND

- CLEAN OUT
- ⊕ POWER POLE
- ⊗ MONITORING WELL
- ⊙ MANHOLE
- ⊕ FILLER CAP
- ⊖ FILLER CAP
- ★ LIGHT POST
- ∩ INV. INVERT
- EL. ELEVATION
- R RADIUS
- L LENGTH
- Δ DELTA
- ⊗ WATER VALVE
- ⊕ SPOT ELEVATIONS
- ⊙ ANCHOR
- ⊙ PARKING SPACES
- LB LICENSED BUSINESS
- CBS CONCRETE BLOCK STRUCTURE

LEGAL DESCRIPTION

TRACT B AND TRACT C, "PORPOISE POINT SECTION TWO" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111 OF THE PUBLIC RECORDS OF MONROE COUNTY FLORIDA. SAID LANDS LYING IN BIG COPPITKEY, MONROE COUNTY FLORIDA.



LOCATION MAP

SITE DATA

CIRCLE K FACILITY #1707
 1190 OVERSEAS HWY.
 BIG COPPIT KEY
 SITE AREA = 81,303.78 S.F. = ±1.86 AC.
 EXISTING STORE AREA 40.24' X 65.47' = 2,634.51 S.F.
 EXISTING CANOPY (TO BE REMOVED) 23'-10" X 66'-6" = 1584.69 S.F.
 PROPOSED CANOPY = 28' X 130'-10" = 3,663.3 S.F.
 EXISTING CANOPY HAS THREE ISLANDS WITH ONE MULTIPLE PRODUCT DISPENSER (MPD) ON EACH ISLAND (3).
 PROPOSED CANOPY HAS FIVE ISLANDS WITH ONE MPD ON EACH ISLAND (5).
 FLOOR / AREA RATIO (FAR) = 0.15 X SITE AREA (81,303.78) = 12,195.57
 MAX. ALLOWABLE BUILDING SQUARE FOOTAGE
 SALES BUILDING 2,634.51 S.F.
 NEW CANOPY 3,663.3 S.F.
 6,297.81 S.F. <12,195.57 \ OK
 OPEN SPACE RATIO REQUIRED = 0.20
 EXISTING / PROPOSED PERVIOUS AREAS (NON ASPHALT / CONCRETE / ROOFS)
 = 53,109.78 S.F. = 0.65 > 0.20 \ OK
 81,303.78 S.F.
 PARKING REQUIREMENTS - 4 SPACES / 1000 S.F. BUILDING AREA
 BUILDING AREA: 2,634.51 S.F. = 2.63 X 4 = 11 SPACES
 1,000 S.F.
 16 SPACES PROVIDED.
 LAND USE CATEGORY = SUBURBAN COMMERCIAL (SC)

RETANK (FIBERGLASS IN FIBERGLASS)

- CONTRACTORS PREPARATION**
1. COMPLETE ANY NECESSARY SITE ASSESSMENT
 2. PRECISION TEST OF TANK(S)
 3. CHECK WATER TABLE LEVEL
 4. WATER TO BOTTOM OF TANKS, IF NECESSARY
 5. UNCOVER TANKS TO TOP OF TANKS
 6. ARRANGE TO HAVE TANKS EMPTIED AND CLEANED OUT
 7. DISCONNECT AND REMOVE PIPING, ELECTRICAL
 8. EXPOSE TOP 4' FEET OF TANK RADIUS AT ONE END
 9. BARRICADE AROUND AREA
 10. GET NECESSARY PERMITS
 11. ENSURE ACCESS FOR CSI TRUCK NEXT TO EXCAVATION (24HOURS)
 12. PROVIDE 85 C.F.M. COMPRESSOR
 13. PROVIDE SECURE AREA FOR MATERIALS, EQUIPMENT
 14. PROVIDE BACKHOE AND CERTIFIED OPERATOR FOR MATERIALS OFF TRUCK DURING ARRIVAL AND INSTALLING PANELS
- IF YOU HAVE ANY FURTHER QUESTIONS, PLEASE CALL FIELD SERVICE
 PHONE: 800-822-1997
 FAX: 814-542-5020

UNDERGROUND TANKS : 'RE-TANK'

1. G.C. TO DE-WATER IF APPLICABLE AND PREP EXCAVATED AREA FOR INSTALLATION OF U.G. TANKS AND PIPING.
2. EXISTING UNDERGROUND PRODUCT STORAGE TANKS TO REMAIN. TYP. OF (3). TEST EXISTING PRODUCT PIPING AND REMOVE/REPLACE WHERE NEEDED FROM EXIST. TANKS TO PUMP ISLANDS AS REQUIRED.
3. REMOVE DISPENSER SUMPS AND DISPENSERS. G.C. TO DISPOSE OF PER STATE AND LOCAL REQUIREMENTS.
4. GC TO INSTALL NEW CONTAINMENT SOLUTIONS FIBERGLAS TANKS INSIDE OF THE EXISTING S.W. U.G. TANKS AS SHOWN ON SITE PLAN AND HESS SPECIFICATIONS.

SCOPE OF WORK

1. DEMOLISH AND REMOVE EXISTING:
 - A. FUEL ISLAND CANOPY & FOUNDATIONS
 - B. DISPENSERS, FUEL ISLANDS & PRODUCT PIPING
 - C. TANK SLAB (PARTIAL) AND STP SUMPS
 - D. EXISTING WOOD FRAME RAMP & STAIRS TO BUILDING
2. FORM & POUR NEW FOUNDATIONS FOR FUTURE CANOPY*. INSTALL NEW AT GRADE FUEL ISLANDS, D/W PRODUCT PIPING, S/W F/G VENT PIPING, DISPENSERS, ISLAND BOLLARDS AND LIGHTING.
 - *FUTURE INSTALLATION UNDER SEPARATE PERMIT PENDING NROGO APPROVAL.
3. RETRO-FIT ("RE-TANK") ---SEE DETAILS THIS SHEET) EXISTING S/W F/G U/G TANKS WITH NEW PRIMARY INTERIOR TANK. INSTALL NEW STP SUMPS & MANWAYS. INSTALL NEW INTERSTITIAL TANK MONITOR, GAUGE, VAPOR & FILLS W/SPILL CONTAINMENT MANHOLES.
- 3B. RE-CONFIGURE STORAGE & PRODUCTS TO ADD DIESEL AND ELIMINATE MID-GRADE FUEL
4. INSTALL NEW EMERGENCY GENERATOR, DRIVEWAY AREA LIGHTING, BUILDING STAIRS & ADA RAMP, LANDSCAPING AND RELATED MISC. SITE IMPROVEMENTS AS DETAILED HERE-IN.

ENGINEERING FIRM

M.D.M. ENGINEERING
 LIC. No. EB 4857
 501 W. PEACHTREE STREET
 LAKELAND, FLORIDA 33815
 (863) 646-9130
 MDM ENGINEERS

OWNER:

CIRCLE K STORES, INC.
 12911 N. TELECOM PARKWAY
 TAMPA, FL. 33637

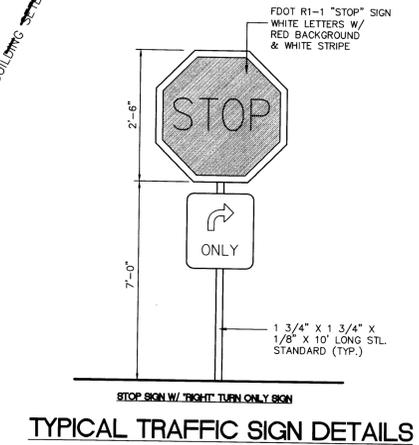
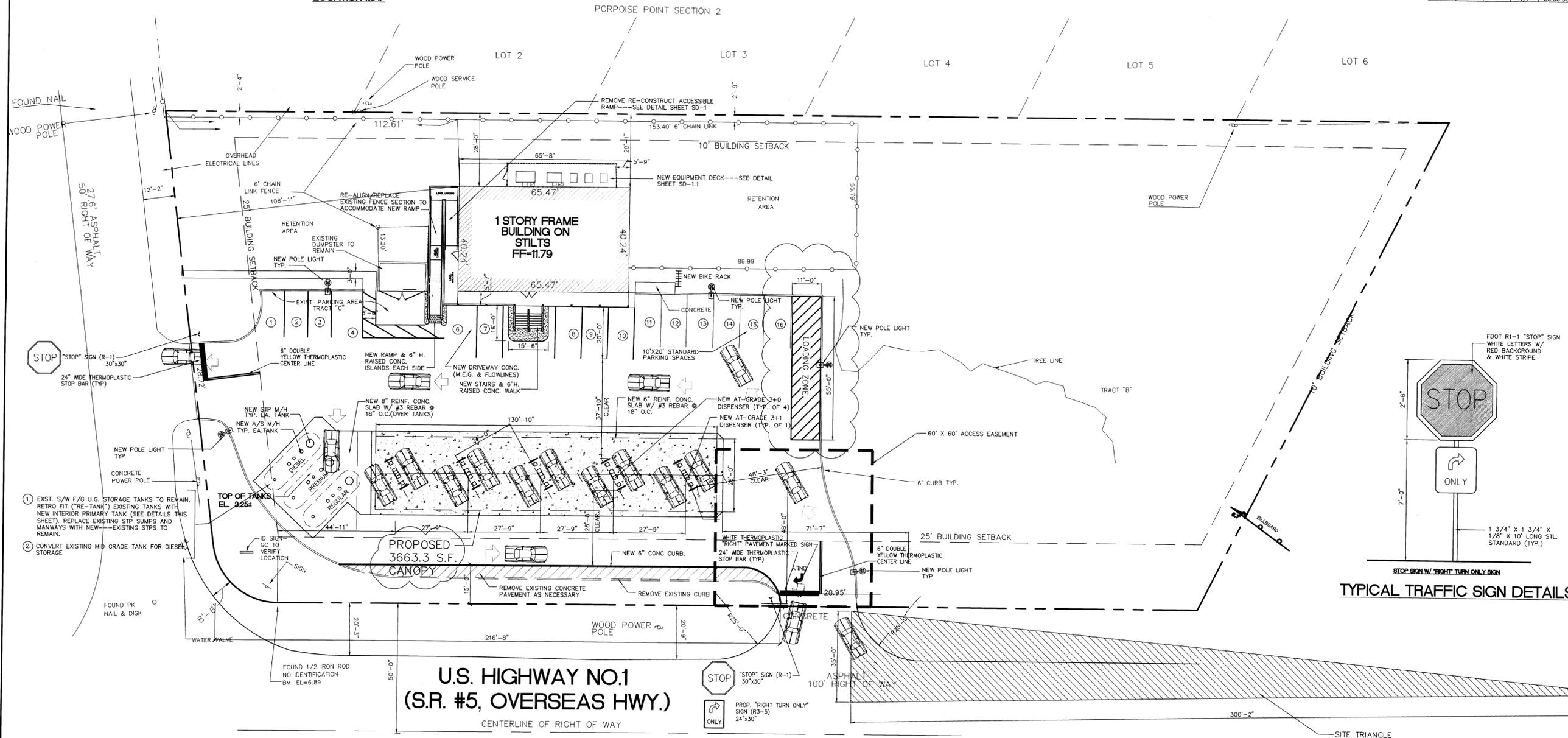
CLIENT: 
CIRCLE K STORES
 DESIGN TEAM TITLE:
MDM Services, Inc.
 ENGINEERING & ENVIRONMENTAL
 F.L.E.B. #4857
 501 W. PEACHTREE ST., LAKELAND, FLORIDA 33815
 PH: (863) 646-9130 FAX: (863) 646-1106

CURVE DATA FIELD

CURVE	RADIUS	LENGTH	CHORD	DELTA	CHR BRG
C1	25.00	35.58	32.65	81°32'59"	N76°25'58"W

CURVE DATA PLAT

CURVE	RADIUS	LENGTH	CHORD	DELTA	CHR BRG
C1	25.00	36.22	N/A	83°00'35"	N/A



NO.	DATE	REVISION DESCRIPTION
1	12/24/08	REMOVE GENERATOR

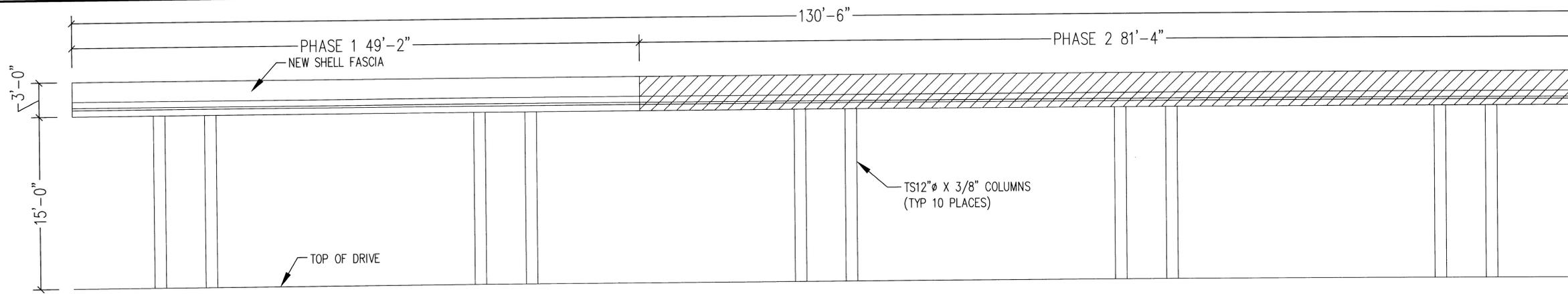
AUG 27 2009
 RICHARD L. MORRIS
 FL. P.E. REG. # 3748

SITE ADDRESS:
S.S.# 1707
 1190 OVERSEAS HWY.
 BIG COPPIT KEY, FL

SCALE: 1"=20'-0"
 DATE: 4/13/07
 DESIGNED BY:
 DRAWN BY: DJ MDM JOB No. 6249
 CHECKED BY:

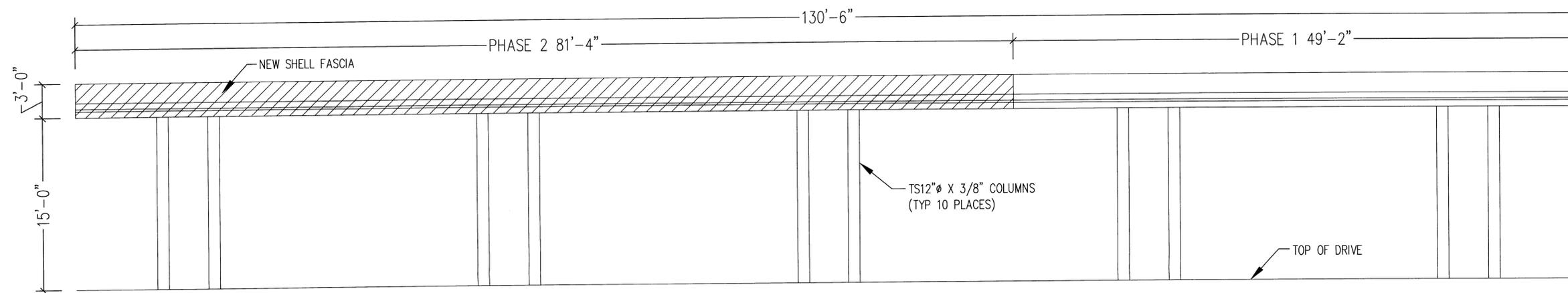
SITE PLAN
 SHEET NO.: **C-2**

RECEIVED
 AUG 28 2009
 BY: 29864



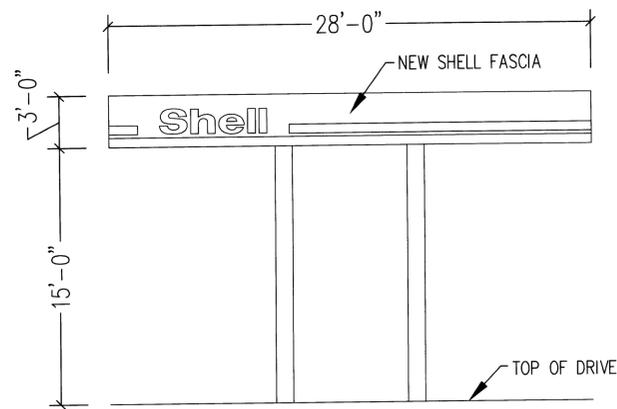
NORTH SIDE

SCALE: 3/32" = 1'-0"



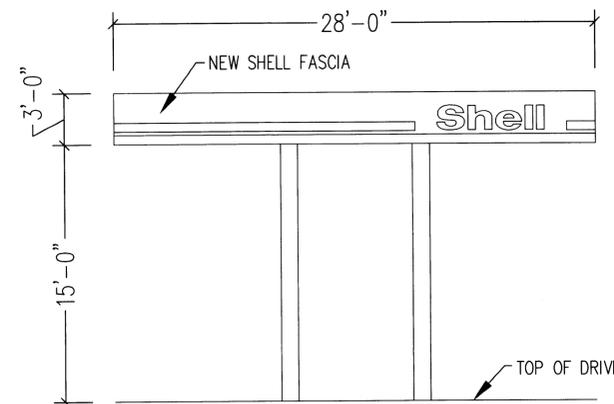
SOUTH SIDE

SCALE: 3/32" = 1'-0"



EAST SIDE

SCALE: 3/32" = 1'-0"



WEST SIDE

SCALE: 3/32" = 1'-0"

CANOPY ELEVATIONS

 = AREA OF PHASE 2

RECEIVED
AUG 28 2009
BY: 29066

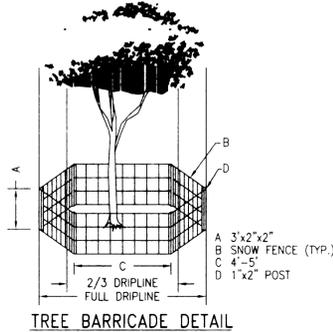
BEST INDUSTRIES INC.		
7485 COMMERCIAL CIRCLE * FT. PIERCE, FL 34951		
SCALE: 3/32" = 1'-0"	APPROVED BY:	DRAWN BY: D.A.G.
DATE: 08/27/09		SHEET # C-03
DESCRIPTION: 28' X 49'-2" & 28' X 81'-4"		DWG. FILE NAME: 07-193 C-03
CIRCLE K SS #1707 1190 OVERSEAS HWY		JOB NUMBER: 07-193
		BIG COPPIT KEY, FL

ALL IDEALS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF BEST INDUSTRIES AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEALS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BEST INDUSTRIES.

