

AGENDA

PLANNING COMMISSION
MONROE COUNTY
December 21, 2011
10:00 A.M.

MARATHON GOV'T CENTER
2798 OVERSEAS HIGHWAY
MARATHON, FL 33050

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

COMMISSION:

Denise Werling, Chairman
Randy Wall, Vice Chairman
Jeb Hale
Elizabeth Lustberg
William Wiatt

STAFF:

Townsley Schwab, Senior Director of Planning and Environmental Resources
Susan Grimsley, Ass't County Attorney
John Wolfe, Planning Commission Counsel
Joe Haberman, Planning & Development Review Manager
Mitch Harvey, Comp Plan Manager
Steven Biel, Sr. Planner
Barbara Bauman, Planner
Gail Creech, Planning Commission Coordinator

COUNTY RESOLUTION 131-92 APPELLANT TO PROVIDE RECORD FOR APPEAL

-

SUBMISSION OF PROPERTY POSTING AFFIDAVITS AND PHOTOGRAPHS

-

SWEARING OF COUNTY STAFF

CHANGES TO THE AGENDA

-

APPROVAL OF MINUTES

MEETING

Continued Item:

1. AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING THE REGULATIONS PERTAINING TO SIGNAGE IN MONROE COUNTY CODE CHAPTER 142, SIGNS; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR TRANSMITTAL TO THE STATE LAND PLANNING AGENCY AND THE SECRETARY OF STATE; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE.

(File 2011-113)

[2011-113 SR PC 12.21.11.pdf](#)

New Items:

2. Key Largo Ocean Resort (KLOR), 94825 Overseas Highway (US 1), Key Largo, Mile Marker 94.8: A request for approval of a major deviation to the site plan and major conditional use permit approved by Planning Commission Resolution #P35-07. The subject parcel is legally described as portions of Sections 13 and 14, Township 62 South, Range 38 East on Key Largo, being part Tract 10 and part Tract 11 of Southcliff Estates (PB2-45), Monroe County, Florida, having real estate numbers 00483390.000000, 00483400.000000, 00088680.000100 and 00088670.000100.

(File 2011-119)

[2011-119 SR PC 12.21.11.PDF](#)

[2011-119 Addtl Info 12.08.11.pdf](#)

[2011-119 Boundary-Topographic 12.08.11.pdf](#)

[2011-119 Proposed Site Plans 12.08.11.pdf](#)

[2011-119 FILE.PDF](#)

[2011-119 Site Plan A1.pdf](#)

[2011-119 Proposed Site Plans.pdf](#)

[2011-119 Boundary-Topographic.pdf](#)

[2011-119 Fire.pdf](#)

[2011-119 Landscape Plans.pdf](#)

3. CONSIDERATION OF A RESOLUTION TRANSMITTING TO THE STATE LAND PLANNING AGENCY AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS ADOPTING AN AMENDMENT TO THE MONROE COUNTY YEAR 2010 COMPREHENSIVE PLAN, CREATING POLICY 101.4.26 TO ESTABLISH A NEW FUTURE LAND USE MAP DESIGNATION CATEGORY OF MARITIME HARBOR ISLAND, AMENDING POLICY 101.4.21 TO ESTABLISH DENSITY AND INTENSITY STANDARDS FOR THE MARITIME HARBOR ISLAND CATEGORY AND AMENDING POLICY 101.5.8 TO ALLOW LANDS DESIGNATED AS MARITIME HARBOR ISLAND TO BE A RECEIVER SITE FOR TRANSFERRABLE ROGO EXEMPTIONS (TRES); PROVIDING FOR SEVERABILITY; DIRECTING THE DIRECTOR OF PLANNING TO FORWARD A COPY TO THE FLORIDA STATE LAND PLANNING AGENCY; PROVIDING FOR FILING WITH THE SECRETARY OF STATE; PROVIDING FOR THE INCORPORATION INTO THE COMPREHENSIVE PLAN; PROVIDING FOR AN EFFECTIVE DATE.

(File 2011-078)

[2011-078 Email from Susan 12.07.11.PDF](#)

4. Pirate Hat Marina, 199 Morris Lane, Cross Key/Key Largo, Mile Marker 113: A request for approval of a variance that the required off-street parking be reduced from 36 parking spaces to 26 parking spaces, a reduction of twenty eight (28) percent. The granting of this variance will allow the property owner to proceed with a Major Conditional Use for the site. The subject parcel is legally described as Lot 1, Monroe Park Subdivision, Cross Key, Monroe County, Florida, having Real Estate Number 00572820.000000 and 00152810.000000.

(File 2011-095)

[2011-095 SR PC 12.21.11.PDF](#)

[2011-095 FILE.PDF](#)

[2011-095 Recvd 08.08.11 Site Plan 2.pdf](#)

5. Pirate Hat Marina, 199 Morris Lane, Cross Key/Key Largo, Mile Marker 113: A request for approval to amend the site's major conditional use permit to allow for the addition of boat racks (dry slips), parking, landscaping and other associated site improvements. The subject parcel is legally described as Lot 1, Monroe Park Subdivision, Cross Key, Monroe County, Florida, having Real Estate Number 00572820.000000 and 00152810.000000.

(File 2011-096)

[2011-096 SR PC 12.21.11.pdf](#)

[2011-096 File.PDF](#)

[2011-096 COMBINED Plans Recvd 08.08.11.pdf](#)

[2011-096 Revisions 11.09.11.PDF](#)

[2011-096 COMBINED Plans Recvd 11.09.11.pdf](#)

[2011-096 Storm Water Plan 11.09.11.PDF](#)

Pursuant to Section 286.0105 Florida Statutes and Monroe County Resolution 131-1992, if a person decides to appeal any decision of the Planning Commission, he or she shall provide a transcript of the hearing before the Planning Commission, prepared by a certified court reporter at the appellant's expense. For such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

ADA ASSISTANCE: If you are a person with a disability who needs special accommodations in order to participate in this proceeding, please contact the County Administrator's Office, by phoning (305) 292-4441, between the hours of 8:30 a.m. - 5:00 p.m., no later than five (5) calendar days prior to the scheduled meeting; if you are hearing or voice impaired, call "711".

BOARD DISCUSSION

-

GROWTH MANAGEMENT COMMENTS

-

RESOLUTIONS FOR SIGNATURE

ADJOURNMENT



MEMORANDUM

MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

We strive to be caring, professional and fair

To: Monroe County Planning Commission
Through: Townsley Schwab, Senior Director of Planning & Environmental Resources
Jane Tallman, PE, Scenic Highway Coordinator
From: Joseph Haberman, AICP, Planning & Development Review Manager
Date: December 14, 2011

Subject: *AN ORDINANCE BY THE MONROE COUNTY BOARD OF COUNTY COMMISSIONERS AMENDING THE REGULATIONS PERTAINING TO SIGNAGE IN MONROE COUNTY CODE CHAPTER 142, SIGNS; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF CONFLICTING PROVISIONS; PROVIDING FOR TRANSMITTAL TO THE STATE LAND PLANNING AGENCY AND THE SECRETARY OF STATE; PROVIDING FOR CODIFICATION; PROVIDING FOR AN EFFECTIVE DATE.*

Meeting: December 21, 2011 (Continued from October 18, 2011 and November 9, 2011 and December 1, 2011)

1
2 I REQUEST
3

4 The Planning & Environmental Resources Department is proposing amendments to the text
5 of the Monroe County Code concerning the County's sign regulations. The purposes of the
6 amendment are to update the Monroe County Code to address whether or not to continue
7 allowing A-frame signs (which cannot be permitted beyond December 30, 2011); to provide
8 new regulations related to signs that accommodate multi-tenants/occupants; to address
9 inconsistencies related to the Florida Department of Transportation (FDOT)'s regulations and
10 the County's regulations regarding off-premise signage; and to revise the existing language
11 to address several areas of improper language and incorrect references.
12

13 II RELEVANT PRIOR COUNTY ACTIONS AND BACKGROUND INFORMATION:
14

15 Sign regulations were adopted into the land development regulations of the Monroe County
16 Code (MCC) when the current version became effective in late 1980s, as memorialized by
17 Ordinances #033-1986 and #054-1987. In the 1990s, significant amendments to MCC
18 Chapter 142, Signs (then titled MCC Chapter 9.5, Article VII, Division 13, Signs) were
19 undertaken with considerable input from business owners, citizens and County staff, as
20 memorialized by Ordinances #001-1994 and #036-1997. At that time, it was widely viewed
21 that the regulating sign regulations were comprehensive and satisfied business owners and
22 citizens alike.
23

1 In December 2008, the Code Compliance Department conducted county-wide enforcement
2 of the sign regulations, focusing on signs erected without the benefit of required building
3 permits and prohibited signs. At the January 28, 2009 BOCC meeting, several business
4 owners spoke about the economic climate and the need to keep some of these prohibited
5 signs, particularly A-frame signs, or else some businesses may go out of business. The
6 BOCC directed the Planning & Environmental Resources Department to review sign
7 regulations and determine if any changes were necessary. Further, the BOCC agreed that a
8 "temporary stay" of Code Compliance proceedings against the cited signs would be granted
9 for six months or until a new sign ordinance was written. If any sign continued to be in
10 violation after the new ordinance was effective, the property owner would be subject to
11 compliance measures.

12
13 In May 2009, the Planning & Environmental Resources Department conducted three public
14 workshops to receive public input regarding sign regulation revisions: 1) Big Pine Academy
15 School on Big Pine Key; 2) Harvey Government Center in Key West; and 3) Murray Nelson
16 Government Center on Key Largo. At each workshop, attendees were given the opportunity
17 to share their ideas and what they like changed about the current regulations. In addition,
18 questionnaires were provided for attendees to complete. In general, the types of prohibited
19 signs that were mentioned most by the respondents were A-frames, off-premises signs, and
20 vehicle signs.

21
22 In order to implement some of the changes requested by the community, staff modified the
23 sign regulations to remove some of the prohibitive restrictions related to vehicle signs and
24 temporarily allow the erection of A-frame signs with building permits until June 7, 2010.
25 The amendments were memorialized by Ordinance #031-2009.

26
27 The regulations were amended again in 2010 by Ordinance #018-2010 to extend the sunset
28 date for A-frame signs to December 30, 2011.

29
30 Related to this current amendment (but not being addressed as part thereof), the Planning &
31 Environmental Resources Department is currently evaluating signage along US 1 as part of a
32 FDOT funded wayfinding project to develop consistent signage which compliments the
33 Florida Keys Scenic Highway, reduces extraneous sign clutter along US 1 and directs
34 vehicles and pedestrians to business districts, recreational facilities, cultural sites, civic
35 locations and natural features.

36
37 Regarding this current amendment, the Planning & Environmental Resources Department
38 has held additional workshops and public outreach to gather further comments and ideas
39 from the community. Staff has 1) held a public workshop at Murray Nelson Government
40 Center on Key Largo; 2) attended a board meeting of the Lower Keys Chamber of
41 Commerce; 3) attended a meeting at the Big Pine & Lower Keys Rotary Club; 4) attended a
42 Lower Keys Chamber of Commerce general membership meeting; and 5) scheduled the item
43 for public comment and discussion at four public hearings of the Planning Commission as
44 opposed to the single meeting required.

1 III REVIEW

2
3 The purposes of the amendment are to update the MCC to address whether or not to continue
4 allowing A-frame signs; to provide new regulations related to signs that accommodate multi-
5 tenants/occupants (in most cases businesses); to address inconsistencies related to the FDOT's
6 regulations and the County's regulations regarding off-premise signage; and to revise the
7 existing language to address several areas of improper language and incorrect references.

8
9 *A-frame signs:*

10
11 The MCC must be updated to address whether or not to continue allowing A-frame signs,
12 which cannot be permitted beyond December 30, 2011 due to a codified sunset date. Staff
13 has found that there are five viable alternatives in which the County may elect to pursue at
14 this time:

- 15
16 a) Amend the MCC to no longer allow A-frame signs. As of December 31, 2011, new A-
17 frame signs would not be permitted. Existing A-frames signs that received a building
18 permit for their erection would be allowed to continue exist; however only in accordance
19 with the provisions for nonconforming signs. Existing A-frame signs that did not receive
20 a building permit for their erection would be unlawful and subject to code compliance
21 action.
- 22
23 b) Amend the MCC to allow A-frame signs by building permit permanently and without a
24 sunset date (understanding that the regulations could be modified any time in the future to
25 expressly prohibit). New A-frame signs would continue to be allowed following the
26 issuance of building permits. Existing and new A-frame signs that did not receive a
27 building permit for their erection would be unlawful and subject to code compliance
28 action.
- 29
30 c) Amend the MCC to extend the sunset date from December 30, 2011 to a future date
31 (note: the County would have to address the situation again prior to expiration of the new
32 sunset date). New A-frame signs would continue to be allowed, if approved by a
33 building permit prior to the new sunset date. A-frame signs that did not or do not receive
34 a building permit for their erection would be unlawful and subject to code compliance
35 action.
- 36
37 d) Amend the MCC to allow A-frame signs and reclassify A-frames signs as a type of
38 allowed sign that does not require a building permit. New A-frame signs would continue
39 to be allowed; however such signs continue to be held to the existing standards and
40 regulations existing in the MCC with the exception of the building permit requirement.
- 41
42 e) As conceived and discussed at the December 1, 2011 Planning Commission public
43 hearing, amend the MCC to allow A-frame signs as a type of ground-mounted signage
44 for properties that do not have other ground-mounted signage. New A-frame signs would
45 continue to be allowed following the issuance of building permits if there is no other
46 ground-mounted signage on the site. Existing A-frames signs that are located on sites

1 with additional ground-mounted signage that received a building permit for their erection
2 would be allowed to continue exist; however only in accordance with the provisions for
3 nonconforming signs. Existing A-frame signs that did not receive a building permit for
4 their erection would be unlawful and subject to code compliance action. (*Staff*
5 *recommendation at this time*).

6
7 Staff counted A-frame signs adjacent to businesses on US 1 in June 2011. A total of 150 A-
8 frame signs were counted. County records indicate less than 10 building permits have been
9 issued for A-frame signs, leaving the majority of existing A-frame signs as unpermitted and
10 unlawful.

11
12 *Multi-tenants/occupants signage:*

13
14 The MCC should be updated to address the relatively unique situation of properties that have
15 several tenants/occupants (i.e. businesses) in operation. The current regulations restrict the
16 amount of ground-mounted sign square footage to the amount of property frontage and do
17 not consider the number of businesses in operation. As the standards for variances are
18 somewhat restrictive (as having several businesses may not be construed as an exceptional
19 hardship), amendments may be necessary to address this situation and provide enough
20 ground-mounted sign square footage to these properties so that their occupants can
21 adequately advertise and safely direct visitors to their establishments.

22
23 *Inconsistencies with the FDOT's off-premise signage regulations:*

24
25 The MCC must be updated to provide consistency with Florida Statute 335.093 and Rule 14-
26 10.004(4)(c) of the Florida Administrative Code, which prohibit new permits for off-
27 premises signs along scenic highways.

28
29 An FDOT Outdoor Advertising permit is required for off-premise signs that advertise a
30 products or businesses and are visible from a state road. F.A.C. Subsection 14-10.004(4)(c)
31 states that "When a controlled road, or any portion of a controlled road, is designated as a
32 scenic highway or scenic byway pursuant to Section 335.093, F.S., new permits will not be
33 issued for signs visible from the portion of the highway designated as a scenic highway or
34 byway."

35
36 If a permit is issued, the business owner must also apply for a County permit and adhere to
37 the MCC, with the exception of signs in the FDOT Right-of-Way. However, the current
38 regulations in the MCC have different definitions and rules pertaining to off-premise signage.
39 As such, the MCC may allow some off-premise signs that would otherwise be prohibited by
40 state and federal regulations. The MCC should be revised to require the more restrictive
41 FDOT permit first so that the county does not issue any building permits for signs that would
42 ultimately not be permitted by FDOT.

43
44 Therefore, staff recommends the following changes (Deletions are ~~stricken through~~ and
45 additions are underlined. Text to remain the same is in black):
46

Chapter 142
SIGNS*

- 1
- 2
- 3
- 4 Sec. 142-1. Purpose and intent.
- 5 Sec. 142-2. Definitions.
- 6 Sec. 142-3. General provisions.
- 7 Sec. 142-4. Signs requiring a permit and specific standards.
- 8 Sec. 142-5. Regulations pertaining to the measurement, construction, and maintenance
- 9 of all signs.
- 10 Sec. 142-6. Criteria for variances.
- 11 Sec. 142-7. Nonconforming signs.
- 12 Sec. 142-8. Special identification signs.
- 13

14 *State law reference—Provisions to regulate signage required, F.S. § 163.3202(2)(f)

15
16 **Sec. 142-1. Purpose and intent.**

17
18 The purposes and intent of this chapter are to:

- 19
- 20 (1) Facilitate the implementation of goals, objectives and policies set forth in the
- 21 comprehensive plan relating to sign control, community character and scenic
- 22 resources and protection of areas from incompatible uses;
- 23
- 24 (2) Promote and maintain convenience, safety, property values and aesthetics by
- 25 establishing a set of standards for the erection, placement, use and maintenance of
- 26 signs that will grant equal protection and fairness to all property owners in the county;
- 27
- 28 (3) Provide a simple set of regulations that will minimize intricacies and facilitate
- 29 efficiency of permitting functions and thus assist the regulated public;
- 30
- 31 (4) Encourage signs that help to visually organize the activities of the county, and lend
- 32 order and meaning to business identification and make it easier for the public to
- 33 locate and identify their destinations;
- 34
- 35 (5) Regulate the size, number and location of signs so that their purpose can be served
- 36 without unduly interfering with motorists and causing unsafe conditions;
- 37
- 38 (6) Promote the general welfare, including enhancement of property values and scenic
- 39 resources, so as to create a more attractive business climate and make the county a
- 40 more desirable place in which to visit, trade, work and live;
- 41
- 42 (7) Be fair in that everyone receives equal and adequate exposure to the public and no
- 43 one is allowed to visually dominate his neighbor;
- 44
- 45 (8) Authorize the use of signs in commercial and industrial areas that are:
- 46 a. Compatible with their surroundings;

- 1 b. Appropriate to the type of activity to which they pertain;
2 c. An expression of the identity of the individual proprietors and the community as a
3 whole; and
4 d. Large enough to sufficiently convey a message about the owners or occupants of
5 a particular premises, the commodities, products or devices available on such
6 premises, or the business activities conducted on such premises, yet small enough
7 to prevent excessive, overpowering advertising which would have a detrimental
8 effect on the character and appearance of commercial and industrial areas, or
9 which could unduly distract the motoring public, causing unsafe motoring
10 conditions;

11
12 (9) To limit signs in noncommercial areas to protect the character and appearance of
13 noncommercial areas.
14

15 **Sec. 142-2. Definitions.**

16
17 The following words, terms and phrases, when used in this chapter, shall have the
18 meanings ascribed to them in this section, except where the context clearly indicates a
19 different meaning:
20

21 *Area of a sign.* Refer to section 142-5(1).
22

23 ~~Banners~~ *Banner* means any suspended sign made of any flexible material such as, but not
24 limited to, cloth, plastic or paper whether or not imprinted with words or characters.
25

26 *Billboard* means any sign that is required to be registered with the Florida Department of
27 ~~transportation~~ Transportation (FDOT) pursuant to F.S. ~~ch.~~ chapter 479 and exceeds the
28 size limitations set forth in section 142-4 of this chapter.
29

30 *Business frontage.* See "frontage, business."
31

32 *Changeable copy sign* means a sign specifically designed for the use of replaceable copy
33 that does not involve replacement of the sign face itself or alteration of the sign structure.
34

35 *Clear sight triangle* means ~~as required in section 114-201, an imaginary~~ a triangular-
36 shaped area at any driveway connection to a public street and at all street intersections, as
37 required in section 114-201, in which nothing is allowed to be erected, placed, planted or
38 allowed to grow in such a manner as to limit or obstruct the sight of motorists entering or
39 leaving the driveway or street intersection. Also referred to as clear vision triangle.
40

41 *Copy* means the text or graphic representations of a sign that depict, ~~for example,~~ the
42 name of an establishment, products, services or other messages, whether in permanent or
43 removable form.
44

45 *Erect* means in the context of this chapter, to build, construct, attach, hang, place,
46 suspend, affix or paint a sign.

1
2 *Facade* means the face of a building or structure is most nearly parallel with the right-of-
3 way line under consideration, including related architectural elements such as awnings,
4 parapets and mansard roofs but excluding signs attached to a building that are not
5 otherwise incorporated into such architectural elements.
6

7 *Face of sign* means the planes of a sign on which copy could be placed, including trim
8 and background.
9

10 *Flag* means a piece of light weight, flexible material such as cloth or plastic with one side
11 attached to a pole and the other end flying freely.
12

13 *Frontage, business* means the horizontal linear distance measured along the facade of an
14 individual business. Also referred to as "business frontage."
15

16 *Frontage, property*; means the distance measured along a public or private right-of-way
17 or easement including canals, shorelines and runways that affords vehicular access to the
18 property between the points of intersection of the side lot lines with such right-of-way or
19 easement. Where a street or highway is divided as occurs on Key Largo, a parcel of land
20 in the median of the street or highway shall be considered to have a frontage on each side.
21 All parcels that abut U.S. 1 or County Road 905 shall be considered to have a frontage on
22 such roads regardless of whether a curb cut exists. Also referred to as "property
23 frontage."
24

25 *Ground-mounted sign* means any sign that is mounted on or supported by an upright or
26 brace in or upon the ground, such upright or brace being directly attached in or upon the
27 ground and independent of any other structure. Signs affixed to fences shall be
28 considered ground-mounted signs.
29

30 *Illuminated sign* means any sign that is illuminated by artificial light, either from an
31 interior or exterior source, including outline, reflective or phosphorescent light, whether
32 or not the source of light is directly affixed as part of the sign.
33

34 *Interior property information sign* means signs located entirely on the property to which
35 the sign pertains, are not readily visible from public rights-of-way, and which are
36 intended to provide information to people on the property. Examples include, but are not
37 limited to, "pool closed," "no walking on grass," "pay ramp fee at the office" and "no
38 fishing."
39

40 *Licensed sign contractor* means any person holding a valid certificate of competency in
41 sign erection issued by the county.
42

43 *Off-premises sign* means any sign located on premises other than those on which the
44 business or organization uses products, goods or services that the sign advertises are
45 available. When in the right-of-way of or visible from U.S. 1, off-premises signs are

1 required to be registered with the Florida Department of Transportation (FDOT) pursuant
2 to F.S. chapter 479.

3
4 *Pennant* means a series of small flag-like pieces of cloth or similar type of material
5 attached and strung between two or more points.
6

7 *Plane* means any surface such as a rectangle, square, triangle, circle or sphere that is
8 capable of carrying items of information; any area enclosed by an imaginary line
9 describing a rectangle, square, triangle or circle which includes freestanding letters,
10 numbers or symbols.
11

12 *Portable sign* means any sign or sign structure that is not permanently attached to the
13 ground or to any other permanent structure or which is specifically designed to be
14 transported. This definition shall include, but not be limited to, trailer signs, A-frame
15 signs, sandwich board signs and vehicles whose primary purpose is advertising.
16

17 *Posted property sign* means a sign such as, but not limited to, the following, which
18 indicates "no trespassing," "beware of dog," "no dumping," or other similar warnings.
19 State statutes may establish requirements for these signs.
20

21 *Premises* means any parcel of land owned, leased or controlled by the person actively
22 engaged in business and so connected with the business as to form a contiguous
23 component or integral part of it; or owned, leased or controlled by a person for living
24 accommodations.
25

26 *Promotional signs sign* means ~~promotional signs are a~~ temporary ~~signs posted sign~~
27 erected by a nonprofit organizations organization or organizations, holding a valid county
28 public assembly permit, to advertise a special event such as a bazaar, dance, art show,
29 craft show, or similar type of event.
30

31 *Property frontage.* See "frontage, property."
32

33 *Real estate sign* means a sign used solely for the purpose of offering for sale, lease, or
34 rent the property upon which the sign is placed and which includes, but is not limited to,
35 "open house," "open for inspection" and "model home." Such signs are allowed only
36 while a property is for sale, lease or rent.
37

38 *Sign* means any object, device, display or structure, or part thereof, situated outdoors or
39 indoors that is used to advertise, identify, display, direct or attract attention to an object,
40 person, institution, organization, business, product service event or location and by any
41 means, including words, letters, figures, designs, symbols, fixtures, colors or projected
42 images. Signs do not include:

- 43 (1) The flag or emblem of any nation or organization of nations, state, city, or fraternal,
44 religious or civic organizations;
- 45 (2) Merchandise that is not otherwise incorporated into a sign structure;
- 46 (3) Models or products incorporated in a window display;

- 1 (4) Works of art that do not contain advertising messages and in no way identify a
2 product, use or service; or
3 (5) Scoreboards located on athletic fields.
4

5 *Sign structure* means any structure that supports, has supported or is capable of
6 supporting a sign, including decorative cover.
7

8 *Wall-mounted sign* means any sign mounted on or painted on and parallel to the facade or
9 wall of a building.
10

11 *Window sign* means any sign mounted to or painted on, or visible through a window for
12 display to the public.
13

14 **Sec. 142-3. General provisions.**

15 (a) *Applicability of chapter.*

16 (1) *Type of activities affected.* This chapter shall apply to any person who erects,
17 constructs, enlarges, moves, changes the copy of, modifies, or converts any signs, or
18 causes the same to be done. If a type of sign is not specifically allowed under this
19 chapter, it shall be considered to be prohibited. The procedure for variances is set
20 forth in section 142-6. The procedure for amendments to the text of this chapter is set
21 forth in chapter 102, article V.
22

23 (2) *Type of activities not affected.* The following activities shall not be subject to the
24 regulation under this chapter. However, such activities shall nevertheless comply with
25 the county building code and other applicable regulations of the county, state and
26 federal governments.
27

- 28 a. Any sign erected by or at the direction of the federal, state, or county government.
29 Such signs shall not reduce the authorized size or number of signs otherwise
30 allowed by this chapter. All signs allowed pursuant to this section shall be the
31 minimum necessary to comply with the applicable law;
32 b. Changing of the advertising copy or message of a lawfully existing changeable
33 copy sign, whether manual or automatic;
34 c. Changing the copy of a lawfully existing billboard (refer to definition of billboard
35 in section 142-2);
36 d. Works of art that do not contain advertising messages, and which in no way
37 identify a product, use, or service;
38 e. Maintenance of lawfully existing signs and sign structures that does not involve
39 change of copy, modification, enlargement, reconstruction, relocation or additions
40 to any sign or sign structure. Replacement of the damaged or deteriorated plastic
41 face of a sign shall be considered maintenance, provided that the copy is not
42 changed. The necessity to obtain a building permit for such work shall be
43 governed by chapter 6;
44 f. The erection of community interest signs in the right-of-way of U.S. 1 as are
45 otherwise allowable pursuant to state or federal law. Examples of community
46

1 interest signs shall include, but not be limited to, "Welcome to the Florida Keys,"
2 "Thank You for Visiting the Florida Keys," and signs that identify recognized
3 communities or municipalities; and

4 g. Interior property information signs as defined in section 142-2.
5

6 (b) *Prohibited signs.* The following types of signs, lights, advertising devices or activities
7 are prohibited:
8

- 9 (1) Off-premises signs; excluding off-premise signs identifying lawfully-established off-
10 premises businesses, as permitted in section 142-4;
11
- 12 (2) Those erected in a clear sight triangle; or at any location where, by reason of the
13 position, shape or color, they may interfere with or obstruct the view of any
14 authorized traffic sign, signal or device;
15
- 16 (3) Abandoned signs that no longer correctly direct or exhort any person; or advertise a
17 bona fide business, lessor, owner, product or activity conducted or available on the
18 premises indicated on such sign;
19
- 20 (4) Animated signs, of which all or part of the sign physically revolves or moves in any
21 fashion whatsoever, or which contains or uses for illustration any light, lights or
22 lighting device which changes color, flashes or alternates, shows motion or
23 movement, or changes the appearance of such sign. The operations of electronic
24 message centers and automatic changing signs shall be governed by section 142-
25 5(4)d;
26
- 27 (5) Signs that emit smoke, vapor, particles, odor or sounds;
28
- 29 (6) Motion picture source used in such a manner as to permit or allow the images or
30 audio to be visible or audible from any public street or sidewalk;
31
- 32 (7) No person shall park any vehicle, trailer, floating device, barge, raft, or boat, whether
33 licensed or unlicensed, on any public property, including public rights-of-way, and
34 beaches, or on private property so as to be clearly visible from any public right-of-
35 way, which has attached thereto or located thereon any sign, or promotional element,
36 for the primary purpose of advertising products or services, conveying messages or
37 directing people to a business or activity. This restriction is not intended to prohibit
38 incidental signage on a functional, licensed vehicle which is displayed in a manner to
39 primarily identify the vehicle with the business it serves. Such vehicles shall only
40 park in a lawful parking space. Vehicle signs may not be an attachment that extends
41 or protrudes from the vehicle. However, commercial vehicles that provide delivery
42 services, including taxies, shall be allowed a temporary attached roof sign that
43 identifies the business. Such sign shall only be allowed on the vehicle while doing
44 business and shall be no larger than 24 inches long, 12 inches tall and ten inches
45 wide, including the base;
46

- 1 (8) Portable signs, except for ~~A-frame signs as permitted in section 142-4~~ and political
2 campaign signs as permitted in section 142-3(d);
3
- 4 (9) Any sign that is affixed to any wall or structure and extends more than 24 inches
5 perpendicularly from the plane of the building wall;
6
- 7 (10) Any sign attached to a building and projecting above the facade of a building, or
8 any sign mounted on top of a flat roof or on top of any horizontal awning;
9
- 10 (11) Signs that cause radio or television or other communication, electrical, magnetic
11 interference;
12
- 13 (12) Signs erected, constructed or maintained that obstruct any firefighting equipment,
14 window, door or opening used as a means of ingress or egress or for firefighting
15 purposes;
16
- 17 (13) Signs, except posted property signs, that are erected or maintained upon trees or
18 painted or drawn upon rocks or other natural features or tacked, nailed or attached in
19 any way to utility poles;
20
- 21 (14) Signs on public property or road rights-of-way including, but not limited to, signs
22 placed on any curb, sidewalk, post, pole, hydrant, bridge, tree or other surface located
23 on public property or over or across any public or private street except as may
24 otherwise expressly be authorized by this chapter;
25
- 26 (15) Unshielded illuminated devices that produce glare or are a hazard or a nuisance to
27 motorists or occupants of adjacent properties, or signs containing mirrors; and
28
- 29 (16) Pennants.
- 30
- 31 (c) *Dangerous signs.* No person shall allow any sign that is in a dangerous or defective
32 condition to be maintained on any premises owned or controlled by such person. Any
33 such sign shall be removed or repaired by the owner of the sign or the owner of the
34 premises, or as otherwise provided for in this chapter.
35
- 36 (d) *Signs not requiring a permit.* The following shall not require a permit but still are subject
37 to section 142-5:
38
- 39 (1) *Banners.* Banners, provided they do not exceed 32 square feet per face and there is
40 only one per business frontage, and they are displayed temporarily for a period of not
41 more than 60 consecutive days, nor more than 60 total days in any one year. Banners
42 exceeding 32 square feet in area shall be required to obtain a permit pursuant to
43 section 142-4;
44
- 45 (2) *Business affiliation and law enforcement signs.* Signs displayed upon the premises
46 denoting professional and trade associations with which the occupant is affiliated, and

1 including, but not limited to, forms of payment accepted by the occupant, and other
2 signs pertaining to public safety and law enforcement, provided the total of such signs
3 does not exceed four square feet;
4

5 (3) *Business information signs.* Signs providing information to customers such as
6 business hours, telephone number, "open" or "closed," "shirts and shoes required,"
7 "no soliciting," and "no loitering," provided that such signs are posted on or near the
8 entrance doors and the total of such signs does not exceed six square feet;
9

10 (4) *Commemorative plaques.* Signs of recognized historical nature, provided no plaque
11 exceeds 16 square feet per face;
12

13 (5) *Construction signs.* Signs erected at a building site that identify the name of the
14 project, owner, architect, engineer, general contractor, financial institution, or other
15 persons and firms performing services, labor or supply of materials to the premises;
16 provided the signs are not installed until a building permit is issued and are removed
17 within 30 days of the issuance of the certificate of occupancy and are further limited
18 as follows:
19 a. Signs for individual tradesmen or professionals shall be limited to four square feet
20 in area per face per tradesman or professional; and
21 b. Signs for more than one tradesman or professional shall be limited to a total of 32
22 square feet in area per face and eight feet in height;
23

24 (6) *Directional signs.* Signs located entirely on the property to which the sign pertains
25 and which are intended to provide direction to pedestrians or vehicular traffic and/or
26 to control parking on private property. Examples: "entrance," "exit," "one-way,"
27 "pedestrian walk," "handicapped parking," etc., provided such signs do not exceed six
28 square feet per sign face;
29

30 (7) *Flags.* Each business frontage shall be allowed to display two flags containing any
31 graphic, symbol, logo or other advertising message, provided that no such flag shall
32 exceed 50 square feet in size. There shall be no number or size limit on the display of
33 the flag of any nation, organization of nations, state, city, or fraternal, religious, or
34 civic organizations;
35

36 (8) *Garage sale signs.* Signs for garage sales, provided they are erected not more than 24
37 hours prior to the sale and are removed within 72 hours of the time they were erected
38 and they do not exceed four square feet per face;
39

40 (9) *Holiday decorations.* Decorations that are clearly incidental to and commonly
41 associated with any national, local or religious holiday; provided that such signs shall
42 be displayed for a period of not more than 60 consecutive days nor more than 60 days
43 in any one year. Such signs may be of any type, number, area, height, illumination or
44 animation, provided that they do not interfere with public safety;
45

- 1 (10) *Memorial signs or tablets.* Signs including, but not limited to, names of buildings
2 and date of erection when cut into any masonry surface or when constructed of
3 bronze or other noncombustible materials, provided the total of such signs does not
4 exceed eight square feet;
5
- 6 (11) *Nameplates.* Signs bearing only property numbers, street addresses, mailbox
7 numbers, estate names, the occupation of the occupant or names of occupants of the
8 premises, provided the signs do not exceed two square feet per sign face;
9
- 10 (12) *Posted property signs.* Signs such as, but not limited to, the following, which
11 indicate "no trespassing," "beware of dog," "no dumping," or similar warnings,
12 provided they individually do not exceed 1.5 square feet in area per sign and not
13 exceeding four in number per lot, or of such number, spacing, and size as is required
14 per state statutes. Such signs shall not be illuminated nor shall they project over any
15 public right-of-way;
16
- 17 (13) *Warning signs.* Signs informing the public of the existence of danger, but
18 containing no advertising material, provided the sign does not exceed the minimum
19 necessary to inform the public and are removed upon subsidence of danger;
20
- 21 (14) *Window signs.* Window signs that collectively cover 35 percent or less of the
22 window glass surface area. Note: The abovementioned business information and
23 business affiliation signs shall be excluded from the computation of the window sign
24 area;
25
- 26 (15) *New business signs.* Once an application for a permanent sign is submitted to the
27 county, a new business, or a business in a new location may erect a temporary sign
28 without a permit for a period not exceeding 120 days from the date of application for
29 a permanent sign, provided that:
30 a. There is only one ground-mounted or wall-mounted sign;
31 b. The total sign area does not exceed 32 square feet;
32 c. The sign, if ground-mounted, does not exceed eight feet in height; and
33 d. The temporary sign shall be removed upon the installation of the permanent sign;
34
- 35 (16) *Political signs.* Political signs are signs on behalf of candidates for public office
36 or measures on election ballots and shall be allowed as follows:
37 a. Political signs may be erected no earlier than 70 days prior to such section and
38 shall be removed within 14 days following such election. Failure to meet these
39 conditions shall constitute the basis for sign removal by the county or its
40 designee;
41 b. In areas zoned primarily for residential or ~~ef~~ low intensity nonresidential uses
42 (CD, CFV, IS, MN, NA, OS, PR, SS, SR, SR-L, UR, URM, AND URM-L),
43 political signs shall not exceed 16 square feet per face or eight feet in height and
44 shall not be illuminated; and

1 c. In areas zoned ~~commercial~~ primarily for nonresidential uses (AD, CFA, ~~CFS~~
2 CFSD, DR, I, MF, MI, MU, RV, SC, and UC) political signs shall not exceed 32
3 square feet per face in area or eight feet in height;

4
5 (17) *Promotional signs.* Promotional signs per section ~~142-4(2)~~; 142-4(1)a.1.; and

6
7 (18) *Real estate signs.* Real estate signs per section ~~142-4(3)~~ 142-4(1)b.1.
8

9 **Sec. 142-4. Signs requiring a permit and specific standards.**

10
11 Upon application for, and issuance of a building permit, except as indicated, the following
12 signs shall be allowed. In order for a sign application to be approved, the applicant must
13 grant access to the property for inspection purposes, for the life of the sign.
14

15 (1) *Special signs.*

16 a. *Promotional signs.* ~~Promotional signs are temporary signs posted either by~~
17 ~~nonprofit organizations or by any organization conducting a temporary event~~
18 ~~pursuant to a public assembly permit to advertise a special event such as a bazaar,~~
19 ~~dance, art show, craft show, or similar type of event.~~

20 1. *Promotional signs not exceeding 32 square feet.* Promotional signs not
21 exceeding 32 square feet per face shall not require a permit, provided that
22 such signs are:

- 23 (i) Not illuminated;
24 (ii) Not located in a clear sight triangle;
25 (iii) Limited to two promotional signs on the premises of the event;
26 (iv) Posted no earlier than 15 days before the event and are removed
27 within five days after the event; and
28 (v) Limited to two off-premises promotional signs erected no more
29 than 24 hours prior to the event and removed no later than 24 hours
30 after the conclusion of the event, provided that permission of the
31 property owner of which the off premise promotional sign is
32 erected is granted.

33 2. *Promotional signs exceeding 32 square feet.* Promotional signs exceeding 32
34 square feet in area per face shall be allowed in any ~~zoning district~~ Land Use
35 (Zoning) District by issuance of a single building permit, provided that the
36 promotional signs:

- 37 (i) Are erected no earlier than 30 days prior to a proposed event and are
38 removed within five days after such event;
39 (ii) Do not exceed 128 square feet; and
40 (iii) Are located on the premises of the event.

41 b. *Real estate signs.* ~~Signs used solely for the purpose of offering for sale, lease, or~~
42 ~~rent the property upon which the sign is placed and which include, but are not~~
43 ~~limited to, "open house," "open for inspection" and "model home." Such signs are~~
44 ~~allowed only while a property is for sale, lease or rent and as follows:~~

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1. *Real estate signs not exceeding six square feet.* One real estate sign not exceeding six square feet per face including riders, per property shall not require a permit, provided the sign is:
 - (i) Not illuminated; and
 - (ii) Ground-mounted signs shall not exceed eight feet in height.
 2. *Real estate signs exceeding six square feet.* Real estate signs exceeding six square feet per face shall require a permit and shall be subject to the following restrictions:
 - (i) Multiple-family structures, nonresidential buildings and vacant land shall be allowed one non-illuminated wall-mounted or ground-mounted sign, not exceeding 32 square feet in area, ~~shall be allowed on~~ per each street frontage. Such ground ~~Ground~~-mounted signs shall not exceed eight feet in height.
 - (ii) Any property of ten acres or more in size, regardless of the limitations set forth in subsection (1)b.2.(i) of this section, shall be allowed non-illuminated ground-mounted or wall-mounted signs as follows: One sign not exceeding 32 square feet may be erected for every 400 linear feet of frontage on any one street. Such ground ~~Ground~~-mounted signs shall not exceed eight feet in height.
 - c. *Hospitals or other emergency facilities.* In addition to any other signage allowed under this chapter, hospitals or other emergency medical facilities, excluding individual medical offices, shall be allowed one additional illuminated ground-mounted or wall-mounted sign not ~~exceeding to exceed~~ exceeding 32 square feet per face to identify each emergency entrance.
 - d. *Bench signs.* Bench signs shall be allowed, upon approval of the ~~county engineer~~ planning director and the building official, at any designated bus stops subject to the following limitations:
 1. Benches in residential areas shall not have signs, except a bench donor sign containing the donor's logo or symbol, not exceeding two inches by 16 inches in size;
 2. Benches in commercial areas shall be allowed to have signs on the back rest not to exceed a total of six square feet; and
 3. Bench signs shall be limited to one per designated bus stop.
- (2) *Signs in residential areas and areas of low intensity.* Signs in residential areas and areas of low intensity (CD, CFV, IS, MN, NA, OS, PR, SS, SR, SR-L, UR, URM, URM-L) shall be restricted as follows:
 - a. *Commercial and other nonresidential uses.* Commercial and other nonresidential uses within the land use districts, CD, CFV, IS, MN, NA, OS, PR, SS, SR, SR-L, UR, URM, URM-L, which are adjacent to U.S. 1 shall be regulated pursuant to subsection (3) of this section. Unless otherwise provided for in this chapter, all other commercial and nonresidential uses in these land use districts shall be allowed one ground-mounted sign and wall-mounted signage which shall be limited as follows:
 1. The ground-mounted sign shall be limited to 32 square feet in area per face and eight feet in height; and

- 1 2. Wall-mounted signage shall be limited to a total of 32 square feet.
 2
 3 b. *Residential subdivision or condominium sign.*
 4 1. One permanent, wall-mounted or ground-mounted sign, for identification
 5 purposes only, giving only the name of the subdivision, or residential
 6 development, may be granted a permit at each main entrance into such
 7 subdivision or development from each abutting street.
 8 2. The following limitations shall apply:
 9 (i) The subdivision or development shall have a homeowner's association or
 10 similar entity that will be responsible for permits and maintenance of the
 11 signs;
 12 (ii) The face of each sign shall not exceed 32 square feet;
 13 (iii) The maximum permitted height shall be eight feet; and
 14 (iv) The sign may incorporate, or be incorporated into, accessory entrance
 15 structural features such as a project wall or landscaping.
 16 c. *Institutional uses and private parks.* Institutional uses, private parks and similar
 17 uses shall be allowed one ground-mounted sign and wall-mounted signage that
 18 shall be limited as follows:
 19 1. The ground-mounted sign shall be limited to 32 square feet in area per face (a
 20 maximum of 64 square feet for all faces) and eight feet in height;
 21 2. Wall-mounted signage shall be limited to a total of 32 square feet; and
 22 3. An additional 16 square feet in area per face may be added to the ground-
 23 mounted sign for the exclusive use of a changeable copy sign.
 24 d. *Electronic message centers and automatic changing signs.* Electronic message
 25 centers and automatic changing signs shall be prohibited in residential areas and
 26 areas of low intensity (CD, CFV, IS, MN, NA, OS, PR, SS, SR, SR-L, UR, URM,
 27 URM-L).

28 (3) *Signs in commercial/nonresidential areas.* Sign allowances in commercial and other
 29 nonresidential areas (AD, CFA, ~~CFS~~ CFSD, DR, I, MF, MI, MU, RV, SC, UC) shall
 30 be calculated based on the amount of property frontage and business frontage as
 31 follows:

- 32 a. *Ground-mounted single-tenant/occupant signs.* Every nonresidential developed
 33 parcel of land with a commercial or other nonresidential use shall be allowed the
 34 following ground-mounted signage:
 35 1. One illuminated or non-illuminated, ground-mounted sign of a height not
 36 more than 24 feet shall be allowed for each frontage as indicated in the
 37 following table:

<i>Permitted Size of Nonresidential Signs per Property Frontage</i>		
<i>Street Frontage (Linear feet)</i>	<i>Maximum Area Per Face (square feet)</i>	<i>Total Face Area (square feet)</i>
Frontage on U.S. 1 or a frontage road adjacent to U.S. 1:		
1' to 150' <u>1 ft. to 150 ft.</u>	75 sq. ft.	150 sq. ft.
150' to 300' <u>151 ft. to 300 ft.</u>	100 sq. ft.	200 sq. ft.
Over 300' <u>301 ft. or more</u>	200 sq. ft.	400 sq. ft.
Frontage on county roads, shorelines or runways:		

1' to 150' 1 ft. to 150 ft.	40 sq. ft.	80 sq. ft.
150' to 300' 151 ft. to 300 ft.	60 sq. ft.	120 sq. ft.
Over 300' 301 ft. or more	80 sq. ft.	160 sq. ft.

2. Parcels that are on a corner of two public streets shall be allowed either:
 - (i) One ground-mounted sign for each property frontage; or
 - (ii) One ground-mounted sign with exposure to both streets with up 1.5 times the maximum amount of area allowed on any one property frontage.
3. Where a street or highway is divided as occurs on Key Largo, which results in a parcel of land in the median of the street or highway then the property shall be considered to have a frontage on each side.
4. Service stations, convenience stores, marinas, or other facilities dispensing fuel to the public shall be allowed to add to each authorized ground-mounted sign, an additional 40 square feet or 20 square feet per face of signage for the exclusive use of a changeable copy sign for posting fuel prices.
5. A school, church, day-care center or other similar use shall be allowed to add an additional 64 square feet or 32 square feet per face of signage to the ground-mounted or wall-mounted sign for the exclusive use of a changeable copy sign.
6. Individual charter boats shall be allowed a ground-mounted sign at the charter boat's dock slip, provided the sign does not exceed a total of 32 square feet and there is no more than one fish replica. Signs allowed under this provision shall be exempt from shoreline setback requirements.
7. Drive-through or carry-out services shall be allowed a ground-mounted sign that carries only the name of the establishment and the current list and price of goods or services available in the establishment and is not intended to be viewed from any right-of-way and provided that the sign is limited to a maximum of 40 square feet.
8. Any parcel that does not have a ground-mounted sign as defined in section 142-2 shall be allowed a single A-frame sign in place of the ground-mounted sign. Such A-frame signs shall meet all of the following standards:
 - (i) A building permit shall be required prior to the sign's erection and the building permit number shall be permanently affixed to the sign in a plainly visible manner;
 - (ii) The sign shall be no greater than three feet in width and no greater than four feet in height, exclusive of legs that can be no more than six inches in height;
 - (iii) The sign shall be of A-frame-type construction, with only two sign faces that are joined at the top;
 - (iv) The sign is portable and not permanently affixed to the ground;
 - (v) The sign is located on a private parcel of land and identifies a business on that same private parcel of land. The sign may not be located on a public right-of-way or walkway;
 - (vi) The sign shall only identify a lawfully-established business name(s) and/or other information directly related to that business;
 - (vii) The sign shall not be located in a clear sight triangle;

1 (viii) The sign shall not be illuminated or electric and shall not have any
2 electric devices attached thereto; and
3 (ix) The sign shall be stored indoors during tropical storm/hurricane watches
4 and warnings and other severe weather advisories;
5

6 b. *Wall-mounted signs.*

- 7 1. Signs painted or attached to the surface of awnings, parapets, mansards and
8 similar roof and building elements shall be considered wall-mounted signs for
9 purposes of determining compliance with the requirements of this chapter.
- 10 2. Wall-mounted signs shall not extend above the facade of a building or project
11 outward more than 24 inches from the facade or wall to which it is attached.
- 12 3. Each individual business frontage shall be allowed wall-mounted signage
13 equal in area to two square feet times the length of the individual business
14 frontage.
- 15 4. A commercial or other nonresidential building located on a corner of two
16 public streets shall be allowed wall-mounted signage on the wall not
17 considered to be the front (i.e., a side street) equal in area to one square foot
18 times the length of such wall.
- 19 5. The side of a commercial or other nonresidential building not on a corner of
20 two public streets shall be allowed wall-mounted signage on the side walls
21 equal in area to one-half square foot times the length of the side of the
22 building.
- 23 6. If the rear of a commercial or other nonresidential building faces a public
24 street or public parking lot, a wall-mounted sign up to a maximum of eight
25 square feet shall be allowed per individual business.
- 26 7. On a multistory commercial or other nonresidential building, wall-mounted
27 signage shall be permitted for each additional floor as outlined in subsection
28 (3)b.3. of this section.
- 29 8. Theaters, museums, auditoriums and fairgrounds and similar uses providing
30 regular shows shall be permitted an additional 50 square feet of a changeable
31 copy wall-mounted sign. Along the wall adjacent to the ticket windows, a
32 theater may display, without requiring a sign permit, one poster up to 12
33 square feet for each movie being shown.
- 34 9. Drive-through or carry-out services shall be allowed one wall-mounted sign
35 that carries only the name of the establishment and the current list and price of
36 goods or services available in the establishment and is not intended to be
37 viewed from any right-of-way and provided that the sign is limited to a
38 maximum of 40 square feet.

39 c. *Canopy signs.* One sign per business entrance shall be allowed to be erected
40 underneath, and extending downward from, a canopy along the front of a
41 building, provided:

- 42 1. The sign does not exceed eight square feet per face;
- 43 2. The sign is permanently attached and does not swing;
- 44 3. The sign is perpendicular to the facade of the building; and
- 45 4. The sign is located above a walkway.

d. ~~A frame signs (i.e. Sandwich board signs). Through December 30, 2011, every nonresidential developed parcel of land bordering on US 1 shall be allowed A-frame signs, as indicated in the following table:~~

Street Frontage (Linear feet)	Maximum Number of Signs*
1' to 75'	1
76' to 150'	2
151' to 225'	3
226' to 300'	4
Over 300'	5

* No business shall be allowed more than one sign.

~~A frame signs may only be permitted provided the following standards are met:~~

- ~~1. The sign is no greater than three feet in width and no greater than four feet in height, exclusive of legs that can be no more than six inches in height;~~
- ~~2. The sign is of A frame type construction, with only two sign faces that are joined at the top;~~
- ~~3. Each sign face is no more than 12 square feet in area;~~
- ~~4. The sign is portable and not permanently affixed to the ground;~~
- ~~5. The sign is located on a private parcel of land and identifies a business on that same private parcel of land;~~
- ~~6. The sign shall not be located on a public right-of-way, or walkway;~~
- ~~7. The sign shall only identify a lawfully established business name(s) and/or other information directly related to that business;~~
- ~~8. The sign shall not be located in a clear sight triangle;~~
- ~~9. The sign shall not be illuminated or electric and shall not have any electric devices attached thereto;~~
- ~~10. The sign shall only be displayed during the business hours of the business it identifies and shall be stored indoors during non-business hours;~~
- ~~11. The sign shall be stored indoors during tropical storm/hurricane watches and warnings and other severe weather advisories; and~~
- ~~12. The building permit number shall be permanently affixed to the sign or sign structure in such a manner as to be plainly visible from grade.~~

- (4) *Off-premises signs.* Any nonresidential, lawfully-established business located on U.S. 1 shall be allowed to dedicate any portion of its allowance for one ground-mounted sign to another nonresidential, lawfully-established business not located on U.S. 1 that is accessed from a primary side street off U.S. 1 or a secondary side street located off a primary side street. The side street intersecting U.S. 1 shall be located within one-half mile of the property on U.S. 1 providing the off premises signage. Such off-premises signage shall be limited to one sign face per direction on U.S. 1. Off-premises advertising is also subject to subsections (3)a. and (3)b. of this section and to regulations pursuant to F.S. ~~ch.~~ [chapter 479](#).

A permit must be obtained from the Florida Department of Transportation (FDOT) Outdoor Advertising office for any off-premises sign that is within 600 feet of the nearest edge of the U.S. 1 right-of-way and/or is visible from U.S. 1. New permits will not be issued for off-premise signs visible from a designated scenic highway

1 (Rule 14-10(4)(c) Florida Administrative Code). The building department shall not
2 issue any building permit for an off-premise sign until the applicant provides
3 documentation from the Florida Department of Transportation (FDOT) indicating that
4 a proposed off-premise sign is permitted by their department or that a permit is not
5 necessary from their department. It is the responsibility of the applicant to obtain all
6 federal, state and local permits for any off-premise sign.
7

8 **Sec. 142-5. Regulations pertaining to the measurement, construction, and maintenance**
9 **of all signs.**

10
11 The requirements of this section shall apply to all signs whether or not a permit is required
12 unless otherwise noted below:
13

14 (1) *Measurement of sign area.*

- 15 a. The sign area shall be measured from the outside edges of the sign or sign frame,
16 whichever is greater, excluding the area of the supporting structures, provided that
17 the supporting structures are not used for advertising purposes and are of an area
18 equal to or less than the permitted sign area. In the case of wall-mounted signs
19 without border or frame, the surface area shall include such reasonable and
20 proportionate space as would be required if a border or frame were used.
21 b. When a single sign structure is used to support two or more signs, or unconnected
22 elements of a single sign, the surface area shall comprise the square footage
23 within the perimeter of a regular geometric form enclosing the outer edges of all
24 the separate signs or sign elements. However, undecorated space of up to 12
25 inches between separate sign panels may be excluded from the sign area
26 measurement where necessary to provide structural support members or to
27 provide visual separation between sign panels.
28 c. Where signs are installed back-to-back, both faces shall be counted as sign area.

29 (2) *Measurement of sign height.* The height of a sign shall be considered to be the
30 vertical distance measured from the top of the structure to the finished ground
31 elevation of the site at the base of the sign. In no event shall excess fill be used to
32 raise a sign.

33 (3) *Location of signs.*

- 34 a. *Clear sight triangle.* No sign shall be erected that would impair visibility at a
35 street intersection or driveway entrance pursuant to section 114-201.
36 b. *Clearance from high-voltage power lines.* Signs shall be located in such a way
37 that they maintain a clearance of ten feet to all overhead electrical conductors and
38 a three-foot clearance on all secondary voltage service drops.
39 c. *Setbacks from property lines.* The minimum setback for signs shall be five feet,
40 setbacks shall be measured from the property line to the farthest extension of the
41 sign, including any overhangs, guy wires and supports.
42 d. *Scenic corridor bufferyard.* Where a scenic corridor bufferyard is required
43 pursuant to section 114-125, ground-mounted signs shall only be erected in the
44 immediate vicinity of a driveway.

1 e. *Fences*. The authorized ground-mounted sign not requiring a permit may be
2 placed on a fence regardless of setbacks provided the sign does not extend above
3 the fence or project more than four inches outward from the fence.
4

5 (4) *Construction and operation of signs*. All signs shall comply with the following
6 requirements unless no permit is required.

7 a. *Compliance with Florida Building Code*. All signs shall comply with the
8 appropriate detailed provisions of the Florida Building Code, relating to design,
9 structural members and connections. Signs shall also comply with the additional
10 standards hereinafter set forth.

11 b. *Licensed contractor*. Signs shall only be erected by entities authorized by chapter
12 6.

13 c. *Structure design*. All signs that contain more than 40 square feet in area or are
14 erected over 20 feet in height shall be designed by an engineer registered in the
15 state. Structural drawings shall be prepared by the engineer and submitted prior to
16 a permit being issued. Wind load calculations shall be contained in the
17 engineering drawings. The building official may set wind load requirements
18 greater than the Florida Building Code if deemed necessary to protect the health,
19 safety and welfare of the public or property owners surrounding the sign. The
20 building official may request wind load calculations for signs of less than 40
21 square feet in area prior to issuing a permit.

22 d. *Electric signs and illuminated signs*.

23 1. All electric signs shall require a permit and shall be Underwriter's Laboratory
24 approved or certified by a sign electrician specialty contractor or master sign
25 contractor, or an electrical contractor, that the sign meets the standards
26 established by the National Electrical Code, current edition. All electric signs
27 shall be erected and installed by an entity authorized to do so by chapter 6,
28 and shall be in conformance with the National Electrical Code, current
29 edition. The provision of electrical power to a power source or connection of a
30 sign to existing electrical service shall be by an entity authorized by chapter 6.

31 2. Artificial light used to illuminate any sign from outside the boundaries of such
32 sign shall be screened in a manner that prevents the light source from being
33 visible from any right-of-way or adjacent property.

34 3. Electronic message centers or automatic changing signs (ACS) shall comply
35 with the following:

36 (i) Lamps/bulbs in excess of nine watts are prohibited in the ACS matrix;

37 (ii) ACS lamps/bulbs shall be covered by lenses, filters, or sunscreens;

38 (iii) ACS signs shall be equipped with an operational right dimming device;

39 and

40 (iv) Other than the scrolling of written messages or non-animated graphics, all
41 operating modes that result in animation as defined in section 142-3(b) are
42 prohibited.

43 e. *Supports and braces*. Supports and braces shall be adequate for wind loading.
44 Wire or cable supports shall have a safety factor of four times the required
45 strength. All metal, wire cable supports and braces and all bolts used to attach
46 signs to a bracket or brackets and signs to the supporting building or structure

1 shall be of galvanized steel or of an equivalent corrosive-resistant material. All
2 such sign supports shall be an integral part of the sign.

3 f. *Sign anchoring.* No sign shall be suspended by chains or other devices that will
4 allow the sign to swing due to wind action. Signs shall be anchored to prevent any
5 lateral movement that would cause wear on supporting members or connections.

6 g. *Double-faced signs.* Double-faced signs with opposing faces having an interior
7 angle greater than 45 degrees shall not be permitted.

8
9 (5) *Sign identification and marking.* Unless specifically exempted from permit
10 requirements of this chapter, no sign shall hereafter be erected, displayed, rebuilt,
11 repaired, the copy changed, painted or otherwise maintained until and unless the
12 county sign permit number is painted or otherwise affixed to the sign or sign structure
13 in such a manner as to be plainly visible from grade.

14
15 (6) *Maintenance.* All signs for which a permit is required by this chapter, including their
16 braces, supports, guys and anchors, shall be maintained so as to present a neat, clean
17 appearance. Painted areas and sign surfaces shall be kept in good condition, and
18 illumination, if provided, shall be maintained in safe and good working order.

19
20 (7) *Responsibility.* The sign owner, the owner of the property on which the sign is placed
21 and the sign contractor shall each be held responsible for adherence to ~~the sign code~~
22 this chapter and chapter 6.

23
24 **Sec. 142-6. Criteria for variances.**

25
26 ~~A variance from the provision or requirements of this chapter shall be granted only where:~~

27
28 ~~(1) The literal interpretation and strict application of the provision and requirements of~~
29 ~~this chapter would cause undue and unnecessary hardship to the sign owner because~~
30 ~~of unique or unusual conditions pertaining to the specific building or parcel or~~
31 ~~property in question;~~

32 ~~(2) The granting of the requested variance would not be materially detrimental to the~~
33 ~~property owners in the vicinity;~~

34 ~~(3) The unusual conditions applying to the specific property do not apply generally to~~
35 ~~other properties in the county;~~

36 ~~(4) The granting of the variance will not be contrary to the general objective of this~~
37 ~~chapter of moderating the size, number and obtrusive placement of signs and the~~
38 ~~reduction of clutter; and~~

39 ~~(5) The variance is not requested on the basis of economic hardship of the sign user.~~

40
41 (a) Purpose. The purpose of this section is to establish authority, procedures, and standards
42 for the granting of variances from certain requirements of this chapter.

43
44 (b) Administrative variances. The planning director is authorized to grant administrative
45 variances to the maximum area per face requirements set forth in section 142-4(3)a. for

1 ground-mounted signs that accommodate more than a single user (i.e. tenant, business,
2 organization).

3 (1) Application. An application shall be submitted to the planning director on a form
4 approved by the planning department.

5 (2) Standards. The planning director shall grant an administrative variance to the
6 maximum area per face requirements for ground-mounted signs that accommodate
7 more than a single user only if the applicant demonstrates that all of the following
8 standards are met:

9 a. The granting of the administrative variance shall not be materially detrimental to
10 other property owners in the immediate vicinity;

11 b. The administrative variance shall be the minimum necessary to provide relief to
12 the applicant;

13 c. Each user shall be permitted only a single identification sign per each face/side of
14 the ground-mounted sign;

15 d. The area of each user's identification sign shall not exceed 100 square feet per
16 each face/side of the ground-mounted sign;

17 e. The total maximum area per face for the ground-mounted sign shall not exceed
18 400 square feet in area unless a variance is granted by the planning commission in
19 accordance with section 142-6(c);

20 f. The total face area for the ground-mounted sign shall not exceed 800 square feet
21 on double-sided signs unless a variance is granted by the planning commission in
22 accordance with section 142-6(c);

23 g. Such a ground-mounted sign shall not be constructed within 40 linear feet of
24 another ground-mounted sign; and

25 h. The sign shall be designed in accordance with the size of lettering guidelines set
26 forth in section 142-9.

27 (3) Procedures. The planning director shall determine if an application complies with the
28 standards of section 142-6(b)(2) within 60 days of the planning department's receipt
29 of a complete application. If the planning director determines that the application
30 complies with the standards, the planning department shall carry out public
31 notification in accordance with 142-6(b)(4). If the planning director determined that
32 the application does not comply with the standards, the planning director shall issue a
33 written decision of denial to the applicant.

34 (4) Surrounding property owner notification of application. Only after determining that
35 an application for a variance complies with the standards, the planning director shall
36 provide written notice by regular mail to owners of real property located within 300
37 feet of the property that is the subject of the application. The notice shall provide a
38 brief description of the proposed administrative variance and indicate where the
39 application may be examined. The cost of providing notice shall be borne by the
40 applicant.

41 (5) Decision by the planning director. After 30 days of the date in which the written
42 notification was sent per section 142-6(b)(4), the planning director shall review of all
43 public responses to the application. Upon a finding that the application has or has not
44 complied with the requirements and standards of this section, the planning director
45 shall issue a written administrative variance decision.

1 (6) Public hearing by the planning commission. If requested in writing by the applicant,
2 or an adversely affected owner or resident of real property located in the county
3 during the required 30 day notification period, a public hearing shall be scheduled on
4 the application. All costs of the public hearing shall be the responsibility of the
5 applicant for the administrative variance. The public hearing shall be conducted and
6 noticed in accordance with section 110-5.

7
8 (c) Variances granted by the planning commission. The planning commission is authorized
9 to grant variances to this chapter.

10 (1) Application. An application shall be submitted to the planning director on a form
11 approved by the planning department.

12 (2) Standards. The planning commission shall grant a variance only if the applicant
13 demonstrates that all of the following standards are met:

14 a. The literal interpretation and strict application of the provision and requirements
15 of this chapter would cause undue and unnecessary hardship to the sign owner
16 because of unique or unusual conditions pertaining to the specific building or
17 parcel or property in question;

18 (2) The granting of the requested variance would not be materially detrimental to the
19 property owners in the immediate vicinity;

20 (3) The unusual conditions applying to the specific property do not apply generally to
21 other properties in the unincorporated county;

22 (4) The granting of the variance will not be contrary to the general objective of this
23 chapter of moderating the size, number and obtrusive placement of signs and the
24 reduction of clutter;

25 (5) The variance is not requested solely on the basis of economic hardship of the sign
26 user;

27 (6) The variance shall be the minimum necessary to provide relief to the applicant;
28 and

29 (7) The variance shall not permit a sign expressly prohibited in section 142-3(b).

30 (3) Procedures. The planning director shall determine if an application is complete.
31 Within 60 days of the planning department's receipt of a complete application, the
32 planning department shall schedule the application for review and decision by the
33 planning commission. The planning director shall review the entire application and all
34 public responses thereto and prepare a staff report with recommendations for the
35 planning commission. The application shall be heard at a regularly scheduled meeting
36 of the planning commission. Notice, posting and hearing requirements shall be in
37 accordance with section 110-5.

38 (4) Decision by the planning commission. Within 30 days of the date of the public
39 hearing, upon a finding that the application has or has not complied with the
40 requirements and standards of this section, the planning commission shall issue a
41 written variance decision.

42
43 **Sec. 142-7. Nonconforming signs.**

44
45 Lawfully established signs ~~in place on the effective date of the ordinance from which this~~
46 ~~chapter is derived that are not in compliance with this chapter~~ which becomes non-compliant

1 and or non-conforming to the current regulations as a result of any amendment to this chapter
2 may continue only as follows:
3

- 4 (1) For ground-mounted signs, changes of copy, including type style and color changes,
5 may be performed, provided that a permit is obtained and provided that the name of
6 the businesses or establishments depicted by the sign are not changed. Changes of
7 copy involving the name of the businesses or establishments depicted by the sign
8 shall only be performed if the sign is brought into compliance with the requirements
9 of this chapter.
- 10 (2) No permit shall be issued for repair or reconstruction of any sign structure where such
11 work would be more than 50 percent of the replacement cost of the sign. Neither shall
12 the cumulative costs of repair or reconstruction exceed 50 percent of the replacement
13 cost of any nonconforming sign. The planning department shall maintain an
14 independently verified schedule of the replacement cost of signs.
- 15 ~~(3) With the exception of roof signs, off-premises signs and projecting signs, signs that~~
16 ~~are in violation of section 142-3(b) shall be removed or brought into compliance by~~
17 ~~date 30 days after the adoption of the amendment of the ordinance from which this~~
18 ~~section is derived.~~
- 19 ~~(3)~~(4) Determinations of nonconforming signs shall be made such that ground-mounted
20 signs are treated separately from wall-mounted and all other signage. For example,
21 where both the ground-mounted and wall-mounted signs of a particular parcel are
22 nonconforming, the change of copy of a wall-mounted sign shall not require that the
23 ground-mounted signage be brought into compliance. However, where a sign other
24 than a ground-mounted sign is required to be brought into compliance, all of the signs
25 of an establishment other than the ground-mounted signs shall be brought into full
26 compliance with this chapter.
- 27 ~~(4)~~(5) Signs that cannot comply with the requirements of this chapter may be allowed to
28 continue if designated as a historical or cultural landmark pursuant to chapter 134,
29 article III. The specific conditions under which a designated sign is allowed to
30 continue shall be set forth in the resolution of the board of county commissioners.
31

32 **Sec. 142-8. Special identification signs.**
33

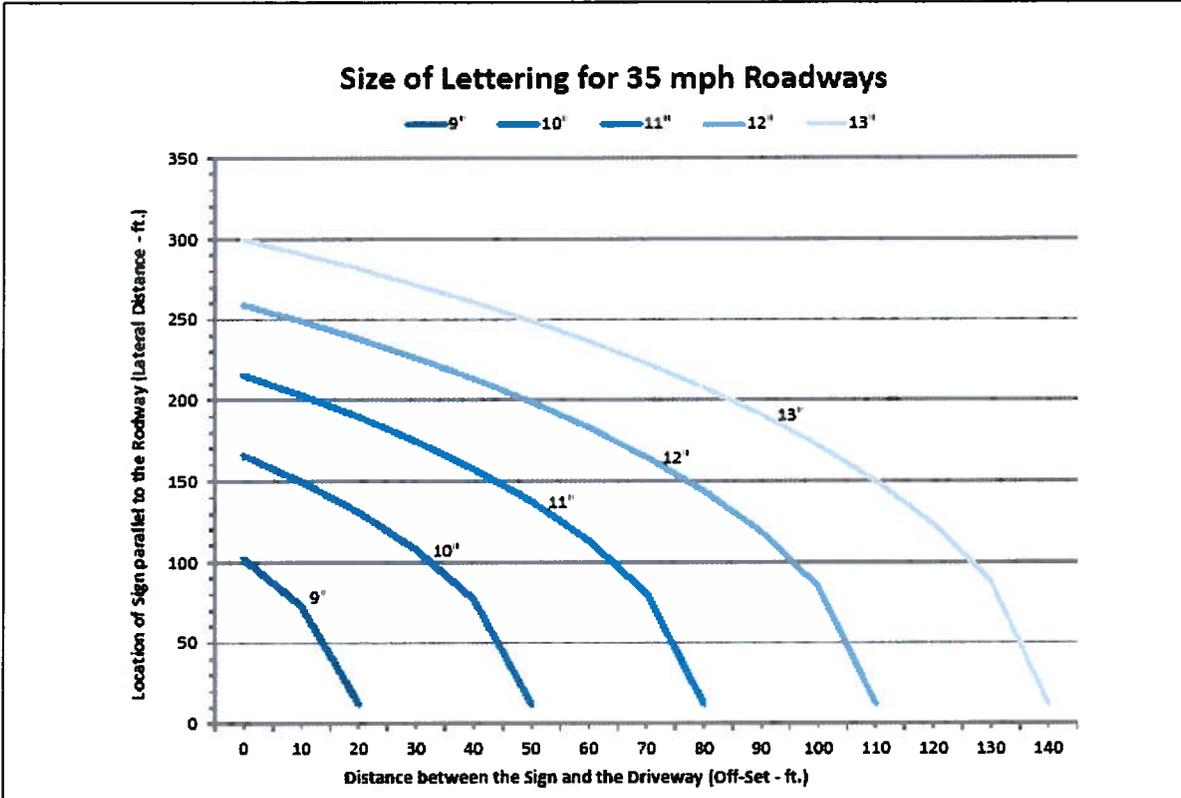
- 34 (a) *Community business directory signs.* The county may work with FDOT District 6 and
35 local communities to develop a sign program that promotes businesses within specific
36 communities in the Florida Keys through the use of centrally located multiple user
37 business identification signs on U.S. 1.
- 38 (b) *Community identification signs.* The county may work with FDOT District 6 to
39 develop a sign program that identifies specific communities in the Florida Keys. The
40 county shall coordinate with local communities to incorporate a theme which
41 promotes the unique character of the local community.
- 42 (c) *Off-premises special feature identification signs.* The county may work with FDOT
43 District 6 to develop a sign program that identifies special features, tourist sites and
44 business districts. The county shall coordinate with local communities to select
45 appropriate landmarks to be identified.
46

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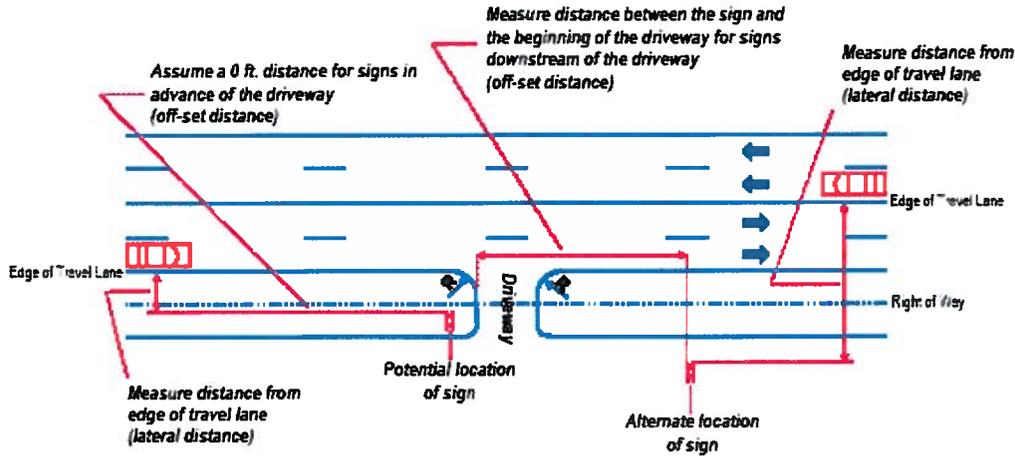
Sec. 142-9. Guidelines for the size of lettering on signs.

The following illustrations serve as guidelines for the minimum size of lettering to be utilized by the applicants in order to achieve safe visibility from passing motorists:

(a) Along 35 mile per hour (mph) roadways:

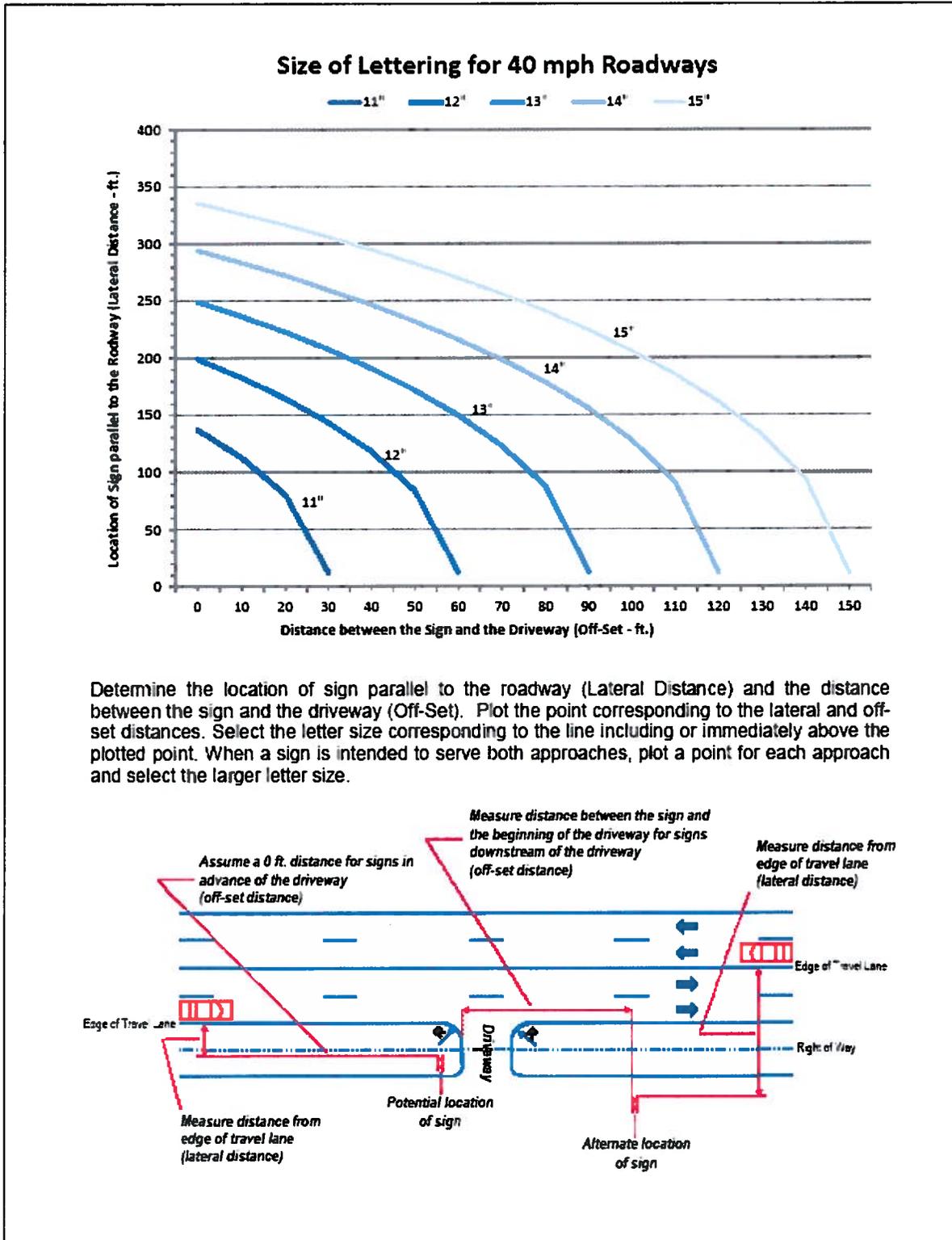


Determine the location of sign parallel to the roadway (Lateral Distance) and the distance between the sign and the driveway (Off-Set). Plot the point corresponding to the lateral and off-set distances. Select the letter size corresponding to the line including or immediately above the plotted point. When a sign is intended to serve both approaches, plot a point for each approach and select the larger letter size.