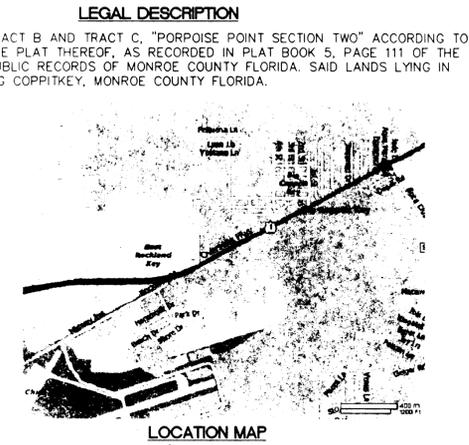
NOTES:

- SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
- ALL PLANT MATERIAL SHALL BE FLORIDA # 1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA DEPT. OF AGRICULTURE GRADES AND STANDARDS' CURRENT EDITION RESPECTIVELY.
- WATER AND IRRIGATION CONSERVATION: SEC. 2.4-45.**
OWNER TO WATER LANDSCAPE MATERIALS FOR THE PURPOSE OF WATERING IN NEWLY PLANTED GRASS AND FOLIAGE FOR THE FIRST FORTY-FIVE (45) DAYS AFTER INITIAL INSTALLATION REQUIRED TO ESTABLISH PLANT MATERIALS.
- IF REQUIRED, ALL EXISTING TREES SHALL BE TRIMMED AS PER "THE AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-1995" CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER & FLORIDA HOLLY FROM SITE.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION AS PER "MARATHON" ORDINANCE. VEGETATION REMOVAL REQUIREMENTS NOTIFY LANDSCAPE ARCHITECT (72 HOURS) PRIOR TO CONSTRUCTION TO ENSURE LEAST AMOUNT OF DAMAGE TO EXISTING PRESERVED TREES AS REQUIRED INCLUDING ANY DEMOLITION.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- VEGETATION TREE REMOVAL/TRANSPLANT PERMITS SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS.
- A PRE-PLANTING MEETING SHALL BE HELD WITH THE "MONROE COUNTY" PLANNING DEPARTMENT PRIOR TO ANY INSTALLATION.
- ALL TREES SHALL HAVE A MULCH RING WITH A MINIMUM DEPTH OF 2" MAXIMUM OF 3" AND A DIAMETER OF 3'-4" AROUND THEIR BASE. ALL MULCH SHOULD BE KEPT 2" FROM THE BASE OF ALL PLANT MATERIAL. MULCH BEDS SHALL BE A MINIMUM OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE EDGE OF FOLIAGE).
- ALL SYNTHETIC BURLAP, SYNTHETIC STRING OR CORDS, OR WIRE BASKETS SHALL BE REMOVED BEFORE ANY TREES ARE PLANTED. ALL SYNTHETIC TAPE (E.G. TAGGING TAPE, NURSERY TAPE) SHALL BE REMOVED FROM TRUNKS, BRANCHES, ETC. BEFORE INSPECTION. THE TOP ONE THIRD (1/3) OF ANY NATURAL BURLAP SHALL BE REMOVED OR TUCKED INTO THE PLANTING HOLE BEFORE THE TREES ARE BACK FILLED.

- ALL PLANTING BED AREAS MUST HAVE A MINIMUM OF 6" OF PLANTING SOIL AND ALL SLOPED AREAS SHALL HAVE 2" OF PLANTING SOIL. THE PLANTING SOIL SHALL BE 50% MULCH AND 50% SAND, UNLESS FIELD OBSERVATION AND SOIL ANALYSIS DICTATES A DIFFERENT COMPOSITION.
- GENERAL CONTRACTOR SHALL REMOVE EXISTING ASPHALT, ROAD ROCK TO A MIN. DEPTH OF 30" IN ALL LANDSCAPE AREAS AS REQUIRED. GENERAL CONTRACTOR SHALL REPAIR EXISTING CURBING ASPHALT EXISTING BERMS DUE TO TREE REMOVALS. IF THE ABOVE ARE DAMAGED AS REQUIRED GENERAL CONTRACTOR SHALL REMOVE ANY & ALL CONSTRUCTION DEBRIS AND PROVIDE CLEAN NATIVE SOILS AND FILL WITH THE SPECIFIED BACK FILL MIXTURE. (SEE SOIL PLANTING SPECIFICATIONS)
- LANDSCAPE CONTRACTOR TO REPLACE ALL DEAD OR MISSING SOD ON SITE WITH "BAHIA" SOLID SOD (FIELD VERIFY) PROVIDE ALT. PRICE TO OWNER IF REQUIRED.
- LANDSCAPE CONTRACTOR TO RETURN TO JOB SITE 12 MONTHS AFTER TREE BRACING AND REMOVE ALL TREE BRACES.
- ALL LANDSCAPE MATERIALS SHALL BE CLEAR 7 1/2 FT. IN FRONT & SIDES WITH 4 FT. IN REAR AROUND ALL FIRE HYDRANTS, CHECK VALVES, FIRE DEPT. EQUIPMENT, ETC. AS REQUIRED.
- BAHIA SOD SHALL BE INSTALLED IN ANY ADJACENT/RIGHT-OF-WAY, BETWEEN SIDEWALKS AND CURBS. (FIELD VERIFY)
- PRIOR TO THE ISSUANCE OF CO, EXISTING TREES PRESERVED OR RELOCATED ON-SITE SHALL BE PRUNED ACCORDING TO ANSI A300 STANDARDS BY AN ISA CERTIFIED ARBORIST.
- LANDSCAPE CONTRACTOR TO PROVIDE HEDGE SCREENING FOR AIR CONDITIONERS, PUMPS, TRANSFORMERS, BACKFLOW PREVENTORS, ETC. WITH APPROVED HEDGES IN ALL LANDSCAPED AREA AS REQUIRED AT 24" HEIGHT.
- ALL NEW TREES & PALMS SHALL HAVE A 15 FT. MIN. CLEARANCE FROM LIGHT POLES AT TIME OF INSTALLATION AS REQUIRED.
- KERSAPE PRINCIPLES SHALL BE APPLIED TO ALL SITES AS SPECIFIED IN "SOUTH FLORIDA WATER MANAGEMENT DISTRICT KERSAPE PLANT GUIDE II" AS REQUIRED.



- TREE BARRICADE NOTES:**
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
 - NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
 - TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
 - TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.



LEGAL DESCRIPTION

TRACT B AND TRACT C, "PORPOISE POINT SECTION TWO" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111 OF THE PUBLIC RECORDS OF MONROE COUNTY FLORIDA. SAID LANDS LYING IN BIG COPPITKEY, MONROE COUNTY FLORIDA.

RICHARD BARTLETT LANDSCAPE INC.
12773 W. FOREST HILL BLVD., STE. 213
WELLINGTON, FL 33414
TEL: (561) 795-0443 FAX: (561) 791-7429
LANDSCAPE ARCHITECTURE LICENSE #002600352
LANDSCAPE/IRRIGATION CONSTRUCTION
CARL B. HIGGINS RLA#001436 ASLA
EMAIL - planner@belsouth.com

CIRCLE K STORES
DESIGN TEAM TITLE:
MDM Services, Inc.
ENGINEERING & ENVIRONMENTAL
F.L. E.B. #4857
501 W. PEACHTREE ST., LAKELAND, FLORIDA 33815
PH. (863) 646-9130 FAX. (863) 648-1108

OWNER:
CIRCLE K STORES, INC.
12911 N. TELECOM PARKWAY
TAMPA, FL. 33637

NO.	DATE	REVISION DESCRIPTION
5	8-21-09	REVISED PER DRC COMMENTS
4	8-13-09	REVISED PER MONROE COUNTY
3	6-1-09	UPDATED SITE
2	4/07/08	IRRIGATION
1	2/24/08	REMOVE GENERATOR

SITE DATA

CIRCLE K FACILITY #1707
1190 OVERSEAS HWY.
BIG COPPIT KEY

SITE AREA = 81,303.78 S.F. = ±1.86 AC.
EXISTING STORE AREA 40.24' X 65.47' = 2,634.51 S.F.
EXISTING CANOPY (TO BE REMOVED) 23'-10" X 66'-6" = 1,584.69 S.F.
PROPOSED CANOPY = 28' X 130'-10" = 3,663.3 S.F.
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PROPOSED CANOPY HAS FIVE ISLANDS WITH ONE MPD ON EACH ISLAND (5).
FLOOR / AREA RATIO (FAR) = 0.15 X SITE AREA (81,303.78) = 12,195.57
MAX. ALLOWABLE BUILDING SQUARE FOOTAGE

SALES BUILDING 2,634.51 S.F.
NEW CANOPY 3,663.3 S.F.
6,297.81 S.F. <12,195.57 \ OK

OPEN SPACE RATIO REQUIRED = 0.20
EXISTING / PROPOSED PERVIOUS AREAS (NON ASPHALT/CONCRETE / ROOFS)
= 53,109.78 S.F. = 0.65 > 0.20 \ OK
81,303.78 S.F.

PARKING REQUIREMENTS - 4 SPACES / 1000 S.F. BUILDING AREA
BUILDING AREA: 2,634.51 S.F. = 2.63 X 4 = 11 SPACES
1,000 S.F.
16 SPACES PROVIDED.

LAND USE CATEGORY = SUBURBAN COMMERCIAL (SC)

RECEIVED
AUG 28 2009
BY: 29066

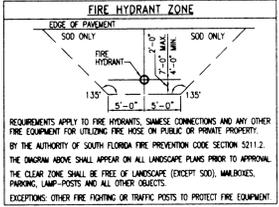
RICHARD R. MORRIS
FL. P.E. REG # 34748

S.S.# 1707
1190 OVERSEAS HWY.
BIG COPPIT KEY, FL

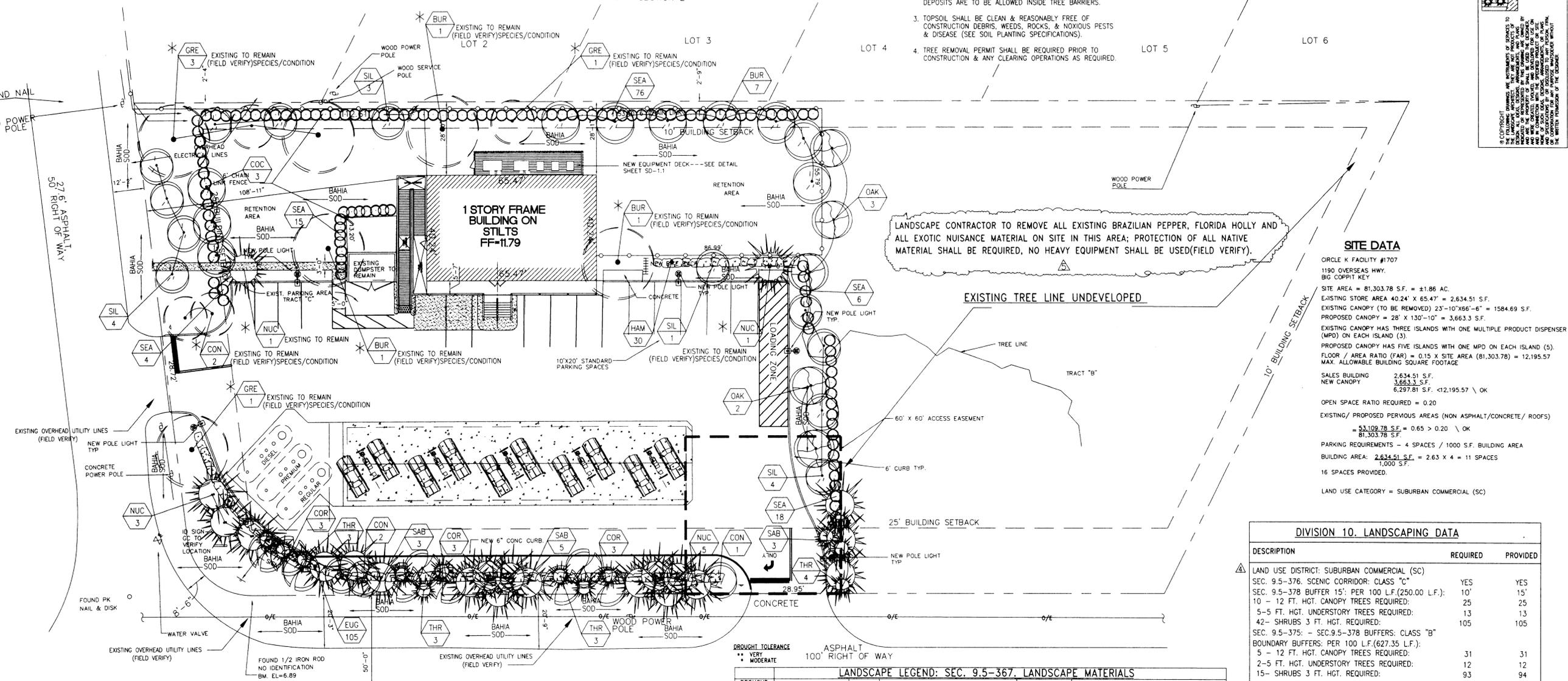
SCALE: 1"=20'-0"
DATE: 4/13/07

DESIGNED BY: RGB/CBH
DRAWN BY: RICK-BARTLETT MDM Job No.
CHECKED BY: RGB/CBH 6249
DRAWING TITLE: RBL#07-05-1776

LANDSCAPE PLAN
SHEET NO. 1 OF 3
L-1



REQUIREMENTS APPLY TO FIRE HYDRANTS, SHARED CONNECTIONS AND ANY OTHER FIRE EQUIPMENT FOR UTILIZING FIRE HOSE ON PUBLIC OR PRIVATE PROPERTY. BY THE AUTHORITY OF SOUTH FLORIDA FIRE PREVENTION CODE SECTION 5211.2. THE DIAGRAM ABOVE SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL. THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT SOD), WALKWAYS, PARKING, LAMP-POSTS AND ALL OTHER OBSTACLES. EXCEPTIONS: OTHER FIRE FIGHTING OR TRAFFIC POSTS TO PROTECT FIRE EQUIPMENT.



LANDSCAPE LEGEND: SEC. 9.5-367, LANDSCAPE MATERIALS

DROUGHT TOLERANCE	NATIVE	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
**	YES	OAK	5	QUERCUS VIRGINIANA / LIME OAK	12'-14' X 6'-7"	F.G. 3" CAL. @ 0.8 H. 5' C.T.
**	YES	COR	9	CORDIA SEBESTENA / ORANGE GEIGER	12'-14' X 6'-7"	F.G. 3" CAL. @ 0.8 H. 5' C.T.
**	YES	SAB	11	SABAL PALMETTO / CARBACE PALM	16'-18' C.T.	F.G. 16' C.T. MIN. "BOOTED"
**	YES	NUC	10	COCCOS NUCIFERA / MAMPAN' COCONUT	20'-22' O.A.	F.G. 3'-4' GREYWOOD MIN.
**	YES	COC	3	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	12'-14' X 6'-7"	F.G. 3" CAL. @ 0.8 H. 5' C.T.
**	YES	BUR	10	BURSERIA SMARULBA / GUMBO LIMBO	12'-14' X 6'-7"	F.G. 3" CAL. @ 0.8 H. 5' C.T. (3-EXISTING TO REMAIN)
**	YES	CON	5	CONDICARPUS SERICEUS / SILVER BUTTWOOD	12'-14' X 6'-7"	F.G. 3" CAL. @ 0.8 H. 5' C.T. (2-EXISTING TO REMAIN)
**	YES	SIL	12	CONDICARPUS SERICEUS / SILVER BUTTWOOD	5' HGT. MIN.	15 GAL. MIN. FULL TO BASE
**	YES	GRE	5	CONDICARPUS ERECTUS / GREEN BUTTWOOD	18'-34' HGT.	EXISTING TO REMAIN (FIELD VERIFY)
**	YES	THR	13	THURNAX RADATA / FLORIDA THATCH PALM	8' HGT. MIN.	25 GAL. MIN.
**	YES	HAM	30	HAMELIA NODOSA / DIMAR FIREBUSH	18" X 18" 3 GAL.	24" O.C.
**	YES	EUG	105	EUGENIA FOETIDA / SPANISH STOPPER	36" X 18" 3 GAL.	24" O.C.
**	YES	SEA	119	COCCOLOBA UMBRA / SEAGRape	36" X 18" 3 GAL.	AS SHOWN

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

Know what's below. Call before you dig.
IT'S THE LAW! SUNSHINE STATE ONE CALL OF FLORIDA, INC.

LANDSCAPE PLAN
SCALE: 1" = 20'

LANDSCAPE SPECIFICATIONS

CLIENT:

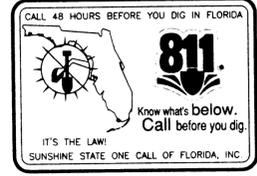


RICHARD BARLETT LANDSCAPE, INC.
17723 W. FOREST HILL BLVD., STE. 213
WELLINGTON, FL 33414
TEL: (661) 796-0443 FAX: (661) 791-7429
WWW.RICHARDBARLETT.COM
LANDSCAPE/IRRIGATION/CONSTRUCTION
CARE: B. MORGAN RUM/0001438.ASIA
EMAIL: rbarlett@richardbarlett.com

DESIGN TEAM TITLE:

MDM
Services, Inc.
ENGINEERING & ENVIRONMENTAL
3706 DMG DRIVE LAKELAND, FL 33807-6930
E.B. # 4857 (863) 646-9130

DESIGN TEAM TITLE:



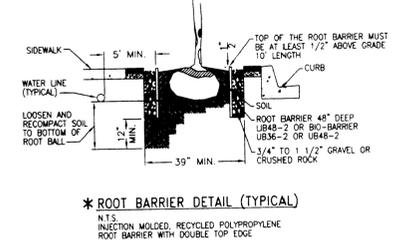
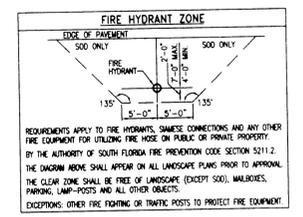
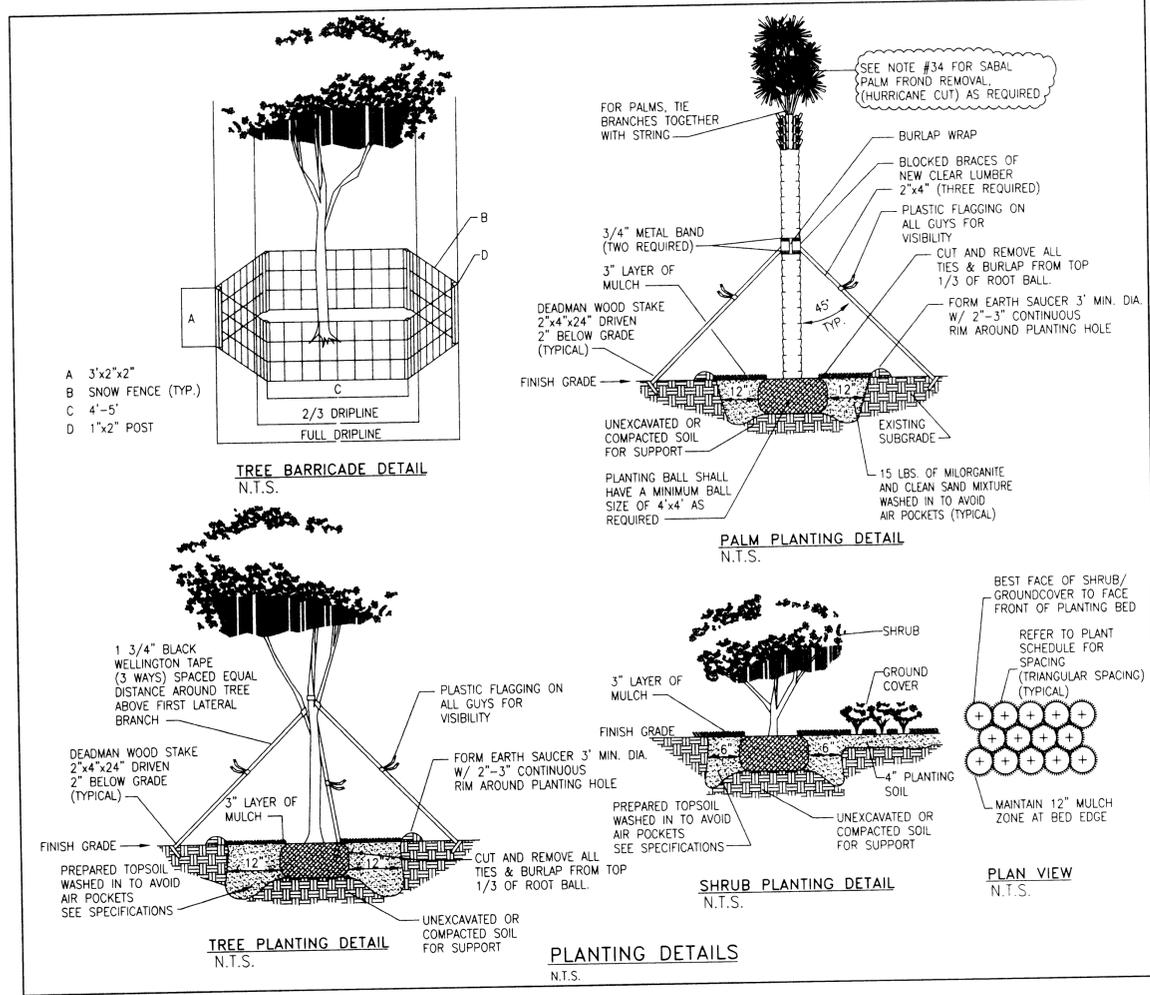
NOTES:

WATER AND IRRIGATION CONSERVATION: SEC. 2.4-45.
OWNER TO WATER LANDSCAPE MATERIALS FOR THE PURPOSE OF WATERING IN NEWLY PLANTED GRASS AND FOLIAGE FOR THE FIRST FORTY-FIVE (45) DAYS AFTER INITIAL INSTALLATION REQUIRED TO ESTABLISH PLANT MATERIALS.

LANDSCAPE SPECIFICATIONS

- CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
- EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY, COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
- ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
- ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- ALL SOD TO BE BAHIA SOLID, UNLESS OTHERWISE NOTED.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF EUCALYPTUS MULCH / FLORIMULCH & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE).
- ALL TREES TO HAVE A 2 1/2" MINIMUM TRUNK CALIPER OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.
- ALL TREES FIELD GROWN (LIRIO CAN TREES NOT ACCEPTABLE), UNLESS OTHERWISE SHOWN.
- LANDSCAPER TO FURNISH ALL MATERIALS AND LABOR INCLUDING PLANTS, MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMITS, ETC., NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE BY OTHERS.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- LANDSCAPER SHALL HAVE A COMPETENT SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECTS OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
- LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
- THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
- PLANT MATERIALS ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWEST FROND); GAL (GALLON CAN); 3 GAL (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD); HVY (INDICATES HEAVY); MIN (INDICATES MINIMUM).
- SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZES SPECIFIED SHALL BE MADE PRIOR TO THE SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION AND APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF GOD" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
- SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+1") THAN THE FINISHED GRADE.
- DELIVERY RECEIPTS FOR TOPSOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.

- COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, AND POTASH IN EQUAL PERCENTAGES OF AVAILABLE PLANT FOOD BY WEIGHT OR "MILORGANITE". NITROGEN SHALL BE NOT LESS THAN 100% FROM ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. INITIAL FERTILIZATION OF TREES, SHRUBS, GROUND COVERS, SHALL BE WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING. DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE:
5 LBS. OR 14.5 CUPS / PALMS
3 LBS. OR 8.70 CUPS / 12"-16" MATERIAL
2 LBS. OR 5.80 CUPS / 8"-12" MATERIAL
0.69 LBS. OR 2.00 CUPS / 6"-8" MATERIAL
0.19 LBS. OR 1/2 CUP / 3 GAL. MATERIAL
0.10 LBS. OR 1/4 CUP / 1 GAL. MATERIAL
FERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION, DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REQUIREMENTS: SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. CONTAINER, 1/4 LB. PER 1 GAL. CONTAINER) AND GROUNDCOVER. THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 AT A RATE OF 20 LBS. PER 1000 S.F.. A 14-14-14 FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB. PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES & SHALL BE APPLIED AT THE FOLLOWING RATE: 1 PER 1 GAL. PLANTS, 2 PER 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER. APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURERS RECOMMENDATION.
- SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COPOLYMER, POTASSIUM, ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY, USING THE FOLLOWING AMOUNTS:
1 PAC PER TREE - 36" BALL SIZE
2 PACS PER TREE - OVER 36" BALL SIZE
1 PAC PER 20 GAL. CONTAINER
0.5 PACS PER 7-10 GAL. CONTAINER
0.25 PACS PER 3 GAL. CONTAINER
0.12 PACS PER 1 GAL. CONTAINER
- LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
- PLANTING SOIL: PLANTING SOIL SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONES, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.
- WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER.
- PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
- SITE PREPARATION: IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES, AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER.
- MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTLING PLANTS TO PROPER GRADES OR UPRIGHT POSITIONS AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATIONS. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS SHALL BE REPAIRED PROMPTLY.
- CONTRACTOR TO REMOVE ALL REMAINING FRONDS ON NEWLY PLANTED SABAL PALMS WITH THE EXCEPTION OF THE CENTER BUD TO INSURE BETTER SURVIVABILITY AND LESS WATER STRESS PROBLEMS OF THE PALM, THUS GIVING HIGHER SURVIVOR RATE OF THE SAME. (NOTE: OTHER PALM SPECIES TIE BRANCHES TOGETHER WITH BIODEGRADABLE TWINE TO A TIGHT BUNDLE AROUND BUD FOR PROTECTION AS REQUIRED).
- XERISCAPE PRINCIPLES SHALL BE APPLIED TO ALL SITES AS SPECIFIED IN "SOUTH FLORIDA WATER MANAGEMENT DISTRICT XERISCAPE PLANT GUIDE II." AS REQUIRED.



NO.	DATE	REVISION DESCRIPTION
1	8-21-09	REVISED PER DRC COMMENTS

PREPARED UNDER THE DIRECT SUPERVISION OF:

RICHARD R. MORRIS, P.E.
FL REG # 34748

RECEIVED
AUG 28 2009
BY: 29066

SITE ADDRESS:

S.S.# 1707
1190 OVERSEAS HWY.
BIG COPPIT KEY, FL.
MONROE COUNTY

SCALE: 1" = 20'-0"

DATE: 12/20/05

DESIGNED BY: RCB/CBH

DRAWN BY: RICK-BARLETT

CHECKED BY: RCB/CBH

FILE NAME: 5324-CD.DWG
RBL#07-05-1776

LANDSCAPE SPECIFICATIONS

SHEET NO: **L-2**

IRRIGATION SPECIFICATIONS

- K-RAIN ZONING VALVE SHALL NOT BE USED UNLESS OTHERWISE NOTED.
- ALL MAINS AND SLEEVES MUST BE PVC SCH 40 AND BURIED A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL LATERALS MUST BE PVC SCH 160 AND BURIED A MINIMUM OF 12" BELOW FINISH GRADE.
- PROVIDE SLEEVES UNDER PAVEMENT PRIOR TO INSTALLATION OF SAME.
- CONTRACTOR TO SIZE PIPING (UNLESS OTHERWISE SHOWN) AND ADJUST SPRAY HEADS LOCATION TO CONFORM WITH WATER REQUIREMENTS OF ACTUAL LANDSCAPING FOR ADEQUATE WATER COVERAGE.
- IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE TO ALL LANDSCAPED AREAS AND MAINTAIN A 50% MIN. OVERLAP USING RUST FREE WATER.
- IRRIGATION CONTRACTOR TO PROVIDE 35 PSI AT ALL HEADS.
- HEADS TO BE INSTALLED IN PLANTERS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION.
- IRRIGATION CONTRACTOR TO FURNISH CONTROLLER TIME CLOCK TO BE LOCATED IN MECHANICAL ROOM OR APPROVED LOCATION.
- BUILDING CONTRACTOR TO SUPPLY ELECTRICAL HOOK UP AND SLEEVES AS SHOWN.
- ALL WORK MUST BE DONE AS PER LOCAL CODES.
- SYSTEM IS TO BE DESIGNED (IF NOT SHOWN ON PLAN) AND INSTALLED BY A QUALIFIED, LICENSED, AND INSURED LANDSCAPE IRRIGATOR.
- SPRINKLER SYSTEM SHALL BE GUARANTEED FOR ONE YEAR AGAINST MECHANICAL DEFECTS.
- IRRIGATION CONTRACTOR TO USE #14 DIRECT BURIAL LOW VOLTAGE WIRE AND INSTALLED UNDER SIDE OF MAIN LINES, TO INSURE PROTECTION AND LOCATING OF SAME. SLEEVED UNDER PAVEMENT AND WALKS. SPliced ONLY AT VALVE LOCATIONS. ALL SPLICES SHALL BE MADE WATER PROOF. CONTROL WIRES SHALL BE COLOR CODED. ONE EXTRA WIRE SHALL BE RAN WITH EACH ZONE VALVE. IF K-RAINS NOT REQUIRED SEE PLAN FOR VALVE LOCATIONS.
- ALL IRRIGATION LINE LOCATIONS SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO ADJUST TRENCHING IN FIELD FOR EXISTING CONDITIONS, PLANTINGS AND STRUCTURES AS REQUIRED.
- IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION OR UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE IRRIGATION CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY. (PUMP, COORD PIPE, HEADS, VALVES ETC. SHALL BE INSTALLED FOR FUTURE USE OF RECLAIMED WATER FOR IDENTIFYING RECLAIM WATER COMPONENTS.) FIELD VERIFY & CONNECT IF REQUIRED.
- BAMA SODDED AREAS SHALL NOT BE IRRIGATED. SUPPLY & INSTALL IRRIGATION IN PLANTED BED AREAS & HEDGE ROWS. TREES/PALMS AS SHOWN, STRIP HEADS AND BUBBLERS ONLY. FIELD ADJUST AS NEEDED FOR PLANT MATERIALS.
- PROVIDE SLEEVES UNDER PAVEMENT PRIOR TO INSTALLATION OF SAME. PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PLUMBING BUILDING CODE APPENDIX (F) PART V-A-1: 1/2-2 1/2" 18"-30" 3" AND LARGER 30"-36"
- CODES AND STANDARDS: ALL WORK SHALL BE INSTALLED AND COMPLY WITH FLORIDA BUILDING CODE APPENDIX (F), INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES. WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).

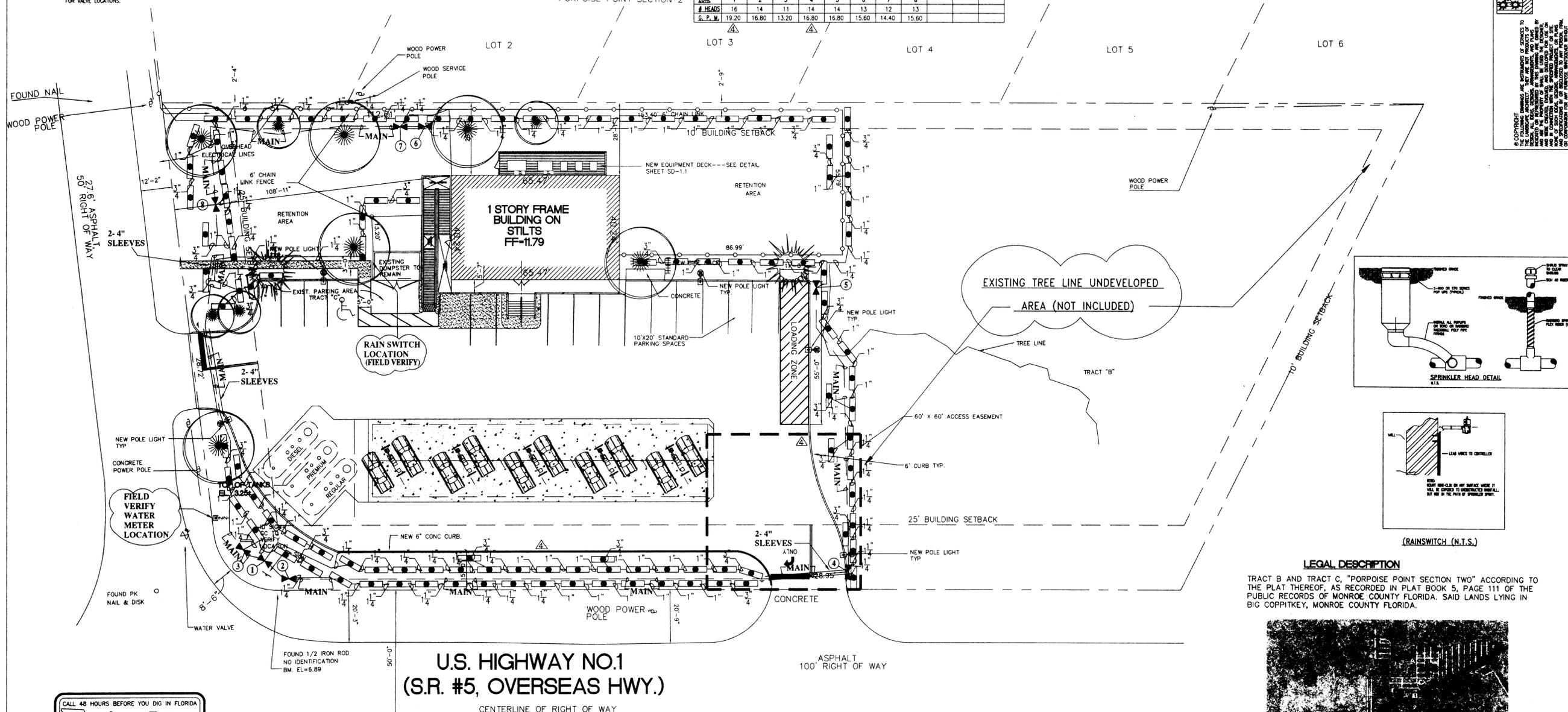
IRRIGATION LEGEND

TORO SPRAY NOZZLES 570 W/ 6" AND 12" SPRINKLER BODY			
SYMBOL	MODEL 500 SERIES STREAM BUBBLERS -	AREA	GPM
	CENTER STRIP - 4' CST	4'x30'	1.20
	END STRIP - 4' EST	4'x15'	0.60
	1" WATER METER & BACKFLOW PREVENTER (FIELD VERIFY LOCATION, METER BY OWNER)		
	TORO SERIES LOW VOLTAGE CONTROL VALVES 1" W/ DIRECT BURIAL #14 WIRE AS REQUIRED		
	1 1/4" SCH. 40 PVC MAIN LINE AS SHOWN		
	RAIN BIRD 8 STATION TIME CONTROLLER RAIN SWITCH READY 110/24 VOLT		
	TORO RAIN SWITCH MODEL # 850-74		