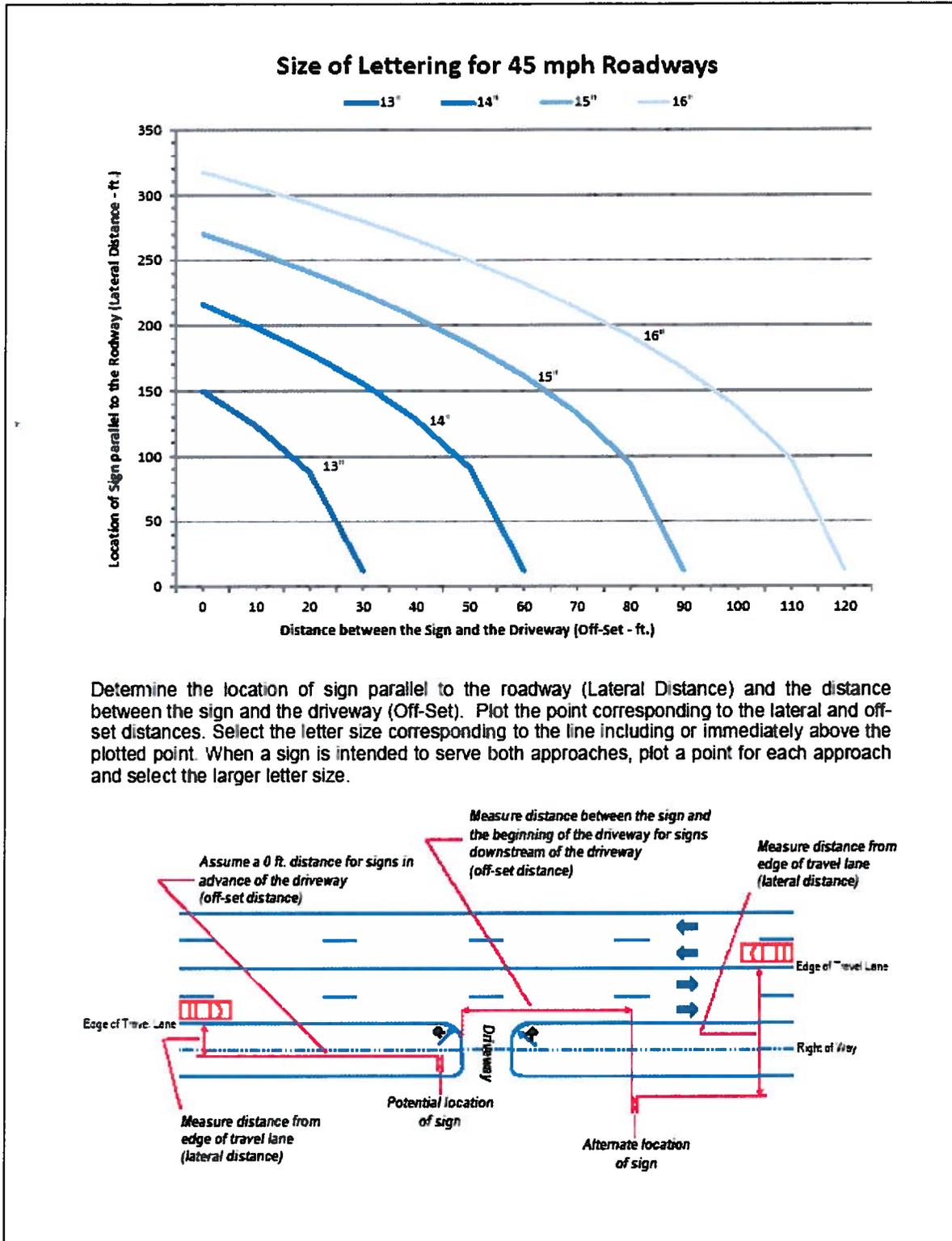


1
2

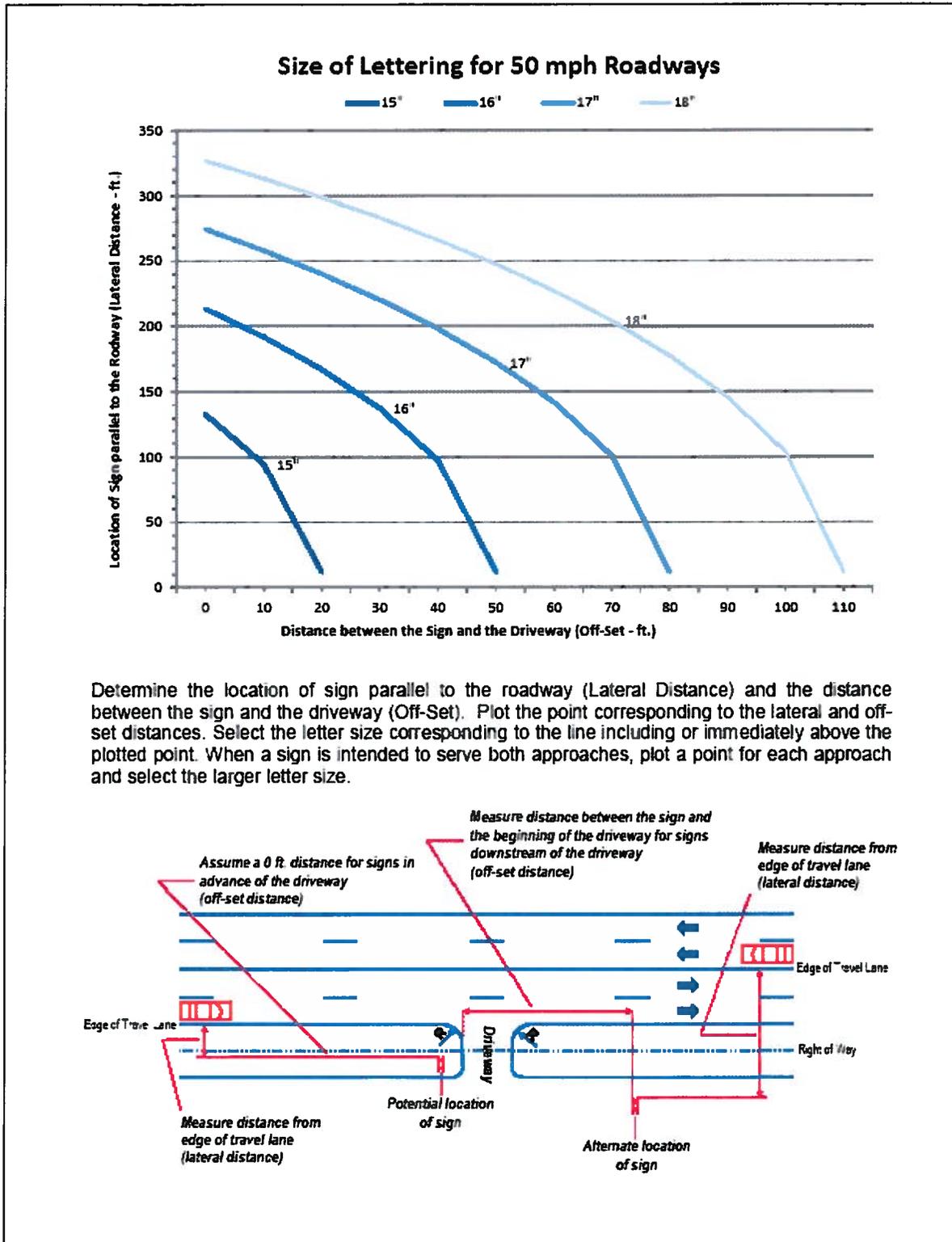
(b) Along 40 mile per hour (mph) roadways:



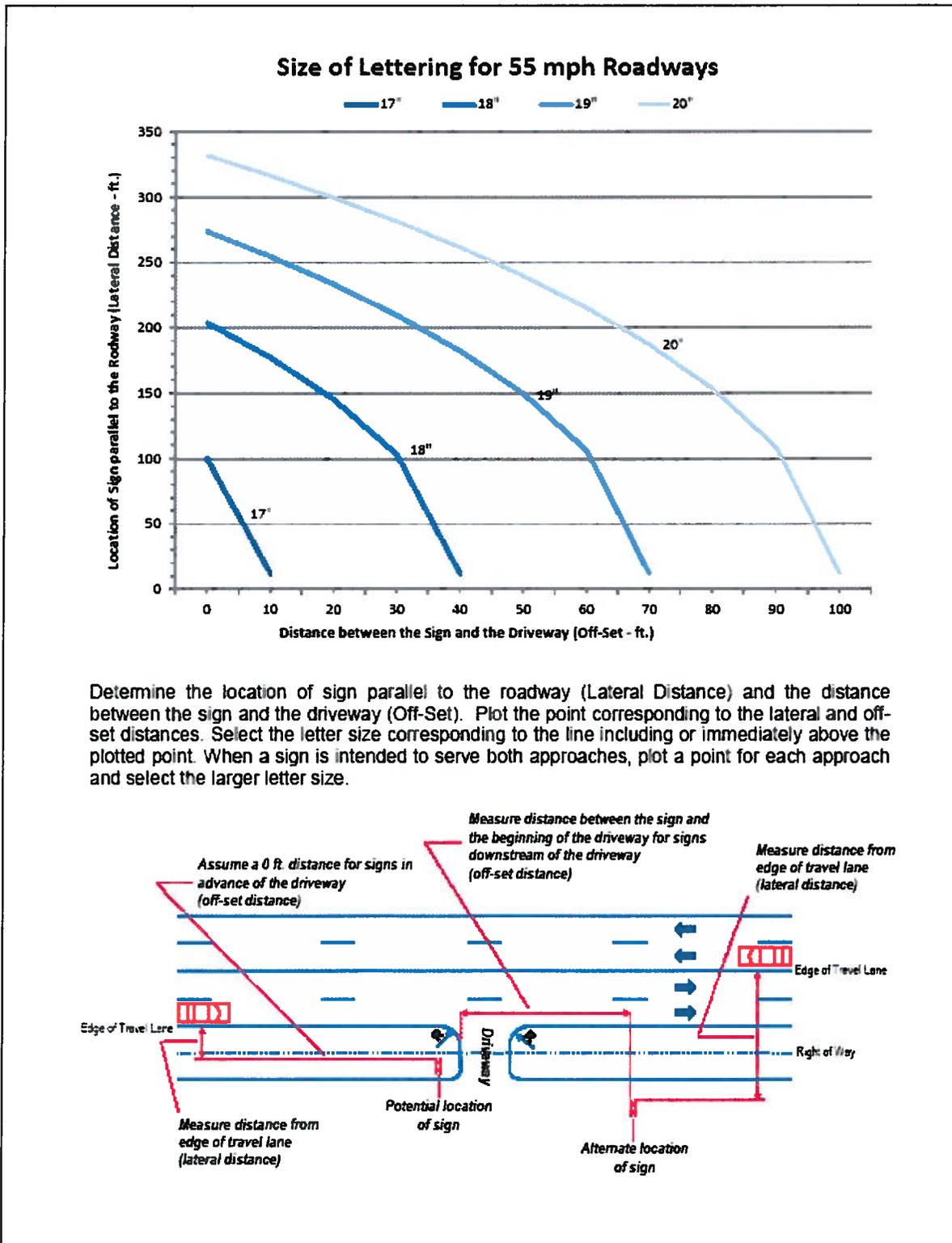
(c) Along 45 mile per hour (mph) roadways:



(d) Along 50 mile per hour (mph) roadways:



(d) Along 55 mile per hour (mph) roadways:



1 IV RECOMMENDATION

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Staff has found that the proposed text amendment would be consistent with the provisions of §102-158(d)(5)(b): 1. Changed projections (e.g., regarding public service needs) from those on which the text or boundary was based; 2. Changed assumptions (e.g., regarding demographic trends); 3. Data errors, including errors in mapping, vegetative types and natural features described in volume I of the plan; 4. New issues; 5. Recognition of a need for additional detail or comprehensiveness; or 6. Data updates. Specifically, staff has found that the proposed text amendments are necessary due to new issues and a recognition of a need for additional detail or comprehensiveness.

Staff recommends that the Board of County Commissioners amend the Monroe County Code as stated in the text of this staff report.



MEMORANDUM

MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

We strive to be caring, professional and fair

To: The Monroe County Planning Commission

Through: Townsley Schwab, Senior Director of Planning & Environmental Resources

From: Joseph Haberman, AICP, Planning & Development Review Manager 

Date: December 14, 2011

Subject: *Request for a Major Deviation to the Major Conditional Use Permit approved by Planning Commission Resolution #P35-07, for Key Largo Ocean Resorts (KLOR), located at 94825 Overseas Highway (US 1), Key Largo, having Real Estate #'s 00483390.000000, 00483400.000000, 00088680.000100 and 00088670.000100 (File # 2011-119)*

Meeting: December 21, 2011

1 I REQUEST:

2

3 A request for approval of a major deviation to the site plan and major conditional use permit

4 approved by Planning Commission Resolution #P35-07 in 2007. The resolution approved a

5 major conditional use permit for the construction of 285 permanent, market-rate dwelling

6 units on the property.

7

8 A similar application was reviewed and previously considered by the Development Review

9 Committee and Planning Commission in 2010-2011. Several concerns related approving a

10 revised site plan were discussed at the meetings and public hearings and ultimately the item

11 was tabled in order to provide the applicant with more time to resolve the issues.

12

13 KLOR is proposing modifications to an approved site plan by E.A. Calil Architect, dated

14 May 2, 2007, signed by the Planning Commission Chair on August 24, 2007 and approved

15 by Resolution #P35-07 (Attachment 1). This document is hereon referred to as the approved

16 site plan. KLOR is requesting the revisions in order to modify the layout of the internal, non-

17 platted lots and roadway network, as shown on a site plan by Orestes Lopez-Recio, dated

18 August 15, 2011 and revised on December 6, 2011 (Attachment 2). This document is hereon

19 referred to as the proposed site plan. The previous application included a boundary survey

20 by Waldo F. Paez dated November 15, 2005 and last revised on April 3, 2009 that showed

21 the non-platted lot configurations in existence at the time that the major conditional use

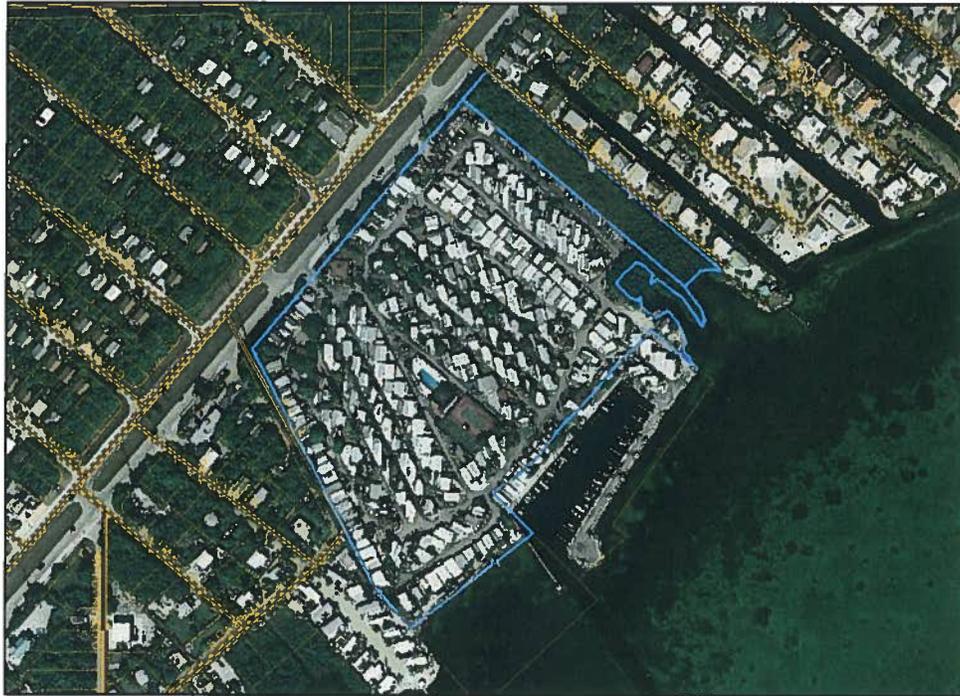
22 permit was approved. The current application includes an updated boundary survey by

23 Exacta Commercial Land Surveyors, dated June 17, 2011 and revised on September 19, 2011

24 and December 6, 2011.

25

1 KLOR is also proposing modifying the types of housing approved in the major conditional
2 use permit. KLOR is proposing architectural design guidelines for residential dwelling units
3 (rather than specified model styles), but is not proposing any changes to the type of
4 residential dwelling unit approved (detached, single-family).
5



Subject Property (2009)

26 Location:

27 Address: 94825 Overseas Highway (US 1), Key Largo

28 Legal Description: Parcels of land in Sections 13 and 14, Township 62 South, Range 38
29 East on Key Largo, being part Tract 10 and part Tract 11 of Southcliff Estates (PB2-45),
30 Monroe County, Florida. In addition, within said sections, there is submerged land with
31 docking facilities.
32

33 Real Estate (RE) Numbers: 00483390.000000, 00483400.000000, 00088680.000100 and
34 00088670.000100
35
36
37

38 Applicant:

39 Property Owner: Key Largo Ocean Resort Co-Op, Inc. (RE 00483390.000000 and RE
40 00483400.000000) / Trustees of the Internal Improvement Fund (TIITF) / State of Florida
41 Public Lands (RE 00088670.000100 and RE 00088680.000100)
42
43

44 Agent: Orestes Lopez-Recio
45

46 II RELEVANT PRIOR COUNTY ACTIONS:

47
48 In 1994 and 1995, the Code Compliance Department began to pursue compliance with the
49 requirements of the Recreational Vehicle (RV) district on the subject property in order to

1 resolve violations related to construction carried out without the benefit of properly issued
2 building permits. The proceedings resulted in a lien being imposed against the entire park
3 since it was owned as one parcel. In response, KLOR sought an injunction against Monroe
4 County.

5
6 In 1996, the Circuit Court granted an injunction against Monroe County, Case #96-20160-
7 CA-22, preventing the Code Compliance Department from instituting further proceedings so
8 as to allow KLOR to seek a change of its land use district designation from RV to Urban
9 Residential Mobile Home (URM) in order to resolve some of the code enforcement issues.
10 In 2003, the Court ordered the parties into Mediation, which resulted in a Settlement
11 Agreement, signed by the parties in June 2003 and approved by the Court on August 4, 2003,
12 which authorized KLOR to apply for a Development Agreement.

13
14 In 2004, the FLUM designation was modified. The FLUM category of RE 00483400.000000
15 and RE 00483390.000000 was amended from Mixed Use / Commercial (MC) to Residential
16 High (RH). The approval is memorialized by Ordinance #023-2004.

17
18 In 2004, the land use district designations were modified. The land use district of RE
19 00483400.000000 was amended from RV to URM. The land use district of RE
20 00483390.000000 was amended from Improved Subdivision (IS) to URM. The approval is
21 memorialized by Ordinance #024-2004.

22
23 In 2006, the County entered into a Development Agreement with KLOR to comply with the
24 Settlement Agreement. The Development Agreement provided conceptual approval of a plan
25 to redevelop the site. Approval of the development agreement was further documented in
26 BOCC Resolution #242-2006.

27
28 Pursuant to Section I of the Development Agreement, its purpose is A) to agree on a phased
29 program of remedial actions and resort-wide improvements to achieve compliance with the
30 requirements of the URM district, such that not more than 285 of the existing manufactured
31 homes or single-family detached homes elevated to the levels required by Monroe County's
32 floodplain regulations; B) to allow KLOR to retain temporarily, pursuant to the terms of the
33 Development Agreement, some of the conforming, or accessory to a permitted use structures,
34 and uses permitted by Monroe County prior to 1990 or established as otherwise lawfully in
35 existence on the property prior to 1990; C) to allow KLOR to retain as conforming the
36 permitted existing grill/pub, bathrooms, office and docking facilities for 65 wet slips and club
37 establishments as accessory uses to the principal residential uses; and D) to establish specific
38 development and permit approvals and processes required for bringing KLOR into
39 compliance with Monroe County land development regulations, building codes and fire
40 safety codes.

41
42 Resolution #242-2006 was passed and adopted on June 21, 2006. The Development
43 Agreement was filed and recorded on August 17, 2006. The effective date was 30 days after
44 the duly signed and recorded agreement was received by the Florida Department of
45 Community Affairs (DCA). The DCA received the recorded document on August 24, 2006
46 and on September 21, 2006 issued a letter to Monroe County stating they would not appeal.

1 Therefore, the effective date of the Development Agreement as originally contemplated by
2 the County and KLOR was September 24, 2006. Per Section II(B) of the Development
3 Agreement, the agreement shall remain in effect for a period of seven years, commencing on
4 the effective date.
5

6 In 2007, the Planning Commission approved a request by KLOR for a major conditional use
7 permit to approve the redevelopment plan and site plan. The approval and conditions were
8 memorialized in Planning Commission Resolution #P35-07. This approval applied to the
9 redevelopment of the entire subject property and was reliant on the additional approval of the
10 Development Agreement.
11

12 In 2007, the BOCC approved a request by KLOR for a waiver to the inclusionary housing
13 requirements. The approval and conditions were memorialized in BOCC Resolution #298-
14 2007. This approval applied to the redevelopment of the entire subject property and was
15 reliant on the additional approval of the Development Agreement and the major conditional
16 use permit approved by Resolution #P35-07.
17

18 Following its issuance, Resolution #P35-07 was appealed to the State of Florida Division of
19 Administrative Hearings (DOAH). The appeal (Case #07-5390) was filed within the 30-day
20 public appeal period. Following a review by DOAH, the case was dismissed, documented by
21 a final order of dismissal signed by Bram D. E. Canter, Administrative Law Judge, on June
22 25, 2008. A KLOR resident named Maria Barroso appealed that order to the Circuit Court
23 (Case #: CA P 08-564). That case was dismissed by agreement on August 18, 2009 as more
24 fully explained in the following paragraph.
25

26 The site plan approved in Resolution #P35-07 became the subject of litigation in the settled
27 lien foreclosure case (Case #: CA P 96-160). As part of that collateral litigation, KLOR filed
28 a petition for declaratory statement within the context of the settled lien foreclosure case,
29 which asked the Court to determine if the site plan that was approved in Resolution #P35-07
30 had been validly approved by the KLOR members. On October 10, 2008, the Circuit Court
31 entered an order construing F.S. 719.1055 to mean that 100% of the KLOR members would
32 have to have approved the site plan because, if implemented, the "lots" would be materially
33 altered. KLOR challenged that decision in the Third District Court of Appeals. (Case #:
34 3d08-2711). On February 4, 2009, the Third District Court of Appeals reversed the Circuit
35 Court decision and held that the original site plan had been properly approved even though it
36 had garnered less than 100% approval (Key Largo Ocean Resort Co-Op., Inc. v. Monroe
37 County, 5 So.3d 31 (Fla. 3d DCA 2009)). Maria Barroso and other KLOR members sought
38 discretionary review of the Third District Court of Appeals' decision in the Florida Supreme
39 Court (Case #: SC09-678). On June 11, 2009, the Florida Supreme Court declined to
40 exercise jurisdiction over the case, thus rendering the decision of the Third District Court of
41 Appeals final. Jurisdiction over the matter returned to the Circuit Court shortly thereafter.
42 Because Ms. Barroso's issues with the site plan approved in Resolution #P35-07 had been
43 resolved adversely to her as a result of the appellate courts decisions, she dismissed her
44 appeal in CA P 08-564 in August of 2009.
45

1 On July 13, 2009, the County moved the Circuit Court to ratify and approve the
2 Development Agreement. On August 22, 2009, the Circuit Court granted the County's
3 motion and adopted a "Master Development Schedule...as a guideline for the parties to
4 implement the Development Agreement." The Master Development Schedule was never
5 implemented because the Klor Board was recalled and replaced in late 2009.
6

7 Contemporaneously, the County sought to enjoin the use of the Park for habitation because
8 of numerous life safety violations. After touring the park, the Circuit Court granted the
9 injunction and originally ordered the park to close as of January 15, 2010. That deadline was
10 extended a couple of times but the Court ultimately ordered the park closed for habitation
11 effective July 31, 2010 in an order dated June 22, 2010. In the June 22, 2010 order, the Court
12 ordered that all illegal structures on the property to be demolished by December 31, 2010.
13

14 Since August 22, 2009 is the most recent effective date for the Development Agreement that
15 has been approved by the Court, the seven year time period for completing the Development
16 Agreement commenced on that date.
17

18 The redevelopment plan approved under the Development Agreement and Resolution #P35-
19 07 has not been completed.
20

21 On October 1, 2010, the Planning & Environmental Resources Department issued a letter of
22 understanding concerning the proposal to the applicant. Following discussions with the
23 applicant about the content, the letter was revised and re-issued on October 27, 2010. The
24 letter followed a pre-application conference held on August 4, 2010.
25

26 In 2010, the applicant submitted a similar major deviation application. The application was
27 reviewed by the Development Review Committee and Planning Commission; however it was
28 withdrawn by the applicant prior to a decision by the Planning Commission in order for the
29 applicant to resolve some issues.
30

31 At their August 2011 and November 2011 meeting, the BOCC reviewed the status of the
32 Development Agreement.
33

34 III BACKGROUND INFORMATION: 35

36 A. Total Size of Parcel: The approved site plan indicates that the subject property consists
37 of approximately 999,702 SF (22.95 acres) of land area. It has since been determined
38 that this total is incorrect as mean high water and other site attributes were
39 inappropriately shown. The proposed site plan indicates that the subject property consists
40 of 1,099,524 SF (25.24 acres) of land area; however again, this total may be incorrect. In
41 an attached document to an email to staff, the applicant indicates that the boundary
42 surveyor found that there is 1,012,840 SF (23.25) of land area and directs staff to refer to
43 the CAD file from surveyor to verify; however staff does not have CAD software to
44 review and confirm such data. If the total on the proposed site plan is incorrect as the
45 applicant states in the other document, the applicant must revise the proposed site plan
46 and submit a printed boundary survey that clearly states the total of upland.

- 1 B. Land Use District: Urban Residential Mobile Home (URM)
- 2 C. Future Land Use Map (FLUM) Designation: Residential High (RH)
- 3 D. Tier Designation: RE 00483400.000000 is Tier 3. RE 00483390.000000 is currently
- 4 undesignated, with a Staff recommendation to be designated Tier 1.
- 5 E. Flood Zones: AE – EL 7, AE – EL 8, AE – EL 9, AE – EL 10, VE – EL 11, VE – EL 12
- 6 and VE – EL 15
- 7 F. Existing Use: Vacant (however with some remaining accessory structures from the
- 8 previous development
- 9 G. Existing Vegetation / Habitat: Scarified - with the exception of RE 00483390.000000,
- 10 which is occupied with significant areas of hammock, buttonwood and mangrove and is
- 11 under a conservation easement
- 12 H. Community Character of Immediate Vicinity: Mixed Use- commercial retail, multi-
- 13 family residential and mobile home
- 14

15 **IV REVIEW OF APPLICATION:**

16
17 Pursuant to MCC §110-73(b)(4), if the holder of an approved conditional use wishes to make
18 an adjustment to the approval that is not a minor deviation, approval of the Planning
19 Commission in accordance with the provisions of MCC §110-73(b)(5) must be obtained. No
20 action may be taken by the Planning Commission that effectively amends the conditional use
21 approval except by way of the procedures set out in MCC §110-70.

22
23 Pursuant to MCC §110-73(b)(5)c., the Planning Commission may authorize adjustments to
24 the conditional use approval when such adjustments appear necessary in light of technical or
25 engineering considerations first discovered during actual development and not reasonably
26 anticipated during the initial approval process. Such adjustments shall be consistent with the
27 intent and purpose of the conditional use approval as permitted, and shall be the minimum
28 necessary to overcome the particular difficulty. No adjustment shall be inconsistent with the
29 requirements of the Land Development Code. Prior to considering action on such
30 adjustments, the Planning Commission shall make inquiry of any person having information
31 that may relate to the basis for consideration of an adjustment, but shall act as promptly and
32 as expeditiously as possible.

33
34 The project complies with all additional standards imposed on it by the Land Development
35 Code:

- 36
37 1. Residential Rate of Growth Ordinance (ROGO) (§138-19 – §138-28): *In compliance.*

38
39 The site plan shows 285 parcels. The Development Agreement states that 284
40 permanent, market-rate dwelling units may be reestablished. It also states that an
41 additional unit (for a total of 285) may be determined to also be lawfully established upon
42 the provision of documentation verifying the existence of the unit. The major conditional
43 use permit staff report on file for Resolution #P35-07 states that 285 permanent, market-
44 rate dwelling units may be redeveloped on the site. Therefore, the proposed site plan
45 would not require additional allocations from the ROGO.
46

1 2. Non-Residential Rate of Growth Ordinance (NROGO) (§138-47 – §138-56): *Not*
2 *applicable.*

3
4 This application does not include any floor area that would require a NROGO allocation.
5 The major conditional use permit staff report on file for Planning Commission Resolution
6 #P35-07 states that the floor area of the existing accessory uses serve residential uses and
7 is not subject to the NROGO.
8

9 3. Purpose of the URM District (§130-49): *In compliance.*

10
11 The purpose is to recognize the existence of established mobile home parks and
12 subdivisions, but not to create new such areas, and to provide for such areas to serve as a
13 reservoir of affordable and moderate-cost housing in the county.
14

15 4. Permitted Uses (§130-99): *In compliance.*

16
17 The Development Agreement and major conditional use permit approved the construction
18 of 285 permanent, market-rate dwelling units. Per Section II(C) of the Development
19 Agreement, the uses permitted on the subject property are:
20

- 21 1. The development of not more than 285 lots with one manufactured home or single
22 family-detached detached dwelling unit and accessory structures per lot on the
23 KLOR property, together with the amenities as shown on Exhibit A of the
24 Development Agreement.
- 25 2. Accessory structures and uses including: recreational and maintenance facilities,
26 resort offices, bath houses, grill/pub, club and docking facilities including 65 boat
27 slips, wastewater treatment plant and boat/trailer parking.
28

29 The proposed site pan shows 285 parcels, whereon each would be a single-family
30 dwelling unit.
31

32 In the URM district, provided density requirements can be met, detached dwelling units
33 may be permitted as-of-right. However, the Development Agreement required approval
34 of the redevelopment plan by the Planning Commission by means of a major conditional
35 use permit application.
36

37 In addition, in the URM district, accessory uses may be permitted as-of-right. The
38 Development Agreement and major conditional use permit included the preservation of
39 several existing accessory buildings, including, but not limited to the office, community
40 center (aka clubhouse), grill/pub, tennis/basketball courts, swimming pool and docking
41 facilities (aka marina). The applicant is not proposing any changes to the development
42 plan regarding the use of accessory buildings and structures. However, the proposed plan
43 involves the replacement of the gatehouse, the elimination of a new basketball and tennis
44 court as shown on the approved site plan, and the retention of an existing basketball and
45 tennis court shown to be relocated on the approved site plan.
46

1 5. Residential Density and Maximum Floor Area Ratio (§130-157, §130-162 & §130-164):
 2 *In compliance.*
 3

Land Use District /FLUM	Maximum Net Density	Total Land Area	Total Allowed per Maximum Net Density	Total Number of Units in Existence	% of Use
URM/RH	7 units / buildable acre	25.24 acres (20.20 buildable acres)*	141 units	285 units	203%

4 * See "Total Size of Parcel" information in Section III of this report; in the above table staff used the more
 5 restrictive of the two figures
 6

7 Per Section II(C) of the Development Agreement, the residential density is one
 8 manufactured or single family-detached home per lot. Building intensity for the
 9 accessory low to medium intensity commercial retail and office use is limited to the
 10 aggregate amounts as shown in Exhibit A of the Development Agreement for such uses.
 11

12 In the major conditional use permit staff report on file for Resolution #P35-07, staff
 13 determined that the site's permanent residential density was protected pursuant to MCC
 14 §130-163: Notwithstanding the provisions of §130-157, §130-158 and §130-162, the
 15 owners of land upon which a lawfully established dwelling unit or mobile home exists
 16 shall be entitled to one dwelling unit for each type of dwelling unit in existence before
 17 January 4, 1996. Such legally-established dwelling units shall not be considered as a
 18 nonconforming uses. Resolution #P35-07 established 285 market-rate, permanent
 19 residential dwelling units as being lawful. Therefore, although the site is over-density to
 20 what the current regulations would allow, the existing lawfully-established density of 285
 21 dwelling units is not considered nonconforming.
 22

23 Note: The purpose of MCC §130-161(b), Inclusionary Housing Requirements, is to
 24 ensure that the need for affordable housing is not exacerbated by new residential
 25 development and redevelopment of existing affordable housing stock. Its intent is to
 26 protect the existing affordable housing stock, to permit owners of mobile homes and
 27 mobile home spaces to continue established mobile home uses consistent with current
 28 building and safety standards and regulations and to ensure that, as residential
 29 development, redevelopment and mobile home conversions occur, plan policies regarding
 30 affordable housing are implemented. A new development or redevelopment of this type
 31 and magnitude would normally be subject to the inclusionary housing requirements.
 32 However, 2007, the BOCC approved a request by KLOR for a waiver to the inclusionary
 33 housing requirements.
 34

35 6. Required Open Space (§118-9, §118-12, §130-157, §130-162 & §130-164): *In*
 36 *compliance.*
 37

38 The approved site plan indicates that the subject property consists of approximately
 39 999,702 SF (22.95 acres) of land area. It has since been determined that this total is
 40 incorrect as mean high water and other site attributes were inappropriately shown. The
 41 proposed site plan indicates that the subject property consists of 1,099,524 SF (25.24
 42 acres) of land area; however again, this total may be incorrect. In an attached document

1 to an email to staff, the applicant indicates that the boundary surveyor found that there is
2 1,012,840 SF (23.25) of land area and directs staff to refer to the CAD file from surveyor
3 to verify; however staff does not have CAD software to review and confirm such data.
4 To ensure compliance, staff used the more restrictive information shown on the proposed
5 site plan.
6

7 There is a required open space ratio of 0.20 and at least 20% of the site (1,099,524 SF)
8 must remain open space. Therefore, per the Land Development Code, the site is required
9 to provide 219,905 SF of open space. However, per Section II(C) of the Development
10 Agreement, the community open space shall be no less than 102,000 SF.
11

12 According to the approved site plan, 106,603 SF of open space was to be provided. The
13 proposed site plan indicates that at least 140,835 SF of open landscape area (open space)
14 will be provided. In addition, the land placed under the Conservation Easement totals an
15 additional 71,438 SF, establishing a total of 212,273 SF.
16

17 In addition, within the required shoreline setback, there is a required open space ratio of
18 0.40. Notes concerning this requirement are not shown on the proposed site plan;
19 however based on measurements by staff, the site would be in compliance. Shoreline
20 open space calculations must be included in future building permit application submittals
21 for development along the shoreline.
22

23 7. Minimum Yards (§118-12 & §130-186): *Full compliance to be determined prior to the*
24 *issuance of a building permit.*
25

26 The required non-shoreline setbacks are as follows: Front yard – 10’; Rear yard – 10’;
27 and Side yard – 10’/15’ (where 10’ is required for one side and 15’ is the minimum
28 combined total of both sides). However, according to the approved site plan, the
29 Planning Commission approved a greater 20’ setback along the perimeter property lines
30 of the site. In addition, the approved site plan specifically labeled the setbacks as
31 follows: Street Side Setback (US 1); West Interior Side Setback; Altered Shoreline
32 Setback; and Northeast Interior Side Setback.
33

34 In addition, per the approved site plan and Condition 9 of Resolution #P35-07, a 5’
35 setback (front, rear and side) was required for structures on each individual non-platted
36 lot. Setbacks are being measured from the drip lines of the structures resulting in an
37 approximate minimum separation of vertical walls of at least 11’. Note: In general,
38 MCC §130-186 does not require setbacks for non-platted lots within a larger, aggregated
39 development. Due to cooperative ownership of KLOR and the development’s similarity
40 with a platted subdivision, interior setbacks were required as part of the approval process.
41

42 In addition, pursuant to Condition 9 of Resolution #P35-07: a) Stairs for first floor access
43 (of elevated structures). The stairs shall be made from a fire resistant material such as
44 concrete or metal; and b) Stairways shall not face each other (see attached for example);
45 and c) Air conditioner compressor units shall be located at the rear of each unit, elevated

1 to above base flood elevation; and d) Optional elevators units to accommodate the needs
2 of physically challenged residents are available.
3

4 As shown on the proposed site plan, part of the existing office building and an existing
5 trash collection area are located in the required 20' setback along the US 1 property line.
6 These nonconforming structures were approved to remain on the approved site plan and
7 therefore may remain in their current configuration as shown on the proposed site plan.
8

9 There is a shoreline setback for structures along the shoreline. The existing accessory
10 building adjacent to the boat slips and "Marina Drive" are nonconforming to the
11 shoreline setback requirements. However, these nonconforming structures were
12 approved to remain on the approved site plan and therefore may remain in their current
13 configuration as shown on the proposed site plan. The proposed site plan does not
14 provide for any additional encroachment into the shoreline setback.
15

16 For new structures, MCC §118-12 requires a 20' shoreline setback as measured from the
17 mean high water line for principal structures and 10' for accessory structures. The mean
18 high water lines is not properly shown on either the approved site plan, but the proposed
19 site plan, based on the revised boundary survey by Exacta Commercial Land Surveyors,
20 shows the mean high water line correctly per Florida Statutes.
21

- 22 8. Maximum Height (§130-187): *Full compliance to be determined prior to the issuance of*
23 *a building permit.*
24

25 The application included typical elevations for the architectural design guidelines.
26

27 At the April 13, 2011 Planning Commission public hearing in which the previous
28 application was considered, there was discussion about the grade that would be utilized to
29 measure height. The MCC regulations pertaining to height have recently been amended
30 to state:
31

32 Sec. 130-187. Maximum height:
33

34 No structure or building shall be developed that exceeds a maximum
35 height of 35 feet. Exceptions will be allowed for chimneys; spires and/or
36 steeples on structures used for institutional and/or public uses only; radio
37 and/or television antenna; flagpoles; solar apparatus; utility poles and/or
38 transmission towers; and certain antenna supporting structures with
39 attached antenna and/or collocations as permitted in chapter 146.
40 However, in no event shall any of the exclusions enumerated in this
41 section be construed to permit any habitable or usable space to exceed the
42 maximum height limitation. In the case of airport districts, the height
43 limitations therein shall be absolute and the exclusions enumerated in this
44 section shall not apply.
45

46 Sec. 101-1. – Definitions:

1
2 *Grade* means the highest natural elevation of the ground surface, prior to
3 construction, next to the proposed walls of a structure, or the crown or
4 curb of the nearest road directly adjacent to the structure, whichever is
5 higher. To confirm the natural elevation of the ground surface, the County
6 shall utilize the Light Detection and Ranging (LiDAR) dataset for Monroe
7 County prepared in 2007. In the event 2007 LiDAR data is not available
8 for a given parcel, the County shall use the best available data, including,
9 but not limited to, pre-construction boundary surveys with elevations, pre-
10 construction topographic surveys, elevation certificates and/or other
11 optical remote sensing data.

12 ***

13 *Height* means the vertical distance between grade and the highest part of
14 any structure, including mechanical equipment, but excluding chimneys;
15 spires and/or steeples on structures used for institutional and/or public uses
16 only; radio and/or television antenna, flagpoles; solar apparatus; utility
17 poles and/or transmission towers; and certain antenna supporting
18 structures with attached antenna and/or collocations as permitted in
19 chapter 146. However, in no event shall any of the exclusions enumerated
20 in this section be construed to permit any habitable or usable space to
21 exceed the applicable height limitations. In the case of airport districts, the
22 height limitations therein shall be absolute and the exclusions enumerated
23 in this section shall not apply.

24
25 Based on the general application of the preceding regulations, the applicant would have
26 the option of utilizing a) the highest natural elevation of the ground surface, prior to
27 construction, next to the proposed walls of a structure or b) the crown or curb of the
28 nearest road directly adjacent to the structure, whichever is higher. The nearest public
29 road is US 1. The Planning Commission discussed the possibility of applying a condition
30 that the applicant only be permitted to use option a). In the revised design guidelines, the
31 maximum height of 35' is confirmed and Klor requires height to be measured from a
32 point at the crown of the private road directly in the front of the unit, not US 1 (page 11).

- 33
34 9. Surface Water Management Criteria (§114-3): *Compliance to be determined by the*
35 *Public Works Division and/or South Florida Water Management District prior to*
36 *issuance of a building permit.*

37
38 The application included surface water management plans and surface water management
39 calculations by Development Consulting Group. The Engineering & Project
40 Management Department issued a surface water management plan review memorandum
41 on November 6, 2011. Based on the information provided, the department could not
42 determine if the submitted plans meet the requirements of MCC §114-3. The department
43 provided comments to the applicant in the memorandum.

1 10. Wastewater Treatment Criteria (§114-5): *Compliance to be determined by Florida*
2 *Department of Health, Florida Department of Environmental Protection and/or Key*
3 *Largo Wastewater District prior to the issuance of a building permit.*
4

5 11. Fencing (§114-20): *Compliance to be determined upon submittal to Building*
6 *Department.*
7

8 If the applicant intends to construct new fencing, it shall be reviewed independently for
9 compliance under a building permit application.
10

11 12. Floodplain Management (§122-1 – §122-6): *Compliance to be determined upon submittal*
12 *to Building Department.*
13

14 The site is designated partially within several different flood zones on the Federal
15 Emergency Management Agency (FEMA)'s flood insurance rate maps. All new
16 structures must be built to floodplain management standards that meet those for flood
17 protection.
18

19 13. Energy Conservation Standards (§114-45): *Compliance to be determined upon submittal*
20 *to Building Department.*
21

22 The development proposal includes the following required energy conservation
23 measures: Reduced coverage by asphalt, concrete, rock and similar substances in streets,
24 parking lots and other areas to reduce local air temperatures and reflected light and heat;
25 Selection, installation and maintenance of native plants, trees, and other vegetation and
26 landscape design features that reduce requirements for water, maintenance and other
27 needs; Planting of native shade trees to provide reasonable shade for all recreation areas,
28 streets and parking areas; Orientation of structures, as possible, to reduce solar heat gain
29 by walls and to use the natural cooling effects of the wind; Provision for structural
30 shading (e.g., trellises, awnings and roof overhangs) wherever practical when natural
31 shading cannot be used effectively; and Inclusion of porch/patio areas in residential units.
32

33 Not enough information was provided to determine if the development proposal includes
34 the following required energy conservation measures: Provision of bicycle racks or
35 storage facilities in recreational, commercial and multifamily residential areas; Use of
36 energy-efficient features in window design (e.g., tinting and exterior shading); Use of
37 operable windows and ceiling fans; Installation of energy-efficient appliances and
38 equipment; Prohibition of deed restrictions or covenants that would prevent or
39 unnecessarily hamper energy conservation efforts (e.g., building orientation, clothes
40 lines, and solar water heating systems); and Installation of energy-efficient lighting for
41 streets, parking areas, recreation areas, and other interior and exterior public areas.
42

43 14. Potable Water Conservation Standards (§114-46): *Compliance to be determined upon*
44 *submittal to Building Department.*
45

1 15. Environmental Design Criteria and Mitigation Standards (§118-6, §118-7 & §118-8): *Not*
2 *applicable.*

3
4 16. Required Parking (§114-67): *In compliance.*

5
6 As approved, 2 parking spaces are to be provided for each dwelling unit, with both spaces
7 located on the same lot as the dwelling unit. Further, 29 additional parking spaces are to
8 be provided (5 of which to be designated for disabled persons only) within common areas
9 for overflow and guest parking.

10
11 As depicted on the proposed site plan, each dwelling unit would have 2 on-lot parking
12 spaces and there would be 60 parking spaces (7 of which to be designated for disabled
13 persons only) within common areas for overflow and guest parking. This is an increase
14 of 31 spaces for common use from the approved site plan.

15
16 17. Required Loading and Unloading Spaces (§114-69): *Not applicable.*

17
18 18. Required Landscaping (§114-99 – §114-105): *In compliance.*

19
20 Parking lot landscaping is not required. However, staff recommends that landscaping be
21 provided for the common areas.

22
23 19. Required Bufferyards (§114-124 – §114-130): *In compliance.*

24
25 A Scenic Corridor bufferyard, major street bufferyard and land use district bufferyards
26 are required. The landscape plan submitted by the applicant appears to provide the
27 appropriate bufferyards. Required bufferyards include a Scenic Corridor bufferyard ‘D’,
28 which must be provided for the portion of the hammock along US 1.

29
30 20. Outdoor Lighting (§114-159 – §114-163): *Compliance to be determined upon submittal*
31 *to Building Department.*

32
33 Outdoor lighting is not being reviewed in full as part of this application. It shall be
34 reviewed independently for compliance as an accessory use under a building permit
35 application.

36
37 21. Signs (§142-1 – §142-7): *Compliance to be determined upon submittal to Building*
38 *Department.*

39
40 Signage is not being reviewed as part of this application. Any signage shall be reviewed
41 independently for compliance as an accessory structure under a building permit
42 application.

43
44 22. Access Standards (§114-195 – §114-201): *In compliance.*

1 Ingress and egress to and from the development would be from two drives located on US
2 1 (a main drive and an emergency only drive).

3
4 A traffic impact study was not provided. However, the traffic impact was approved as
5 part of the previous approval.
6

7 23. Chapter 533, Florida Statutes: *Compliance to be determined upon submittal to Building*
8 *Department.*
9

10 All standards and requirements of the Americans with Disabilities Act (ADA) shall be
11 met.
12

13 Other Issues:

- 14
15 1. There is no language in the Development Agreement prohibiting KLOR from
16 requesting and receiving revisions to the approved site plan and major conditional use
17 permit so long as the revisions are consistent with the Development Agreement.
18 Therefore, the Development Agreement is not required to be amended to carry out the
19 proposed revisions. However, it should also be noted that there is language in the
20 Development Agreement that would allow the BOCC to also review and approve the
21 changes to the development plan following a decision to approve this application by
22 the Planning Commission.
23
24 2. The processing of the revisions to the approved site plan could impact
25 timeframes/deadlines approved by the Development Agreement. If KLOR cannot
26 meet required timeframes/deadlines due to the revision process, the Development
27 Agreement may have to be amended. Otherwise, KLOR risks breach of the
28 Development Agreement.
29

30 At their August 2011 meeting, the BOCC reviewed the status of the Development
31 Agreement. The following summary was provided to the BOCC at that time by staff:
32

33 The effective date of the Development Agreement, as originally contemplated, was
34 September 24, 2006. However, the Circuit Court modified the effective date of the
35 Development Agreement to August 22, 2009 due to the protracted litigation over the
36 approval of the site plan.
37

38 Per Section II, B. Duration of Agreement, the Development Agreement shall remain
39 in effect for a period of 7 years, commencing on the effective date, until August 22,
40 2016. Further, within those 7 years, the Development Agreement approved a plan of
41 action with completion dates to be complied with within the term in which the
42 agreement is effective, as follows:
43

- 44 • Section II, F. Local Development Permits: KLOR is required to submit a
45 complete site redevelopment plan, in the form of a major conditional use permit

1 application, to the County for review within 120 days of the effective date of the
2 agreement.
3

4 The original effective date was September 24, 2006 and 120 days from that date
5 was January 22, 2007. The applicant submitted a major conditional use permit
6 application on May 4, 2007. Despite not meeting the January 22, 2007 deadline,
7 the County accepted the major conditional use permit application and the
8 Planning Commission approved it on August 24, 2007 with a redevelopment site
9 plan. This action would have been in compliance with the restructured effective
10 date of August 22, 2009, as 120 days from that date was December 20, 2009.
11 However it should be noted that the effective date was restructured after the major
12 conditional use permit was approved, not before.
13

- 14 • Section III, A. Permits: KLOR is required to apply for all permit applications for
15 “roads, fire suppression, stormwater, landscaping, utility relocations, and other
16 community facilities or improvements” within 1 year from the effective date.
17

18 One (1) year from the original effective date was September 24, 2007. One (1)
19 year from the restructured effective date was August 22, 2010. As of the date of
20 this memorandum, the applicant has not submitted any such building permit
21 applications. There is no more time for this action to be carried out with the
22 restructured effective date of August 22, 2009.
23

- 24 • Section III, A. Permits: KLOR is required to apply for all permit applications to
25 resolve compliance issues (as described in the agreement) within 3 years from the
26 effective date.
27

28 Three (3) years from the original effective date was September 24, 2009. Three
29 (3) years from the restructured effective date was August 22, 2012. The applicant
30 submitted demolition permit applications that could resolve all of the site
31 compliance issues if the work is carried out in full. If additional demolition
32 permit applications are necessary, there is more time for this action to be carried
33 out with the restructured effective date of August 22, 2009.
34

35 To date, all structures originally found to have compliance issues have been
36 demolished; however piles of concrete and other construction debris remain.
37

- 38 • Section III, A. Permits: KLOR is required to bring all lots into full compliance
39 with the Monroe County Code and the Development Agreement within 6 years
40 from the effective date.
41

42 Six (6) years from the original effective date was September 24, 2012. Six (6)
43 years from the restructured effective date was August 22, 2015. As of the date of
44 this memorandum, the applicant has not submitted any such building permit
45 applications.
46

- 1 • Section III, D. Special Development Standards: KLOR is required to record in the
2 public records a restrictive covenant running in favor of the County that limits the
3 number of residential units on the property to the number approved under the site
4 redevelopment plan within 60 days of the effective date.
5

6 Sixty (60) days from the original effective date was November 23, 2006. Sixty
7 (60) days from the restructured effective date was October 21, 2009. An online
8 search of the official records found no reference to a restrictive covenant being
9 recorded by KLOR.

10
11 At their meeting on November 16, 2011, the BOCC considered these issues and
12 decided to take no action at that time.
13

- 14 3. It is somewhat inaccurate to describe the interior parcels as lots. The term “lot” is
15 generally used to describe parcels within a platted subdivision. Since the individual
16 parcels within KLOR did not go through the plat review/approval process, they are
17 thereby not platted. In any event, the parcels are often referred to as lots in other
18 documentation. Therefore, for consistency and to cite those other documents, they
19 may be referred to again as such in this report. However, such referral does not
20 constitute plat approval.
21
- 22 4. The Planning & Environmental Resources Department does not have a role in
23 determining the internal distribution of parcels among KLOR shareholders.
24 Therefore, Staff did not consider where individual shareholders may or may not be
25 relocated as a result of the carrying out of the approved or proposed site plan.
26
- 27 5. The applicant is proposing architectural design guidelines for residential dwelling
28 units rather than specified model styles, but is not proposing any changes to the type
29 of residential dwelling unit approved (detached, single-family). The applicant is
30 proposing a set of architectural design guidelines for massing, typical sections, siting,
31 setbacks, floor plans, heights, elevations, front porches, rear porches, standard
32 windows, standard doors, metal roofs, fiber cement horizontal siding, and eave details
33 for each residential dwelling.
34

35 Per the existing major conditional use permit approval, 12 different models of
36 housing were approved. Renderings and floor plans of these units were included in
37 the major conditional use permit application.
38

39 The applicant wants to modify the options of housing and remove the requirement to
40 utilize the 12 models approved. This would not affect the site plan or conditions in
41 the Development Agreement. Residential development would have to follow the
42 requirements set forth in the Key Largo Ocean Resorts Architectural Design
43 Guidelines, prepared by Orestes Lopez-Recio Architect. In addition, under the
44 proposal, new residential development would have to be approved by the Key Largo
45 Ocean Resorts Architectural Review Board.
46

1 In addition, staff supports the provision of more options to the shareholders by
2 removing the requirement to use specific models. However, staff requests that any
3 guidelines allow shareholders to utilize the models already approved.
4

5 Staff has reviewed the architectural guidelines. Main items of interest/concern
6 include:
7

8 Building Height: At the April 13, 2011 public hearing, there were concerns about
9 from where height would be measured (grade). This issue has been addressed.
10

11 Roofing: At the April 13, 2011 public hearing, there were concerns about
12 allowing flat roofs and/or rooftop balconies. Roofs are required to be gabled or
13 hipped with a minimum pitch 5 in 12. Rooftop decks may be permitted, but any
14 roof deck may not be visible from the street. Further, no rooftop deck shall be
15 within 20 feet of adjacent property line.
16

- 17 6. The development agreement approved a conceptual plan of action to be followed.
18 Further, per the major conditional use permit staff report, a phasing plan was
19 approved:
20

21 Phase 1: Boat slip area including installation of wet fire suppression system and
22 lighting system to reduce adverse affects on marine life to be installed.
23 Applications are in process with DEP & SFWMD. No time frame has been
24 provided by the applicant for this phase.
25

26 Phases 2–6 each include the complete removal and replacement of all
27 infrastructure including water, sewer, and electric lines. Community lighting will
28 be installed in each phase.
29

30 Phase 2 will replace the following units: 29-52; 189-222; 243-250. Additionally,
31 the required bufferyard on the south west part of property and along a portion of
32 US 1 is to be planted. Site demo for Phase 2 is scheduled to begin on October 30,
33 2007. Notice shall be provided to these unit owners upon approval of the SRP
34 and conditional use permit by the Planning Commission and exemption from
35 inclusionary housing standards by the BOCC in August.
36

37 Phase 3 will replace the following units: 143-188; 243-242; 251-256. This phase
38 also includes parking for the community center. Site demo for Phase 3 is
39 scheduled to begin on January 2008. Notice will be provided to these unit owners
40 upon approval of the SRP and conditional use permit by the Planning
41 Commission and exemption from inclusionary housing standards by the BOCC no
42 later than October 2007.
43

44 Phase 4 will replace the following units: 46a; 71-142; 257, 258.
45

1 Phase 5 will replace the following units: 1-22; 53-70; 260-284. This phase will
2 complete the required bufferyard required along US 1. In addition, rehabilitation
3 of the tropical hardwood hammock, and salt marsh buttonwood will take place.
4

5 Phase 6 will replace the following units: 23-28; 223-233, 259. Additionally,
6 parking for the grill/pub area will be provided and the guest parking spaces will
7 be finished.
8

9 The applicant has proposed the following phasing plan to replace the approved
10 phasing plan as the existing phasing plan cannot be met:
11

12 Revised Phase I: Demolition of all existing mobile homes: *Completed*
13

14 Revised Phase II: Rebuilding of land based infrastructure including water, sewer,
15 paving & drainage, and electric for ready to build 285 units as per proposed site
16 plan: To be completed within 18 months from date of Final Major Deviation
17 Approval
18

19 Revised Phase III- Rebuilding of Marina slips: To be completed 24 months from
20 date of Final Major Deviation Approval
21

22 Revised Phase IV- Rebuilding guard house and office building: To be completed
23 24 months from date of Final Major Deviation Approval
24

25 Revised Phase V- Building of Single Family Homes: To be completed 60 months
26 from date of Final Major Deviation Approval
27

28 The applicant is requesting that the phasing plan be vacated due to the following
29 reasons (provided by, the applicant):
30

31 Explanation:

32 Due to delays arising from

- 33 a. the difficulties of relocating indigent resident shareholders and tenants from
34 the premises until July 31, 2010;
35 b. the recall of the Board of Directors in 2009 and the extensive litigation related
36 to the challenge to that recall;
37 c. the failure of shareholders to consent voluntarily to the removal or demolition
38 of their mobile homes or other personal property on their respective parcels; and
39 d. the vote of the majority of the shareholders approving a revised site plan.
40

41 KLOR was unable to comply with demolition and reconstruction phases proposed
42 in the original Development Agreement. As a result, the demolition of the parcel
43 in phases as proposed in the Development Agreement was not feasible nor is it
44 practical. Therefore, the Court entered its June 22, 2010 order modifying the
45 phasing in the Development Agreement to require demolition to be completed by
46 December 31, 2010 and to not allow re-habitation to occur until demolition of all

1 illegal structures was completed. Because the primary reason that the County
2 entered into the Development Agreement was to eliminate hazards arising from
3 the multitude of health, safety, and building violations in the park, the phasing of
4 the reconstruction is no longer necessary because the demolition of the illegal
5 structures has been ordered to be accelerated and is no longer related to the
6 phasing of reconstruction. As a result, the Applicant shall continue to diligently
7 complete the demolition of the illegal structures in compliance with the Court
8 order and take all other actions necessary to bring the park into compliance with
9 the requirements of the URM district and the Development Agreement. Upon the
10 final approval of the proposed major deviation, the County and the Applicant will
11 prepare a construction schedule for rebuilding of all infrastructure and the
12 bringing of all utilities to the boundaries of each parcel so that each parcel shall be
13 ready for construction of detached single family homes. Any related
14 modifications of the Development Agreement shall be submitted pursuant to the
15 terms of the Development Agreement.

16
17 The BOCC may review this phasing plan and, upon its review, will refer this
18 matter for consideration by the Circuit Court in Case No. 96-260-CA-P of the
19 Sixteenth Judicial Circuit for its approval of the revised phasing plan. Said Court
20 has accepted jurisdiction over the development agreement, its implementation and
21 enforcement and has entered prior orders and injunctions concerning the phasing
22 of the development agreement.

- 23
24 7. Following initial coordination with the utilities, part of Condition 10 on Resolution
25 #P35-07 has been called into question by the Florida Keys Electric Cooperative
26 (FKEC). Condition 10 states “Prior to the issuance of a C.O., any new single family
27 permanent residential dwelling unit shall be equipped with the following to support
28 energy and conservation standards pursuant to MCC §9.5-326 [note: this section has
29 since been renumber to §114-45]: a) Energy Efficient appliances; b) Ultra efficient
30 and low flow water fixtures; c) Energy efficient windows; d) A high R-Factor
31 insulation plan; e) Tankless super efficient water heaters; and f) Metal Roofs. FKEC
32 is concerned with the impact of installing 284 or 285 tankless super efficient water
33 heaters on the site. As the modification of this condition will not affect the site plan,
34 the Planning Commission may consider amending the condition as part of this
35 application. Otherwise, this condition will have to be met as written and tankless
36 super efficient water heaters will be required in all units.

37
38 **V RECOMMENDATION:**

39
40 Staff recommends approval to the Planning Commission with the following conditions. If
41 necessary, following the consideration of public input, staff reserves the right to request
42 additional conditions. In addition, this report and recommendation are from Growth
43 Management Division staff only and the Attorney’s Office reserves the right to add and/or
44 delete conditions or provide an alternative recommendation upon discovery of a legal issue
45 with approving the site plan as designed that could adversely impact the County:
46

- 1 A. The proposed site plan indicates that the subject property consists of 1,099,524 SF
2 (25.24 acres) of land area. However, on a separate document, the applicant indicates
3 that the boundary surveyor found that there is 1,012,840 SF (23.25) of land area. If
4 the total on the proposed site plan is incorrect, the applicant must revise the proposed
5 site plan and submit a printed boundary survey that clearly states the total of upland
6 prior to the issuance of a resolution by the Planning Commission.
7
- 8 B. Prior to the issuance of a building permit for site work, the proposed development
9 shall be found in compliance by the Monroe County Building Department, the
10 Monroe County Floodplain Administrator, the Monroe County Public Works
11 Division and the Monroe County Office of the Fire Marshal.
12
- 13 C. The Planning Commission is empowered to approve major deviation applications.
14 However, as provided for in the Development Agreement between Monroe County
15 and Key Largo Ocean Resort Co-Op, Inc., the Monroe County Board of County
16 Commissioners has the right to review the changes to the development plan following
17 any decision to approve the major deviation application by the Planning Commission.
18 Approval of the major deviation application by the Planning Commission does not
19 require the Monroe County Board of County Commissioners to approve any
20 modification of the development plan within the Development Agreement.
21
- 22 D. The Architectural Design Guidelines provided in the major deviation application shall
23 be recorded as an attachment to the resolution approving the major deviation
24 application. The Architectural Design Guidelines shall supersede and replace any
25 conflicting rules related to types of housing that may be approved on the site.
26
- 27 E. The revised phasing plan provided in the major deviation shall be recorded as an
28 attachment to the resolution approving the major deviation application. The phasing
29 plan provided in the major deviation application shall replace any conflicting
30 requirements within the previous major conditional use permit approval.
31
- 32 F. Condition 10 on Resolution #P35-07, "Prior to the issuance of a C.O., any new single
33 family permanent residential dwelling unit shall be equipped with the following to
34 support energy and conservation standards pursuant to MCC §9.5-326 [note: this
35 section has since been renumber to §114-45]: a) Energy Efficient appliances; b) Ultra
36 efficient and low flow water fixtures; c) Energy efficient windows; d) A high R-
37 Factor insulation plan; e) Tankless super efficient water heaters; and f) Metal Roofs"
38 is modified to replace the requirement to install super efficient water heaters with a
39 requirement to install super efficient water heaters or high efficiency water heaters.
40
- 41 G. Any building permit application for construction along the shoreline shall be required
42 to show the actual mean high water line as required by Florida Statutes and Monroe
43 County Code.
44
- 45 H. All building permit applications must include landscape plans which accurately depict
46 the number and species of proposed plant material. Landscape plans must also

1 include a table enumerating the number of each species planted and include the
2 taxonomic name as well as common name of the proposed plant material.

- 3
4 I. To measure height, the applicant shall utilize the highest elevation of the ground
5 surface, prior to construction, of the roadway/driveway directly adjacent to structure.
6

7 VI PLANS REVIEWED:

- 8
9 • Site Plan (A-1) by E.A. Calil Architect, dated May 2, 2007 (*approved by the Planning*
10 *Commission in 2007*)
11 • Site Plan (A-1) by Orestes Lopez-Recio, dated August 15, 2011 and revised on December
12 6, 2011
13 • Boundary Survey by Waldo F. Paez dated November 15, 2005 and last revised on April
14 3, 2009
15 • Boundary survey by Exacta Commercial Land Surveyors, dated June 17, 2011 and
16 revised on September 19, 2011 and December 6, 2011



CHRISTOPHER LOPEZ-REBO
ARCHITECT
385 S.W. 12 ST
MIAMI, FLORIDA 33135
TELEPHONE: 305 380-2628

ZONING DATA			
ZONING	URM	USE: SFR	UPLAND
GROSS PROJECT AREA	1,099,524 SQ.FT. = 25,1416 ACRES		SUBMERGED 21,6016 ACRES
TOTAL NUMBER OF UNITS	285		ENVIRONMENTALLY SENSITIVE 1.85 ACRES
GROSS DENSITY	13.20 UNITS PER NET ACRE		' DEED OF CONSERVATION DOC. #176957 BOOK #2442 PAGE 218
BUILDING HEIGHT	35'-0" MAXIMUM FROM ADJACENT COR		
OPEN LANDSCAPE AREA REQUIRED	102,000 SQUARE FEET		
OPEN LANDSCAPE AREA PROVIDED	140,825 SQUARE FEET		
PARKING SPACES PROVIDED PER UNIT (WITHIN THE BUILDING ENVELOPE)	2 SPACES PER UNIT		
ADDITIONAL PARKING SPACES PROVIDED	60 SPACES (7' X 12' X 10', 53 STD 9' X 18')		
MINIMUM SETBACKS PROVIDED PER UNIT: (TO DRIP EDGE)			
FRONT: 5'-0"			
REAR: 5'-0"			
INTERIOR SIDE: 5'-0"			
SIDE STREET: 3'-0"			
OVERALL PROPERTY SETBACKS:			
OVERSEAS HIGHWAY LANDSCAPE BUFFER: 20'-0"			
WEST LANDSCAPE BUFFER: 20'-0"			
ALTERED SHORELINE SETBACK: 20'-0"			
INTERIOR N.E.: 72'-0"			

DEVIATIONS FROM PREVIOUSLY APPROVED PLAN

1. THE TENNIS COURT/BASKETBALL COURT WILL REMAIN AT THEIR EXISTING LOCATION AND WILL NOT BE RELOCATED.
 2. THE INDIVIDUAL UNITS HAVE BEEN RECONFIGURED TO BE NEARLY ALL THE SAME SIZE.
 3. APPROVED ROADWAYS HAVE BEEN MODIFIED TO PROVIDE BETTER EMERGENCY ACCESS. THE MINIMUM ONE-WAY ROAD WITH IS NOW PROPOSED AT TWENTY FEET (20 FT) IN LIEU OF 18 FT PER THE APPROVED PLAN.
 4. THE EXISTING GUARDHOUSE AND OFFICE WILL BE REPLACED BY A NEW GUARDHOUSE AND OFFICE IN THE SAME LOCATION.
 5. THE EXISTING MAINTENANCE STRUCTURE WILL BE REPLACED BY A NEW ONE IN THE SAME LOCATION.
 6. THERE WILL BE ADDITIONAL COMMON AREA PARKING SCATTERED THROUGHOUT THE COMMUNITY.
 7. THIS PROPOSED PLAN PROVIDES FOR INCREASED OPEN AREA AND GREEN SPACE OVER THE APPROVED PLAN. PLEASE REFER TO THE OPEN AREA CALCULATIONS AND THE LANDSCAPING PLAN.
- B. THE DESIGN OF AND CONSTRUCTION OF THE INDIVIDUAL HOMES WILL BE REGULATED BY A SET OF ARCHITECTURAL DESIGN STANDARDS AND USE REGULATIONS AND THIS WILL BE ENFORCED THROUGH THE USE OF A MANDATORY ARCHITECTURAL REVIEW PROCESS AND APPROVAL PRIOR TO SUBMISSION FOR A BUILDING PERMIT. REFER TO THE ATTACHED ARCHITECTURAL DESIGN CRITERIA AND USE REGULATIONS FOR REVIEW PROCEDURES.

REQUEST FOR MODIFICATION OF CONDITIONS APPROVED PURSUANT TO PCR NO. P35-07

CONDITION 2 SHALL BE MODIFIED TO READ AS FOLLOWS:
THE APPLICANT SHALL MEET THE COMPLIANCE SCHEDULE AS SET FORTH BELOW:
REVISED PHASE I: DEMOLITION OF ALL EXISTING MOBILE HOMES (COMPLETED ON DECEMBER 31, 2010.)
REVISED PHASE II: REBUILDING OF LAND BASED INFRASTRUCTURE INCLUDING WATER, SEWER, PAVING AND DRAINAGE AND ELECTRIC FOR READY TO BUILD 285 UNITS TO BE COMPLETED WITHIN 18 MONTHS FROM DATE OF FINAL DEVIATION APPROVAL.
REVISED PHASE III: REBUILDING OF MARINA SLIPS: TO BE COMPLETED 24 MONTHS FROM DATE OF FINAL DEVIATION APPROVAL.
REVISED PHASE IV: REBUILDING GUARDHOUSE AND OFFICE BUILDING: TO BE COMPLETED 24 MONTHS FROM DATE OF FINAL DEVIATION APPROVAL.
REVISED PHASE V: REBUILDING OF SINGLE FAMILY HOMES: TO BE COMPLETED 60 MONTHS FROM DATE OF FINAL DEVIATION APPROVAL.
BOCC MAY REVIEW THIS REVISED PHASING PLAN AND, UPON IT'S REVIEW WILL REFER THIS MATTER FOR CONSIDERATION BY THE CIRCUIT COURT IN CASE NO. 96-260 CA-F OF THE SIXTEENTH JUDICIAL CIRCUIT FOR IT'S APPROVAL OF THE REVISED PHASING PLAN. SAID COURT HAS ACCEPTED JURISDICTION OVER THE DEVELOPMENT AGREEMENT, ITS IMPLEMENTATION AND ENFORCEMENT AND HAS ENTERED PRIOR ORDERS AND INJUNCTIONS CONCERNING THE PHASING OF THE DEVELOPMENT AGREEMENT.
CONDITION 3 SHALL BE MODIFIED TO READ AS FOLLOWS:
THE CONDITIONAL USE PERMIT SHALL BE VALID UNTIL AUGUST 21, 2016 SO AS TO EXPIRE ON THE SAME DATE AS THE DEVELOPMENT AGREEMENT.
CONDITION 10 SHALL BE MODIFIED TO READ AS FOLLOWS:
PRIOR TO THE ISSUANCE OF A C.O. ANY NEW SINGLE FAMILY PERMANENT RESIDENTIAL DWELLING UNIT SHALL BE EQUIPPED WITH THE FOLLOWING TO SUPPORT ENERGY CONSERVATION STANDARDS PURSUANT TO MCC 9.5-326:
a. ENERGY EFFICIENT APPLIANCES
b. ULTRA EFFICIENT AND LOW FLOW WATER FIXTURES
c. ENERGY EFFICIENT WINDOWS
d. A HIGH R FACTOR INSULATION PLAN
e. SUPER EFFICIENT WATER HEATERS
f. METAL ROOFS
CONDITION 13 SHALL BE MODIFIED TO READ AS FOLLOWS:
ALL HOMES SHALL BE BUILT WITH A CEILING IN THE UNDESTORY PARKING AREA WITH NO LESS THAN ONE (1) HOUR FIRE RATING TO ALLOW BOATS AND MOTOR VEHICLES TO BE STORED BENEATH THE ELEVATED HOMES. ANY AT GRADE STORAGE AREAS SHALL BE ONE HOUR FIRE RATED.

PHASING SCHEDULE

- REVISED PHASE I: DEMOLITION OF ALL EXISTING MOBILE HOMES (COMPLETED ON DECEMBER 31, 2010.)
- REVISED PHASE II: REBUILDING OF LAND BASED INFRASTRUCTURE INCLUDING WATER, SEWER, PAVING AND DRAINAGE AND ELECTRIC FOR READY TO BUILD 285 UNITS TO BE COMPLETED WITHIN 18 MONTHS FROM DATE OF FINAL DEVIATION APPROVAL.
- REVISED PHASE III: REBUILDING OF MARINA SLIPS TO BE COMPLETED 24 MONTHS FROM DATE OF FINAL DEVIATION APPROVAL.
- REVISED PHASE IV: REBUILDING GUARDHOUSE AND OFFICE BUILDING: TO BE COMPLETED 24 MONTHS FROM DATE OF FINAL DEVIATION APPROVAL.
- REVISED PHASE V: REBUILDING OF SINGLE FAMILY HOMES TO BE COMPLETED 60 MONTHS FROM DATE OF FINAL DEVIATION APPROVAL.

GENERAL NOTES

UTILITIES HAVE BEEN DESIGNED AND WILL BE LOCATED PER FCAA AND FKCC DESIGN CRITERIA

THERE ARE NO NEW ENCROACHMENTS BY PRINCIPAL STRUCTURES ON THE SHORELINE SETBACK AREA EXCEPT FOR THE EXISTING MARINA GRILL/FUB BUILDING

THIS SITE PLAN IS SUBJECT TO THE FOLLOWING CONDITIONS:

1. FINAL APPROVAL BY THE MONROE COUNTY FIRE DEPARTMENT WITH RESPECT TO THE ROAD WIDTHS AND FIRE EQUIPMENT TURNING RADIUS.
2. FINAL APPROVAL BY THE MONROE COUNTY PLANNING DEPARTMENT AND PLANNING COMMISSION.
3. COORDINATION WITH CIVIL ENGINEERING DESIGN AND DRAWINGS.
4. THIS SITE PLAN AND THE ATTACHED GUIDELINES AND USE REGULATIONS WERE APPROVED BY A MAJORITY OF SHAREHOLDERS ON SEPTEMBER 13, 2011 BY A VOTE OF 185 FOR, 3 AGAINST.



KEY LARGO OCEAN RESORTS
94825 OVERSEAS HIGHWAY
KEY LARGO, FLORIDA

REVISIONS
0-04-1

DATE: 09-15-2011
SCALE: 1/8"=1'-0"
DRAWN: JFB
JOB NO.:

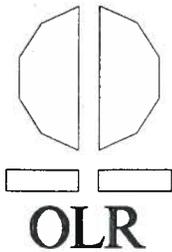
A-1
SHEET NO. 1



PROPOSED SITE PLAN

SCALE 1" = 50'

ATLANTIC OCEAN



ORESTES LOPEZ-RECIO
ARCHITECT
STATE REG. NO. AR0009350



December 8, 2011

Monroe County Planning Department
Mr. Joseph Haberman, Principal Planner.
Marathon Government Center
2798 Overseas Highway Suite 400
Marathon, FL 33050

RE: Key Largo Ocean Resorts Co-op
Major Deviation Application to Current
Conditional Use permit

Dear Mr. Haberman:

Attached please find revised copies of documents to be incorporated as part of our major deviation application.

List of documents enclosed:

One set of signed and sealed Architectural Site plans dated 12-6-11 consisting of drawings A-1, A-2, A-3, A-4, A-5 and A-6,

One revised signed and sealed copy of The Klor Written Design Guidelines and Use Rules and Regulations for Development dated 12-6-11 consisting of twenty seven pages

One copy of signed and sealed survey by Exactland Surveyors dated 12-6-11

One copy of most current property record card for folios 00483400-00000 and 00483390-00000

If you should you have any questions or need any additional information please do not hesitate to contact me at your convenience..

Sincerely,

Orestes Lopez-Recio,
Architect



**KEY LARGO OCEAN RESORTS CO-OP
INC.**

**DESIGN GUIDELINES AND USE RULES AND
REGULATIONS FOR DEVELOPMENT**

August 15, 2011
Rev 12/06/2011

PREPARED BY:
ORESTES LOPEZ-RECIO ARCHITECT


12-6-11

ARCHITECTURAL REVIEW BOARD OF
KEY LARGO OCEAN RESORTS CO-OP, INC.
DESIGN GUIDELINES AND USE RULES AND REGULATIONS
(APPROVED BY THE ASSOCIATION BOARD OF DIRECTORS ON AUGUST 15, 2011)

This document is not intended to change or replace any of the by-laws or rules and regulations as set forth in the **BY-LAWS OR CORPORATE DOCUMENTS OF KEY LARGO OCEAN RESORTS CO-OP., INC.**; it has been promulgated to protect the architectural integrity and harmony of this community.

All structures covered on this document must be in compliance with all rules and regulations promulgated by the authorities having jurisdiction **AHJ**. Compliance with this document does not relieve the unit owner from compliance with the aforementioned rules and regulations of the **AHJ**.

Permits and inspections are the **SOLE** responsibility of the unit owner after prior approval and issuance of an authorization letter to proceed by this Board.

The attached Graphic Architectural Guidelines Rules and Regulations shall be used in conjunction with this document. In the event that conflicting information is found between the two documents, the more restrictive rule shall govern. In the event that conflicts are found in reference to measurements the dimensions depicted on the graphic guidelines shall govern.