SEE DETAIL #2

ZONE	1	2	3	4	5	6	7	8
# HEADS	16	14	11	14	14	13	12	13
S.P. W.	19.20	16.80	13.20	16.80	16.80	15.60	14.40	15.60

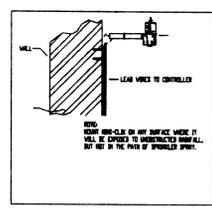
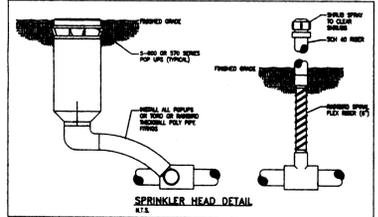
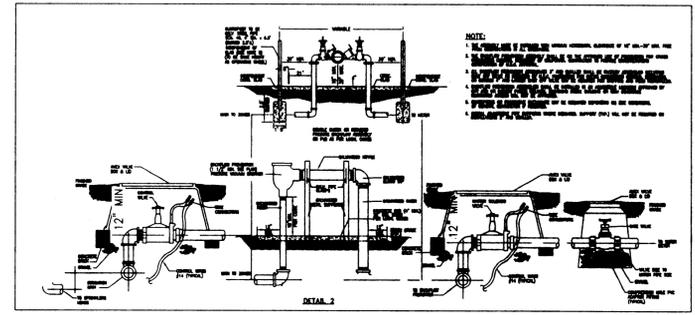
PORPOISE POINT SECTION 2



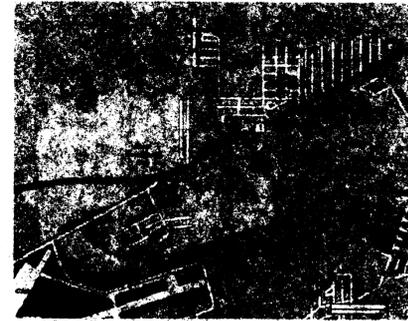
**U.S. HIGHWAY NO.1
(S.R. #5, OVERSEAS HWY.)**
CENTERLINE OF RIGHT OF WAY

IRRIGATION PLAN

SCALE: 1" = 20'



LEGAL DESCRIPTION
TRACT B AND TRACT C, "PORPOISE POINT SECTION TWO" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111 OF THE PUBLIC RECORDS OF MONROE COUNTY FLORIDA. SAID LANDS LYING IN BIG COPPITKEY, MONROE COUNTY FLORIDA.



RICHARD BARTLETT LANDSCAPE, INC.
12723 W. FOREST HILL BLVD., STE. 213
WELLINGTON, FL 33414
TEL: (561) 795-0443 FAX: (561) 791-7429
LANDSCAPE ARCHITECTURE LC26000352
LANDSCAPE/IRRIGATION CONSTRUCTION
CARL B. HIGGINS RL#0001436 ASLA
EMAIL: rplanner@bartsouth.com

CIRCLE K STORES
DESIGN TEAM TITLE:
MDM Services, Inc.
ENGINEERING & ENVIRONMENTAL
F.L. E.B. #4857
501 W. PEACHTREE ST., LAKELAND, FLORIDA 33815
PH: (883) 646-9130 FAX: (883) 646-1106

OWNER:
CIRCLE K STORES, INC.
12911 N. TELECOM PARKWAY
TAMPA, FL 33637

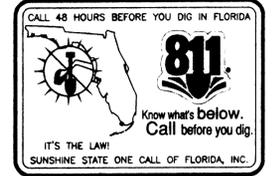
NO.	DATE	REVISION DESCRIPTION
4	8-21-09	REVISED PER DRC COMMENTS
3	6-1-09	UPDATED SITE
2	4/07/08	IRRIGATION
1	2/24/08	REMOVE GENERATOR

RECEIVED
AUG 9 8 2009
BY: 29066

RICHARD R. MORRIS
FL. P.E. REG # 34748

S.S.# 1707
1190 OVERSEAS HWY.
BIG COPPIT KEY, FL

SCALE: 1"=20'-0"
DATE: 4/13/07
DESIGNED BY: RGB/CBH
DRAWN BY: RICK-BARTLETT
CHECKED BY: RGB/CBH
DRAWING TITLE: IRRIGATION PLAN
SHEET NO.: L-3



BOUNDARY SURVEY

TRACTS B & C, PORPOISE POINT SECTION TWO, PLAT BOOK 5, PAGE 111 MONROE COUNTY, FLORIDA.

LEGAL DESCRIPTION:

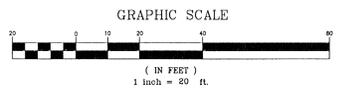
TRACT B AND TRACT C, PORPOISE POINT SECTION TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, LANDS LYING IN BIG COPPIT KEY, MONROE COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON/OR ADJACENT TO THIS SITE.
3. LANDS SHOWN HEREON WERE SURVEYED WITHOUT BENEFIT OF TITLE SEARCH.
4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF S.63°11'25"W ALONG THE CENTERLINE OF U.S. HIGHWAY NO. 1.
5. THIS SITE LIES IN FLOOD ZONE "AE" (BASE ELEVATION 10.0') AS SCALED AND INTERPOLATED FROM FEMA MAP NO. 12087C-1532-K, DATED: FEBRUARY 18, 2005.
6. ELEVATIONS SHOWN HEREON ARE BASED ON FOUND NATIONAL OCEANIC SURVEY BENCHMARK "44891-1986" ELEVATION 6.88' AND ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988.
7. LEGAL DESCRIPTION FURNISHED BY CLIENT.
8. SITE AREA: 81,286.55 SQUARE FEET OR 1.866 ACRES MORE OR LESS.

CERTIFICATIONS:
1. MDM SERVICES, INC.

RECEIVED
JUN 30 2009
BY: [Signature]



SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA STATUTES, AND IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, NOT VALID WITHOUT MY SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER.

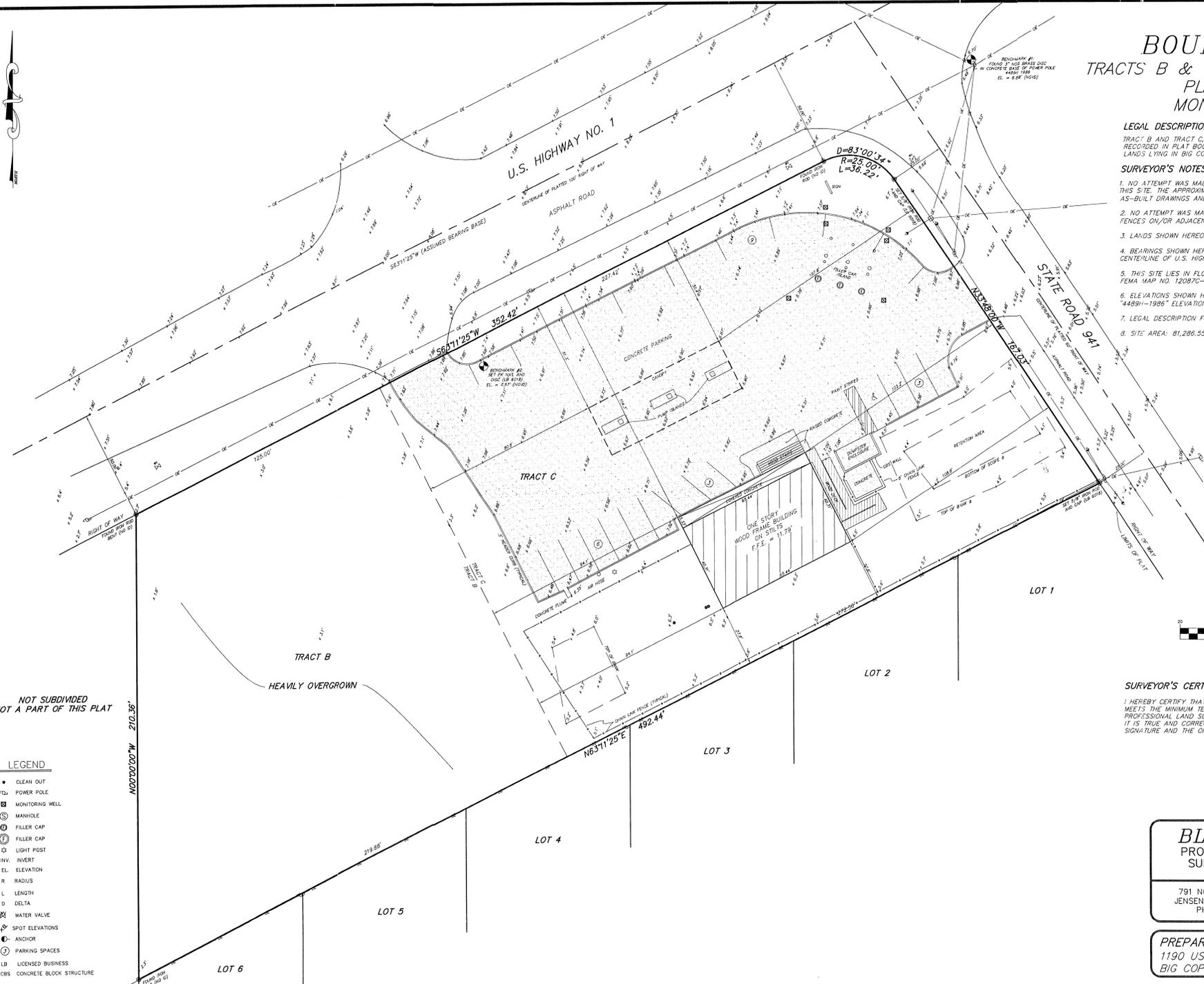
[Signature]
ROBERT BLOOMSTER, P.L.S.
PROFESSIONAL LAND SURVEYOR
NO. 4134 STATE OF FLORIDA

BLOOMSTER
PROFESSIONAL LAND SURVEYORS, INC.
L.B. #6018

791 NORTHEAST DIXIE HIGHWAY
JENSEN BEACH, FLORIDA 34957
PHONE 772-334-0868

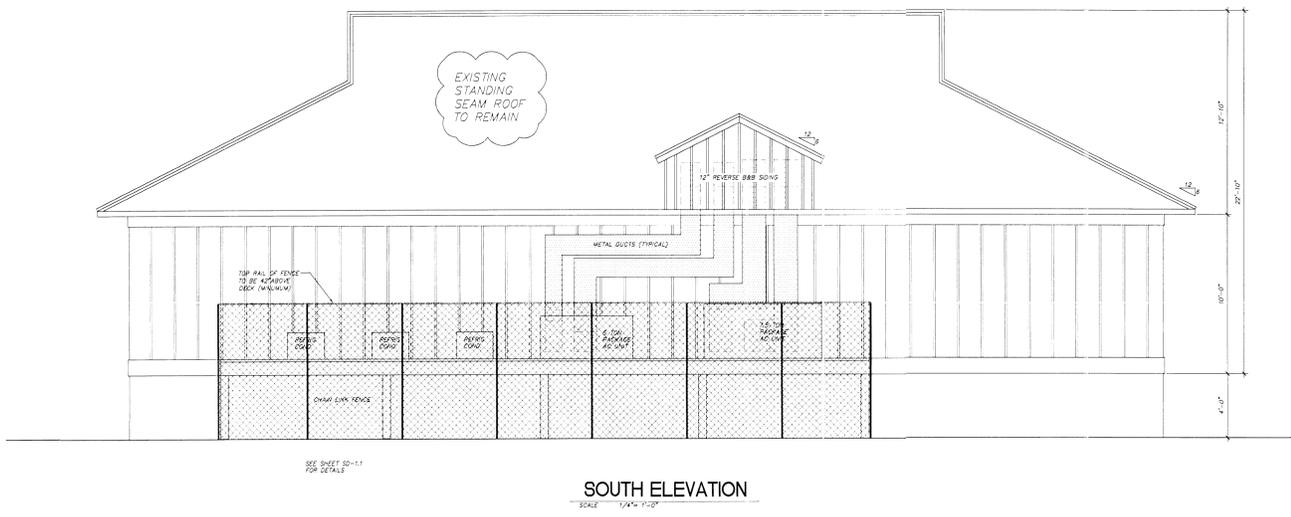
SHEET 1 OF 1	
DRAWN BY: FZY	SCALE: 1" = 20'
FIELD WORK COMPLETED: 11-9-08	FIELD BOOK: SKETCH
DATE: 8/7/09	REVISIONS:

PREPARED FOR: CIRCLE K
1190 US 1 & SR 941
BIG COPPIT KEY, MONROE COUNTY, FLORIDA



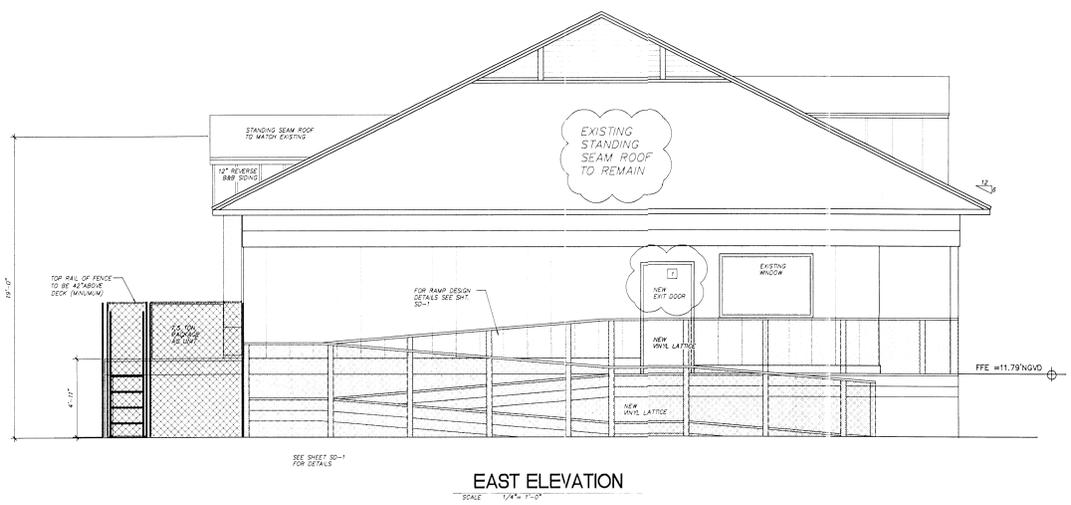
NOT SUBDIVIDED
NOT A PART OF THIS PLAT

- LEGEND**
- CLEAN OUT
 - POWER POLE
 - ⊗ MONITORING WELL
 - ⊙ MANHOLE
 - ⊕ FILLER CAP
 - ⊖ LIGHT POST
 - ⊗ INVERT
 - EL. ELEVATION
 - R RADIUS
 - L LENGTH
 - Δ DELTA
 - ⊗ WATER VALVE
 - ⊙ SPOT ELEVATIONS
 - ⊙ ANCHOR
 - ⊙ PARKING SPACES
 - LB LICENSED BUSINESS
 - CBS CONCRETE BLOCK STRUCTURE



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

CLIENT:



CIRCLE K STORES

DESIGN TEAM TITLE:

MDM
Services, Inc.