I. General

- a. Authority
- b. Definitions
- c. History
- d. Mission statement
- e. Project program
- f. Design Concept
- g. Massing
- h. Architectural Review Board
- i. Project review procedure
- j. Community Parking Regulations

II. Building Guidelines Rules and Regulations

- a. Building envelope and structure placement within unit
- b. Unit off-street parking requirements
- c. Ground floor storage
- d. Structure Height
- e. Porches and terraces
- f. Fenestration
- g. Exterior vertical circulation
- h. Exterior cladding and finish
- i. Roof
- j. Minimum construction requirements
- k. Construction Procedures and Safety Regulations

III. Site-specific Building Rules and Regulations and Use Restrictions

- a. Waterfront Units
- b. Buffer Units

IV. Pre-Approved Models (Facade)

- a. Aruba
- b. French Key
- c. Aruba
- d. Grand Bahama I
- e. Grand Bahama II
- f. Grand Cayman
- g. Little Abaco

- h. St. Barts
- i. St. Kitts
- j. St. Lucia
- k. St. Martin
- l. St. Thomas
- m. St. Vincent

Authority

These Design and Use Rules and Regulations for Development have been adopted and approved by the Key Largo Ocean Resorts Co-op Inc. Board of Directors in accordance with the Association by-laws as of August 15, 2011. This document has been adopted not only to protect the architectural integrity and harmony of the community, but also to promote the safety and welfare of residents and to maintain an acceptable quality of life.

This document is provided as a complement to the Association by-laws and is to be implemented as such. It **does not** replace the code requirements mandated and enforced by the AHJ.

Definitions

Accessory Shoreline Structures and Plantings: Any accessory structure constructed or shrub or tree planted as specified under these guidelines.

Association: legal entity holding fee simple title ownership of the land. Key Largo Ocean Resorts Co-op Inc. (KLOR)

Architectural Review Board, ARB: entity designated by the KLOR Board of Directors to protect the architectural integrity and harmony of the community.

Board of Directors, BOD: governing body of the association elected by its members.

Authority(ies) having jurisdiction, AHJ: is the governmental agency or sub-agency which regulates the construction process such as but not limited to, County, State and Federal agencies which enforce the building and fire codes.

Unit: The graphical representation of the boundaries of the leased premises on the Site Plan for the specific purpose of the measurement of setbacks and the distance required between buildings.

Setback: is the distance from the unit boundaries to the building envelope. Measured from the boundary(ies) line(s) to the eave or drip-line of the structure, in these guidelines the drip-line is synonymous with the building envelope line. Also the distance between a building and the property line.

Building envelope: the volume created within a unit by establishing the required setbacks from the boundaries and the maximum building height from the crown of the road directly in front of the unit.

Structure: structure used or intended for supporting or sheltering any use or continuous occupancy within the building envelope as a single family residence.

Watercraft: any vessel, boat or personal craft that is designed to move through the water.

Mean high water line: mark established by survey which represents the intersection of the nineteen-year mean high water elevation with the shoreline.

History

Since its inception in the late 1970's as a travel-trailer park, the residents of this community transient and permanent alike have been drawn to use KLOR as a departure port for their fishing expeditions as well as other sea-related activities. The strategic location proffered by Key Largo Ocean Resorts is the main reason for its use and occupancy. Any person who has lived or visited this community has always come away with fond memories of the surrounding sea, its deep water access and the overall views and vistas available from the shoreline.

Mission Statement

On June 5, 2010 an overwhelming majority of KLOR shareholders voted to adopt the proposed Site Plan which these Design Guidelines and Use Rules and Regulations are a part of. On September 13, 2011 an overwhelming majority again voted to adopt a modified Site Plan and Design Guidelines and Use Rules and Regulations based on a compromise with dissenting waterfront unit owners.

The main reason for this overwhelming approval is the fact that it brings equity to all shareholders. In order to ensure compliance with the majority's decision while preserving future property values through the development of a cohesive community, the KLOR BOD has devised a tool whereby all shareholders can design and build their homes through the use of design and construction professionals and while doing so also maintain and preserve the character and architectural style of their community.

The intent of the Key Largo Ocean Resorts Co-op Inc., Design Guidelines and Use Rules and Regulations is to create and maintain a harmonious and cohesive architectural environment through the use of simple architectural design elements and materials

Project Program

To design a community consisting of two hundred eighty four (285) new single family homes, an existing office structure, an existing recreation building structure, an existing marina grill structure, an existing tennis/basketball amenity and a new manned entry gatehouse structure all within a waterfront twenty three point zero four (23.04) acre site in Key Largo, Florida.

Parking for two motor vehicles and one watercraft shall be provided within the building envelope of each unit.

The first habitable level of all unit structures shall be elevated to comply with flood plain requirements.

Property setbacks for new construction and other requirements such as open community area and buffers are as follows:

Setback at Northwest (Overseas Highway) property line: twenty (20) feet scenic corridor.

Setback at Southwest property line: twenty five (20) feet landscape buffer

Setback at Northeast property line: twenty five (20) feet landscape buffer

Shoreline setback at Southeast (Atlantic Ocean) property line: twenty (20) feet

Open community area required: one hundred and two thousand (102,000) square feet

Design concept

In the context of establishing this community's architectural style and character it is important to consider the relationship between the user and his ultimate goal which the use and enjoyment of the adjacent Atlantic Ocean. It follows that a marine-like theme would be the best suited to both identify and reinforce this relationship.

There are two program requirements which are crucial to the successful architectural design for this community.

First, almost all of the 285 residents own some type of watercraft and motor vehicle and the available common areas is limited to the use of access roads, community buildings and open community space, thus the need to locate them within the individual unit envelope.

Second, this community is situated on a flood zone, thus the lowest habitable level must comply with the federally mandated flood requirements.

The placement of the lowest habitable level living area on stilts to comply with flood and parking requirements provides the physical solution to the program requirement as far as functionality of design is concerned and in doing so it establishes the form and character of the homes of this community.

Providing a rectangular layout following the building envelope will provide the most cost-efficient plan and maximize the use of the available space, which in this project is a must.

The architectural style then becomes a natural progression of the island/marine theme which can best be described as Florida Caribbean Vernacular.

The character is then enhanced by the use of recessed porches and terraces, the style of the windows and doors and their trim, the metal roofing and the horizontal siding

Massing

The program which requires the placement of 285 homes on this site together with the need to store motor vehicles and watercraft within the individual unit envelope due to site constraints as well as the need to comply with flood requirements for this site will help shape the strong form of these houses. A rectangular plan raised on stilts provides the best architectural solution as the massing can then be articulated through the juxtaposition of volume and void.

Porches and terraces will be recessed within the volume of the structure under one roof (Hipped or gabled or a combination of both) the pitch will a constant minimum of 4.5 in 12.

Terraces recessed within the volume of the structure at the rear will be mandatory on those houses which have their rear façade facing the shoreline.

The one or two story houses will be elevated off the ground via the use of 16"x16" concrete stilts.

Vertical circulation from ground level to first habitable level may be provided on the exterior, outside of and attached to the structure envelope, for maximization of the usable living space or it may be integrated within the structure design.

Architectural Review Board

The Board of Directors shall appoint three (3) association members to serve on the Architectural Review Board on a voluntary basis for a period of at least six (6) months. The ARB shall be composed of at least one Architect, one General contractor and one lay person. They will convene the first (1st) Wednesday of every month.

Project Review Procedure

KLOR association members interested in developing their unit must apply to the KLOR ARB for review and approval prior to submitting their permit plans to the Monroe County Building department. The following items are required for submittal to the Architectural Review Board:

1. Completed KLOR ARB application and fee of \$50.00
2. Site plan drawing at a suitable scale depicting the location of the proposed structure in compliance with these rules and regulations.
3. Landscaping Plan depicting compliance with the Approved Overall project landscaping plan.
4. Floor plans drawn at 1/4"=1'-0" scale depicting room designations and dimensions.
5. Exterior elevations depicting all four facades of the proposed structure following the design elements and materials specified by the Rules and regulations.

Completed application packages and required fee must be submitted by the fifteenth (15th) of the preceding month to be placed on the agenda for the next meeting.

Meeting agendas will be made available the week prior to the KLOR ARB meeting and can be obtained at the Association's main office. Applicants should be present during the review and are encouraged to participate in the review process. Applicants will be advised of the disposition of the review during the meeting and if approved, the KLOR ARB will draft and sign an authorization letter to proceed with the building permit process.

The Klor ARB will review the design and materials specified for the exterior of the home based on but not limited to the following criteria as set forth on the Design Guidelines and Rules and Regulations:

- a. Architectural style (Florida Caribbean Vernacular), character, scale and appropriateness.
- b. Use of design elements as set forth on the Design Guidelines Rules and Regulations
- c. Compliance with landscaping requirements as set forth on the Approved Landscaping Plan.
- d. Proper screening of exterior mounted equipment
- e. Façade color scheme.

Community Parking Regulations

Community or visitor parking spaces are available throughout the project for the use of visitors and or residents alike.

Parking of any watercraft in these spaces is strictly prohibited.

Parking of motor vehicles and or watercraft is strictly prohibited on the roads providing access to the units as well as in the setback area of any unit.

All vehicular access roads must be kept clear of vehicles and watercraft to allow for ingress and egress of emergency vehicle. *

***This regulation will be strictly enforced and all vehicles found in violation will be towed away at the shareholder or visitor's expense.**

Building Envelope

The volume of the building envelope is established by two physical parameters, both mandated by the Monroe County Building and Planning Department and the Monroe County Fire Department.

The first parameter is the setback distance from the unit boundaries, the second parameter is the vertical distance from the crown of the road in front of the unit to the to the highest point of the structure.

The general setback required from all unit boundary lines is a **minimum** of five feet zero inches (5'-0") measured from boundary to the building envelope line. The required minimum eave length is zero feet six inches (0'-6") therefore the minimum structure to structure distance is eleven feet zero inches (11'-0").

The rear setback required at the shoreline structures is twenty feet zero inches (20'-0") measured from the mean high water line to the building envelope.

The minimum rear setback required at buffer yard structures is twenty feet zero inches (20'-0") measured from the project property line to the building envelope, unless otherwise noted on lot-specific regulations

A non-combustible stairway from the ground floor to the first elevated habitable level is permitted within the side setback area. Refer to the vertical circulation section for the minimum requirements if this stairway is part of the design.

The maximum structure height is thirty five feet zero inches (35'-0") measured from a point at the crown or centerline of the road in front of the unit to the highest point of the structure's roof.

Unit off-street parking required

A minimum of two (2) 8'-6" x 18'-0" off-street parking spaces are required to be located at ground level within the building envelope preferably below the first habitable living level. In addition all personal watercraft and vessels must be kept within the same area. Please note that parking or keeping of the watercraft, motor vehicles or vessels outside of the unit's building envelope is strictly prohibited.

The parking area floor shall be a non-combustible permeable material such as but not limited to concrete pavers and or river stones.

The ceiling above the parking area shall have a minimum fire rating of one (1) hour for the assembly.

There shall be no mechanical or other repairs performed on the vehicles and or watercraft while stationed within the building envelope or in any community area.

Please refer to the community/visitor parking section for parking requirements and regulations outside of the unit.

Ground floor storage

Each unit is allowed a ground floor storage area not to exceed a total of two-hundred and ninety-nine (299) square feet in area located within the structure envelope. This storage area if provided may not encroach into the required off-street parking and watercraft area.

Construction of ground floor storage shall comply with all the requirements of the AHJ

Structure height

The maximum structure height shall be 35'-0" to be measured from a point at the crown (centerline) of the road directly in front of the unit vertically up to the highest point of the structure's roof.

The minimum floor elevation of the lowest habitable level shall be governed by Flood plain requirements and these guidelines and regulations.

The access opening to the ground floor off-street parking area shall have a minimum height of ten (10) feet above the interior parking surface elevation. The height of this opening may not exceed twelve (12) feet above the interior parking surface elevation.

The minimum clear floor to ceiling height of any habitable level shall be eight (8) feet, unless a different floor to ceiling height is otherwise required (never less than 8 feet) by any other section of this document.

Porches and terraces

All structures within units **shall** incorporate a porch at the façade facing the street. This porch shall be recessed within the building envelope and may **not** encroach into the front setback.

All structures within units **may** incorporate a rear terrace. This terrace if provided shall be recessed within the building envelope and may **not** encroach into the rear setback.

All structures within units at the shoreline area **shall** incorporate rear terraces in their design, as stipulated in the site-specific Design Guidelines and Use Rules and Regulations section of this document.

Fenestration

All fenestration shall be energy efficient and bear the Energy Star label.

Windows:

Type: single hung metal framed with impact-resistant glazing.

Frame color: White

Glazing: clear or tinted impact glass with a "U" factor of 0.75 Btu/hr-sf-°F and a minimum solar heat gain coefficient (sghc) of 0.60

Appearance: multi-pane with a six (6) over six (6) glass pattern at front elevation

Trim: minimum 4" wide at sides and 6" at top. All trim shall be white

Location:

When the floor to ceiling height is nine (9) feet at any habitable level the top of the window shall be set at eight (8) feet above the finished floor and the window height shall be adjusted accordingly.

When the floor to ceiling height is eight (8) feet at any habitable level, the top of the window shall be set at 7'-0" above the finished floor and the window height shall be adjusted accordingly.

Exterior doors:

Shall be metal insulated with wood frame with a minimum "U" value of 0.56 Btu/hr-sf-°F.

Appearance minimum six (6) panels

Trim: minimum 4" wide at sides and 6" at top. All trim shall be white

Vertical circulation

In order to maximize the use of the living space, the structure's design may incorporate a non-combustible exterior stairway to provide access from the ground level to the first elevated habitable level.

Such stairway if provided may be located within the side setback area provided it is attached to the structure. The width of the stairway from the face of the structure envelope towards the setback area cannot exceed three (3) feet.

If provided in contiguous structures, this stair may not face the stair from the adjacent structure.

It is suggested that when provided, the stair be located on the side of the structure opposite to the side receiving the prevailing summer winds.

Elevators that provide access by the disabled to the first elevated habitable level will be permitted by these Guidelines.

Roof

Roof shapes:

1. Gable
2. Hipped
3. Combination*

* Flat usable roof deck areas may be incorporated into the roof design provided they are not visible from the street.

Roof Slope:

Minimum roof slope shall be 4.5" in 12" maximum roof slope shall be 6" in 12"

Roof finish:

1. Aluminum Standing Seam

Structure construction and exterior elements

Structure construction shall be either a manufactured single family home or a CBS single family home.

Ground to first elevated level:

Reinforced concrete or reinforced masonry columns 16" x 16" spaced as per structural design. Reinforced concrete beams shall be the structural support frame. Height of beams shall be kept uniform 18" above columns

Bearing walls:

Wood, metal or reinforced concrete masonry, the minimum insulation value shall be R11 for wood and metal walls and R5 for masonry walls.

Intermediate floors:

Shall be constructed of wood, metal, reinforced concrete or a combination of these. The bottom of first elevated floor shall have a fire resistance rating of one (1) hour when vehicles and or watercraft will be stationed under it.

Roof:

Prefabricated wood trusses or metal trusses with exterior grade plywood sheathing, minimum insulation value shall be R30.

Reinforced concrete with built-up roof deck minimum insulation value shall be R12

Guardrails and handrails: design of exterior guardrails shall be simple and aesthetically integrated in the façade design. Intricate ornate designs are discouraged. Material shall be aluminum, color to be white.

Exterior cladding:

All construction types shall have their exterior walls clad with cement-based "Hardieplank" horizontally applied lap siding over a water-resistant membrane. The exposure of the siding shall be a minimum of 5" and a maximum of 6". All corners shall be trimmed with a minimum of 4" material.

Construction procedures and Site Safety Regulations

INFRASTRUCTURE:

General

Owners/Shareholders shall be notified thirty (30) days prior to commencement and thirty (30) prior to final completion of the infrastructure's construction.

Access to the site during infrastructure, marina and or common area construction shall be limited to construction personnel. Owners/Shareholders will not have access to the construction site, no exceptions due to insurance regulations.

Owners/Shareholders that are interested in commencing their unit construction upon completion of the infrastructure shall follow the procedure outlined below in addition to the plan review and approval requirements stipulated in the Key Largo Ocean Resorts Guidelines and Use requirements.

UNIT CONSTRUCTION REQUIREMENTS AND SAFETY PROCEDURES.

Prior to Commencement of Construction contractors shall comply with the following:

- 1.- In order to be scheduled for construction by the KLOR management office, the Owner's previously approved General Contractor shall provide a copy of the Building Permit, a current certificate of competency from Monroe County and or the State of Florida, as well as a construction schedule at which time he will be provided with a copy the Construction Operations Rules and Regulations.
- 2.- Obtain a copy of the site utility as-built from the KLOR management.
3. - Provide a list of Sub-Contractors. All Sub-contractors shall be considered Building Contractors by KLOR and must comply with these Rules and Regulations.
- 4.- Contractor Insurance Agent shall fax or mail Certificate of Insurance naming Key Largo Ocean Resorts as additionally insured.
 - A - Minimum of \$2,000,000.00 Liability
 - B - Minimum of \$50,000.00 Medical each per occurrence
- 5.- Contractors and sub-contractors shall comply with all applicable OSHA regulations such as but not limited to hard hats, approved shoes and construction equipment, which are required within the Construction site. failure to do so will result in the issuance of a warning upon the first offense and expulsion from the site after the second offense.
- 6.- Provide a copy of Company Safety Procedures.
- 7.- Provide employee driver license and obtain a Construction worker pass from KLOR. Worker pass shall be worn at all times within the Construction site.
- 8.- Public restroom facilities will be made available at designated areas.
- 9.- Obtain a construction personnel vehicle parking permit. All vehicles shall be parked in designated areas only.
- 10.- Notify utilities before commencing.
 - a - Sunshine State One Call of Florida, Inc. (800) 432-4770

Once notified by KLOR to commence construction, the contractor has thirty (30) days to commence. Failure to do so will result in re-scheduling of the commencement date.

After notification to commence and prior to commencing excavation, the individual unit site shall be fenced with a minimum 6' high chain-link fence and 10' wide gate which will be maintained on site until a certificate of occupancy is obtained.

During construction operations all debris shall be kept within the unit boundary and each site shall be cleaned daily. The private roads and common areas shall be kept free of debris and vehicles.

The contractor shall give KLOR 24 hr previous notice before any oversize equipment such a crane is brought into the construction site.

KLOR will make available a staging area where contractors and sub contractors may keep a storage bin during the course of construction as well as temporary refuse bin storage area.

The construction fence shall be kept in place up to the time a certificate of occupancy is obtained.

Once the certificate of occupancy is obtained and provided to KLOR, a site inspection will be conducted and a letter authorizing owner occupancy shall be issued by KLOR no later than ten (10) business days if the inspection results are satisfactory

Owner shall provide KLOR with 24 hr notice to occupy his unit in order to coordinate with other owners.

Site-specific Building Rules and Regulations and Use Restrictions

Units 1 through 5

The use of the area defined by the buffer setback shall be granted to the shareholders that have units contiguous to the buffer area and abutting this setback provided the following conditions are met:

1. The area is defined by measuring twenty (20) feet from the property line to the contiguous unit boundary.
2. This area is a landscaped buffer area and permanent structures are prohibited.
3. This area shall be maintained free of debris, trash or any other material detrimental to the visual enjoyment of the space.
4. There shall be no fences erected in this area
5. Setbacks shall be five feet zero inches (5'-0") from all unit boundary lines to the building envelope.

Units 6 through 26:

The use of the area defined by the buffer setback shall be granted to the shareholders that have units contiguous to the buffer area and abutting this setback provided the following conditions are met:

1. The area is defined by measuring twenty (20) feet from the property line to the contiguous unit boundary.
2. This area is a landscaped buffer area and permanent structures are prohibited.
3. This area shall be maintained free of debris, trash or any other material detrimental to the visual enjoyment of the space.
4. There shall be no fences erected in this area
5. The front setback shall be ten feet zero inches (10'-0") from the street-side boundary line to the building envelope.
6. The rear setback shall be twenty feet zero inches (20'-0") from the overall project property line to the unit's rear boundary or eave line.
7. Side setbacks shall be five feet zero inches (5'-0") from boundary lines to the building envelope

Unit 27:

The use of the area defined by the buffer setback shall be granted to the shareholders that have units contiguous to the buffer area and abutting this setback provided the following conditions are met:

1. The area is defined by measuring twenty (20) feet from the property line to the contiguous unit boundary.
2. This area is a landscaped buffer area and permanent structures are prohibited.
3. This area shall be maintained free of debris, trash or any other material detrimental to the visual enjoyment of the space.
4. There shall be no fences erected in this area
5. The front setback shall be five feet zero inches (5'-0") from the street-side boundary line to the building envelope.
6. The rear setback shall be twenty feet zero inches (20'-0") from the overall project property line to the unit's rear boundary or eave line
7. Side setbacks shall be five feet zero inches (5'-0") from boundary lines to the building envelope

Units 28 through 38:

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/riprap and between the seaward projections of the side boundaries shall be granted exclusively to the respective shareholders (and their guests). The Klor BOD will not interfere with any riparian rights appurtenant to those units. The Klor BOD does not have sufficient information to determine the extent of those rights; therefore, the establishment of those rights may be the burden of the unit owner upon its application to the respective AHJ. The following paragraphs specify the methodology and conditions for use of this area.

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/riprap and between the seaward projections of the side boundaries is divided into two parts:

- (1) The first part is a maintenance/repair easement contiguous and parallel to the seaward edge of the seawall. This easement shall include the seawall/riprap in its entirety as well as the minimum first two (2) feet upland from the upland face of the seawall/riprap. Because the seawall/riprap meanders, the upland face of the seawall may result in the easement exceeding two feet but shall not encroach on the area designated for accessory shoreline structures and plantings. The purpose of this easement is to enable Klor to maintain, repair and replace any damaged seawall. **This easement area shall be free of any structure and or encumbrance temporary or otherwise except for the rip rap seawall and its ground surface (excepting for the riprap seawall) shall be uniformly covered with paspalum vaginatum sod (Seashore paspalum).** No structures shall be constructed within this easement area except related to structural repairs and/or replacement of the seawall/riprap in accordance with the form and height of the existing seawall.

- (2) The second part of the area to be used is the area designated for accessory shoreline structures and plantings. This area is defined by a measurement of sixteen (16) feet in a seaward direction from the seaward line of the building envelope.

Refer to the attached diagram representing the maintenance/repair easement and the accessory shoreline structures and planting area.

1. Any and all shareholders who comply with these guidelines shall be granted the privilege to use this shoreline area to erect, build or cause to be constructed an **accessory shoreline structure** solely within this sixteen (16) foot wide designated area contiguous to the applicable unit's seaward boundary line. The accessory shoreline structures shall be limited to those permitted by the **AHJ** and shall comply with the additional criteria stated below. In addition, landscaping, fences and movable furniture shall be permitted subject to the requirements stated below.
 - A. Gazebos and open shelters shall be constructed of durable water-resistant materials such as painted pressure treated wood or pre-finished PVC or other material.
 - a. Columns shall be minimum 4"x4" for sizes up to 10'x10' and 6"x6" for sizes 11'x11' and over.
 - b. Roof shall be hipped, minimum five in twelve slope, roof material shall match the main structure roof's material and color.
 - B. "Chickee" huts shall be permitted, maximum size 10'x10'
 - C. Decks on grade shall have their top elevation at at seven (7) inches above grade and shall be constructed of permeable materials to be approved by the ARB. The decks shall allow for infiltration of storm water run-off and shall not encroach into the seawall maintenance easement. Decks shall follow the slope of the grade elevation as established by the approved drainage plans. Decks shall be subject to a side setback requirement of two (2) feet on each side. Decks shall natural wood grain color or painted light gray.
 - D. Benches are permitted provided they are constructed of a water-resistant material and may be permanently attached to the ground or deck. Benches shall be white.
 - E. Beach type umbrellas are permitted provided they are temporary in nature and are used during daylight hours only.

- F. The total maximum coverage of any structure or deck shall not exceed a total of sixty (60) percent of the upland area of the shoreline setback and shall not be less than two (two) feet from the neighboring unit boundary line.
- G. Low (thirty (30) inches maximum height) open-type picket fences are permitted provided they have one point of connection with the easement area and follow the previously established easement and side setback requirements. Picket fences shall be painted white.
- H. Low planting shrubs (maximum three (3) feet in height when mature) of a Native salt-tolerant species may be planted at the side setback area between units. In addition a maximum of three (3) coconut palms may be planted in this designated accessory structure construction area provided the planting of these Palms does not interfere with the ocean view corridors available between principal structures from the street to the ocean. A landscaping plan shall be submitted for approval by the Klor ARB.
- I. Lawn furniture shall be permitted to be used in this area provided it is temporary in nature and not attached to the existing ground or deck.
- J. Any proposed construction and landscaping seaward of the respective unit seaward building envelope line shall be initially reviewed and approved by the Klor ARB and subsequently be reviewed and approved for permitting by the AHJ including but not limited to Monroe County, The State of Florida and the Federal government as applicable. The AHJ regulations may be applied in a more restrictive manner than those proposed above and no representations are made concerning approval by the AHJ.
2. **Temporary ladders are permitted for access to area seaward of the easement provided the owner and user of same provides a "hold harmless" agreement to the Klor BOD indemnifying the Association from any possible claims arising from any injuries that may occur through their use.**
3. The following structures **shall not be permitted** within the shoreline setback, maintenance/repair easement , designated accessory structure construction area or seaward from the MHWL:
- Pools and or Spas and Water features
 - Screen enclosures
 - Boat Ramps
 - fish cleaning stations
4. Shareholders granted the privilege of this use shall be responsible for the payment of their proportionate share of property taxes **in addition** to the 1/285 proportionate share promulgated by the yearly budget which is customarily referred to as the monthly maintenance assessment. The exact amount to be paid

will be determined once the exact area to be used by each shareholder is established by Survey.

Units 39 through 110 and 126-203 and 207-277:

These units are to conform to the general criteria and use regulations

Units 111 through 116

1. Front setback shall be ten feet zero inches (10'-0") from the street boundary line to the building envelope.
2. Rear setback shall be five feet zero inches (5'-0") from the rear boundary line to the building envelope.
3. Side setbacks shall be five feet zero inches (5'-0") from side boundary lines to the building envelope.

All other requirements shall conform to the general criteria and use regulations

Units 117 through 125:

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall and between the seaward projections of the side boundaries shall be granted exclusively to the respective shareholders (and their guests). The KLOR BOD will not interfere with any riparian rights appurtenant to those units. The KLOR BOD does not have sufficient information to determine the extent of those rights; therefore, the establishment of those rights may be the burden of the unit owner upon its application to the respective AHJ. The following paragraphs specify the methodology and conditions for use of this area.

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/walkway and between the seaward projections of the side boundaries is divided into two parts:

- (1) The first part is a maintenance/repair easement contiguous and parallel to the seaward edge of the seawall. This easement shall include the seawall and walkway in its entirety as well as the minimum first eight (8) feet upland from the seaward face of the seawall. The easement may not encroach on the area designated for accessory shoreline structures and plantings. The purpose of this easement is to enable KLOR to maintain, repair and replace any damaged seawall or walkway. **This easement area shall be free of any structure and or encumbrance temporary or otherwise except for the seawall and the walkway and its ground surface (excepting for the seawall and walkway) shall be uniformly covered with paspalum vaginatum sod (Seashore paspalum).** No structures shall be constructed within this easement area except related to

structural repairs and/or replacement of the seawall or walkway in accordance with the form and height of the existing seawall and walkway.

- (2) The second part of the area to be used is the area designated for accessory shoreline structures and plantings. This area is defined by a measurement of twelve (12) feet in a seaward direction from the seaward line of the building envelope.

Refer to the attached diagram representing the maintenance/repair easement and the accessory shoreline structures and planting area.

1. Any and all shareholders who comply with these guidelines shall be granted the privilege to use this shoreline area to erect, build or cause to be constructed an **accessory shoreline structure** solely within this twelve (12) foot wide designated area contiguous to the applicable unit's seaward boundary line. The accessory shoreline structures shall be limited to those permitted by the AHJ and additionally shall comply with the criteria listed below. Landscaping, lawn furniture and fences shall also be permitted subject to the requirements listed below.
 - A. Gazebos and open shelters shall be constructed of durable water-resistant materials such as painted pressure treated wood or pre-finished PVC or other material.
 - a. Columns shall be minimum 4"x4" for sizes up to 10'x10' and 6"x6" for sizes 11'x11' and over.
 - b. Roof shall be hipped, minimum five in twelve slope, roof material shall match the main structure roof's material and color.
 - B. "Chickee" huts shall be permitted, maximum size 10'x10'
 - C. Decks on grade shall have their top elevation is at seven (7) inches above grade and shall be constructed of permeable materials to be approved by the ARB. The decks shall allow for infiltration of storm water run-off and shall not encroach into the seawall maintenance easement. Decks shall follow the slope of the grade elevation as established by the approved drainage plans. Decks shall be subject to a side setback requirement of two (2) feet on each side. Decks shall be natural wood grain color or painted light-gray .
 - D. Benches are permitted provided they are constructed of a water-resistant material and may be permanently attached to the ground or deck. Benches shall be white.

- E. Beach type umbrellas are permitted provided they are temporary in nature and are used during daylight hours only.
 - F. The total maximum coverage of any structure or deck shall not exceed a total of sixty (60) percent of the upland area of the shoreline setback and shall not be less than two (two) feet from the neighboring unit boundary line.
 - G. Low (thirty (30) inches maximum height) open-type picket fences are permitted provided they have one point of connection with the easement area and follow the previously established easement and side setback requirements. Picket fences shall be painted white.
 - H. Low planting shrubs (maximum three (3) feet in height when mature) of a Native salt-tolerant species may be planted at the side setback area between units. In addition a maximum of three (3) coconut palms may be planted in this designated accessory structure construction area provided the planting of these palms does not interfere with the ocean view corridors available between principal structures from the street to the ocean. A landscaping plan shall be submitted for approval by the Klor ARB.
 - I. Lawn furniture shall be permitted to be used in this area provided it is temporary in nature and not attached to the existing ground or deck.
 - J. Any proposed construction and landscaping seaward of the respective unit seaward building envelope line shall be initially reviewed and approved by the Klor ARB and subsequently be reviewed and approved for permitting by the AHJ including but not limited to Monroe County, The State of Florida and the Federal government as applicable. The AHJ regulations may be applied in a more restrictive manner than those proposed above and no representations are made concerning approval by the AHJ.
2. The following structures **shall not be permitted** within the shoreline setback, maintenance/repair easement , designated accessory structure construction area or seaward from the MHWL:
- a. Pools and or Spas and Water features
 - b. Screen enclosures
 - c. Boat Ramps
 - d. fish cleaning stations
3. Shareholders granted the privilege of this use shall be responsible for the payment of their proportionate share of property taxes **in addition** to the 1/285 proportionate share promulgated by the yearly budget which is customarily referred to as the monthly maintenance assessment. The exact amount to be paid will be determined once the exact area to be used by each shareholder is established by Survey.

Units 204 through 206

1. Front setback shall be twenty feet zero inches (20'-0") from the street boundary line to the building envelope.
2. Rear setback shall be five feet zero inches (5'-0") from the rear boundary line to the building envelope.
3. Side setbacks shall be five feet zero inches (5'-0") from side boundary lines to the building envelope.

All other requirements shall conform to the general criteria and use regulations

Unit 278:

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/riprap and between the seaward projections of the side boundaries shall be granted exclusively to the respective shareholder (and his/her guests). The KLOR BOD will not interfere with any riparian rights appurtenant to that unit. The KLOR BOD does not have sufficient information to determine the extent of those rights; therefore, the establishment of those rights may be the burden of the unit owner upon its application to the respective AHJ. The following paragraphs specify the methodology and conditions for use of this area.

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/riprap and between the seaward projections of the side boundaries is divided into two parts:

(1) The first part is a maintenance/repair easement contiguous and parallel to the seaward edge of the seawall. This easement shall include the seawall/riprap in its entirety as well as the minimum first two (2) feet upland from the upland face of the seawall/riprap. Because the seawall/riprap meanders, the upland face of the seawall may result in the easement exceeding two feet but shall not encroach on the area designated for accessory shoreline structures and plantings. The purpose of this easement is to enable KLOR to maintain, repair and replace any damaged seawall. **This easement area shall be free of any structure and or encumbrance temporary or otherwise except for the rip rap seawall and its ground surface (excepting for the riprap seawall) shall be uniformly covered with paspalum vaginatum sod (Seashore paspalum).** No structures shall be constructed within this easement area except related to structural repairs and/or replacement of the seawall/riprap in accordance with the form and height of the existing seawall.

(2) The second part of the area to be used is the area designated for accessory shoreline structures and plantings. This area is defined by a measurement of sixteen (16) feet in a seaward direction from the seaward line of the building envelope.

Refer to the attached diagram representing the maintenance/repair easement and the accessory shoreline structures and planting area.

1. Any and all shareholders who comply with these guidelines shall be granted the privilege to use this shoreline area to erect, build or cause to be constructed an **accessory shoreline structure** solely within this sixteen (16) foot wide designated area contiguous to the applicable unit's seaward boundary line. The placement of accessory shoreline structures shall be limited the northeast section of the aforementioned designated area situated to the northeast and seaward of the unit's building envelope/boundary line, the area southeast and seaward of the unit's building envelope/boundary line shall be kept as a preserve and shall be free of accessory shoreline structures. Accessory shoreline structures where permitted shall be limited those permitted by the AHJ and shall comply with the additional criteria stated below. In addition, landscaping, fences and movable furniture shall be permitted subject to the requirements stated below.
 - A. Gazebos and open shelters shall be constructed of durable water-resistant materials such as painted pressure treated wood or pre-finished PVC or other material.
 - a. Columns shall be minimum 4"x4" for sizes up to 10'x10' and 6"x6" for sizes 11'x11' and over.
 - b. Roof shall be hipped, minimum five in twelve slope, roof material shall match the main structure roof's material and color.
 - B. "Chickee" huts shall be permitted, maximum size 10'x10'
 - C. Decks on grade shall have their top elevation at at seven (7) inches above grade and shall be constructed of permeable materials to be approved by the ARB. The decks shall allow for infiltration of storm water run-off and shall not encroach into the seawall maintenance easement. Decks shall follow the slope of the grade elevation as established by the approved drainage plans. Decks shall be subject to a side setback requirement of two (2) feet on each side. Decks shall be natural wood grain color or painted light gray .
 - D. Benches are permitted provided they are constructed of a water-resistant material and may be permanently attached to the ground or deck. Benches shall be white.
 - E. Beach type umbrellas are permitted provided they are temporary in nature and are used during daylight hours only.

- F. The total maximum coverage of any structure or deck shall not exceed a total of sixty (60) percent of the upland area of the shoreline setback and shall not be less than two (two) feet from the neighboring unit boundary line.
- G. Low (thirty (30) inches maximum height) open-type picket fences are permitted provided they have one point of connection with the easement area and follow the previously established easement and side setback requirements. Picket fences shall be painted white.
- H. Low planting shrubs (maximum three (3) feet in height when mature) of a Native salt-tolerant species may be planted at the side setback area between units. In addition a maximum of three (3) coconut palms may be planted in this designated accessory structure construction area provided the planting of these Palms does not interfere with the ocean view corridors available between principal structures from the street to the ocean. A landscaping plan shall be submitted for approval by the KLOR ARB.
- I. Lawn furniture shall be permitted to be used in this area provided it is temporary in nature and not attached to the existing ground or deck.
- J. Any proposed construction and landscaping seaward of the respective unit seaward building envelope line shall be initially reviewed and approved by the KLOR ARB and subsequently be reviewed and approved for permitting by the AHJ including but not limited to Monroe County, The State of Florida and the Federal government as applicable. The AHJ regulations may be applied in a more restrictive manner than those proposed above and no representations are made concerning approval by the AHJ.
2. **Temporary ladders are permitted for access to area seaward of the easement provided the owner and user of same provides a "hold harmless" agreement to the KLOR BOD indemnifying the Association from any possible claims arising from any injuries that may occur through their use.**
3. The following structures **shall not be permitted** within the shoreline setback, maintenance/repair easement, designated accessory structure construction area or seaward from the MHWL:
- Pools and or Spas and Water features
 - Screen enclosures
 - Boat Ramps
 - fish cleaning stations

4. Shareholders granted the privilege of this use shall be responsible for the payment of their proportionate share of property taxes **in addition** to the 1/285 proportionate share promulgated by the yearly budget which is customarily referred to as the monthly maintenance assessment. The exact amount to be paid will be determined once the exact area to be used by each shareholder is established by Survey.

Units 279 through 285:

The use of the area defined by the buffer setback shall be granted to the shareholders that have units contiguous to the buffer area and abutting this setback provided the following conditions are met:

1. The area is defined by measuring twenty (20) feet from the property line to the contiguous unit boundary.
2. This area is a landscaped buffer area and permanent structures are prohibited.
3. This area shall be maintained free of debris, trash or any other material detrimental to the visual enjoyment of the space.
4. There shall be no fences erected in this area
5. Setbacks shall be five feet zero inches (5'-0") from all unit boundary lines to the building envelope.

Pre-Approved Models (Facade)

The rendering of the front elevation (façade) of each of the models listed has been reviewed by the KLOR BOD and has been deemed to conceptually comply with these guidelines. Upon submittal of the actual construction plans of each individual unit to the KLOR ARB they will be reviewed for compliance with the remaining parameters set forth in these guidelines and regulations. The major design elements that will require review of all four elevations to assure continuity and the character of the community are: the exterior stairs, the roof shape, the window size and placement and the exterior cladding.

Karl D. Borglum
Property Appraiser
Monroe County, Florida

office (305) 292-3420
 fax (305) 292-3501
 Website tested on Internet Explorer

GIS Mapping requires Adobe Flash 10.3 or higher.

Property Record View

Alternate Key: 1593028 Parcel ID: 00483400-000000

Ownership Details

Mailing Address:
 KEY LARGO OCEAN RESORTS CO-OP INC
 94825 OVERSEAS HWY
 KEY LARGO, FL 33037

Property Details

PC Code: 28 - PARKING LOTS, MOBILE HOME PARKS
 Millage Group: 500P
 Affordable Housing: No
 Section-Township-Range: 13-62-38
 Property Location: 94825 OVERSEAS HWY KEY LARGO
 Subdivision: SOUTHCLIFF ESTATES
 Legal Description: SOUTHCLIFF ESTS PB2-45 KEY LARGO PT TR 9-10-11 (14.65AC) PT LINE ROAD (.75AC) PT NE1/4 OF SE1/4 (5.1AC) PT GOV LT 3 (.6AC) & ADJ BAYBTM (5.22AC) II DEEDS 21847, 24104, 24151 OR44-194/195 OR470-689/695 OR474-441/444 OR563/785 OR807-357/359Q OR810-357/359Q OR810-363/372 OR834-377/381Q RE'S: 8865, 8867, 8868, 8887, 8889, 48341, 48342, 48343 & 48344 COMBINED PER OWNERS REQUEST 5-24-85 OR1027-1281/1282AMD OR2270-538/40C OR2343-927/929C OR2465-1541/1542Q/C OR2465-1543/1544(ASSN/LEASE) OR2537-1689CERT

Parcel Map (Click to open dynamic parcel map)



Land Details

Land Use Code	Frontage	Depth	Land Area
9500 - SUBMERGED			1.99 AC
02RV - REC VEHICLE PARK	0	0	21.49 AC

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	RW2:RETAINING WALL	200 SF	0	0	2005	2006	1	50
0	CL2:CH LINK FENCE	5,150 SF	0	0	2005	2006	1	30
0	AP2:ASPHALT PAVING	450 SF	0	0	2005	2006	1	25
5	PT3:PATIO	2,200 SF	0	0	1975	1976	1	50
7	BR2:BOAT RAMP	667 SF	29	23	1975	1976	2	60
8	DK4:WOOD DOCKS	1,936 SF	242	8	1975	1976	3	40

13	SW2:SEAWALL	1,662 SF	277	6	1975	1976	2	60
14	SW2:SEAWALL	4,512 SF	752	6	1975	1976	2	60
15	DK3:CONCRETE DOCK	1,662 SF	277	6	1975	1976	2	60
16	DK3:CONCRETE DOCK	4,512 SF	752	6	1975	1976	2	60
17	DK4:WOOD DOCKS	720 SF	0	0	1975	1976	3	40
18	DK4:WOOD DOCKS	144 SF	0	0	1975	1976	3	40
20	AP2:ASPHALT PAVING	133,450 SF	0	0	1975	1976	2	25
21	FN2:FENCES	2,500 SF	625	4	1992	1993	4	30
22	CL2:CH LINK FENCE	380 SF	76	5	1975	1976	2	30
23	PT3:PATIO	1,677 SF	39	43	1975	1976	2	50
24	FN2:FENCES	672 SF	84	8	1975	1976	4	30
29	CA2:CARPORT	300 SF	25	12	1975	1976	5	50
33	SW2:SEAWALL	7,650 SF	765	10	1975	1976	1	60
34	SW2:SEAWALL	2,280 SF	380	6	1975	1976	1	60
35	DK4:WOOD DOCKS	2,600 SF	0	0	1975	1976	3	40

Appraiser Notes

KEY LARGO OCEAN RESORTS CO-OP. WATERFRONT SITES = 23; VIEW SITES = 11; DRY SITES = 253 TOTAL = 287 2001/06/25 FIELD INSPECTED, PHOTOS ON FILE. SEWAGE TREATMENT PLANT IS IN LAND VALUE. BLDG 1 = RECREATION BLDG BLDG 2 = MAINT. GARAGE BLDG 3 = OCEANSIDE CAFE & MARINA BLDG 4 = RESORT OFFICE BLDG 5 = BATH-HOUSE BLDG 6 = BATH-HOUSE BLDG 7 = BATH-HOUSE BLDG 8 = BATH-HOUSE BLDG 9 = MANAGERS RES. 2002/9/3 SB, SEE AK:1593010 FOR LIST OF MISC IMP ON TPP AND OTHER TPP ACCOUNTS. 6/14/01 2001 AUDIT PARCEL.

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	04305555	12/22/2004	12/31/2005	1		CONCRETE WALL
	01303132	09/21/2001	12/31/2005	1		CHAIN LINK FENCE
1	9733194	03/11/1998	01/01/1999	1	Commercial	REPLACE GUARDHOUSE ROOF
	3302138	06/10/2003	01/01/2004	1		REROOF TO CLUBHOUSE
	05300446	03/22/2005	12/31/2005	1		PAVEMENT OF TWO RADIUS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	0	381,688	6,712,125	7,093,813	7,093,813	0	7,093,813
2010	860,455	489,004	6,712,125	7,734,790	7,734,790	0	7,734,790
2009	888,107	499,745	7,191,563	7,734,790	7,734,790	0	7,734,790
2008	899,581	510,379	14,383,125	13,967,258	13,967,258	0	13,967,258
2007	709,945	426,105	14,383,125	13,967,258	13,967,258	0	13,967,258
2006	725,682	389,367	14,383,125	15,498,174	15,498,174	0	15,498,174
2005	730,163	388,188	7,479,225	8,597,576	8,597,576	0	8,597,576
2004	721,678	394,277	7,479,225	8,595,180	8,595,180	0	8,595,180
2003	721,678	403,091	7,479,225	8,603,994	8,603,994	0	8,603,994
2002	693,149	411,668	7,479,225	8,584,042	8,584,042	0	8,584,042
2001	693,149	417,759	7,191,563	8,302,471	8,302,471	0	8,302,471
2000	663,088	212,266	6,306,310	7,181,664	7,181,664	0	7,181,664
1999	639,629	287,506	6,264,650	7,191,785	7,191,785	0	7,191,785
1998	441,738	253,016	6,264,650	6,959,404	6,959,404	0	6,959,404
1997	441,738	260,627	6,264,650	6,967,015	6,967,015	0	6,967,015
1996	404,239	267,411	6,264,650	6,936,300	6,936,300	0	6,936,300
1995	404,239	273,859	6,264,650	6,942,748	6,942,748	0	6,942,748
1994	243,864	266,200	5,512,892	6,022,956	6,022,956	0	6,022,956
1993	243,864	278,114	5,512,892	6,034,870	6,034,870	0	6,034,870
1992	243,864	290,071	5,512,892	6,046,827	6,046,827	0	6,046,827
1991	243,864	301,987	5,512,892	6,058,743	6,058,743	0	6,058,743
1990	243,864	313,712	5,512,892	6,070,468	6,070,468	0	6,070,468

1989	243,864	327,230	5,512,892	6,083,986	6,083,986	0	6,083,986
1988	230,246	255,918	5,512,892	5,999,056	5,999,056	0	5,999,056
1987	225,595	265,283	5,512,892	6,003,770	6,003,770	0	6,003,770
1986	199,585	274,534	5,011,720	5,485,839	5,485,839	0	5,485,839
1985	194,887	283,898	5,011,720	5,490,505	5,490,505	0	5,490,505
1984	0	97,959	243,750	341,709	341,709	0	341,709
1983	0	98,980	245,000	343,980	343,980	0	343,980
1982	0	100,000	175,500	275,500	275,500	0	275,500

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/7/2010	2465 / 1541	0	QC	11
5/1/1980	810 / 357	0	QC	Q

This page has been visited 5,274 times.

Monroe County Property Appraiser
 Karl D. Borglum
 P.O. Box 1176
 Key West, FL 33041-1176

Karl D. Borglum
Property Appraiser
Monroe County, Florida

office (305) 292-3420
 fax (305) 292-3501
 Website tested on Internet Explorer

----- GIS Mapping requires Adobe Flash 10.3 or higher. -----

Property Record View

Alternate Key: 1593010 Parcel ID: 00483390-000000

Ownership Details

Mailing Address:
 KEY LARGO OCEAN RESORTS CO-OP INC
 94825 OVERSEAS HWY
 KEY LARGO, FL 33037

Property Details

PC Code: 10 - VACANT COMMERCIAL
 Millage Group: 500P
 Affordable Housing: No
 Section-Township-Range: 13-62-38
 Property Location: VACANT LAND 94825 OVERSEAS HWY KEY LARGO
 Subdivision: SOUTHCLIFF ESTATES
 Legal Description: SOUTHCLIFF ESTS PB2-45 KEY LARGO NE 100' OF SW 1/2 OF TR 9 OR442-411 OR802-2433 OR1470-165/66 OR1772-1054/55

Parcel Map (Click to open dynamic parcel map)



Land Details

Land Use Code	Frontage	Depth	Land Area
00HH - HARDWOOD HAMMOCK	0	0	0.27 AC
000X - ENVIRONMENTALLY SENS	0	0	1.37 AC

Appraiser Notes

2002/9/3 SB, TPP: 8522908 - KL OCEAN RES. - CONDO ASSOC. 8858205 - OCEANSIDE CAFE 8794959 - BILL'S SOUND 8991775 - CLEAN SWEEP WASH & WAX 8720912 - LOT 1 = RAMIREZ, B LOT 2 = SLAB ONLY - 9/18/02, SB. 8720939 - LOT 3 = FAJARDO, R 8720963 - LOT 4 = BAISTA, S 8721048 - LOT 5 = GOLLANES, Y - WD2/MH2 - '88 8721064 - LOT 6 = MAZA, M - MH3/UB2/UB2/MH2 - '88 8721081 - LOT 7 = MARRERO, V - CA2/MH2/WD2 - '88 8721102 - LOT 8 = PEREZ, H - MH2/MH3 - '87 8721129 - LOT 9 = LANZA, Y 8721137 - LOT 10 = MARTINEZ, E - MH2 - '88 8721145 - LOT 11 = LORENZO, A - MH2/WD2 - '88 9007747 - LOT 11 = LORENZO, A - RENTAL EQ 8721161 - LOT 12 = HERNANDEZ, V - MH2 - '92 8721188 - LOT 13 = GARCIA, J 8884575 - LOT 14 = MEDINA, J 8721200 - LOT 15 = SANZ, A - MH2/CA2 - '90 8721218 - LOT 16 = MAS, A - MH2/CA2 - '90 8721226 - LOT 17 = GONZALEZ, G - MH3/UB2 - '90 8721242 - LOT 18 = RAMIREZ, O 8721269 - LOT 19 = RUIZ, G - MH2/MH2/MH3 - '92 8721285 - LOT 20 = ENRIQUEZ, P 8721315 - LOT 21 = VELOSA, M 8721331 - LOT 22 = HERNANDEZ, P - UB2/WD2/MH2 - '90 8884605 - LOT 23 = CAJIGAL, A - MH2 - '90 8723920 - LOT 24 = PADILLA, M - MH2/UB2/MH3 - '88 8723938 - LOT 25 = OLIVERA, M - MH3/MH2 - '90 8723946 - LOT 26 = LEON, R - UB2/UB2/MH2/MH3 - '88 8723954 - LOT 27 = LAMAS, S - MH3/MH2 - '88 8723971 - LOT 28 = TOYOS, V - MH2/MH3 - '90 8724012 - LOT 29 = PARIENTE, R - CABANA - '95 8724039 - LOT 30 = MONTOTO, L - UB2/MH2/WD2 - '88 8724055 - LOT 31 = FREEMAN, J 8724063 - LOT 32 = ESNARD, J 8884591 - LOT 33 = GANDARILLAS - MH2/MH3/UB2 - '78 8724098 - LOT 34 = ROSADO, E 8884567 - LOT 35 = LOPEZ, R 8884559 - LOT 36 = DIAZ, O - UB2/MH3/WD2 - '90 8724152 - LOT 37 = LIZANO, J 8724179 - LOT 38 = HEVIA, L - MH3/CA2 - '88 8724195 - LOT 39 = DE LA, V - MH3 '76 8884541 - LOT 40 = SANCHEZ, P - MH2/MH3/UB2 - '88 8724233 - LOT 41 = PERERA, J 8724250 - LOT 42 = PEREZ, F - MH2/UB2 - '80 8724268 - LOT 43 = AQUIAR, H 8724276 - LOT 44 = MARTINEZ, R 8724284 - LOT 45 8724292 - LOT 46 = MESA, H - MH2 - '90 8724306 - LOT 47 = RODRIQUEZ, J - MH2 - '70 8724314 - LOT 48 = DE LA MORENA - CA2 - '80 8884532 - LOT 49 = ENCINOSA, E 8724357 - LOT 50 = ENCINOSA, E LOT 51 = PICK UP IMP FOR 2003. 8724390 - LOT 52 = VALDES, F - MH2/MH3 - '92 8721358 - LOT 53 = CARDENAS, M - CA2/MH2 - '80 8721366 - LOT 54 = LOPEZ, J - MH2/CA2 - '80 8721382 - LOT 55 = XIOMARA, G 8721391 - LOT 56 = BLANCO, M 8721404 - LOT 57 =

MILIAM, A 8721412 - LOT 58 = BARRANCHEA, C 8721421 - LOT 59 = LOPEZ, E 8721439 - LOT 60 = ESTEBANEZ, E 8721447 - LOT 61 = HERNANDEZ, J - MH2 - '80 8721455 - LOT 62 = POLO, J 8721463 - LOT 63 = CONET, M 8721471 - LOT 64 = RODRIQUEZ, E 8721480 - LOT 65 = TORRES, Y - MH2 - '90 8721498 - LOT 66 = YERO, M - MH2/CA2 - '88 8721501 - LOT 67 = GONZALEZ, E - MH2/CA2 - '90 8721510 - LOT 68 = ARCA, M - MH2/MH2/CA2 - '88 8721528 - LOT 69 = IRIZAKRY, R - CABANA/PORCH - '88 8721536 - LOT 70 = FUSTER, P - MH2/CA2 - '9 8721542 - LOT 71 = ROSQUET, R 8721552 - LOT 72 = MENDEZ, J 8721561 - LOT 73 = GONZALEZ, C 8721579 - LOT 74 = GARCIA, A - MH2 - '88 8721587 - LOT 75 = BARRETT, M - UB2/CA2/CA2 - '88 8721595 - LOT 76 = GONZALEZ, A - MH2/MH3/MH3 - '80 8721609 - LOT 77 = FILPES, C - MH3 - '76 8721617 - LOT 78 = CHAMIZO, J - MH2 - '76 8721625 - LOT 79 = BALBIS, C 8721633 - LOT 80 = MARQUEZ, A 8721641 - LOT 81 = PEREZ, R - MH2/MH2 - '80 8721650 - LOT 82 = FIALLO, J - MH2 - '88 8721668 - LOT 83 = CORDERO, J - MH2 - '90 8721676 - LOT 84 = MARTINEZ, P - MH2/MH3 - '88 8726520 - LOT 85 = RODRIQUEZ, R - MH2 - '88 8721692 - LOT 86 = FILPES, J 8721706 - LOT 87 = AMADOR, P 8724403 - LOT 88 = CAPEVILA, M 8724411 - LOT 89 = DE MOLINA, T - WD2/UB2/MH2 - '88 8724616 - LOT 90 = GONZALEZ, J 8724632 - LOT 91 = SALVA, P - MH3 - '88 8724659 - LOT 92 = PUERTAS, A 8724675 - LOT 93 = GULISANO, J - MH3 - '88 8724691 - LOT 94 = CHALUJA, M - MH2 - '90 8724705 - LOT 95 = JAMBU, W - MH2/MH3 - '88 8724721 - LOT 9 LOT 97 = PEREZ, J - MH3/MH2 - '88 8724764 - LOT 98 = GUTIERREZ, M - MH2/UB2 - '89 8724781 - LOT 99 = CRUZ, A 8724802 - LOT 100 = ADAMS, R - MH2/MH2 - '88 8884621 - LOT 101 = ALTEMUS, L - MH2 - '90 8724861 - LOT 102 = SANCHEZ, O - MH2/MH3 - '88 8884524 - LOT 103 - MARQUES ANDRES & LIDIA - MH3 - '90 8724896 - LOT 104 = MARQUEZ, J - MH3 - '90 8724934 - LOT 105 = SIMON, J - MH3/MH3/MH3/WD2 - '88 8724942 - LOT 106 = FERNANDEZ, A - MH2 - '90 8724969 - LOT 107 = ARTILES, J - MH2/MH2 - '80 8884516 - LOT 108 = GONZALEZ, E 8725027 - LOT 109 = PLASENCIA, C 8725051 - LOT 110 = RODRIQUEZ, F - MH2 - '85 LOT 111 = WD2 4X12 - '00. 8725183 - LOT 112 = BETANCOURT 8725205 - LOT 113 = RODRIQUEZ, M 8725230 - LOT 114 = CABRERA, R 8725256 - LOT 115 = CABRERA, R 8725281 - LOT 116 = GONZALEZ, J - WD2/CA2 - '80 8725299 - LOT 117 = MARQUEZ, A 8725311 - LOT 118 = SANCHEZ, J - MH2 - '76 8725337 - LOT 119 = SANCHEZ, J 8725352 - LOT 120 = BALSERA, J - MH2/CA2 - '88 8725361 - LOT 121 = CHANG, R - CA2/MH2 - '80 8725388 - LOT 122 = RODROQUEZ, E 8725400 - LOT 123 = HERNANDEZ, O 8725426 - LOT 124 = GARCIA, R 8725442 - LOT 125 = HUE, R - MH2 - '88 8725451 - LOT 126 = GONZALEZ, A - MH2/UB2/MH3 - '88 8725469 - LOT 127 = TEJEDA, H 8725591 - LOT 128 = MARTIN, M 8725621 - LOT 129 = GUILLEN, J - MH2/MH3 - '90 8725647 - LOT 130 = GONZALEZ, P - MH2/MH3 - '86 8725688 - LOT 131 = PEREZ, R - MH2/MH3 - '90 8725671 - LOT 132 = ALBA, P 8725761 - LOT 133 = MEDRANO, R 8725787 - LOT 134 = TELLEZ, E 8723962 - LOT 135 = MERSCHMAN, K - CA2 - '80 8723989 - LOT 136 = MUGARRA, G - MH2 - '80 LOT 137 = SLABS - 12X24 '90, 14X14 '88 - 9/18/02, SB. 8724004 - LOT 138 = LOPEZ, E 8724021 - LOT 139 = GARCIA, C 8724047 - LOT 140 = SANCHEZ, D - MH2/MH3 - '80 8724071 - LOT 141 = SANCHEZ, D - MH2/MH3/CA2/CA2 - '80 8724101 - LOT 142 = QUINTANA, A 8724128 - LOT 143 = VALDEZ, R 8724144 - LOT 144 = CHAVIANO, C 8884630 - LOT 145 = FLORES, R 8724161 - LOT 146 = BORRA187 - LOT 147 = RAMOS, O 8724209 - LOT 148 = ALONZO, D - MH2/MH3 - '92 8724225 - LOT 149 = CUENCA, C - MH2/MH3 - '92 8724241 - LOT 150 = MARTIN, C - MH3/MH3/MH2 - '90 8724322 - LOT 151 = GUILLEN, R 8724349 - LOT 152 = HERRERA, J - CARPORT/BAR & SINK - '86 LOT 153 = PIU CABANA 12X16, CPT 8X12 & MH4 40 LF ALL 1999. 8724381 - LOT 154 = ESTRADA, J 8724446 - LOT 155 = MARTINEZ, N - MH3 - '76 8724462 - LOT 156 = SOTOLONGO, A - MH2 - '80 8724489 - LOT 157 = QUINTANA, L 8724501 - LOT 158 = RODRIQUEZ, O 8724527 - LOT 159 = RUIZ, M - MH2 - '90 LOT 160 = VACANT WITH SLABS ONLY ALL OLD '80 -4X6,6X6, & 8X8. 8724543 - LOT 161 = PEREZ, M - MH2 - '76 8724551 - LOT 162 = NAVARRETTE 8884508 - LOT 163 = LLORENS, J 8724560 - LOT 164 = LEON, A - MH2/MH3 - '87 8724578 - LOT 165 = DIAZ, J - MH3 - '84 8724586 - LOT 166 = SEBASTIA, R 8724594 - LOT 167 = GONZALEZ, M - MH2 - '88 8724608 - LOT 168 = PIEDRAHITA, A 8724624 - LOT 169 = LOPEZ, V 8724641 - LOT 170 = PEREZ, I 8724667 - LOT 171 = HORTA, J - MH3 - '92 8724683 - LOT 172 = ARBIDE, I - MH2/UB2 - '76 8724713 - LOT 173 = MENDEZ, A 8724730 - LOT 174 = ACEA, A - UB2/MH3/MH2 - '88 8724756 - LOT 175 = HAMEY, U - MH2 - '92 8724772 - LOT 176 = HANNA, V - MH2 - '88 LOT 177 = VACANT - SITTING AREA USED BY PARK. 8724811 - LOT 178 = ACOSTA, O 8724845 - LOT 179 = OLDS, R - 12 X 19 AWNING - '76 8724870 - LOT 180 = OLDS, R - MH2/MH3 - '88 8724918 - LOT 181 = CABERA, J 8724926 - LOT 182 = MENENDEZ, M - MH2 - '90 8725795 - LOT 183 = RODRIQUEZ, R - MH2/MH3 - '88 8725809 - LOT 184 = ROJAS, J - MH3/MH2 - '88 8725817 - LOT 185 = GONZALEZ, H - MH3/MH2 - '88 LOT 186 = SLAB ONLY 24X24 '80. 8725841 - LOT 187 = COTTER, J - MH2/UB2 - '88 8725884 - LOT 188 = ZAYAS, C 8725906 - LOT 189 = RODRIQUEZ, A 8725914 - LOT 190 = MARTINEZ, S 8884494 - LOT 191 = PEREZ, A - MH2/MH3/UB2 - '88 8725957 - LOT 192 = PLASENCIA, R 8725965 - LOT 193 = DIAZ, R - MH2 - '94 8725981 - LOT 194 = LOPEZ, A 8726007 - LOT 188 8726023 - LOT 196 = DOUGHTY, G 8726040 - LOT 197 = FLEITAS, R - MH2 - '90 8884486 - LOT 198 = GONZALEZ, A - MH2 - '90 8726198 - LOT 199 = DIAZ, B - MH3/MH2/MH2 - '88 8726210 - LOT 200 = RUANO, B 8726236 - LOT 201 = DIAZ, A 8726252 - LOT 202 = ALVAREZ, R - MH3/MH2 - '88 8884478 - LOT 203 = VALOR, J - MH2/MH3 - '82 8726287 - LOT 204 = CRUZ, J 8726309 - LOT 205 = DE LAOSA, P 8726317 - LOT 206 = COLLAZO, E 8884460 - LOT 207 = HUME TRADING - MH2 - '91 8884451 - LOT 208 = ALAYON, R - MH2/MH3 - '92 8726350 - LOT 209 = PARIS, J - UB2/MH2/MH3 - '86 8726384 - LOT 210 = GARCIA, A - MH2/MH2/MH3 - '88 LOT 211 = SPF 12X20 '98 & MH4 124 LF 4' HIGH. PIU FOR 2003. 8726406 - LOT 212 = CABRERA, R 8884443 - LOT 213 = JORGE, J 8726422 - LOT 214 = GONZALEZ, V - UB2/UB2/UB2/WD2/MH2/MH3 - '90 8726431 - LOT 215 = RODRIQUEZ, P 8726465 - LOT 216 = ARVIDSON, L 8726481 - LOT 217 = ADRIAN, P - MH2/WD2 - '90 8726503 - LOT 218 = FERNANDEZ, A - MH2/MH2/WD2/MH3 - '92 8723997 - LOT 219 = DIAZ, A 8725001 - LOT 220 = DELGADO, O - MH3/MH3 - '92 8725019 - LOT 221 = VEREZ, H - UB2/MH2/MH3 - '92 8725035 - LOT 222 = OROZCO, A 8725060 - LOT 223 = BAYONA, R 8725086 - LOT 224 = CORONEL, A - MH2/UB2/MH3 - '88 8725108 - LOT 225 = FERNANDEZ, A 8725124 - LOT 226 = MARTINEZ, R 8884435 - LOT 227 = MARTINEZ, R LOT 228 = VACANT 8725132 - LOT 229 = VELOSA, A 8884427 - LOT 230 = COLL, F - MH3/UB2/UB2 - '90 LOT 231 = SLAB ONLY 8725141 - LOT 232 = PEREZ, J - MH2 - '88 8725159 - LOT 233 = HERNANDEZ, A - WD2/MH2 - '88 LOT 234 = OLD SLAB 24X30 '86, FN2 42X3 '98, & CBS MH4 12X40 '89. PIU FOR 2003. LOT 235 = SLAB 24X30 '86, AP2 10X20 '96. 8725167 - LOT 236 = MC NAB, L 8725191 - LOT 237 = HAAS, A - MH2 - '95 8884419 - LOT 238 = LOVERMI, J 8725213 - LOT 239 = GARCIA, E - MH2/MH2/MH3 - '92 8725248 - LOT 240 = CORTES, R - CABANA - '92 8884401 - LOT 241 = NEW FANTASY 8906188 - LOT 242 = HEVIA, R - MH3 '96 LOT 243 = TK3 OWNED BY PARK. 8884389 - LOT 244 = PEREZ, A 8729090 - LOT 246 = AGUILAR, M 8725302 - LOT 247 = SARDVY, D 8725329 - LOT 248 = HUERTA, A - MH2/MH3 - '92 8725345 - LOT 249 = BITTLEMAN, N - WD2/MH3/MH2 - '92 LOT 250 = MH ONLY - 60 LF OF MH4. 8725370 - LOT 251 = HERNANDEZ, N - MH2/MH3/WD2 - '88 8725396 - LOT 252 = HERNANDEZ, N - MH2/MH3 - '90 8725418 - LOT 253 = FOLGAR, M - UB2/MH2/MH2/MH3 - '88 8725477 - LOT 254 = LOYNAZ, M - SCREEN PORCH - '87 8725485 - LOT 255 = GARRO, L - MH3 - '87 8725493 - LOT 256 = BENCOMO, E 8884362 - LOT 257 = GARRO, L - UB2 - '94 8725507 - LOT 258 = PEREZ - SCREEN CPORCH - '98 8725515 - LOT 259 = CALIL, A 8721714 - LOT 260 = RODRIQUEZ, L LOT 261 = SLAB 6X12 '86, AP2 6X24 '86. 8721722 - LOT 262 = PEREZ, P 8721731 - LOT 263 = CHANG, E 8721871 - LOT 264 = CORDERO, P - MH2/MH3 - '88 8721889 - LOT 265 = VILA, A 8721901 - LOT 266 = VARELA, O 8721919 - LOT 267 = MENDEZ, R 8721935 - LOT 268 = BARENNECH - MH2/UB2/MH3 - '86 8721951 - LOT 269 = GONZALEZ, E 8721960 - LOT 270 = DELVALLE - MH2 - '90 LOT 271 - TONY HUERTA - PCH 12X20 WITH TILES '96. PIU FOR 2003. 8721994 - LOT 272 = PENA, S - MH2 - '88 8722001 - LOT 273 = NINEHOUSER 8722028 - LOT 274 = ODIO, J 8722044 - LOT 275 = ALVAREZ, E 8722061 - LOT 276 = TAPANIZ, E 8722087 - LOT 277 = GONZALEZ, O 8722109 - LOT 278 = PAEZ, P 8722117 - LOT 279 = GONZALEZ, E 8722133 - LOT 280 = IGLESIAS, J - MH3/MH3 - '88 8722141 - LOT 281 = GARCIA, P - MH2/MH3 - '88 8722168 - LOT 282 = ARANGO, R 8722184 - LOT 283 = LEAL, I - MH2/MH2/MH3 - '88 8722206 - LOT 284 = HERNANDEZ, M - CABANA - '86

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	06306854	02/06/2007	12/04/2007	1		FIRE DAMAGED MH/DEMOLITION/ REMOVAL OF DEBRIS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	0	0	373	373	196	0	373
2010	0	0	179	179	179	0	179
2009	0	0	1,073	1,073	1,073	0	1,073
2008	0	0	1,073	1,073	1,073	0	1,073
2007	0	0	3,408	3,408	3,408	0	3,408
2006	0	0	3,408	3,408	3,408	0	3,408
2005	0	0	2,045	2,045	2,045	0	2,045
2004	0	0	3,408	2,044	2,044	0	2,044
2003	0	0	3,408	2,044	2,044	0	2,044
2002	0	0	3,408	2,044	2,044	0	2,044
2001	0	0	3,408	2,044	2,044	0	2,044
2000	0	0	3,408	2,044	2,044	0	2,044

1999	0	0	3,408	2,044	2,044	0	2,044
1998	0	0	3,408	2,045	2,045	0	2,045
1997	0	0	3,408	2,045	2,045	0	2,045
1996	0	0	3,408	2,045	2,045	0	2,045
1995	0	0	3,408	3,408	3,408	0	3,408
1994	0	0	3,408	3,408	3,408	0	3,408
1993	0	0	3,408	3,408	3,408	0	3,408
1992	0	0	3,408	3,408	3,408	0	3,408
1991	0	0	3,408	3,408	3,408	0	3,408
1990	0	0	3,408	3,408	3,408	0	3,408
1989	0	0	3,408	3,408	3,408	0	3,408
1988	0	0	3,408	3,408	3,408	0	3,408
1987	0	0	3,744	3,744	3,744	0	3,744
1986	0	0	63,180	63,180	63,180	0	63,180
1985	0	0	63,180	63,180	63,180	0	63,180
1984	0	0	63,180	63,180	63,180	0	63,180
1983	0	0	64,000	64,000	64,000	0	64,000
1982	0	0	64,000	64,000	64,000	0	64,000

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

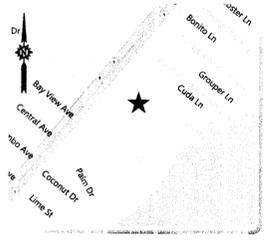
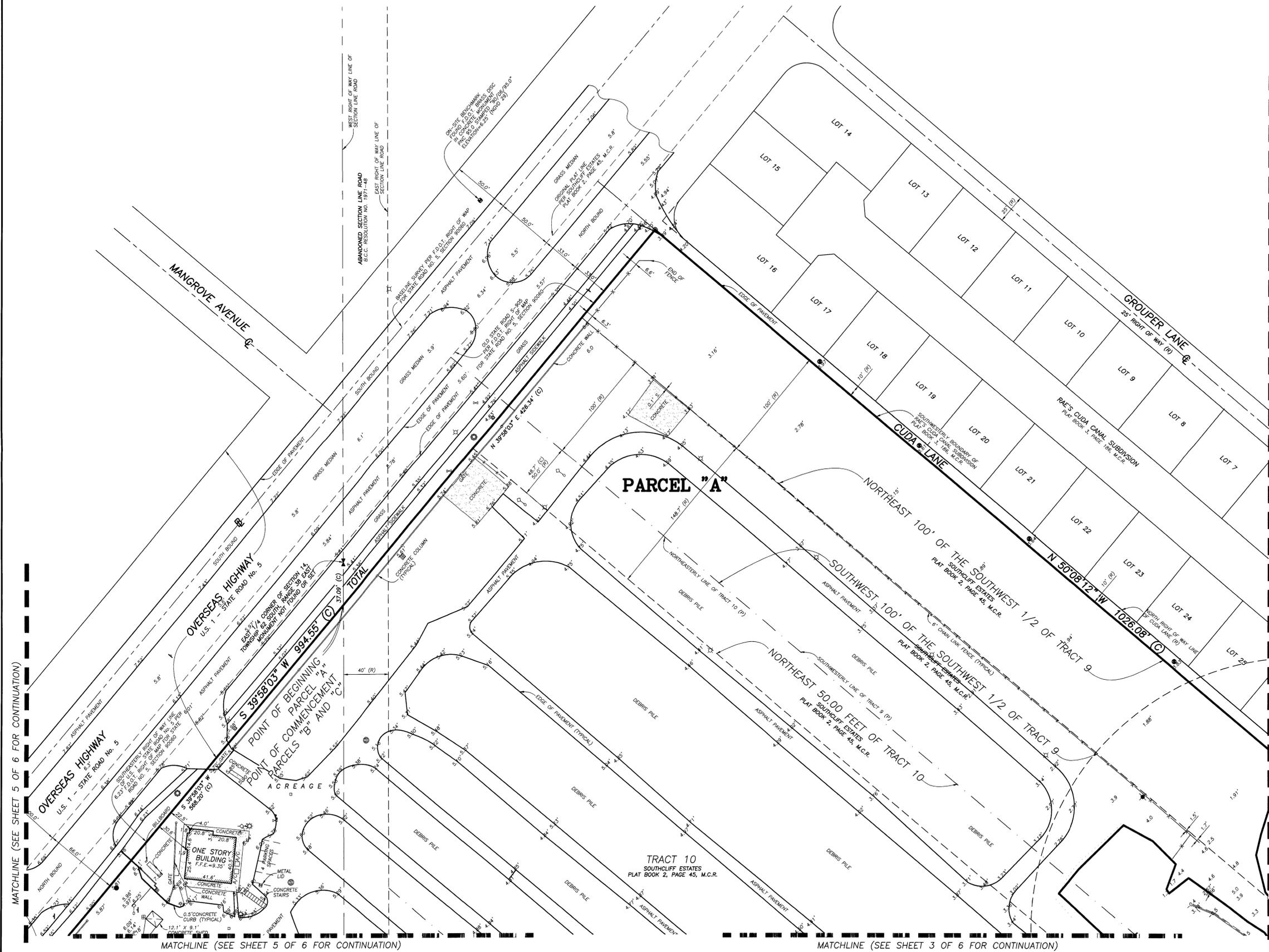
Sale Date	Official Records Book/Page	Price	Instrument	Qualification
7/1/1997	1470 / 0165	55,000	WD	O
2/1/1974	802 / 2433	16,000	00	Q

This page has been visited 7,241 times.