ENGINEERING & ENVIRONMENTAL
F.L. E.S. #4857

501 W. PEACHTREE ST., LAKELAND, FLORIDA 33801
PH: (863) 544-2130 FAX: (863) 544-1100

2	1-18-08	DOOR/WINDOW PRESSURES
1	1-18-08	ROOF PRESSURES

NO.	DATE	REVISION DESCRIPTION
-----	------	----------------------

JUN 16 2009
RICHARD R. MORRIS
FL. P.E. REG. # 127748

SITE ADDRESS:
S.S.# 1707
1190 OVERSEAS HWY
BIG COPPIT KEY, FL

SCALE: 1/4" = 1'-0"

DATE: 03/14/07

DESIGNED BY:

DRAWN BY: T.S. MDM JOB No. 6249

CHECKED BY:

DRAWING TITLE:
MECHANICAL DECK ELEVATIONS

SHEET NO.:

A-21

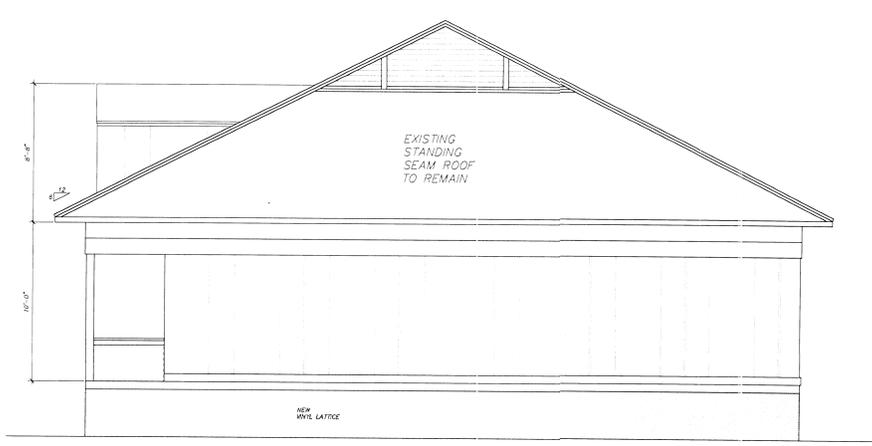
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 JUN 3 0 2009
 BY: _____

NO.	DATE	REVISION DESCRIPTION
1	1-18-08	door/window PRESSURES



SEE SHEET 20-11 FOR DETAILS

NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

BUILDING INFORMATION	
Wind Velocity (mph)	100
Building Category	B - Retail Store
Importance Factor	1
Exposure	C
Internal Pressure	Detached
Wind Directionality	90%
Building Height (ft)	40.1
Building Length (ft)	65.5
Roof Slope (ft/12)	8.3
Roof Type (Category)	24.07
Building Usage (ft)	1.01
Wind Direction	402

 **Windloadcalc.com**
 Your Windows & Screens
ASCE 7-02
 www.windloadcalc.com
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 Walk Program

JOB INFORMATION	
Job Number	1707
Client Name	CIRCLE K
Design Name	Circle K OVERSEAS HWY
Address	BIG COPPIT KEY

TOPOGRAPHIC FACTOR	
Wind Exposure	Exposure B
Exposure	Exposure B
Exposure	Exposure B
Exposure	Exposure B

WIND LOAD DESIGN INFORMATION										
ITEM	OPENING TYPE	ZONE	HEIGHT (ft)	WIDTH (ft)	DEPTH (ft)	WIND AREA (sq ft)	Manufacturer Series Number	Minimum Pressure (psf)	MAXIMUM POSITIVE PRESSURE (psf)	MAXIMUM NEGATIVE PRESSURE (psf)
1	Single Door	4	7.3	3.6	7.0	21	L.M.I. 05-0823-08	70.0	49.7	-53.4
2	Double Door	4	7.3	6.0	7.0	42	L.M.I. 05-0823-08	70.0	46.7	-51.1
3	Other	4	9.5	2.6	3.6	9	L.M.I. 05-0906-05	87.0	51.8	-55.9

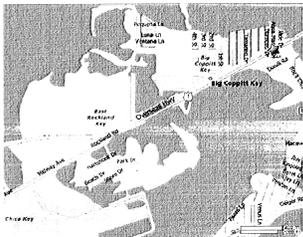
JUN 16 2009
 RICHARD P. MORRIS
 FL P.E. REG. # 44748
 SITE ADDRESS:
SS# 1707
1190 OVERSEAS HWY.
BIG COPPIT KEY, FL

SCALE: 1/4" = 1'-0"
 DATE: 03/14/07
 DESIGNED BY:
 DRAWN BY: T.S. MDM JOB No. 6249
 CHECKED BY:
 DRAWING TITLE:

ELEVATIONS
 SHEET NO.
A-2

LEGAL DESCRIPTION

TRACT B AND TRACT C, "PORPOISE POINT SECTION TWO" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 111 OF THE PUBLIC RECORDS OF MONROE COUNTY FLORIDA, SAID LANDS LYING IN BIG COPPIT KEY, MONROE COUNTY FLORIDA.



LOCATION MAP

SITE DATA

CIRCLE K FACILITY #1707
 1190 OVERSEAS HWY.
 BIG COPPIT KEY
 SITE AREA = 81,303.78 S.F. = ±1.86 AC.
 EXISTING STORE AREA 40.24' X 85.47' = 2,634.91 S.F.
 EXISTING CANOPY (TO BE REMOVED) 23'-10" X 46'-5" = 1,084.69 S.F.
 PROPOSED CANOPY = 28' X 56'-0" = 1,568 S.F.
 EXISTING CANOPY HAS THREE ISLANDS WITH ONE MULTIPLE PRODUCT DISPENSER (MPD) ON EACH ISLAND (3).
 PROPOSED CANOPY HAS FIVE ISLANDS WITH ONE MPD ON EACH ISLAND (5).
 FLOOR / AREA RATIO (FAR) = 0.19 X SITE AREA (81,303.78) = 12,195.57
 MAX ALLOWABLE BUILDING SQUARE FOOTAGE
 SALES BUILDING 2,634.91 S.F.
 NEW CANOPY 1,568 S.F.
 4,202.91 S.F. < 42,195.57 \ OK
 OPEN SPACE RATIO REQUIRED = 0.20
 EXISTING / PROPOSED PERVIOUS AREAS (NON ASPHALT / CONCRETE / ROOFS)
 = 11,108.78 S.F. = 0.65 > 0.20 \ OK
 81,303.78 S.F.
 PARKING REQUIREMENTS = 7 SPACES / 1000 S.F. BUILDING AREA
 BUILDING AREA 2,634.91 S.F. = 2.63 X 7 = 18 SPACES
 1,000 S.F.
 23 SPACES PROVIDED.

RETANK (FIBERGLASS IN FIBERGLASS)

CONTRACTORS PREPARATION

1. COMPLETE ANY NECESSARY SITE ASSESSMENT
 2. PRECISION TEST OF TANK(S)
 3. CHECK WATER TABLE LEVEL
 4. WATER TO BOTTOM OF TANKS, IF NECESSARY
 5. UNCOVER TANKS TO TOP OF TANKS
 6. ARRANGE TO HAVE TANKS CARTED AND CLEANED OUT
 7. DISCONNECT AND REMOVE PIPING, ELECTRICAL
 8. EXPOSE TOP 4' FEET OF TANK RADIUS AT ONE END
 9. BARRICADE AROUND AREA
 10. GET NECESSARY PERMITS
 11. ENSURE ACCESS FOR CS TRUCK NEXT TO EXCAVATION (24HOURS)
 12. PROVIDE 85 CFM COMPRESSOR
 13. PROVIDE SECURE AREA FOR MATERIALS, EQUIPMENT
 14. PROVIDE BRUSHES AND IDENTIFIED ORIGINATOR FOR MATERIALS OFF TRUCK DURING ARRIVAL AND INSTALLING PANELS
- IF YOU HAVE ANY FURTHER QUESTIONS, PLEASE CALL FIELD SERVICE
 PHONE: 800-822-1997
 FAX: 814-642-5220

UNDERGROUND TANKS "RE-TANK"

1. G.C. TO DE-WATER IF APPLICABLE AND PREP EXCAVATED AREA FOR INSTALLATION OF U.G. TANKS AND PIPING
2. EXISTING UNDERGROUND PRODUCT STORAGE TANKS TO REMAIN TYP. OF (3). TEST EXISTING PRODUCT PIPING AND REMOVE/REPLACE WHERE NEEDED FROM EXIST. TANKS TO PUMP ISLANDS AS REQUIRED.
3. REMOVE DISPENSER SLUMPS AND DISPENSERS. G.C. TO DISPOSE OF PER STATE AND LOCAL REQUIREMENTS
4. G.C. TO INSTALL NEW GOVERNMENT SOLUTIONS FIBERGLAS TANKS INSIDE OF THE EXISTING S.W. U.G. TANKS AS SHOWN ON SITE PLAN AND HESS SPECIFICATIONS.

SCOPE OF WORK

1. DEMOLISH AND REPAIR EXISTING
 A. FUEL ISLAND CANOPY & FOUNDATIONS
 B. DISPENSER FUEL ISLANDS & PRODUCT BRIMS
 C. TANK SLAB (PARTIAL) AND STP Sumps
 D. EXISTING WOOD FRAME RAMP & STAIRS TO BUILDING
2. FORM & POUR NEW FOUNDATIONS FOR FUTURE CANOPY. INSTALL NEW AT GRADE FUEL ISLANDS, S/W PRODUCT BRIMS, S/W F/W VENT PIPING, DISPENSERS, ISLAND BOLLARDS AND LIGHTING.
 *FUTURE INSTALLATION UNDER SEPARATE PERMIT FEEDING WROOD APPROVAL.
- 3A) RETRO-FIT "RETANK" ---SEE DETAILS THIS SHEET. EXISTING S/W F/W U/G TANKS WITH NEW "HEAVY" INTERIOR TANK. INSTALL NEW STP Sumps & MANWAYS TOTAL NEW "HEAVY" INTERIOR TANK MONITOR DRAZE, VAPOR & FILL W/SPILL CONTAINMENT MANHOLES
- 3B) RE-CONSTRUCT STORAGE & PRODUCTS TO ADD DIESEL AND ULTRAMATE 40-GRADE FUEL
4. INSTALL NEW EMERGENCY GENERATOR, DRIVEWAY LIGHTING, BUILDING STAIRS & ADA RAMPS, LANDSCAPING AND RELATED MISC. SITE IMPROVEMENTS AS DETAILED HERE-IN.

ENGINEERING FIRM

MDM ENGINEERING
 LIC. No. EB 4857
 1055 KATHLEEN RD.
 LAKELAND, FLORIDA 33805
 (863) 646-9130
 MDM ENGINEERS

OWNER:

CIRCLE K STORES, INC.
 12911 N. TELECOM PARKWAY
 TAMPA, FL 33637

CURVE DATA FIELD					
CURVE	RADIUS	LENGTH	CHORD	DELTA	CHR. BRG.
C1	25.00	15.58	32.61	83°32'07"	107°23'58"W
CURVE DATA PLAT					
CURVE	RADIUS	LENGTH	CHORD	DELTA	CHR. BRG.
C1	25.00	36.22	N/A	83°32'35"	N/A

CLIENT:

DESIGN TEAM TITLE: **MDM**
 engineering • environmental • construction
 147 5th Ave. NW, Decatur, GA 30030 (770) 427-1000

RECEIVED
 JUN 3 0 2009
 BY: [Signature]

NO.	DATE	REVISION DESCRIPTION
1	2/24/08	REMOVE GENERAL

SCALE: 1" = 20' - 0"

DATE: 4/13/07

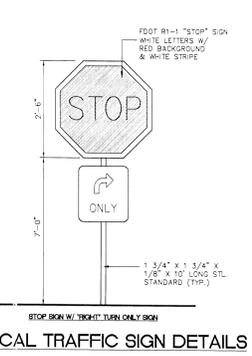
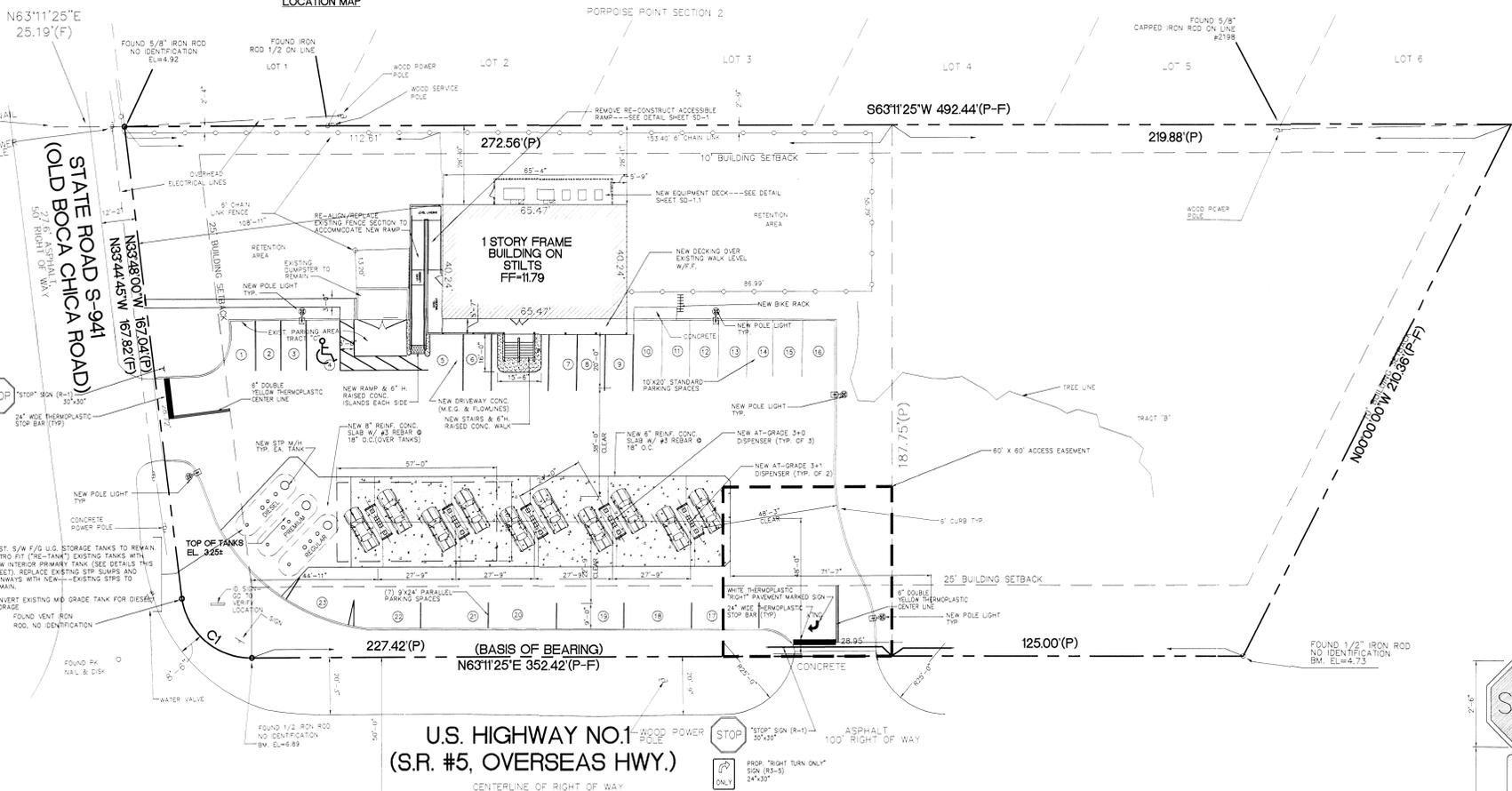
DESIGNED BY: [Signature]

DRAWN BY: DJ

CHECKED BY: MDM JOB No. 6249

DRAWING TITLE: **SITE PLAN**

SHEET No. **C-2**



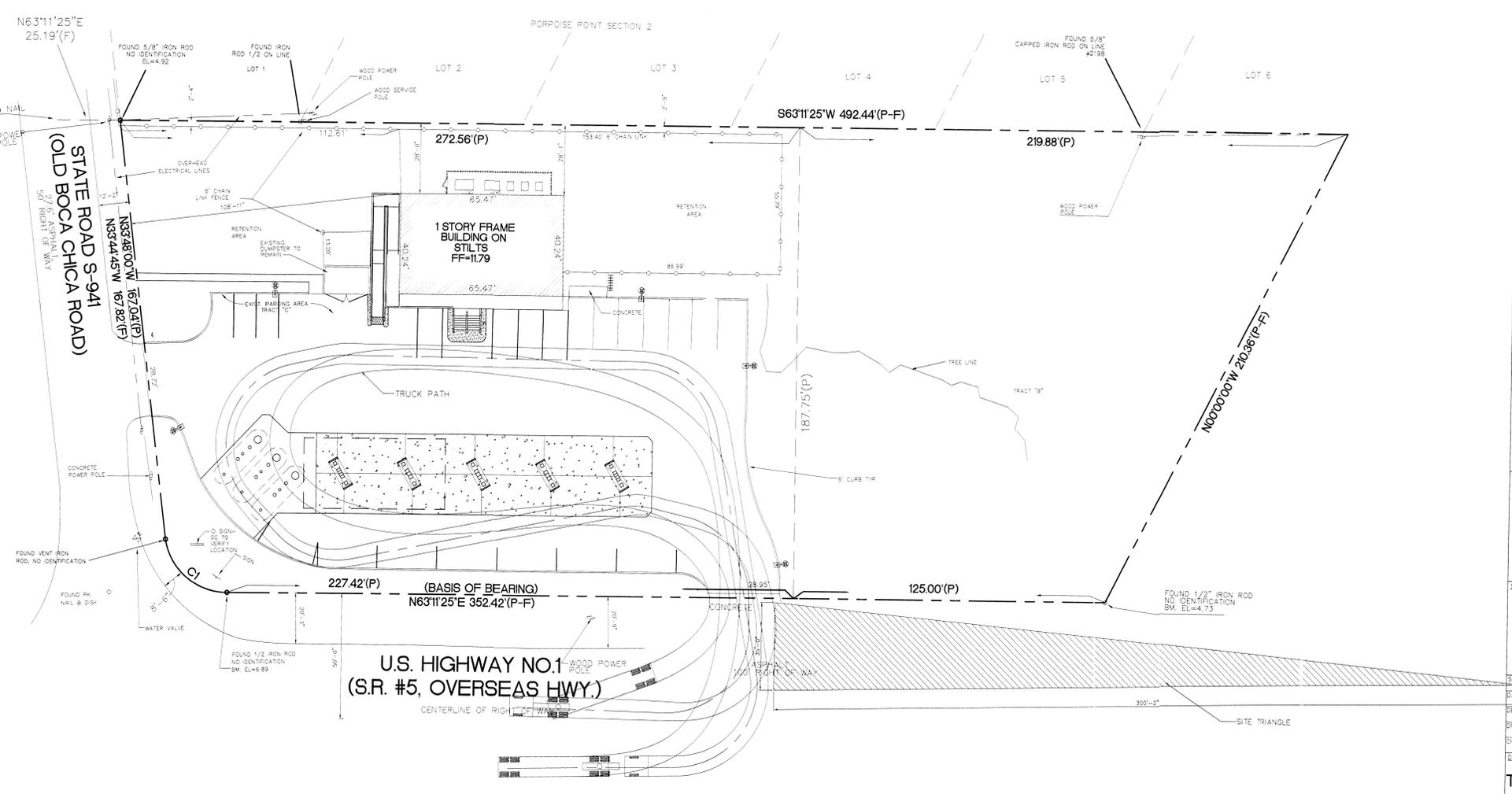
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 BY: [Signature]