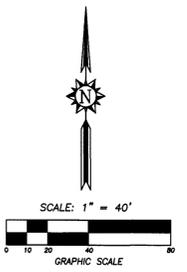
Monroe County Property Appraiser
 Karl D. Borglum
 P.O. Box 1176
 Key West, FL 33041-1176

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

94825 OVERSEAS HWY, KEY LARGO, FL.



VICINITY MAP
NOT TO SCALE



MATCHLINE (SEE SHEET 3 OF 6 FOR CONTINUATION)

MATCHLINE (SEE SHEET 5 OF 6 FOR CONTINUATION)

MATCHLINE (SEE SHEET 5 OF 6 FOR CONTINUATION)

MATCHLINE (SEE SHEET 3 OF 6 FOR CONTINUATION)

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770
EXACTA
 COMMERCIAL LAND SURVEYORS
 3480 FAIRLANE, JACKSONVILLE, FL 32214

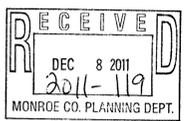
SEAL
 NOT VALID UNLESS
 SEALED HERE WITH
 AN EMBOSSED
 SURVEYOR'S SEAL

SKETCH OF BOUNDARY
 & TOPOGRAPHIC SURVEY
 PARCELS OF LAND LYING IN
 SECTION 13 & 14, TOWNSHIP 82 S., RANGE 38 E.
 MONROE COUNTY, FLORIDA
 94825 OVERSEAS HWY, KEY LARGO, FL 33037

CLIENT: KEY LARGO OCEAN
 RESORTS CO., INC.
 DATE: 08/17/11
 DRAWN BY: J.E.C.
 CHECKED BY: JDLR
 LAST FIELD DATE: 08/17/11

REVISIONS
 1 UPDATE SURVEY 9/18/11
 UPDATE LEGAL
 DESCRIPTION

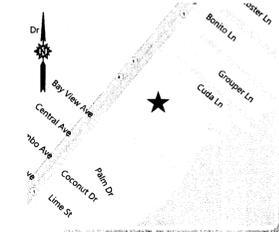
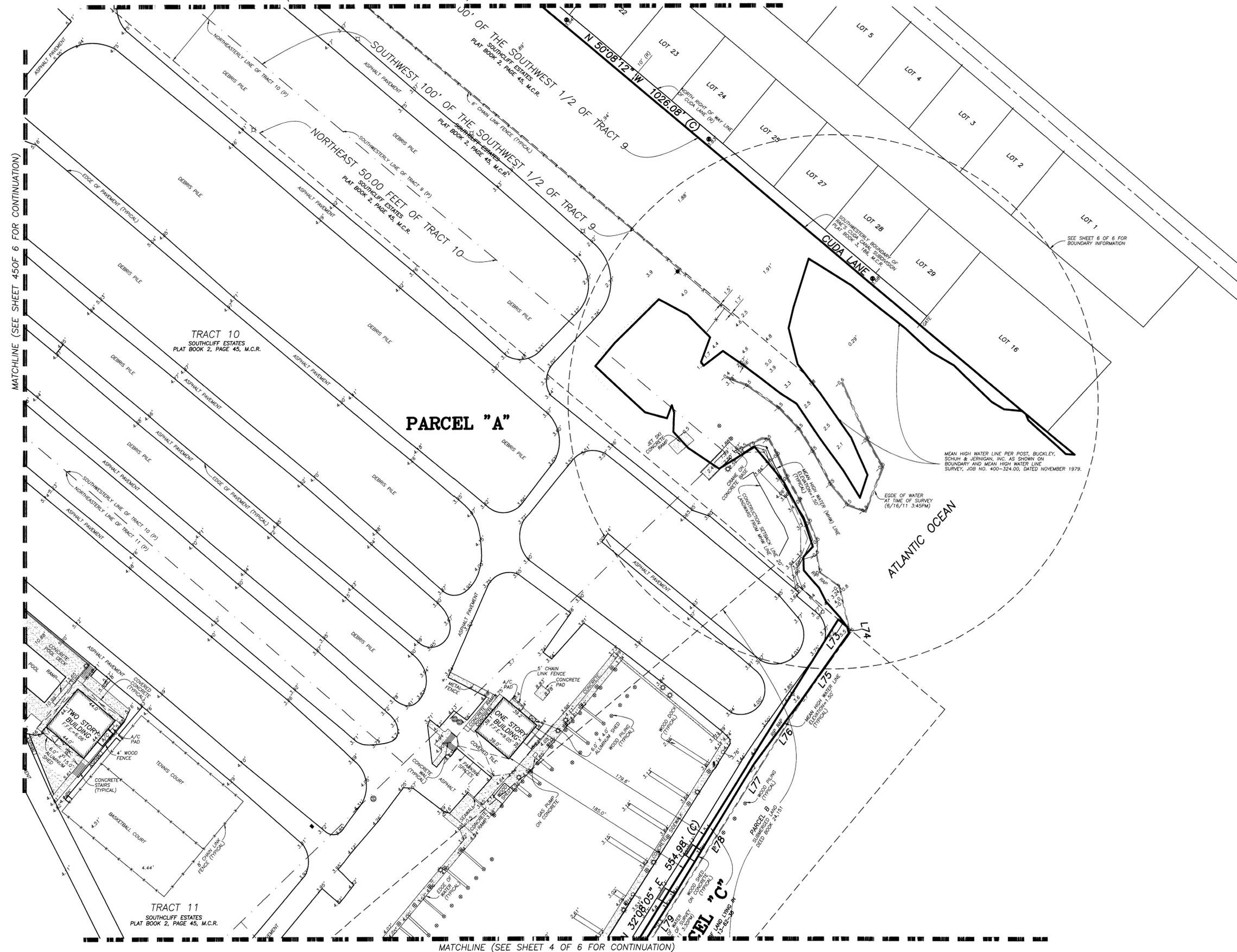
JOB NO.
FL1109-1025
 SHEET NO.
 02 OF 06



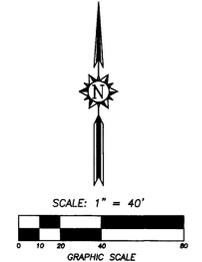
SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

94825 OVERSEAS HWY, KEY LARGO, FL.

MATCHLINE (SEE SHEET 2 OF 6 FOR CONTINUATION)



VICINITY MAP
NOT TO SCALE



LINE TABLE

LINE	BEARING	DISTANCE
L71	N47°17'56"E	70.94'
L72	N50°06'04"W	50.00'
L73	S50°08'12"E	10.61'
L74	S13°19'22"E	5.63'
L75	S35°25'24"W	73.30'
L76	S36°42'02"W	72.12'
L77	S32°08'45"W	26.60'
L78	S31°19'00"W	107.50'
L79	S32°53'25"W	55.23'
L80	S33°33'31"W	63.07'
L81	S29°42'50"W	23.50'
L82	S30°38'07"W	49.43'
L83	S30°45'33"W	41.89'
L84	S06°59'12"E	17.05'
L85	S45°03'36"E	9.08'
L86	S23°14'34"E	37.09'
L87	S08°35'55"E	12.17'
L88	S15°00'15"E	19.77'
L89	S47°33'24"W	25.73'
L90	S67°20'34"W	24.85'
L91	N84°10'07"W	21.24'
L92	N51°56'13"W	8.52'

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770

EXACTA
COMMERCIAL LAND SURVEYORS
L.S. 7551

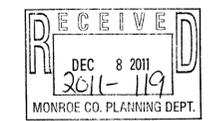
SEAL
NOT VALID UNLESS
SEALED HERE WITH
AN EMBOSSED
SURVEYOR'S SEAL

SKETCH OF BOUNDARY
& TOPOGRAPHIC SURVEY
OF PARCELS OF LAND LYING IN
SECTION 13 & 14, TOWNSHIP 62 S., RANGE 38 E.
MONROE COUNTY, FLORIDA
94825 OVERSEAS HWY., KEY LARGO, FL. 33037

CLIENT: KEY LARGO OCEAN RESORTS CO-OP, INC.
DATE: 08/17/11

DRAWN BY: J.E.C.
CHKD BY: JDLR
LAST FIELD DATE: 08/17/11

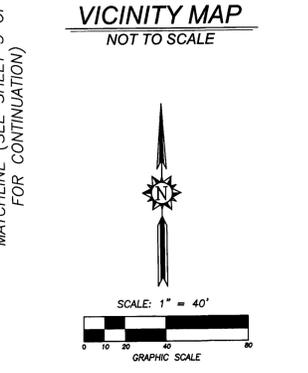
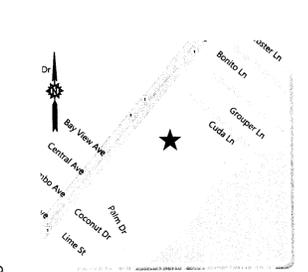
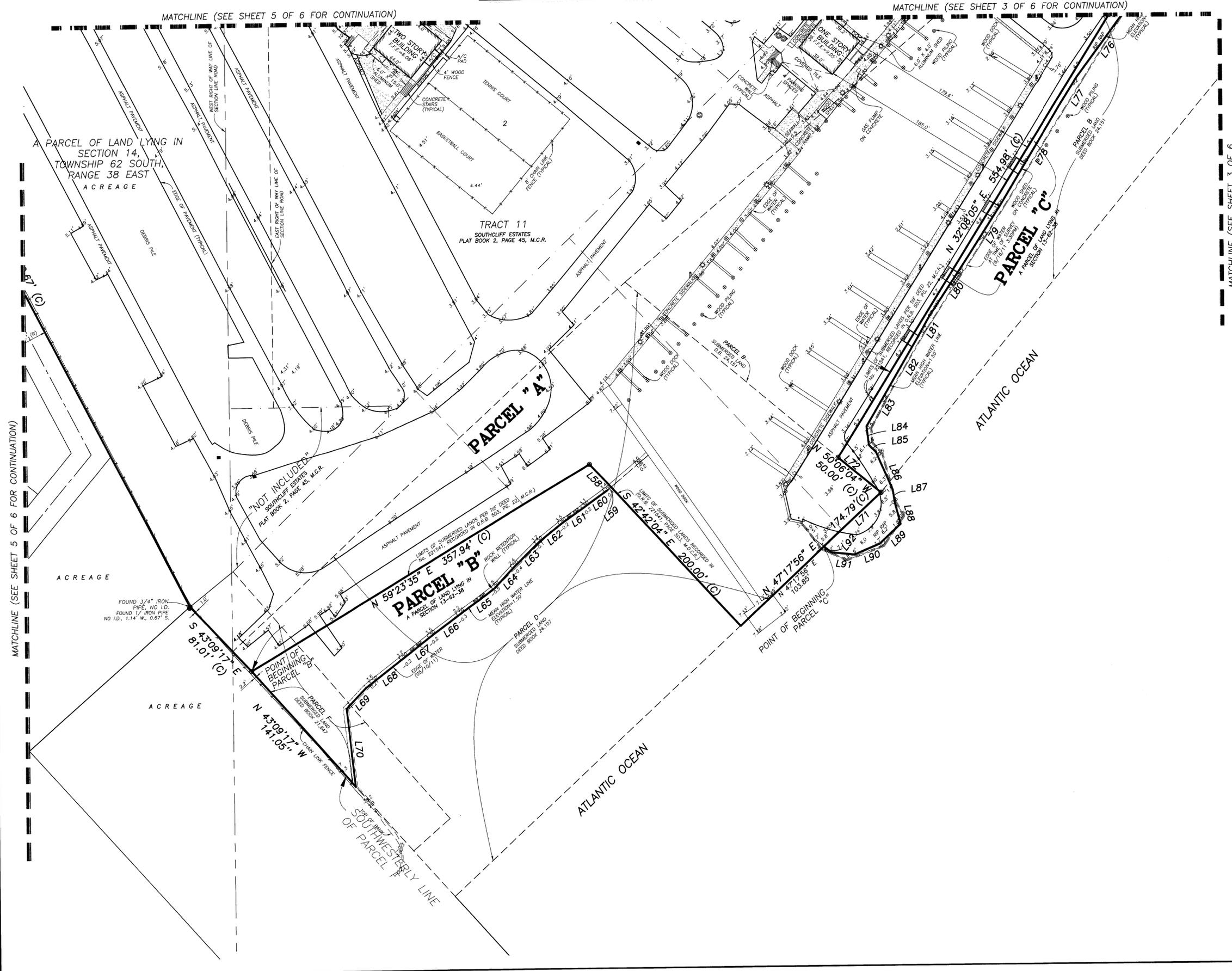
REVISIONS
1 UPDATE SURVEY 9/18/11
UPDATE LEGAL DESCRIPTION



JOB NO.
FL1109-1025
SHEET NO.
03 of 06

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

94825 OVERSEAS HWY, KEY LARGO, FL.

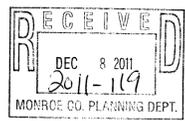


LINE TABLE

LINE	BEARING	DISTANCE
L58	S42°42'04"E	26.55'
L59	S49°42'06"W	4.16'
L60	S54°40'57"W	24.84'
L61	S55°13'41"W	25.36'
L62	S51°32'20"W	28.07'
L63	S45°59'21"W	29.79'
L64	S43°43'15"W	27.20'
L65	S53°51'48"W	36.07'
L66	S53°39'20"W	32.67'
L67	S52°11'53"W	32.31'
L68	S52°27'42"W	43.34'
L69	S44°11'36"W	26.38'
L70	S08°32'03"E	70.91'

LINE TABLE

LINE	BEARING	DISTANCE
L71	N47°17'56"E	70.34'
L72	N50°06'04"W	50.00'
L73	S50°08'12"E	10.61'
L74	S13°19'22"E	5.63'
L75	S35°25'24"W	73.30'
L76	S36°42'02"W	72.12'
L77	S32°08'45"W	26.60'
L78	S31°19'00"W	107.50'
L79	S32°53'25"W	55.23'
L80	S33°33'31"W	63.07'
L81	S29°42'50"W	23.50'
L82	S30°36'07"W	49.43'
L83	S30°45'33"W	41.89'
L84	S06°59'12"E	17.05'
L85	S45°03'36"E	9.08'
L86	S23°14'34"E	37.09'
L87	S08°35'55"E	12.17'
L88	S15°00'15"E	19.77'
L89	S47°33'24"W	25.73'
L90	S67°20'34"W	24.85'
L91	N84°10'07"W	21.24'
L92	N51°56'13"W	8.52'



TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770

EXACTA
COMMERCIAL LAND SURVEYORS
L.B. 7561

SEAL
NOT VALID UNLESS
SEALED HERE WITH
AN EMBOSSED
SURVEYOR'S SEAL

SKETCH OF BOUNDARY
& TOPOGRAPHIC SURVEY
OF PARCELS OF LAND LYING IN
SECTION 13 & 14, TOWNSHIP 62 S., RANGE 38 E.
MONROE COUNTY, FLORIDA
94825 OVERSEAS HWY, KEY LARGO, FL. 33037

KEY LARGO OCEAN
RESORTS CO-OP, INC.
DATE: 08/17/11

DRAWN BY: J.E.C.
CHKD BY: JDLR
LAST FIELD DATE: 08/17/11

REVISIONS
1 UPDATE SURVEY 9/19/11
UPDATE LEGAL
DESCRIPTION

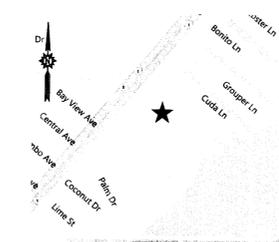
JOB NO.
FL1109-1025

SHEET NO.
04 OF 06

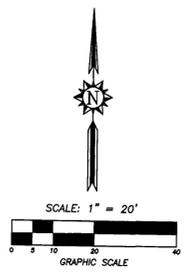
SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

94825 OVERSEAS HWY, KEY LARGO, FL.

LINE	BEARING	DISTANCE
L1	S 50°08'12" E	10.04'
L2	N 37°00'51" W	11.39'
L3	N 42°12'50" W	18.03'
L4	N 27°04'07" W	13.85'
L5	N 41°28'15" W	20.90'
L6	N 02°08'51" W	11.94'
L7	N 43°04'21" E	12.55'
L8	N 19°17'44" W	25.13'
L9	N 28°15'41" W	36.04'
L10	N 39°23'32" W	41.45'
L11	S 58°28'39" W	37.94'
L12	N 55°45'28" W	33.43'
L13	N 42°32'57" W	19.84'
L14	N 02°30'49" E	17.21'
L15	N 17°29'39" W	7.04'
L16	S 20°04'56" W	12.52'
L17	N 74°42'53" W	20.84'
L18	N 47°19'47" W	60.66'
L19	N 39°39'04" E	27.43'
L20	N 45°41'47" E	18.84'
L21	N 45°16'54" E	36.28'
L22	S 81°32'22" E	29.19'
L23	S 45°30'36" E	28.73'
L24	S 20°13'09" W	23.50'
L25	S 33°42'05" E	4.10'
L26	N 52°28'56" E	21.76'
L27	S 35°18'14" E	17.98'
L28	S 54°31'37" E	22.18'
L29	S 52°44'43" E	24.02'
L30	S 27°28'46" E	17.58'
L31	S 33°59'39" E	36.52'
L32	S 35°47'41" E	36.81'
L33	S 31°33'02" E	28.89'
L34	N 18°30'26" E	21.50'
L35	N 23°31'22" W	36.82'
L36	N 35°13'09" W	18.94'
L37	N 34°56'57" W	29.60'
L38	N 36°09'39" W	20.39'
L39	N 38°09'39" W	12.67'
L40	N 14°13'04" W	33.29'
L41	N 13°15'26" E	18.99'
L42	N 17°28'34" E	45.45'
L43	S 58°21'57" E	45.08'
L44	S 51°17'59" E	33.49'
L45	S 52°12'06" E	28.74'
L46	S 47°31'15" E	30.60'
L47	S 59°37'56" E	24.09'
L48	S 48°07'04" E	25.72'
L49	S 46°14'41" E	21.25'
L50	S 59°18'04" E	12.93'
L51	S 84°59'25" E	16.32'
L52	S 50°28'05" E	4.74'
L53	S 22°34'16" E	6.01'
L54	S 48°00'10" E	14.95'
L55	S 48°19'52" E	16.58'
L56	S 47°00'31" E	14.06'
L57	S 85°59'51" E	7.92'



VICINITY MAP
NOT TO SCALE



TELEPHONE NO. 661-314-0769 FAX NO. 661-314-0770

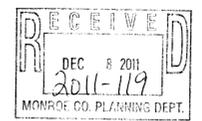
EXACTA
COMMERCIAL LAND SURVEYORS
L.B. 7561

SEAL
NOT VALID UNLESS
SEALED HERE WITH
AN EMBOSSED
SURVEYOR'S SEAL

SKETCH OF BOUNDARY
& TOPOGRAPHIC SURVEY
PARCELS OF LAND LYING IN
SECTION 13 & 14, TOWNSHIP 82 S., RANGE 38 E.
MONROE COUNTY, FLORIDA
94825 OVERSEAS HWY, KEY LARGO, FL. 33097

KEY LARGO OCEAN
RESORTS CO-OP, INC.
DATE: 06/17/11
DRAWN BY: J.E.C.
CHECKED BY: JDLR
LAST FIELD DATE: 06/17/11

REVISIONS
1 UPDATE SURVEY
UPDATE LEGAL
DESCRIPTION 9/19/11

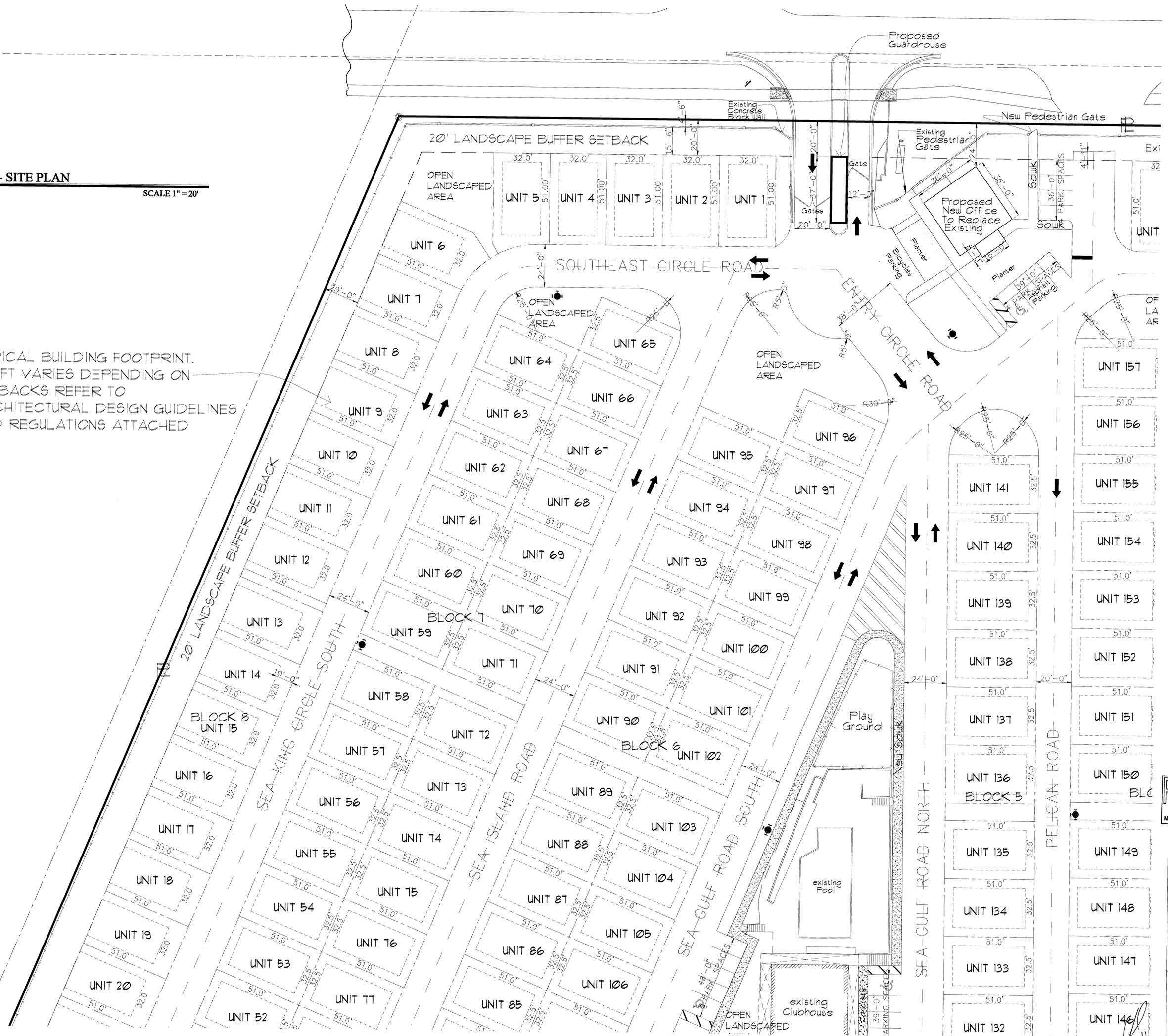


JOB NO.
FL1109-1025
SHEET NO.
06 OF
06

SECTION 1 - SITE PLAN

SCALE 1" = 20'

TYPICAL BUILDING FOOTPRINT.
SQ. FT VARIES DEPENDING ON
SETBACKS REFER TO
ARCHITECTURAL DESIGN GUIDELINES
AND REGULATIONS ATTACHED

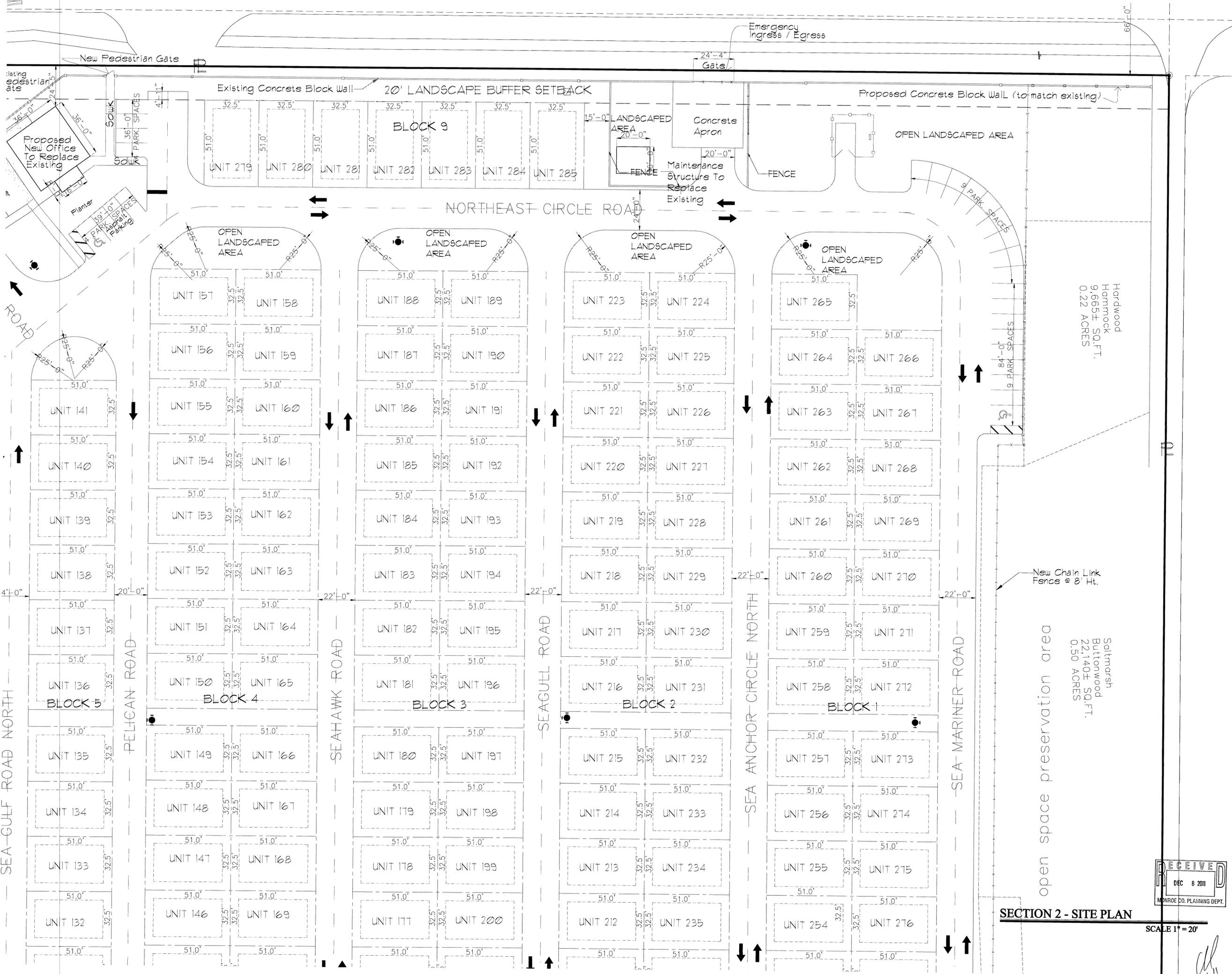


ARCHITECT
OLR
 ORESTES LOPEZ-RECIO
 ARO00950
 385 SW. 32 ST
 MIAMI, FLORIDA 33135
 TELEPHONE: (305) 360-2838

KEY LARGO OCEAN RESORTS
 94825 OVERSEAS HIGHWAY
 KEY LARGO, FLORIDA

RECEIVED
 DEC 8 2011
 MONROE CO. PLANNING DEPT.

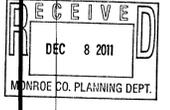
REVISIONS:
 DATE: 08-15-2011
 SCALE: 1/8"=1'-0"
 DRAWN: PLS
 JOB NO.:
A-2
 SHEET NO.:



ARCHITECT
OLR
 ORISTES LOPEZ-RECIO
 ARO00050
 585 SW. 32 ST
 MIAMI, FLORIDA 33135
 TELEPHONE: (305) 360-2826

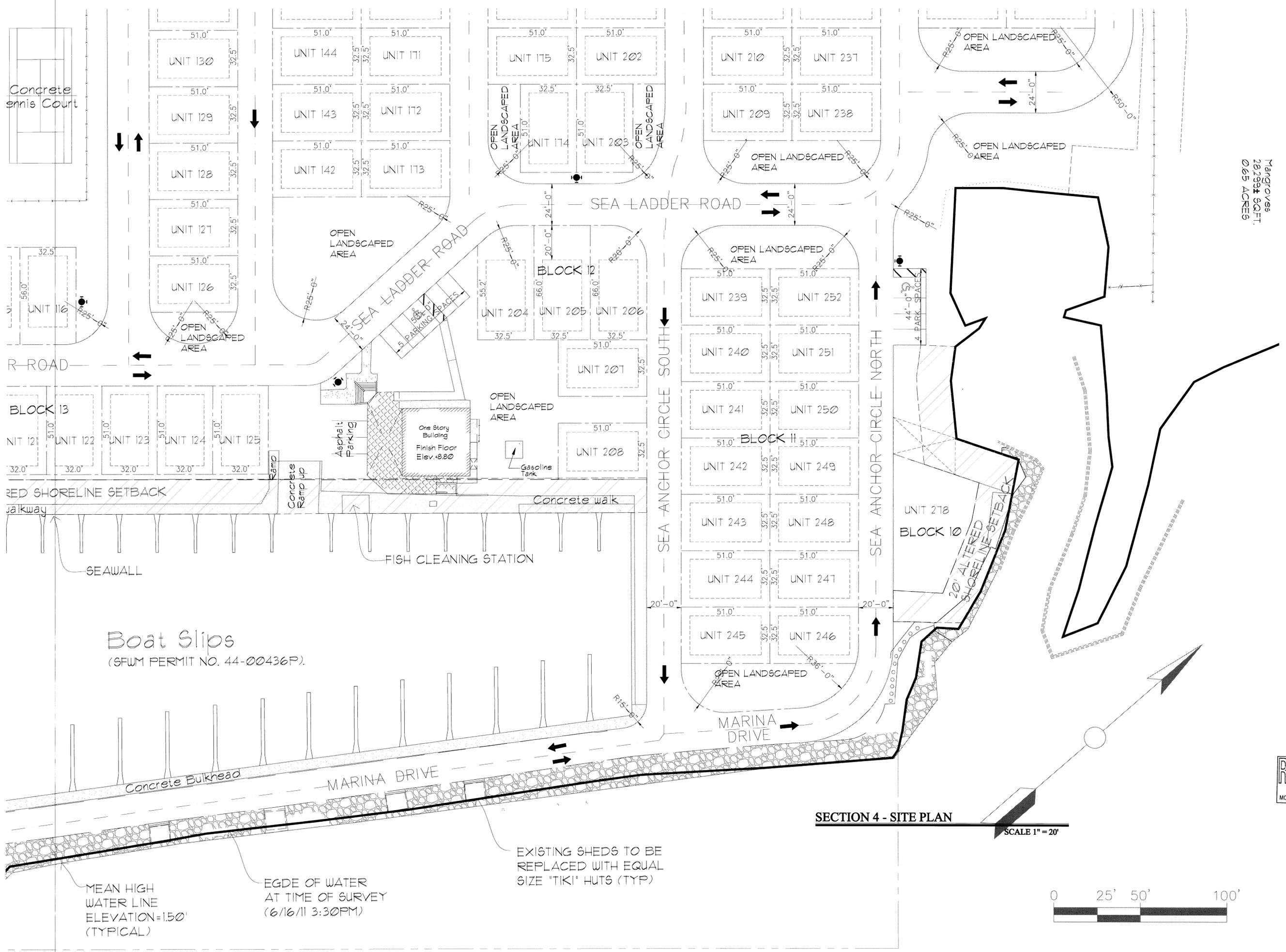
KEY LARGO OCEAN RESORTS
 94825 OVERSEAS HIGHWAY
 KEY LARGO, FLORIDA

REVISIONS:
 DATE: 09-15-2011
 SCALE: 5/8"=1'-0"
 DRAWN: FFB
 JOB NO.:



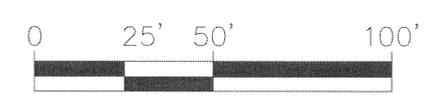
SECTION 2 - SITE PLAN
 SCALE 1" = 20'

A-3
 SHEET NO.:



SECTION 4 - SITE PLAN

SCALE 1" = 20'



MEAN HIGH WATER LINE ELEVATION = +1.50' (TYPICAL)

EDGE OF WATER AT TIME OF SURVEY (6/16/11 3:30PM)

EXISTING SHEDS TO BE REPLACED WITH EQUAL SIZE "TIKI" HUTS (TYP)



ARCHITECT

ORISTES LOPEZ-RECIO
AR000930

3895 SW. 22 ST
MIAMI, FLORIDA 33135
TELEPHONE (305) 360-283

Mangroves
28,294 SQ.FT.
0.65 ACRES

KEY LARGO OCEAN RESORTS
94825 OVERSEAS HIGHWAY
KEY LARGO, FLORIDA

RECEIVED
DEC 8 2011
MONROE CO. PLANNING DEPT.

REVISIONS :

DATE : 08-15-2011

SCALE : SHOWN

DRAWN : FB

JOB NO. :

A-5

SHEET NO. :

Handwritten signature/initials

File #: **2011-119**

Owner's Name: KLOR
Key Largo Ocean Resorts Co-op Inc.

Applicant: KLOR
Key Largo Ocean Resorts Co-op Inc

Agent: Orestes Lopez-Recio

Type of Application: Major Deviation

Key: Key Largo

RE: 00483390-000000
00483400-000000

Additional Information added to File 2011-119

County of Monroe
Growth Management Division

Office of the Director
2798 Overseas Highway
Suite #400
Marathon, FL 33050
Voice: (305) 289-2517
FAX: (305) 289-2854



Board of County Commissioners
Mayor Sylvia J. Murphy, Dist. 5
Mayor Pro Tem Heather Carruthers, Dist. 3
Kim Wigington, Dist. 1
George Neugent, Dist. 2
Mario Di Gennaro, Dist. 4

We strive to be caring, professional and fair

Date: 10.11.11
Time: _____

Dear Applicant:

This is to acknowledge submittal of your application for Major Deviation
Type of application

KLOR
Project / Name to the Monroe County Planning Department.

Thank you.

Paul Creech

Planning Staff

End of Additional File 2011-119



ORESTES LOPEZ-RECIO
A R C H I T E C T
STATE REG. NO. AR0009350

October 10, 2010

Monroe County Planning Department
Mr. Joseph Haberman, Principal Planner.
Marathon Government Center
2798 Overseas Highway Suite 400
Marathon, FL 33050

RE: Key Largo Ocean Resorts Co-op
Major Deviation Application to Current
Conditional Use permit

Dear Mr. Haberman:

Attached please find the application and required documents pursuant to The Monroe County Code.

List of documents enclosed:

One completed application for Major Deviation to a Conditional Use Permit and fee of \$1,768.00

One Notarized agent approval letter

One set of signed and sealed Architectural Site plan approved by shareholders on September 13, 2011 dated October 10, 2011 consisting of drawings A-1, A-2, A-3, A-4, A-5 and A-6,

One set of signed and sealed landscaping plans dated September 14, 2011 consisting of drawings L-01, L-02, L-03, L04, L05 and L06

One set of signed and sealed conceptual fire protection and water distribution plans dated October 4, 2011 consisting of drawings FP1, FP2, FP3 and FP4

One official copy of previously approved Site Plan

One copy of Warranty Deeds (2) and legal description and one copy of Certificate of Title from the State of Florida consisting of four pages plus a copy of recording receipt

One copy of Planning Commission Resolution No. P35-07

One copy of Current Property Record Card.

One copy of signed and sealed survey last updated September 19, 2011

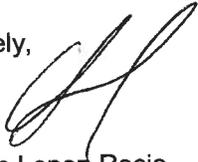
One copy of signed and sealed written and graphic guidelines and use regulations approved by the Board of Directors on August 15, 2011 and approved by shareholders September 13, 2011

Proof of shareholders approval by voting that took place on September 13, 2011

Copy of limited release from Architect Eduardo Calil and Attorney Gonzalo Dorta

If you should you have any questions or need any additional information please do not hesitate to contact me at your convenience..

Sincerely,

A handwritten signature in black ink, appearing to be 'Orestes Lopez-Recio', written in a cursive style.

Orestes Lopez-Recio,
Architect

APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



Request for a Major Deviation to a Conditional Use Permit

After a conditional use permit has been issued, certain adjustments may be approved as major deviations.

Major Deviation to a Conditional Use Permit Application Fee: \$1,768.00

Date of Submittal: 10 / 11 / 2011
Month Day Year

Property Owner:

Agent (if applicable):

KEY LARGO OCEAN RESORTS CO-OP INC
Name

ORESTES LOPEZ-RECIO
Name

94825 OVERSEAS HWY KEY LARGO, FL 33037
Mailing Address (Street, City, State, Zip Code)

5895 S.W. 32 ST. MIAMI, FL 33155
Mailing Address (Street, City, State, Zip Code)

305 852 3118
Daytime Phone

305. 360.2836
Daytime Phone

OFFICE@KEY LARGO OCEAN RESORTS.COM
Email Address

OLLR@AOL.COM
Email Address

Development Order / Resolution Number: _____

Applicant on Conditional Use Application:

KEY LARGO OCEAN RESORT CO-OP INC
Name

94825 OVERSEAS HIGHWAY KEY LARGO, FL. 33037
Mailing Address (Street, City, State, Zip Code)

305-852 3118
Daytime Phone

OFFICE@KEY LARGO OCEAN RESORTS.COM
Email Address

APPLICATION

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet)

SEE ATTACHED LEGAL DESCRIPTION

Block	Lot	Subdivision	Key
0048390-00000	00483400-00000	1593010	1593028
Real Estate (RE) Number	Alternate Key Number		
G 4825 OVERSEAS HIGHWAY KEY LARGO, FL 33037	94.5		
Street Address (Street, City, State, Zip Code)	Approximate Mile Marker		

Major deviations: If the holder of an approved conditional use wishes to make an adjustment to the approval that is not a minor deviation, approval of the planning commission in accordance with the provisions of MCC §110-73(b)(5) must be obtained. If the director of planning finds that the development is not proceeding in substantial accordance with the approved plans or schedule or that it fails in any other respect to comply with the conditional use approval issued or any provision contained in this chapter, that director shall immediately notify the development review coordinator and the planning commission and may, if necessary for the protection of the public health, safety or welfare, notify the building official to issue a temporary order stopping any and all work on the development until such time as any noncompliance is cured. No action may be taken by the planning commission that effectively amends the conditional use approval except by way of the procedures set out in MCC §110-70

Please describe what the requested major deviation would allow. (If necessary, attach additional sheets)

THE INTERNAL RE-DISTRIBUTION OF STREETS AND UNIT BOUNDARIES.

All of the following must be submitted in order to have a complete application submittal: (Please check as you attach each required item to the application)

- Complete conditional use permit major deviation application (unaltered and unbound);
- Correct fee (check or money order to Monroe County Planning & Environmental Resources);
- Proof of ownership (i.e. Warranty Deed);
- Current Property Record Card(s) from the Monroe County Property Appraiser;
- Copy of Signed Development Order or Resolution;
- Copy of Approved Site Plan;
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include all of the information provided on the approved site plan as well as all requested adjustments. Areas to be adjusted should be marked with diagonal lines or otherwise clearly delineated.

APPLICATION

If applicable, the following must be submitted in order to have a complete application submittal:

- Notarized Agent Authorization Letter (note: authorization is needed from all owner(s) of the subject property)

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

If for any reason the minor deviation application requires review and consideration by the Monroe County Planning Commission, additional fees, mailing labels and copies of all plans shall be required prior to item being scheduled for commission review

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

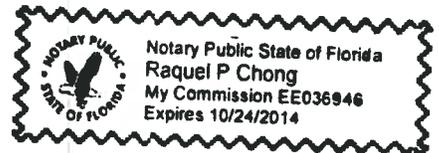
Signature of Applicant: [Signature] Date: October 10, 2011

Sworn before me this 10 day of October

[Signature]
Notary Public

My Commission Expires 10/24/2014

Please send the complete application package to the Monroe County Planning & Environmental Resources Department, Marathon Government Center, 2798 Overseas Highway, Suite 400, Marathon, FL 33050.



KEY LARGO OCEAN RESORTS CO-OP, INC.
94825 Overseas Highway
Key Largo, Florida 33037
Tel No. 305/852-3118 * Fax No. 305/852-4895
office@keylargoceanresort.com

October 10, 2011

Mr. Townsley Schwab
Marathon Government Center
2798 Overseas Highway
Marathon, FL 33050

RE: Agent Authorization Letter for Site Plan Revision Submittal

Dear Mr. Schwab:

The Board of Directors has appointed Mr. Orestes Lopez-Recio to act as our agent during the submittal and approval process of the revision of the Site Plan for Key Largo Ocean Resorts, Co-Op, Inc.