NO.	DATE	REVISION DESCRIPTION
1	2/24/08	REMOVE GENERATION

JUN 16 2009
 RICHARD M. VOYLES
 FL. P.E. REG. NO. 14748
 SITE ADDRESS:
S.S.# 1707
 1190 OVERSEAS HWY.
 BIG COPPIT KEY, FL

SCALE: 1" = 20'-0"	DATE: 4/13/07
DESIGNED BY: [Signature]	MDM JOB No. 6249
DRAWN BY: DJ	CHECKED BY: [Signature]
DRAWING TITLE:	

TRUCK PATH PLAN
 SHEET NO.
C-21





MEMORANDUM

MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

We strive to be caring, professional and fair

To: The Development Review Committee &
Townasley Schwab, Senior Director of Planning & Environmental Resources

From: Joseph Haberman, AICP, Principal Planner 
Janis Vaseris, Biologist

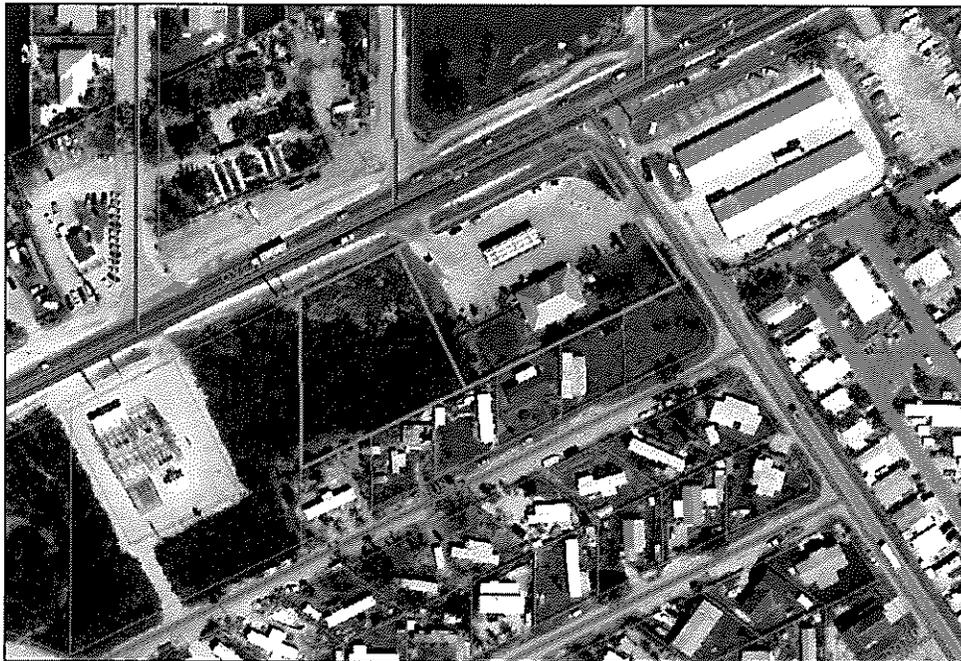
Date: August 11, 2009

Subject: *Request for an Amendment to a Major Conditional Use Permit for Circle K,
located at 1190 Overseas Highway, Big Coppitt Key, mile marker 11, Real Estate
Nos. 00154890.000000 and 00154880.000000*

Meeting: August 18, 2009

1 I REQUEST:

2
3 The applicant is requesting approval of an amendment to a major conditional use permit in
4 order to redevelop the existing gas station and convenience store by removing the three (3)
5 existing fuel pumps with two (2) dispensers per pump; constructing five (5) new fuel pumps
6 with two (2) dispensers per pump; demolishing the existing canopy; constructing a new
7 canopy; improving the existing convenience store building; and carrying out associated site
8 improvements.



1
2
3 Location:

4 Address: 1190 Overseas Highway (US 1), Big Coppitt Key, Mile Marker 11 (oceanside)

5
6
7 Legal Description: Tracts B and C, Porpoise Point Section Two (PB5-111)

8
9 Real Estate (RE) Number: 00154890.000000 and 00154880.000000

10
11 Applicant:

12
13 Owner (RE 00154890.000000): Michael Guty

14
15 Lessee (RE 00154890.000000): Circle K General, Inc.

16
17 Owner (RE 00154880.000000): Circle K Properties, Inc.

18
19 Agent: Bob Webster, MDM Services

20
21 II RELEVANT PRIOR COUNTY ACTIONS:

22
23 In 1986, Building Permit A-15459 was issued for the construction of a 2680 ft² convenience
24 store, a 960 ft² canopy and two (2) fuel pumps. In 1987, Building Permit A-18785 was
25 issued for the enlargement of the existing canopy by 624 ft² and the addition of one (1) fuel
26 pump.

27
28 The property was being used as a gas station, classified as a high-intensity commercial retail
29 use, prior to the adoption of the current land development regulations in 1986. Therefore, in
30 accordance with MCC §101-4(c), the site has been deemed to have a major conditional use
31 permit.

32
33 On February 16, 2006, a pre-application conference involving Planning & Environmental
34 Resources Department staff and the applicant was held to discuss a proposed redevelopment
35 and how the project could remain in compliance with the Monroe County Code. Based on
36 the dialogue of the conference, a letter of understanding was sent to the applicant on April
37 27, 2006. As a note, although similar, the scope of work proposed in this application is to
38 some extent different than that initially proposed in 2006.

39
40 In the letter of understanding dated April 27, 2006, the Department of Planning &
41 Environmental Resources recognized 2,680 ft² of non-residential floor area (existing
42 convenience store) and 1,584 ft² of 'canopy' non-residential floor area (existing canopy) as
43 lawfully-established.

44
45 III BACKGROUND INFORMATION:

46
47 A. Size of Site: 81,287 ft² (1.87 acres)

48 B. Land Use District: Suburban Commercial (SC)

49 C. Future Land Use Map (FLUM) Designation: Mixed Use/Commercial (MC)

50 D. Tier Designation: Tier 3

51 E. Flood Zone: AE – EL 10

- 1 F. Existing Use: High-Intensity Commercial Retail
- 2 G. Existing Vegetation / Habitat: Predominately scarified with vegetation to the south -
- 3 Tract C (RE 00154890.000000) and partially scarified to the north and hammock to the
- 4 south- Tract B (RE 00154880.000000)
- 5 H. Community Character of Immediate Vicinity: Mixed Use – commercial along the US 1
- 6 corridor and residential to the south

7

8 **IV REVIEW OF APPLICATION:**

9

10 MCC §110-67 provides the standards which are applicable to all conditional uses. When

11 considering applications for a conditional use permit, the Development Review Committee

12 and Director of Planning & Environmental Resources shall consider the extent to which:

13

- 14 A. *The conditional use is consistent with the purposes, goals, objectives and standards of the*
- 15 *comprehensive plan and the land development regulations:*
- 16

17 The proposed redevelopment is consistent with the purposes, goals, objectives and

18 standards of the MC future land use category and the SC District.

19

20 Policies from the Monroe County Year 2010 Comprehensive Plan that directly pertain to

21 the proposed redevelopment include:

22

23 Policy 101.4.5: The principal purpose of the MC land use category is to provide

24 for the establishment of commercial zoning districts where various types of

25 commercial retail and office may be permitted at intensities which are consistent

26 with the community character and the natural environment. Employee housing

27 and commercial apartments are also permitted. This land use category is also

28 intended to allow for the establishment of mixed use development patterns, where

29 appropriate. Various types of residential and non-residential uses may be

30 permitted; however, heavy industrial uses and similarly incompatible uses shall be

31 prohibited. In order to protect environmentally sensitive lands, the following

32 development controls shall apply to all hammocks, pinelands, and disturbed

33 wetlands within this land use category: 1) only low intensity commercial uses

34 shall be allowed; 2) a maximum floor area ratio of 0.10 shall apply; and 3)

35 maximum net residential density shall be zero.

36

- 37 B. *The conditional use is consistent with the community character of the immediate vicinity:*
- 38

39 A gas station and convenience store have existed on the property since 1986. This type

40 of use serves the needs of the immediate planning area in which it is located. Therefore,

41 the proposed redevelopment would be consistent with the community character of the

42 immediate vicinity.

43

- 44 C. *The design of the proposed development minimizes adverse effects, including visual*
- 45 *impacts, on adjacent properties:*
- 46

1 The existing convenience store building shall remain in its current configuration. The
2 existing canopy shall be removed and replaced with a new canopy. Staff shall
3 recommend that the applicant utilize architectural features that provide as much visual
4 interest as possible and a condition to any approval that similar and consistent design,
5 materials and colors be utilized for all new structures, including signage, in order to make
6 the redevelopment more attractive and cohesive. In addition, as part of the
7 redevelopment, it shall be required that additional trees and landscaping elements be
8 introduced to the site. Therefore, the proposed redevelopment minimizes adverse effects,
9 including visual impacts, on adjacent properties.

10
11 D. *The proposed use will have an adverse impact on the value of surrounding properties:*

12
13 A gas station and convenience store have existed on the property since 1986. Therefore,
14 it is not anticipated that the proposed redevelopment will have an adverse impact on the
15 value of the surrounding properties.

16
17 E. *The adequacy of public facilities and services:*

18
19 1. Roads:

20
21 *Localized Impacts & Access Management:* Access to and from the development shall
22 be approved by the Florida Department of Transportation (FDOT) and in compliance
23 with the Land Development Code (See section I-22).

24
25 *Level of Service (LOS):* A traffic evaluation study shall be approved by the county's
26 traffic consultant (See section I-22).

27
28 2. Stormwater: The applicant shall coordinate with the Public Works Division, and, if
29 necessary, the South Florida Water Management District (SFWMD) to determine
30 compliance with all applicable regulations (See section I-9).

31
32 3. Sewer: The applicant shall coordinate with the Florida Department of Health, Florida
33 Department of Environmental Protection and/or Florida Keys Aqueduct Authority to
34 determine compliance with all applicable regulations (See section I-10).

35
36 4. Emergency Management: The applicant shall coordinate with the Office of the Fire
37 Marshal to determine compliance with the Florida Fire Prevention Code and the
38 Florida Building Code. The office provided a letter of coordination dated June 16,
39 2009.

40
41 F. *The applicant has the financial and technical capacity to complete the development as*
42 *proposed:*

43
44 Staff has no evidence to support or disprove the applicant's financial and technical
45 capacity.
46

1 G. *The development will adversely affect a known archaeological, historical or cultural*
2 *resource:*

3
4 The proposed redevelopment will not adversely affect a known archaeological, historical
5 or cultural resource.

6
7 H. *Public access to public beaches and other waterfront areas is preserved as part of the*
8 *proposed development:*

9
10 The property is land-locked. Therefore, the proposed redevelopment will not have an
11 adverse impact on public access to a waterfront area.

12
13 I. *The project complies with all additional standards imposed on it by the Land*
14 *Development Regulations:*

15
16 1. Residential Rate of Growth Ordinance (ROGO) (§138-19 – §138-28): *Not applicable.*

17
18 There are no existing or proposed residential dwelling units.

19
20 2. **Non-Residential Rate of Growth Ordinance (NROGO) (§138-47 – §138-56):** *In*
21 *compliance following receipt of NROGO permit allocations.*

22
23 The NROGO shall not apply to the redevelopment, rehabilitation or replacement of
24 any lawfully-established non-residential floor area which does not increase the
25 amount of non-residential floor area. On the site, 2,680 ft² of non-residential floor
26 area and 1,584 ft² of ‘canopy’ non-residential floor area were lawfully-established.

27
28 The proposal involves the demolition of the existing 1,584 ft² canopy. According to
29 the site plan, a new 1,596 ft² canopy shall be constructed. The existing 2,680 ft²
30 convenience store shall only be remodeled and its floor area shall not be expanded.

31
32 During a review of the site plan, Staff has found that the proposed 1,596 ft² new
33 canopy would not cover all of the new fuel dispensers. To do so, a canopy of
34 approximately 4,320 ft² would be required (135 ft by 32 ft). In the community impact
35 statement, the applicant implies that a larger canopy would be erected in the future;
36 however this is not reflected on the site plan or in the construction schedule.

37
38 Staff requests that the full-sized canopy be shown on a revised site plan and its
39 anticipated construction date be indicated in a revised construction schedule.
40 Otherwise, the applicant must submit a revised community impact statement and the
41 larger canopy shall not be approved as part of this application. It is important to note
42 that if the larger canopy is removed from this application or if the canopy is not
43 constructed in the timeframe approved under this application, another amendment to a
44 major conditional use permit application may be required in the future for its
45 construction.

1 The existing canopy has an area of 1,584 ft². In accordance with §138-49(e), the
2 enclosure of a canopy in existence before September 19, 2001 requires a NROGO
3 permit allocation. The existing canopy was constructed in 1999. Therefore, its area
4 can only be used to meet the NROGO requirements for a new canopy.
5

6 As proposed the redevelopment requires an allocation of 12 ft² of non-residential
7 floor area through the NROGO permit allocation system. The applicant could utilize
8 the property's one-time right to a de minimis expansion of up to 100 ft² without
9 entering the NROGO permit allocation system. However, if the applicant modifies
10 the site plan to show a larger canopy, a NROGO allocation(s) shall be required for the
11 additional square footage over 100 ft².
12

13 3. Purpose of the SC District (§130-43): *In compliance.*

14
15 The purpose is to establish areas for commercial uses designed and intended primarily
16 to serve the needs of the immediate planning area in which they are located.
17

18 4. Permitted Uses (§130-93): *In compliance following the receipt of required major*
19 *conditional use permit.*

20
21 The gas station and convenience store are commercial retail uses. According to the
22 site plan, there would be a 1,596 ft² canopy and a 2,680 ft² convenience store,
23 resulting in a total of 4,276 ft² of non-residential floor area (assuming the site plan is
24 not revised to show a larger canopy).
25

26 A traffic study by Crossroads Engineering indicates that the redevelopment would
27 generate 2,687 daily trips. According to that finding, the redevelopment would
28 generate 628 daily trips per 1,000 ft² of non-residential floor area. Commercial retail
29 uses that generate more than 100 average daily trips per 1,000 ft² of floor area are
30 high-intensity.
31

32 In the SC District, high-intensity commercial retail uses of greater than 2,500 ft² of
33 floor area may be permitted with major conditional use permit approval, provided that
34 there is access to US 1 by way of a) an existing curb cut; b) a signalized intersection;
35 or c) a curb cut that is separated from any other curb cut on the same side of US 1 by
36 at least 400 feet.
37

38 5. Residential Density and Maximum Floor Area Ratio (§130-157, §130-162 & §130-
39 164): *In compliance.*
40
41

Land Use Intensity:

Land Use	Floor Area Ratio	Size of Site	Maximum Allowed	Proposed Amount	Potential Used
Commercial Retail (high-intensity)	0.15 FAR	81,287 ft ²	12,193 ft ²	2,680 ft ² *	22 %

42 * Floor area ratio is total floor area of the *building(s)* divided by the gross area
43

- 1 6. Required Open Space (§118-9, §118-12, §130-157, §130-162 & §130-164): *In*
2 *compliance.*
3

4 There is a required open space ratio of 0.20. Therefore, at least 16,258 ft² of the
5 81,287 ft² of the total land area must remain open space. The site plan indicates that
6 there would be 53,109 ft² of open space area.
7

- 8 7. **Minimum Yards (§118-12 & §130-186):** *Not in compliance.*
9

10 The required non-shoreline setbacks are as follows: Front yard – 25 feet; Rear yard –
11 10 feet; and Side yard – 10/15 feet (where 10 feet is required for one side and 15 feet
12 is the minimum combined total of both sides).
13

14 The property is a four-sided corner lot. The site has a front yard requirement of 25
15 feet along the right-of-way of US 1 and the northern property line, a front yard
16 setback of 25 feet along the right-of-way of Old Boca Chica Road and the eastern
17 property line, a rear yard requirement of 10 feet along the southern property line and a
18 side yard requirement of 5 feet along the western property line.
19

20 As shown on the site plan, the existing building and proposed canopy would be in
21 compliance with the setback requirements.
22

23 Existing asphalt paving (other than that necessary for the permissible ingress/egress
24 drives) and 7 off-street parking spaces are located in the required front yard setback
25 along US 1. Part of the new underground diesel tank is located in the front yard
26 setback along the Old Boca Chica Road.
27

- 28 8. **Maximum Height (§130-187):** *Full compliance to be determined upon submittal to*
29 *Building Department.*
30

31 The application included elevations for the existing building. From its base, the
32 existing building is 26 feet, 10 inches. Shown improvements would not affect overall
33 height. As a note, grade is not shown or otherwise indicated on the elevations.
34

35 The application did not include elevations for the proposed canopy; however it is not
36 anticipated that a single-story canopy would exceed the 35-foot maximum height
37 requirement.
38

- 39 9. **Surface Water Management Criteria (§114-3):** *Full compliance to be determined by*
40 *the Public Works Division and/or SFWMD prior to issuance of a building permit.*
41

42 The Monroe County Project Management Department reviewed the stormwater plan
43 for the site and found that although the existing drainage pattern and retention may
44 meet current code, the application did not provide sufficient information from which
45 to make that determination. The department requests that if the major conditional use
46 permit is approved, the applicant should be advised that a building permit application

1 must include a stormwater plan and calculations in accordance with the Monroe
2 County Code.

- 3
4 10. Wastewater Treatment Criteria (§114-5): *Compliance to be determined by Florida*
5 *Department of Health, Florida Department of Environmental Protection and/or*
6 *Florida Keys Aqueduct Authority District prior to the issuance of a building permit.*

7
8 No letter of coordination relating to wastewater treatment has been provided.

- 9
10 11. Fencing (§114-20): *Full compliance to be determined upon submittal to Building*
11 *Department.*

- 12
13 12. Floodplain Management (§122-1 – §122-6): *Full compliance to be determined upon*
14 *submittal to Building Department.*

15
16 The site is designated within an AE – EL 10 flood zone on the Federal Emergency
17 Management Agency (FEMA)'s flood insurance rate maps. All new structures must
18 be built to floodplain management standards that meet or exceed those for flood
19 protection.

- 20
21 13. Energy Conservation Standards (§114-45): *In compliance.*

22
23 The redevelopment includes the provision of a bicycle rack, installation of native
24 plants in required landscaping, which will reduce the requirements for water and
25 maintenance; the installation of several shade trees, which will provide shade for
26 parking areas; and the provision of structural shading.

- 27
28 14. Potable Water Conservation Standards (§114-46): *Compliance to be determined*
29 *upon submittal to Building Department.*

- 30
31 15. Environmental Design Criteria and Mitigation Standards (§118-6, §118-7 & §118-8):
32 *Compliance to be determined by Biologist upon submittal to Building Department.*

- 33
34 16. Required Parking (§9.5-114-67): *In compliance.*

35
36 Required Off-Street Parking:

Specific Use	Multiplier	Proposed	Required Spaces
Convenience Stores	4 spaces / 1,000 ft ²	2,680 ft	11 spaces

37
38 According to the site plan, 23 off-street parking spaces would be provided. This
39 would be in compliance with the 11 required. One (1) of the off-street parking spaces
40 provided would be handicap-accessible. Please note that staff did not include the area
41 of the canopies in the off-street parking requirement calculations. In addition to
42 above requirements, a space for parking is located at each of the fuel dispensers.

43
44 *Bicycle/Scooter Parking:* A bicycle rack is shown on the site plan..

1
2 **17. Required Loading and Unloading Spaces (§114-69): *Not in compliance.***
3

4 One (1) loading/unloading space of 11 ft by 55 ft is required. A loading/unloading
5 space is not shown on the site plan.
6

7 **18. Required Landscaping (§114-99 – §114-105): *Not in compliance.***
8

9 Since the parking area is to contain six or more spaces and is within a SC District, a
10 class “A” landscaping standard is required.
11

12 **19. Required Buffer-yards (§114-124 – §114-130): *Not in compliance.***
13

14 No structure or land which abuts US 1 shall be developed, used or occupied unless a
15 scenic corridor or bufferyard is provided. In the SC District, the required major street
16 bufferyard is a class “C” bufferyard. The minimum class “C” bufferyard is 10 feet in
17 width. Widths of 15, 20 and 25 feet are also optional with reduced planting
18 requirements.
19

20 The site plan and landscape plan only shows a bufferyard that is less than 10 feet in
21 width along US 1. This width is not in compliance.
22

23 In addition, land use district bufferyards are required. To the south of the property is
24 an Urban Residential Mobile Home (URM) District. Along the SC/URM boundary
25 line, a class “B” district boundary bufferyard along the southern property line is
26 required. A class “B” district boundary bufferyard has a minimum width of 5 feet.
27 Widths of 10, 15 and 20 feet are allowed with reduced planting requirements.
28

29 **20. Outdoor Lighting (§114-159 – §114-163): *Full compliance to be determined upon***
30 ***submittal to Building Department.***
31

32 **21. Signs (§142-1 – §142-7): *Full compliance to be determined upon submittal to***
33 ***Building Department.***
34

35 **22. Access Standards (§114-195 – §114-201): *Not in compliance.***
36

37 There are two (2) existing access drives to the site, one from US 1 and one from Old
38 Boca Chica Road. According to the site plan, access would not be reconfigured.
39

40 The access drive from US 1 is nonconforming in that its separation from Old Boca
41 Chica Road is less than the minimum standard of at least 400 feet. In accordance
42 with MCC §114-199, no use fronting on US 1 shall receive a permit for a change of
43 use, expansion or reconstruction unless it is brought into conformance by provision of
44 combined drives or parallel access. Therefore, unless a letter is submitted from the
45 Florida Department of Transportation approving the existing access, due to the
46 expansion of fueling stations, staff requests that the site’s direct access to and from

1 US 1 be modified to be in compliance with the current regulations and access be
2 limited to the entry on Old Boca Chica Road.

3
4 A traffic study by Crossroads Engineering indicates that the redevelopment would
5 generate 2,687 daily trips with 1,505 less pass-by trips. Thus, the redevelopment
6 would result in 1,182 daily gross primary trips. The county's traffic consultant, Raj
7 Shanmugam of URS Corporation, found that reserve capacities along US 1,
8 particularly on Segments 1 through 5, are shown to be adequate. However, the trip
9 generation data in Table 1 and the reserve capacity information in Table 4 are
10 incorrect. Therefore, the consultant requests that the applicant make the necessary
11 corrections.

12
13 Site triangles are shown on the site plan; however vehicle maneuverability is not
14 clearly indicated. The county's traffic consultant found that the vehicle
15 maneuverability shown on the site plan appears to encroach outside of the US 1 paved
16 area. Therefore, the consultant requests that the applicant show the roadway edges
17 along US 1 and take corrective action if necessary.

- 18
19 23. Chapter 533, Florida Statutes: *Full compliance to be determined upon submittal to*
20 *Building Department.*

21
22 Other Issues:

- 23
24 1. The written application does not refer to the southwestern parcel identified as Tract B
25 or RE 00154880.000000. However, the site plan and boundary survey include the
26 parcel. Although gas station-related development is not proposed to be constructed
27 on the parcel, since it is shown on the site plan, staff included the parcel in its review
28 and utilized its land area for calculations including open space ratio and land use
29 intensity.
30
- 31 2. There is concern about the increased intensity to the site that would result from the
32 addition of two (2) new fuel pumps or four (4) dispensers/fueling stations. In total,
33 there would be five (5) fuel pumps with ten (10) dispensers/fueling stations.
34 Currently, there are only three (3) fuel pumps with a total of six (6) dispensers/fueling
35 stations.
36

37 The redevelopment would increase the number of the fueling stations and
38 consequently bring a significant amount of new traffic in and out of the site. Staff is
39 not adverse to an increase in the number of fuel pumps or additional intensity to the
40 site if the level of service along US 1 remains adequate; however staff requests some
41 rationale and reasoning from the applicant as to the need and demand for additional
42 fueling stations at this particular location.

- 43
44 3. The redevelopment requires an allocation of non-residential floor area through the
45 NROGO permit allocation system. The amount of non-residential floor area to be
46 allocated is limited to a maximum of 2,500 ft² for any one site per allocation date.

1 The annual allocation may be distributed between the two (2) allocation dates, which
2 are generally in or around January and July of each year.
3

4 In order to avoid a potential delay in the construction of new fuel pumps due to
5 NROGO allocation dates and potential competition for the limited non-residential
6 floor area that is available in the county's annual allocation, the applicant may phase
7 the project in order to install the fuel tanks prior to the canopies, as the canopies are
8 subject to the NROGO not the unenclosed and uncovered areas for the fuel pumps
9 alone. In order to do so, as part of this conditional use permit application, the
10 applicant must provide a detailed phasing plan that would provide a timeframe for
11 how development would occur. The phasing plan may be approved by the planning
12 commission.
13

14 4. The site plan indicates the removal of generators in its revision column description.
15 Existing generators are not shown on the site plan; however there is a proposed
16 equipment deck. Staff prefers that a generator remain on site to power the gas station
17 during evacuations and requests clarification as to whether or nor a generator shall be
18 present.
19

20 5. According to County records, there is a billboard on the southwestern parcel
21 identified as Tract B or RE 00154880.000000. The billboard is identified as BQ142.
22 As a note, the billboard is not shown on boundary survey or the site plan.
23

24 Pursuant to MCC §142(3)(b), off-premise signs, including billboards, are prohibited.
25 Since the billboard is documented, it is considered a nonconforming sign. Staff shall
26 request that the nonconforming sign/billboard be removed as part of any approval in
27 order to bring the site into compliance with the sign regulations.
28

29 **V RECOMMENDED ACTION:**
30

31 Staff recommends **APPROVAL** to the Planning Commission if all the following conditions
32 are met:
33

34 A. Prior to the scheduling of a public hearing by the Planning Commission, the applicant
35 shall provide written rationale relating to the need and demand for additional fueling
36 stations.
37

38 B. Prior to the scheduling of a public hearing by the Planning Commission, the applicant
39 shall revise the site plan to:

- 40 a. Remove the excess parallel parking in the front yard setback along US 1.
- 41 b. Provide the correct parking requirement in the site data information. "7
42 spaces / 1,000. S.F. Building Area" shall be revised to state "4 spaces / 1,000
43 S.F. Floor Area".
- 44 c. Show and label the required loading/unloading space with the dimension of 11
45 feet by 55 feet is required.
- 46 d. Show the roadway edges along US 1.

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- C. Prior to the scheduling of a public hearing by the Planning Commission, the applicant shall revise the site plan to remove the existing nonconforming access drive from US 1 or submit a letter from the Florida Department of Transportation stating the existing nonconforming access drive may continue to exist.
 - D. Prior to the scheduling of a public hearing by the Planning Commission, the applicant shall revise the site plan to show the roadway edges along US 1, and if the vehicle maneuverability encroaches outside of the US 1 paved area, take corrective action. Any corrective actions must be approved by the Florida Department of Transportation.
 - E. Prior to the scheduling of a public hearing by the Planning Commission, the applicant shall revise the landscape plan to:
 - a. Show a compliant class "C" major street bufferyard along US 1. The minimum class "C" bufferyard is 10 feet in width. Widths of 15, 20 and 25 feet are also optional with reduced planting requirements.
 - b. Provide the correct land use district. Urban Commercial (UC) shall be revised to state Suburban Commercial (SC).
 - c. Provide the correct Land Development Code sections.
 - F. Prior to the scheduling of a public hearing by the Planning Commission, the applicant shall submit a revised traffic study showing the correct trip generation data in Table 1 and the correct reserve capacity information in Table 4.
 - G. Prior to the issuance of a building permit, the applicant shall apply for a demolition permit to demolish the existing non-conforming off-premise sign/billboard.
 - H. Prior to the issuance of a building permit, the applicant shall provide a stormwater plan and calculations in accordance with the Monroe County Code.
 - I. Prior to the issuance of a building permit, the site plan and new structures shall be found in compliance by the Monroe County Building Department, the Monroe County Floodplain Administrator, the Monroe County Public Works Division and the Monroe County Office of the Fire Marshal.
 - J. Prior to the issuance of a building permit for its completion, allocation(s) for the canopy shall be acquired through the NROGO permit allocation system.
 - K. Similar and consistent design, materials and colors shall be utilized for all new structures, including canopies and signage, in order to make the development more attractive and cohesive.

1 VI PLANS REVIEWED:

- 2
- 3 a. Site Plan (C-2) by MDM Services, Inc., dated April 13, 2007 and last revised February
- 4 24, 2008
- 5 b. Landscape Plan (L-1) by MDM Services, Inc., dated April 13, 2007
- 6 c. Landscape Specifications (L-2) by MDM Services, Inc., dated December 20, 2005
- 7 d. Irrigation Plan (L-3) by MDM Services, Inc., dated April 13, 2007 and last revised
- 8 February 24, 2008
- 9 e. Truck Path Plan (C-2.1) by MDM Services, Inc., dated April 13, 2007 and last revised
- 10 February 24, 2008
- 11 f. Grade Plan (C-4) by MDM Services, Inc., dated April 13, 2007 and last revised February
- 12 24, 2008
- 13 g. Floor Plan (A-1) by MDM Services, Inc., dated March 16, 2007
- 14 h. Elevations (A-2 & A-2.1) by MDM Services, Inc., dated March 14, 2007 and last revised
- 15 January 18, 2008
- 16 i. Photometrics (PH-1) by MDM Services, Inc. & LSI Industries, dated June 16, 2009
- 17 j. Boundary Survey by Bloomster Professional Land Surveyors, Inc., dated November 9,
- 18 2006
- 19 k. Level 3 Traffic Study by Crossroads Engineering, dated December 2008

ORDINANCE _____ - 2009

AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING MONROE COUNTY SECTION 110-72 CONCERNING RECORDING OF CONDITIONAL USES FOR CLARIFICATION; AMENDING SECTION 110-73 REGARDING EXTENSIONS OF CONDITIONAL USES AND PROVIDING CONSISTENCY WITH SECTION 110-72 TIME PERIODS; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF INCONSISTENT PROVISIONS; PROVIDING FOR TRANSMITTAL TO THE DEPARTMENT OF COMMUNITY AFFAIRS AND THE SECRETARY OF STATE; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, applicants for development have had difficulties in these economic times completing projects within the time periods currently specified in conditional use approvals; and

WHEREAS, there is no flexibility even for good cause for granting extensions outside of the terms of the current code provisions; and

WHEREAS, the Planning Commission requested that it be granted the flexibility to grant extensions of conditional uses more than one time and for one year as is currently provided by the Monroe Count Code; and

WHEREAS, this ordinance was recommended for approval to the Board of County Commissioners by the Planning Commission at its meeting of _____. 2009;

NOW, THEREFORE, BE IT ORDAINED BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS:

(Deletions are ~~stricken through~~ and additions are underlined.)

Section 1. Section 110-72 shall be amended as follows:

Sec. 110-72. Recording of conditional uses.

(a) All conditional use approvals shall be recorded with the clerk of the circuit court in the official records of the county, including the terms and conditions upon which such approval is given, prior to the issuance of a building permit. The requirement contained in section 110-73(a) that a conditional use permit not be transferred to a successive owner without notification to the ~~development review coordinator~~ Planning Director within 15 days of the transfer must be included on the document which is recorded pursuant to this section.

(b) Prior to the expiration of the time periods described in section 110-73(a)(1) and the commencement of any construction, the owner of any property which is the subject of a recorded conditional use approval and who desires to abandon such approval shall submit a petition that shall be processed as a major conditional review. The resolution shall be a recordable instrument. If the major conditional use, which is the subject of the recorded approval, has been constructed, or partially constructed, the owner of the site may petition the planning commission for the release, which shall also be by a major conditional review; but the body shall not grant such a petition unless it finds that the major conditional use has been abandoned or is presently in an irrevocable process of abandonment.

Section 2. Section 110-73 shall be amended as follows:

Sec. 110-73. Development under an approved conditional use permit.

(a) Effect of issuance of a conditional use approval. Approval for a conditional use shall be deemed to authorize only the particular use for which it is issued. A conditional use approval shall not be transferred to a successive owner without notification to the ~~development review coordinator~~ Planning Director within five ~~fifteen~~ days of the transfer.

(1) Unless otherwise specified in the approved conditional use approval, application for a building permit shall be made within six months of the date of the approval of the conditional use, and all required certificates of occupancy shall be procured within two ~~three~~ years of the date of issuance of the initial building permit ~~the conditional use approval, or the conditional use approval shall become null and void with no further action required by the county.~~ Approval time frames do not change with successive owners. An extension of time for major conditional uses may be granted only by the planning commission prior to expiration of the conditional use, unless there is good and sufficient cause why application was not made within that time, for a period not to exceed one two years, and only within the original period of validity. When a hearing officer has ordered a conditional use approval initially denied by the planning commission, the planning commission shall nonetheless have the authority to grant or deny a time extension under this section. If the planning commission denies a time extension, the holder of the conditional use may request an appeal of that decision under chapter 102, article VI, division 2 by filing the notice required by that article within 30 days of the written denial of the planning commission.

(2) An extension of time for a minor conditional use may be granted by the Planning Director one time within six months of its expiration. Subsequent extensions must be done by re-application for the minor conditional use.

Section 3. Severability.

If any section, paragraph, subdivision, clause, sentence or provision of this ordinance shall be adjudged by any court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate, or nullify the remainder of this ordinance, but the effect thereof shall be confined to the section, paragraph, subdivision, clause, sentence, or

provision immediately involved in the controversy in which such judgment or decree shall be rendered.

Section 4. Conflicting Provisions.

In the case of direct conflict between any provision of this ordinance and a portion or provision of any appropriate federal, state, or County law, rule code or regulation, the more restrictive shall apply.

Section 5. Transmittal.

This ordinance shall be transmitted by the Planning and Environmental Resources Department to the Florida Department of Community Affairs as required by F.S. 380.05 (11) and F.S. 380.0552(9).

Section 6. Filing.

This ordinance shall be filed in the Office of the Secretary of the State of Florida but shall not become effective until a notice is issued by the Department of Community Affairs or Administration Commission approving the ordinance.

Section 7. Inclusion in the Monroe County Code.

The provisions of this Ordinance shall be included and incorporated in the Code of Ordinances of the County of Monroe, Florida, as an addition to amendment thereto, and shall be appropriately renumbered to conform to the uniform marking system of the Code.

Section 8. Effective Date.

This ordinance shall become effective as provided by law and stated above.

PASSED AND ADOPTED by the Board of County Commissioners of Monroe County, Florida at a regular meeting held on the ____ day of _____, 2009.

Mayor George Neugent	_____
Mayor <i>pro tem</i> Sylvia Murphy	_____
Commissioner Kim Wigington	_____
Commissioner Heather Carruthers	_____
Commissioner Mario Di Gennaro	_____

MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

Attest: DANNY L. KOLHAGE, CLERK

By _____
Deputy Clerk

By _____
Mayor George Neugent

ORDINANCE _____ - 2009

AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING MONROE COUNTY SECTION 102-21 CONCERNING THE DEPARTMENT OF PLANNING; AMENDING MONROE COUNTY CODE SECTION 6-55 REGARDING BUILDING DEPARTMENT AND UPDATING THE QUALIFICATIONS AND DUTIES OF THE DIRECTOR OF PLANNING; ELIMINATING SPECIFIC JOB DESCRIPTIONS FOR OTHER POSITIONS; AMENDING THE DUTIES OF THE DEVELOPMENT REVIEW COMMITTEE; DELETING OBSOLETE PROVISIONS; PLACING THE DUTIES OF THE BUILDING OFFICIAL IN ONE LOCATION IN CHAPTER 6 OF THE MONROE COUNTY CODE; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Board of County Commissioners has directed staff to change the requirements for the qualifications of the Planning Director; and

WHEREAS, the current text describing the job qualifications and functioning of the planning department is outdated; and

WHEREAS, the positions and duties of personnel are prescribed by job description in each department, approved by the Human Resources Department; and

WHEREAS, the composition of the divisions and departments of county government are determined by the County Administrator and the Board of County Commissioners and should have a flexible component not constrained by ordinance; and

WHEREAS, it is apparent that the current regulations for the department of planning were to apply to the entire division now known as the Growth Management Division and the terminology has changed since the regulations were written; and

NOW, THEREFORE, BE IT ORDAINED BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS:

Section 1. Section 110-21 shall be amended as follows (deletions are ~~stricken through~~ and additions are underlined):

Sec. 102-21. Department of planning.

(a) Duties; composition. The department of planning shall perform the planning functions for the county and shall provide technical support and

guidance for action on applications for development approval and shall perform such other functions as may be requested by the board of county commissioners or the planning commission. ~~The department of planning shall be composed of a building division, development review division, division of capital improvements planning, division of environmental resources, a division of land use planning and a division of code enforcement.~~

(b) Director of planning.

(1) Creation and appointment. ~~The director of planning shall be the department head of the department of planning and shall be selected by the county administrator and confirmed by the board of county commissioners.~~ There shall be a director of planning selected and approved by the appropriate division director and the county administrator, and the board of county commissioners if required.

(2) Jurisdiction, authority and duties. In addition to the jurisdiction, authority and duties that may be conferred upon the director of planning by other provisions of this Code, the director of planning shall have the following jurisdiction, authority and duties:

- a. To serve as staff to the planning commission and to inform such body of all facts and information at his disposal with respect to applications for development approval or any other matters brought before it;
- b. To assist the planning commission in the review of the plan, including the capital improvements program, these regulations and proposed amendments thereto;
- c. To maintain the official land use district map and to make ~~an annual~~ a presentation of the map to the board of county commissioners for certification when the land use map is updated;
- d. To maintain development review files and other public records related to the department's affairs;
- e. To review, or cause to be reviewed, all applications for major conditional use permits and plat approvals;
- f. To review and approve, approve with conditions, or deny all applications ~~or disapprove applications~~ for minor conditional use permits;
- g. To recommend amendments to the plan and this chapter;
- h. To render interpretations of the plan, this chapter or the boundaries of the official land use district map and future land use map;
- i. To evaluate and act upon claims of nonconforming uses and structures;

- j. To work to coordinate all local, regional, state and federal environmental and other land development permitting processes affecting development in the county;
- k. To plan for and evaluate all transportation improvements for the county, and coordinate such activities with the Florida Department of Transportation;
- l. To issue certificates of compliance and sign pre-application conference letters of understanding in accordance with the procedures set forth in the plan;
- ~~m. To enforce any provision of this chapter or any other provision of this Code;~~
- ~~n. m.~~ To establish such rules of procedure necessary for the administration of his responsibilities under the plan; and
- o. ~~n.~~ Whenever requested to do so by the county administrator or the board of county commissioners, with the assistance of other county departments, to conduct or cause to be conducted surveys, investigations and studies, and to prepare or cause to be prepared such reports, maps, photographs, charts and exhibits as may be requested.

~~(3) Minimum qualifications. The director of planning shall have the following minimum academic and professional qualifications:~~

- ~~a. Master of urban or regional planning or public administration or comparable degree from an accredited university;~~
- ~~b. Ten years' experience in public administration or land planning; and~~
- ~~c. Five years of supervisory experience.~~

~~(c) Development review coordinator.~~

~~(1) Creation and appointment. The development review coordinator shall be a member of the department of planning and report to the county administrator through the director.~~

~~(2) Minimum qualifications. The development review coordinator shall have the following minimum academic and professional qualifications:~~

- ~~a. Master of urban and regional planning or public administration or comparable degree from an accredited university;~~
- ~~b. Three years' experience in planning or zoning, including site plan review; and~~
- ~~c. Minimum one year of supervisory experience.~~

~~(3) Duties. The development review coordinator shall have the following duties:~~

- ~~a. To act as an ombudsman to applicants for development approval by facilitating and, to the extent possible,~~

~~expediting, compliance with the requirements of these regulations;~~

~~b. To serve as chair of the development review committee and to prepare for the director of planning's signature all preapplication conference letters of understanding;~~

~~c. To work with regional, state and federal permitting agencies;~~

~~d. To determine the completeness of applications for conditional use and plat approval;~~

~~e. To cause publication of notice of hearings on conditional use or plat approval applications;~~

~~f. To issue conditional use permits after approval by decision-making bodies; and~~

~~g. To deliver final plats to the county clerk for recording after approval.~~

(d) (c) Development review committee.

(1) Creation and composition. As required for the items being reviewed, the development review committee shall be composed of the director of planning or his or her designee and the planner in charge of the particular item being considered, and depending on the application being reviewed, may also include ~~the development review coordinator, the directors' representatives of the county's public works department division personnel, health department personnel, engineering personnel, the building official or his or her designee, the~~ a county biologist and any other county employee or official designated by the county administrator or the planning director. The development review committee also may ~~should~~ include representatives of each local, regional, state or federal agency that has entered into an intergovernmental agreement with the county for coordinated development review when appropriate. A representative of the department of community affairs shall serve as an ex officio member of the development review committee as long as the county is located within an area of critical state concern.

(2) Duties. The development review committee shall have the following duties:

a. To meet at least ~~twice~~ once a month to consider such business as is prescribed by this article including:

1. ~~Meeting with any developer at a preapplication conference when requested or required pursuant to the provisions of this chapter;~~

2. 1. Reviewing all applications for development approval as set forth in the code, and reporting its recommendations to the planning commission, the

~~board of county commissioners and the planning director; and~~

~~3. 2. Reviewing all applications for amendments to the plan.~~

b. To maintain such minutes and records as are required by state law.

c. Any action reviewing a permit application shall not preclude the applicant's right to be present when his project is discussed before this body.

d. Comments shall be made on the items before the development review committee and shall be given to the director of planning and the applicant.

e. Comments by members not in the department of planning may be in writing and delivered to the development review committee, the director of planning, and communicated to the applicant.

~~(e) Building official.~~

~~(1) Creation and appointment. The building official shall be selected by the director of planning and report to the county administrator through the director.~~

~~(2) Jurisdiction, authority and duties. In addition to the jurisdiction, authority and duties that may be conferred on the building official by other provisions of this Code, the building official shall have the following jurisdiction, authority and duties:~~

~~a. To issue and revoke building permits in accordance with the procedures of this chapter;~~

~~b. To issue and revoke certificates of occupancy in accordance with the procedures of this chapter;~~

~~c. To serve on the development review committee;~~

~~d. To enforce the provisions of this chapter;~~

~~e. To determine the extent of damage or destruction of nonconforming uses and structures, in cooperation with the director of planning;~~

~~f. To review building permit applications for repair within areas of special flood hazard to determine that the proposed repair satisfies the requirements of the floodplain management provisions of this chapter;~~

~~g. To review building permit applications for new construction or substantial improvement within areas of special flood hazard to ensure that the proposed construction (including prefabricated and mobile homes) satisfies the floodplain management requirements of this chapter;~~

~~h. To advise permittees that additional federal or state permits may be required, and if specific federal or state~~

permits are known to have been issued, to require that copies of such permits be obtained and provided and maintained on file with the building permit application;

- i.— To notify adjacent communities and the Florida Department of Community Affairs prior to any alteration or relocation of a watercourse, and to submit evidence of such notification to the Federal Emergency Management Agency;
- j.— To ensure that maintenance is provided within the altered or relocated portion of a watercourse so that the flood-carrying capacity is not diminished;
- k.— To verify and record the actual elevation (in relation to mean sea level) of the lowest floor (including basement) of all new or substantially improved structures;
- l.— To verify and record the actual elevation (in relation to mean sea level) to which the new or substantially improved structures have been floodproofed;
- m.— In coastal high hazard areas, to review certifications obtained from registered professional engineers or architects that the structure is securely anchored to adequately anchored pilings or columns in order to withstand velocity waters and hurricane wave wash;
- n.— To make interpretations, as needed, as to the exact location of boundaries of the areas of special flood hazard;
- o.— When base flood elevation data has not been provided in accordance with chapter 122, to obtain, review and reasonably use any base flood elevation data available from a federal, state or other source in order to administer the floodplain management provisions of this chapter; and
- p.— To provide the board of county commissioners and the planning commission with reports and recommendations with respect to matters before such bodies, as directed by the board of county commissioners, planning director, or the county administrator.

(f) ~~Division of capital improvements planning. The capital improvements planning coordinator shall be responsible for current and long-range transportation and other capital improvements planning and shall be the county's designated liaison with the Florida Department of Transportation. The coordinator shall monitor the county's transportation system, prepare an annual report and capital improvements plan for the county and work with the department of public works and other county departments to implement the county's capital improvements plan.~~

(g) ~~Land use planning division. There shall be a land use planning coordinator who shall be responsible for the land use planning function of the department of planning, including preparation of updates of data and~~

~~land use maps, annual reporting on land use trends and patterns and long-range planning. The coordinator shall prepare an annual report on the county's comprehensive plan for the director of planning.~~

~~(h) Environmental resources division. There shall be an environmental resources coordinator who shall be responsible for the environmental resources planning of the county and serve as the county biologist. In addition to the division's planning functions and the duties performed by the county biologist, the director of planning may delegate to the division responsibility for review of environmental aspects of development permitting and coordinating interagency (state and federal) permitting.~~

Section 2. Section 6-55 shall be amended as follows (deletions are ~~stricken through~~ and additions are underlined):

Sec. 6-55. Building department.

(a) *Organization and administration.* There is hereby established a department called the building department headed by the building official. Upon recommendation of the county administrator, the department shall be assigned to the division of county government that the board of county commissioners determines appropriate. The county administrator with the approval of the board of county commissioners shall designate the building official.

(b) *Employee qualifications.* The building official shall be licensed as a building code administrator by the state. All appointed or hired inspectors and plan examiners shall meet the qualifications for licensing in the appropriate trade as established by the state.

(c) *Building official authority and duties.* The building official shall have authority to administer, interpret, and enforce provisions of the Florida Building Code, flood plain management regulations, and this chapter. Such authority, jurisdiction, and duties shall include the following:

- (1) To process building permit applications and issue and revoke building permits;
- (2) To inspect sites, buildings and structures as required by this chapter, the Florida Building Code and the Standard Unsafe Building Abatement Code;
- (3) To issue and revoke certificates of occupancy;
- (4) To maintain building permit, financial, and other public records related to the department's affairs;
- (5) To establish such policies and procedures necessary for the administration of his responsibilities under the Florida Building Code and this chapter;

- (6) To provide a recording secretary for the purpose of keeping the board of adjustment and appeals;
- (7) To be the official source to render interpretations of this chapter and the Florida Building Code;
- (8) To enforce provisions of the Florida Building Code and this chapter;
- (9) To issue stop work orders; and
- (10) To conduct all other such duties and responsibilities as are otherwise required by this chapter.
- (11) To determine the extent of damage or destruction of nonconforming uses and structures, in cooperation with the director of planning;
- (12) To review building permit applications for repair within areas of special flood hazard to determine that the proposed repair satisfies the requirements of the floodplain management provisions of the code;
- (13) To review building permit applications for new construction or substantial improvement within areas of special flood hazard to ensure that the proposed construction (including prefabricated and mobile homes) satisfies the floodplain management requirements of the code;
- (14) To advise permittees that additional federal or state permits may be required, and if specific federal or state permits are known to have been issued, to require that copies of such permits be obtained and provided and maintained on file with the building permit application;
- (15) To notify adjacent communities and the Florida Department of Community Affairs prior to any alteration or relocation of a watercourse, and to submit evidence of such notification to the Federal Emergency Management Agency;
- (16) To ensure that maintenance is provided within the altered or relocated portion of a watercourse so that the flood-carrying capacity is not diminished;
- (17) To verify and record the actual elevation (in relation to mean sea level) of the lowest floor (including basement) of all new or substantially improved structures;
- (18) To verify and record the actual elevation (in relation to mean sea level) to which the new or substantially improved structures have been floodproofed;
- (19) In coastal high-hazard areas, to review certifications obtained from registered professional engineers or architects that the structure is securely anchored to adequately anchored pilings or columns in order to withstand velocity waters and hurricane wave wash;
- (20) To make interpretations, as needed, as to the exact location of boundaries of the areas of special flood hazard;

(21) When base flood elevation data has not been provided in accordance with chapter 122, to obtain, review and reasonably use any base flood elevation data available from a federal, state or other source in order to administer the floodplain management provisions of the code; and

(22) To provide the board of county commissioners and the planning commission with reports and recommendations with respect to matters before such bodies, as directed by the board of county commissioners, growth management division director or planning director, or the county administrator.

Section 3. Severability.

If any section, paragraph, subdivision, clause, sentence or provision of this ordinance shall be adjudged by any court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate, or nullify the remainder of this ordinance, but the effect thereof shall be confined to the section, paragraph, subdivision, clause, sentence, or provision immediately involved in the controversy in which such judgment or decree shall be rendered.

Section 4. Conflicting Provisions.

In the case of direct conflict between any provision of this ordinance and a portion or provision of any appropriate federal, state, or County law, rule code or regulation, the more restrictive shall apply.

Section 5. Transmittal.

This ordinance shall be transmitted by the Planning and Environmental Resources Department to the Florida Department of Community Affairs as required by F.S. 380.05 (11) and F.S. 380.0552(9).

Section 6. Filing.

This ordinance shall be filed in the Office of the Secretary of the State of Florida but shall not become effective until a notice is issued by the Department of Community Affairs or Administration Commission approving the ordinance.

Section 7. Inclusion in the Monroe County Code.

The provisions of this Ordinance shall be included and incorporated in the Code of Ordinances of the County of Monroe, Florida, as an addition to amendment thereto, and shall be appropriately renumbered to conform to the uniform marking system of the Code.

Section 8. Effective Date.

This ordinance shall become effective as provided by law and stated above.

PASSED AND ADOPTED by the Board of County Commissioners of Monroe County, Florida at a regular meeting held on the ____ day of _____, 2009.

Mayor George Neugent _____
Mayor *pro tem* Sylvia Murphy _____
Commissioner Kim Wigington _____
Commissioner Heather Carruthers _____
Commissioner Mario Di Gennaro _____

MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

Attest: DANNY L. KOLHAGE, CLERK

By _____
Deputy Clerk

By _____
Mayor George Neugent

DRAFT