If you have any questions, or need any additional information, please do not hesitate to contact me.

KEY LARGO OCEAN RESORTS, CO-OP, INC.

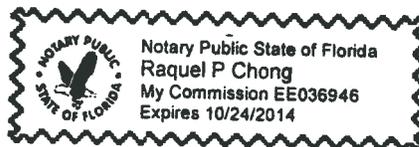
By: 
Gicela Pino / President

CERTIFICATE OF SERVICE

The foregoing was acknowledged before me on this 10th day of October, 2011, by Gicela Pino who, is personally known and/or who produced _____ as identification and who did take an oath.


NOTARY

My Commission Expires:
10/24/2014



LEGAL DESCRIPTION PARCEL "A":

A PARCEL OF LAND IN SECTIONS 13 AND 14, TOWNSHIP 62 SOUTH, RANGE 38 EAST; ALSO BEING A PORTION OF SOUTHCLIFF ESTATES, AS RECORDED IN PLAT BOOK 2, PAGE 45, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; ALSO BEING A PORTION OF PARCEL B, SUBMERGED LAND, RECORDED IN DEED NO. 24151; ALSO BEING A PORTION OF PARCEL D, SUBMERGED LAND, RECORDED IN DEED NO. 24107; ALSO BEING A PORTION OF PARCEL F, SUBMERGED LAND, RECORDED IN DEED NO. 21847, ALL PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIIF) OF THE STATE OF FLORIDA; ALSO BEING A PORTION OF AN ABANDONED 40' RIGHT OF WAY ROAD, FORMERLY KNOWN AS SECTION LINE ROAD, PER B.C.C. RESOLUTION NO. 1971-48; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE SOUTHEASTERLY RIGHT OF WAY LINE OF OVERSEAS HIGHWAY (U.S. HIGHWAY No. 1 - STATE ROAD No. 5) WITH THE EAST LINE OF SAID SECTION 14;

THENCE SOUTH 39°58'03" WEST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 568.20 FEET TO A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF SEASIDE ADDITION NO. 1, AS RECORDED IN PLAT BOOK 3, PAGE 59, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;

THENCE SOUTH 27°19'05" EAST, ALONG SAID NORTHEASTERLY BOUNDARY LINE, A DISTANCE OF 719.67 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL F;

THENCE SOUTH 43°09'17" EAST, ALONG SAID SOUTHWESTERLY LINE, A DISTANCE OF 81.01 FEET TO A POINT ON THE LIMITS OF SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIIF) OF THE STATE OF FLORIDA DEED NO. 221541, RECORDED IN OFFICIAL RECORDS BOOK 503, PAGE 220 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;

THE FOLLOWING TWO (2) COURSES BEING COINCIDENT WITH SAID LIMITS OF SUBMERGED LANDS;

THENCE NORTH 59°23'35" EAST, A DISTANCE OF 357.94 FEET;

THENCE SOUTH 42°42'04" EAST, A DISTANCE OF 200.00 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID PARCEL D;

THENCE NORTH 47°17'56" EAST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 174.79 FEET;

THENCE NORTH 50°06'04" WEST, ALONG THE NORTHEASTERLY LINE OF SAID PARCEL D, A DISTANCE OF 50.00 FEET TO A POINT ON THE SAID LIMITS OF SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIIF) OF THE STATE OF FLORIDA;

THENCE NORTH 32°08'05" EAST, ALONG SAID LIMITS OF SUBMERGED LANDS, A DISTANCE OF 554.98 FEET TO A POINT ON THE NORTHEASTERLY LINE OF SAID PARCEL B;

THENCE SOUTH 50°08'12" EAST ALONG SAID NORTHEASTERLY LINE, A DISTANCE OF 10.04 FEET TO THE MEAN HIGH WATER LINE PREPARED BY POST, BUCKLEY, SCHUH & JERNIGAN, INC. AS SHOWN ON BOUNDARY AND MEAN HIGH WATER LINE SURVEY, JOB NO. 400-324.00, DATED NOVEMBER 1979.

THENCE NORTH 37°00'31" WEST, A DISTANCE OF 11.39 FEET;
THENCE NORTH 42°12'50" WEST, A DISTANCE OF 18.03 FEET;
THENCE NORTH 27°04'07" WEST, A DISTANCE OF 13.85 FEET;
THENCE NORTH 41°28'15" WEST, A DISTANCE OF 20.90 FEET;
THENCE NORTH 02°08'51" WEST, A DISTANCE OF 11.94 FEET;
THENCE NORTH 43°04'21" EAST, A DISTANCE OF 12.55 FEET;
THENCE NORTH 19°17'44" WEST, A DISTANCE OF 25.13 FEET;
THENCE NORTH 28°15'41" WEST, A DISTANCE OF 38.04 FEET;
THENCE NORTH 39°23'32" WEST, A DISTANCE OF 41.45 FEET;
THENCE SOUTH 58°26'39" WEST, A DISTANCE OF 37.94 FEET;
THENCE NORTH 55°52'28" WEST, A DISTANCE OF 33.43 FEET;
THENCE NORTH 42°32'37" WEST, A DISTANCE OF 19.84 FEET;
THENCE NORTH 02°30'49" EAST, A DISTANCE OF 17.21 FEET;
THENCE NORTH 17°29'39" WEST, A DISTANCE OF 7.04 FEET;
THENCE SOUTH 20°04'36" WEST, A DISTANCE OF 12.52 FEET;
THENCE NORTH 74°42'33" WEST, A DISTANCE OF 20.64 FEET;
THENCE NORTH 47°19'47" WEST, A DISTANCE OF 60.66 FEET;
THENCE NORTH 39°59'04" EAST, A DISTANCE OF 27.43 FEET;
THENCE NORTH 45°41'47" EAST, A DISTANCE OF 18.84 FEET;
THENCE NORTH 45°16'34" EAST, A DISTANCE OF 36.28 FEET;
THENCE SOUTH 61°52'22" EAST, A DISTANCE OF 29.19 FEET;
THENCE SOUTH 45°30'38" EAST, A DISTANCE OF 28.73 FEET;
THENCE SOUTH 20°13'09" WEST, A DISTANCE OF 23.50 FEET;
THENCE SOUTH 33°42'05" EAST, A DISTANCE OF 4.10 FEET;
THENCE NORTH 52°26'56" EAST, A DISTANCE OF 21.78 FEET;
THENCE SOUTH 55°18'14" EAST, A DISTANCE OF 17.98 FEET;
THENCE SOUTH 54°31'37" EAST, A DISTANCE OF 22.18 FEET;
THENCE SOUTH 52°44'43" EAST, A DISTANCE OF 24.02 FEET;
THENCE SOUTH 57°28'46" EAST, A DISTANCE OF 17.58 FEET;
THENCE SOUTH 33°59'39" EAST, A DISTANCE OF 36.52 FEET;
THENCE SOUTH 35°47'41" EAST, A DISTANCE OF 36.81 FEET;
THENCE SOUTH 31°33'02" EAST, A DISTANCE OF 28.69 FEET;
THENCE NORTH 18°30'26" EAST, A DISTANCE OF 21.50 FEET;
THENCE NORTH 23°31'22" WEST, A DISTANCE OF 36.82 FEET;
THENCE NORTH 35°13'09" WEST, A DISTANCE OF 18.94 FEET;
THENCE NORTH 34°56'37" WEST, A DISTANCE OF 29.60 FEET;
THENCE NORTH 38°09'39" WEST, A DISTANCE OF 20.39 FEET;
THENCE NORTH 38°09'39" WEST, A DISTANCE OF 12.67 FEET;
THENCE NORTH 14°13'04" WEST, A DISTANCE OF 33.29 FEET;
THENCE NORTH 13°15'26" EAST, A DISTANCE OF 18.96 FEET;
THENCE NORTH 17°26'34" EAST, A DISTANCE OF 45.45 FEET;
THENCE SOUTH 58°21'37" EAST, A DISTANCE OF 45.06 FEET;
THENCE SOUTH 51°17'59" EAST, A DISTANCE OF 33.48 FEET;
THENCE SOUTH 52°12'06" EAST, A DISTANCE OF 28.74 FEET;
THENCE SOUTH 47°31'15" EAST, A DISTANCE OF 30.60 FEET;
THENCE SOUTH 46°07'06" EAST, A DISTANCE OF 25.72 FEET;
THENCE SOUTH 46°14'41" EAST, A DISTANCE OF 21.25 FEET;
THENCE SOUTH 59°18'04" EAST, A DISTANCE OF 12.93 FEET;
THENCE SOUTH 84°59'25" EAST, A DISTANCE OF 16.32 FEET;
THENCE SOUTH 50°08'05" EAST, A DISTANCE OF 4.14 FEET;
THENCE SOUTH 22°34'16" EAST, A DISTANCE OF 6.01 FEET;
THENCE SOUTH 48°00'10" EAST, A DISTANCE OF 14.95 FEET;
THENCE SOUTH 48°19'52" EAST, A DISTANCE OF 16.58 FEET;
THENCE SOUTH 47°00'31" EAST, A DISTANCE OF 14.06 FEET;

THENCE SOUTH 85°55'31" EAST, A DISTANCE OF 7.92 FEET TO A POINT ON THE SOUTHWESTERLY BOUNDARY OF RAE'S CUDA CANAL SUBDIVISION, AS RECORDED IN PLAT BOOK 3, PAGE 186, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;

THENCE NORTH 50°08'12" WEST, ALONG SAID SOUTHWESTERLY BOUNDARY, A DISTANCE OF 1026.08 FEET TO A POINT ON SAID SOUTHEASTERLY RIGHT OF WAY LINE OF OVERSEAS HIGHWAY (U.S. HIGHWAY No. 1 - STATE ROAD No. 5);

THENCE SOUTH 39°58'03" WEST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 426.34 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE WITHIN THE CITY OF KEY LARGO, MONROE COUNTY, FLORIDA CONTAINING 24.6237 ACRES (1,072,609 SQUARE FEET), MORE OR LESS.

LEGAL DESCRIPTION PARCEL "B":

A PARCEL OF LAND IN SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST; ALSO BEING A PORTION OF PARCEL D, SUBMERGED LAND, RECORDED IN DEED NO. 24107; ALSO BEING A PORTION OF PARCEL F, SUBMERGED LAND, RECORDED IN DEED NO. 21847, BOTH DEEDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIIF) OF THE STATE OF FLORIDA; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE POINT OF INTERSECTION OF THE SOUTHEASTERLY RIGHT OF WAY LINE OF OVERSEAS HIGHWAY (U.S. HIGHWAY No. 1 - STATE ROAD No. 5) WITH THE WEST LINE OF SAID SECTION 13;

THENCE SOUTH 39°58'03" WEST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 568.20 FEET TO A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF SEASIDE ADDITION NO. 1, AS RECORDED IN PLAT BOOK 3, PAGE 59, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;

THENCE SOUTH 27°19'05" EAST, ALONG SAID NORTHEASTERLY BOUNDARY LINE AND ITS SOUTHEASTERLY EXTENSION, A DISTANCE OF 719.67 FEET TO THE NORTHWEST CORNER OF SAID PARCEL F;

THENCE SOUTH 43°09'17" EAST, ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL F, A DISTANCE OF 81.01 FEET TO THE POINT OF BEGINNING AND TO A POINT ON THE LIMITS OF SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIIF) OF THE STATE OF FLORIDA DEED NO. 221541, RECORDED IN OFFICIAL RECORDS BOOK 503, PAGE 22 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;

THE FOLLOWING TWO (2) COURSES BEING COINCIDENT WITH SAID LIMITS OF SUBMERGED LANDS;

THENCE NORTH 59°23'35" EAST, A DISTANCE OF 357.94 FEET;

THENCE SOUTH 42°42'04" EAST, A DISTANCE OF 28.55 FEET TO A POINT ON THE MEAN HIGH WATER LINE (ELEVATION 1.50' NGVD 29);

THE FOLLOWING ELEVEN (11) COURSES BEING COINCIDENT WITH SAID MEAN HIGH WATER LINE;

THENCE SOUTH 49°42'06" WEST, A DISTANCE OF 4.16 FEET;
THENCE SOUTH 54°40'57" WEST, A DISTANCE OF 24.84 FEET;
THENCE SOUTH 55°13'41" WEST, A DISTANCE OF 25.38 FEET;
THENCE SOUTH 51°32'20" WEST, A DISTANCE OF 28.07 FEET;
THENCE SOUTH 45°59'21" WEST, A DISTANCE OF 29.79 FEET;
THENCE SOUTH 43°43'15" WEST, A DISTANCE OF 27.20 FEET;
THENCE SOUTH 53°51'46" WEST, A DISTANCE OF 38.07 FEET;
THENCE SOUTH 53°39'20" WEST, A DISTANCE OF 32.67 FEET;
THENCE SOUTH 52°11'33" WEST, A DISTANCE OF 32.31 FEET;
THENCE SOUTH 52°27'42" WEST, A DISTANCE OF 43.34 FEET;
THENCE SOUTH 44°11'36" WEST, A DISTANCE OF 26.38 FEET;

THENCE SOUTH 06°32'03" EAST, A DISTANCE OF 70.91 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL F;

THENCE NORTH 43°09'17" WEST, ALONG SAID SOUTHWESTERLY LINE, A DISTANCE OF 141.05 FEET TO THE POINT OF BEGINNING;

SAID LANDS SITUATE WITHIN MONROE COUNTY, FLORIDA CONTAINING 0.4614 ACRES (20,099 SQUARE FEET), MORE OR LESS.

LEGAL DESCRIPTION PARCEL "C":

A PARCEL OF LAND IN SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST; ALSO BEING A PORTION OF PARCEL B, A PARCEL OF SUBMERGED LAND, IN SAID SECTION 13, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 24151, TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIIF) OF THE STATE OF FLORIDA, RECORDED JANUARY 4, 1966; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE POINT OF INTERSECTION OF THE SOUTHEASTERLY RIGHT OF WAY LINE OF OVERSEAS HIGHWAY (U.S. HIGHWAY No. 1 - STATE ROAD No. 5) WITH THE WEST LINE OF SAID SECTION 13;

THENCE SOUTH 39°58'03" WEST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 568.20 FEET TO A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF SEASIDE ADDITION NO. 1, AS RECORDED IN PLAT BOOK 3, PAGE 59, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;

THENCE SOUTH 27°19'05" EAST, ALONG SAID NORTHEASTERLY BOUNDARY LINE AND ITS SOUTHEASTERLY EXTENSION, A DISTANCE OF 719.67 FEET TO THE NORTHWEST CORNER OF PARCEL F, A PARCEL OF SUBMERGED LAND IN SECTIONS 13 AND 14, TOWNSHIP 62 SOUTH, RANGE 38 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 21847, TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA, DATED JULY 17th, 1958;

THENCE SOUTH 43°09'17" EAST, ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL F, A DISTANCE OF 81.01 FEET TO A POINT ON THE LIMITS OF SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIIF) OF THE STATE OF FLORIDA DEED NO. 221541, RECORDED IN OFFICIAL RECORDS BOOK 503, PAGE 220 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;

THE FOLLOWING TWO (2) COURSES BEING COINCIDENT WITH SAID LIMITS OF SUBMERGED LANDS;

THENCE NORTH 59°23'35" EAST, A DISTANCE OF 357.94 FEET;

THENCE SOUTH 42°42'04" EAST, A DISTANCE OF 200.00 FEET TO A POINT ON THE SOUTHERLY LIMITS OF PARCEL D, A PARCEL OF SUBMERGED LAND IN SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 24107, TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA, DATED NOVEMBER 2nd, 1965;

THENCE NORTH 47°17'56" EAST, ALONG SAID SOUTHERLY LINE OF PARCEL D, A DISTANCE OF 103.85 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ALSO ON THE MEAN HIGH WATER LINE (ELEVATION 1.50' NGVD29);

THENCE CONTINUE NORTH 47°17'56" EAST, ALONG SAID SOUTHERLY LINE OF PARCEL D, A DISTANCE OF 70.94 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL B;

THENCE NORTH 50°06'04" WEST, ALONG SAID SOUTHWESTERLY LINE OF PARCEL B, A DISTANCE OF 50.00 FEET TO A POINT ON THE LIMITS OF SAID SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIIF) OF THE STATE OF FLORIDA DEED NO. 221541;

THENCE NORTH 32°08'05" EAST, ALONG SAID LIMITS OF SUBMERGED LANDS, A DISTANCE OF 554.98 FEET TO A POINT ON THE NORTHEASTERLY LINE OF SAID PARCEL B;

THENCE SOUTH 50°08'12" EAST, ALONG SAID NORTHEASTERLY LINE OF PARCEL B, A DISTANCE OF 10.61 FEET TO A POINT ON SAID MEAN HIGH WATER LINE (ELEVATION 1.50' NGVD29);

THE FOLLOWING NINETEEN (19) COURSES BEING COINCIDENT WITH SAID MEAN HIGH WATER LINE;

THENCE SOUTH 13°19'22" EAST, A DISTANCE OF 5.63 FEET;
THENCE SOUTH 35°25'24" WEST, A DISTANCE OF 73.30 FEET;
THENCE SOUTH 36°42'02" WEST, A DISTANCE OF 72.12 FEET;
THENCE SOUTH 32°08'45" WEST, A DISTANCE OF 26.60 FEET;
THENCE SOUTH 31°19'00" WEST, A DISTANCE OF 107.50 FEET;
THENCE SOUTH 32°53'25" WEST, A DISTANCE OF 55.23 FEET;
THENCE SOUTH 33°33'31" WEST, A DISTANCE OF 63.07 FEET;
THENCE SOUTH 29°42'50" WEST, A DISTANCE OF 23.50 FEET;
THENCE SOUTH 30°38'07" WEST, A DISTANCE OF 49.43 FEET;
THENCE SOUTH 30°45'33" WEST, A DISTANCE OF 41.89 FEET;
THENCE SOUTH 06°59'12" EAST, A DISTANCE OF 17.05 FEET;
THENCE SOUTH 45°03'36" EAST, A DISTANCE OF 9.08 FEET;
THENCE SOUTH 23°14'34" EAST, A DISTANCE OF 37.09 FEET;
THENCE SOUTH 08°35'55" EAST, A DISTANCE OF 12.17 FEET;
THENCE SOUTH 15°00'15" EAST, A DISTANCE OF 19.77 FEET;
THENCE SOUTH 47°33'24" WEST, A DISTANCE OF 25.73 FEET;
THENCE SOUTH 67°20'34" WEST, A DISTANCE OF 24.85 FEET;
THENCE NORTH 84°10'07" WEST, A DISTANCE OF 21.24 FEET;
THENCE NORTH 51°56'13" WEST, A DISTANCE OF 8.52 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE WITHIN MONROE COUNTY, FLORIDA CONTAINING 0.1565 ACRES (6,816 SQUARE FEET), MORE OR LESS.

Return to:

JOAQUIN N. FERNANDEZ
2601 SO. BAYSHORE DRIVE #1400
MIAMI, FL 33133

WARRANTY DEED

RCD Aug 06 1997 11:53AM
DANNY L KOLHAGE, CLERK

This instrument prepared by:
JOAQUIN N. FERNANDEZ, ESQ.
2601 SO. BAYSHORE DRIVE, #1400
MIAMI, FL. 33133

DEED DOC STAMPS 385.00
08/06/1997 *OK* DEP CLR

Folio Number: 00483390-000000
Alternate Key# 1593010

THIS INDENTURE, Made this 18th day of July, 1997 between JOSEPH T. GENTILE and SYLVIA GENTILE, his wife, formerly known as SYLVIA JABLONSKI of the County of ALACHUA, in the State of Florida, parties of the first part, and KEY LARGO OCEAN RESORTS COOP., INC., a Florida Corporation NOT FOR PROFIT, with its principal place of business in Monroe County, in the State of Florida, whose post office address is 96500 OVERSEAS HIGHWAY, KEY LARGO, FL 33047, party of the second part.

WITNESSETH, That the said parties of the first part, for and in consideration of the sum of TEN (\$10.00) Dollars, to THEM in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, have granted, bargained, and sold to the said party of the second part, heirs and assigns forever, all the right, title, interest, claim and demand which the said parties have in and to the following described land, situated, and being in the County of Dade, State of Florida, to wit:

The Northeast 100 feet (also known as the North 100') of the Southeast ½ of Tract 9, SOUTHCLIFF ESTATES, according to the Plat thereof, as recorded in Plat Book 2 at Page 45 of the Public Records of Monroe County, Florida

Subject to a PURCHASE MONEY MORTGAGE in the amount of \$30,000.00 of even date to JOSEPH T. GENTILE and SYLVIA GENTILE, his wife, THEIR SUCCESSORS AND OR ASSIGNS, which the grantee agrees to pay, Taxes for 1997 and subsequent years, easements and restrictions of record.

And the said parties of the first part do hereby FULLY WARRANT the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

7/22/97 PKCO
WENT TO KEY WEST FOR RECORDING

TO HAVE AND TO HOLD the same together with all the singular the appurtenances thereunto belonging or in appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the first parties, either in equity or law, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, The said parties of the first part have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in the presence of:

Angela D. Shealy
Witness Signature
Angela D. Shealy
Printed Name

Joseph T. Gentile
Grantor's Signature
JOSEPH T. GENTILE

Cheridi D. Olsen
Witness Signature
Cheridi D. Olsen
Printed Name

Sylvia Gentile
SYLVIA GENTILE

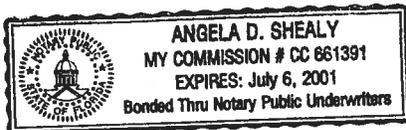
STATE OF FLORIDA
COUNTY OF Alachua

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared JOSEPH T. GENTILE and SYLVIA GENTILE, his wife known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, or that I relied upon the following forms of identification of the above-named person:

and that an oath (was /was not) taken.

NOTARY RUBBER STAMP SEAL

Witness my hand and official seal in the County and State last aforesaid this 18 day of July, 1997.



Angela D. Shealy
Notary Signature

MONROE COUNTY
OFFICIAL RECORDS

208719

This Quit-Claim Deed, Executed this 2nd day of May . A. D. 1980 . by

BRYN MAWR CORPORATION, a Delaware corporation,
first party, to KEY LARGO OCEAN RESORTS CO-OP, INC., a Florida corporation,

whose postoffice address is Route 1, Box 66J, Key Largo, Florida 33032

second party:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the said first party, for and in consideration of the sum of \$3,650,000.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby release, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being, in the County of Monroe State of Florida, to-wit:

See Exhibit A attached hereto and incorporated herein, consisting of two pages.

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

BRYN MAWR CORPORATION, a Delaware corporation

By: Gino N. Pala, President

STATE OF FLORIDA,
COUNTY OF St. Lucie

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared

Gino N. Pala as President of Bryn Mawr Corp. to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 2nd day of May, A. D. 1980.

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES APR 24 1984
RONALD ERIC GENERAL BROS. UNDERWRITERS

This Instrument prepared by:

Existing Park

LEGAL DESCRIPTION: Portions of Sections 13 and 14, Township 62 South, Range 38 East on Key Largo, Monroe County, Florida, which portions are more particularly described as follows:

PARCEL 1: Tract 10 and the Northeasterly 200 feet of Tract 11 of Southcliff Estates according to a map or plat thereof, recorded in Plat Book 2 at Page 45 of the Public Records of Monroe County, Florida;
EXCEPTING THEREFROM, the Northeasterly 50 feet of the said Tract 10 and subject to the Right-of-Way for Old State Road No. 4-A lying over and across the Northwesterly portion of the said Tract 10;
TOGETHER WITH, a parcel of submerged land deeded by Trustees of the Internal Improvement Fund of the State of Florida Deed No. 24,151.

PARCEL 2: Tract 11, less the Northeasterly 200 feet thereof, of Southcliff Estates according to a map or plat thereof, recorded in Plat Book 2 at Page 45 of the Public Records of Monroe County, Florida, and that portion of Government Lot 3, Section 13, Township 62 South, Range 38 East, lying South and West of the said Tract 11, marked "not included" on the said Southcliff Estates plat;
TOGETHER WITH: A parcel of submerged land deeded by Trustees of the Internal Improvement Fund of the State of Florida Deed No. 24,107.

PARCEL 3: A parcel of land lying in Section 14, Township 62 South, Range 38 East on Key Largo, Monroe County, Florida, said parcel being described as follows:
BEGINNING at a point on the Southeasterly Right-of-Way of the Overseas Highway as it exists today, which point is 491 feet Northeasterly from a point on said Right-of-Way which is 1118.5 feet Southwesterly from the intersection of said Right-of-Way line with the East line of Section 14, Township 62 South, Range 38 East; thence go Southeasterly a distance of 800 feet to a point on the high water line of the Atlantic Ocean, which point is 175 feet Northeasterly from the Southeasterly corner of the Subdivision known as Seaside; thence go along the high water line of the Atlantic Ocean Northeasterly a distance of 50 feet to a point; thence go Northerly along the said East line of said Section 14 a distance of 1152. feet to the intersection of said East line with the said Right-of-Way line of the Overseas Highway; thence go Southwesterly along the said Right-of-Way line a distance of 627.5 feet to the Point of Beginning;
SUBJECT to the Right-of-Way for Old State Road 4-A lying over and across the Northwesterly portion of said parcel;
TOGETHER WITH: A parcel of submerged land deeded by Trustees of the Internal Improvement Fund of the State of Florida Deed No. 21,847.

Section Line Road

Section Line Road, SOUTHCLIFF ESTATES, a subdivision in Section 13 & 14, Township 62 South, Range 32, Key Largo, Monroe County, Florida, as recorded in Plat Book 2, Page 45 of the Public Records of Monroe County, Florida, as per resolution No. 48-1771, Board of County Commissioners of Monroe County.

Submerged Lands

That portion of the submerged lands deeded by Trustees of the Internal Improvement Fund of the State of Florida deed numbers 21,847, 24,107 and 24,151 lying in Section 13, Township 62 South, Range 38 East on Key Largo, Monroe County, Florida, located seaward of the following described Boundary Line (bulkhead line). From the Southeasterly Right-of-Way line of Old State Road 4-A, run

S 0°02'34" W along the West line of the said Section 13, for 1115.45 feet more or less to an intersection with the Northeastly line of the lands deeded by Trustees of the Internal Improvement Fund of the State of Florida Deed No. 21,236; thence run S 42°28'24" E along the said Northeastly line, for 25.22 feet to the Point of Beginning of the herein described Boundary Line; from the said point of beginning, run N 59°37'13" E for 357.94 feet; thence run S 42°28'26" E for 200.00 feet to the Southeastly line of the submerged lands deeded by the said Deed No. 24,107; thence run N 47°31'34" E along the said Southeastly line, for 174.79 feet; thence run N 49°52'26" W along the line common to the said Deed No. 24,107; and No. 24,151 for 50.00 feet; thence run N 32°21'4" E for 555.20 feet more or less to a point in the Northeastly line of the said Deed No. 24,151 and the Point of Ending of the herein described Boundary Line.

Bearings hereinabove mentioned are derived from those shown on the Department of Transportation centerline survey for State Road No. 5.

ADDITION PARCEL

A parcel of land being the Southwest 100.00 feet of the Southwest one-half of Tract 9, together with the Northeast 50.00 feet of Tract 10 of "Southcliff Estates", as recorded in Plat Book 2, Page 45, of the Public Records of Monroe County, Florida in Section 13, Township 62 South, Range 38 East, Key Largo, Monroe County, Florida as described in Warranty Deed recorded in Official Record Book 563, Page 785, the same being more particularly described by "metes and bounds" as follows:

COMMENCE at the intersection of the Southwesterly plat boundary of Rae's Cuda Canal Subdivision, as recorded in Plat Book 3, Page 186 of said Public Records and the Southeastly right-of-way line of S-905 (Old State Road 4A); thence S 40°07'34" W along said Southeastly right-of-way line for 100.00 feet to the Point of Beginning of the hereinafter described parcel; thence S 49°52'18" E along the Southwesterly line of the Northeast 100.00 feet of the Southwest one-half of said Tract 9 for 795.56 feet to an intersection with the Mean High Water Line (established and located October, 1979); thence meander said Mean High Water Line for the following courses: S 37°53'45" E for 20.39 feet; thence S 34°40'43" E for 29.60 feet; thence S 34°57'15" E for 18.94 feet; thence S 23°15'28" E for 36.82 feet; thence S 18°46'20" W for 21.50 feet; thence N 31°17'08" W for 28.69 feet; thence N 35°31'47" W for 36.81 feet; thence N 33°43'45" W for 36.52 feet; thence N 57°12'52" W for 17.58 feet; thence N 52°28'49" W for 24.02 feet; thence N 54°15'43" W for 22.18 feet; thence N 55°02'20" W for 17.98 feet; thence S 52°42'50" W for 21.78 feet; thence N 33°26'11" W for 4.10 feet; thence N 20°29'03" E for 23.50 feet; thence N 45°14'44" W for 28.73 feet; thence N 61°36'28" W for 29.19 feet; thence S 45°32'28" W for 36.28 feet; thence S 45°57'41" W for 18.84 feet; thence S 40°14'58" W for 27.43 feet; thence S 47°03'53" E for 60.66 feet; thence S 74°26'39" E for 20.64 feet; thence N 20°20'30" E for 12.52 feet; thence S 17°13'45" E for 7.04 feet; thence S 2°46'43" W for 17.21 feet; thence S 42°16'43" E for 19.84 feet; thence S 55°36'34" E for 33.43 feet; thence N 58°42'33" E for 37.94 feet; thence S 39°07'38" E for 41.45 feet; thence S 27°59'47" E for 38.04 feet; thence S 19°01'50" E for 25.13 feet; thence S 43°20'15" W for 12.55 feet; thence S 1°52'57" E for 11.94 feet; thence S 41°12'21" E for 20.90 feet; thence S 26°48'13" E for 13.85 feet; thence S 41°56'56" E for 18.03 feet; thence S 36°44'37" E for 11.39 feet to an intersection with the Southwesterly boundary line of said parcel; thence N 49°52'18" W along said Southwesterly boundary line for 968.30 feet to an intersection with the aforementioned Southeastly right-of-way line of S-905; thence N 40°07'34" E along said Southeastly right-of-way line for 148.71 feet to the Point of Beginning. Said parcel contains 2.62 acres more or less.

ADDITION PARCEL

LEGAL DESCRIPTION

A parcel of land being the Southwest 100.00 feet of the Southwest one-half of Tract 9, together with the Northeast 50.00 feet of Tract 10 of "Southcliff Estates", as recorded in Plat Book 2, Page 45, of the Public Records of Monroe County, Florida in Section 13, Township 62 South, Range 38 East, Key Largo, Monroe County, Florida as described in Warranty Deed recorded in Official Record Book 563, Page 785, the same being more particularly described by "metes and bounds" as follows:

COMMENCE at the intersection of the Southwesterly plat boundary of Rae's Cuda Canal Subdivision, as recorded in Plat Book 3, Page 186 of said Public Records and the Southeasterly right-of-way line of S-905 (Old State Road 4A); thence S 40°07'34" W along said Southeasterly right-of-way line for 100.00 feet to the Point of Beginning of the hereinafter described parcel; thence S 49°52'18" E along the Southwesterly line of the Northeast 100.00 feet of the Southwest one-half of said Tract 9 for 795.56 feet to an intersection with the Mean High Water Line (established and located October, 1979); thence meander said Mean High Water Line for the following courses: S 37°53'45" E for 20.39 feet; thence S 34°40'43" E for 29.60 feet; thence S 34°57'15" E for 18.94 feet; thence S 23°15'28" E for 36.82 feet; thence S 18°46'20" W for 21.50 feet; thence N 31°17'08" W for 28.69 feet; thence N 35°31'47" W for 36.81 feet; thence N 33°43'45" W for 36.52 feet; thence N 57°12'52" W for 17.58 feet; thence N 52°28'49" W for 24.02 feet; thence N 54°15'43" W for 22.18 feet; thence N 55°02'20" W for 17.98 feet; thence S 52°42'50" W for 21.78 feet; thence N 33°26'11" W for 4.10 feet; thence N 20°29'03" E for 23.50 feet; thence N 45°14'44" W for 28.73 feet; thence N 61°36'28" W for 29.19 feet; thence S 45°32'28" W for 36.28 feet; thence S 45°57'41" W for 18.84 feet; thence S 40°14'58" W for 27.43 feet; thence S 47°03'53" E for 60.66 feet; thence S 74°26'39" E for 20.64 feet; thence N 20°20'30" E for 12.52 feet; thence S 17°13'45" E for 7.04 feet; thence S 2°46'43" W for 17.21 feet; thence S 42°16'43" E for 19.84 feet; thence S 55°36'34" E for 33.43 feet; thence N 58°42'33" E for 37.94 feet; thence S 39°07'38" E for 41.45 feet; thence S 27°59'47" E for 38.04 feet; thence S 19°01'50" E for 25.13 feet; thence S 43°20'15" W for 12.55 feet; thence S 1°52'57" E for 11.94 feet; thence S 41°12'21" E for 20.90 feet; thence S 26°48'13" E for 13.85 feet; thence S 41°56'56" E for 18.03 feet; thence S 36°44'37" E for 11.39 feet to an intersection with the Southwesterly boundary line of said parcel; thence N 49°52'18" W along said Southwesterly boundary line for 968.30 feet to an intersection with the aforementioned Southeasterly right-of-way line of S-905; thence N 40°07'34" E along said Southeasterly right-of-way line for 148.71 feet to the Point of Beginning. Said parcel contains 2.62 acres more or less.

Section Line Road

Section Line Road, SOUTHCLIFF ESTATES, a subdivision in Section 13 & 14, Township 62 South, Range 32, Key Largo, Monroe County, Florida, as recorded in Plat Book 2, Page 45 of the Public Records of Monroe County, Florida, as per resolution No. 48-1771, Board of County Commissioners of Monroe County.

Submerged Lands

That portion of the submerged lands deeded by Trustees of the Internal Improvement Fund of the State of Florida deed numbers 21,847, 24,107 and 24,151 lying in Section 13, Township 62 South, Range 38 East on Key Largo, Monroe County, Florida, located seaward of the following described Boundary Line (bulkhead line). From the Southeasterly Right-of-Way line of Old State Road 4-A, run S 0°02'34" W along the West line of the said Section 13, for 1115.45 feet more or less to an intersection with the Northeastery line of the lands deeded by Trustees of the Internal Improvement Fund of the State of Florida Deed No. 21,236; thence run S 42°28'24" E along the said Northeastery line, for 25.22 feet to the Point of Beginning of the herein described Boundary Line; From the said point of beginning, run N 59°37'13" E for 357.94 feet; thence run S 42°28'26" E for 200.00 feet to the Southeasterly line of the submerged lands deeded by the said Deed No. 24,107; thence run N 47°31'34" E along the said Southeasterly line, for 174.79 feet; thence run N 49°52'26" W along the line common to the said Deed No. 24,107; and No. 24,151 for 50.00 feet; thence run N 32°21'43" E for 555.20 feet more or less to a point in the Northeastery line of the said Deed No. 24,151 and the Point of Ending of the herein described Boundary Line.

Bearings hereinabove mentioned are derived from those shown on the Department of Transportation centerline survey for State Road No. 5

LEGAL DESCRIPTIONS: BRYN MAWR CAMP RESORTS
KEY LARGO, MONROE COUNTY, FLORIDA

Existing Park

LEGAL DESCRIPTION: Portions of Sections 13 and 14, Township 62 South, Range 38 East on Key Largo, Monroe County, Florida, which portions are more particularly described as follows:

PARCEL 1: Tract 10 and the Northeasterly 200 feet of Tract 11 of Southcliff Estates according to a map or plat thereof, recorded in Plat Book 2 at Page 45 of the Public Records of Monroe County, Florida;
EXCEPTING THEREFROM, the Northeasterly 50 feet of the said Tract 10 and subject to the Right-of-Way for Old State Road No. 4-A lying over and across the Northwesterly portion of the said Tract 10;
TOGETHER WITH, a parcel of submerged land deeded by Trustees of the Internal Improvement Fund of the State of Florida Deed No. 24,151.

PARCEL 2: Tract 11, less the Northeasterly 200 feet thereof, of Southcliff Estates according to a map or plat thereof, recorded in Plat Book 2 at Page 45 of the Public Records of Monroe County, Florida, and that portion of Government Lot 3, Section 13, Township 62 South, Range 38 East, lying South and West of the said Tract 11, marked "not included" on the said Southcliff Estates plat;
TOGETHER WITH: A parcel of submerged land deeded by Trustees of the Internal Improvement Fund of the State of Florida Deed No. 24,107.

PARCEL 3: A parcel of land lying in Section 14, Township 62 South, Range 38 East on Key Largo, Monroe County, Florida, said parcel being described as follows:

BEGINNING at a point on the Southeasterly Right-of-Way of the Overseas Highway as it exists today, which point is 491 feet Northeasterly from a point on said Right-of-Way which is 1118.5 feet Southwesterly from the intersection of said Right-of-Way line with the East line of Section 14, Township 62 South, Range 38 East; thence go Southeasterly a distance of 800 feet to a point on the high water line of the Atlantic Ocean, which point is 175 feet Northeasterly from the Southeasterly corner of the Subdivision known as Seaside; thence go along the high water line of the Atlantic Ocean Northeasterly a distance of 50 feet to a point; thence go Northerly along the said East line of said Section 14 a distance of 1152. feet to the intersection of said East line with the said Right-of-Way line of the Overseas Highway; thence go Southwesterly along the said Right-of-Way line a distance of 627.5 feet to the Point of Beginning;
SUBJECT to the Right-of-Way for Old State Road 4-A lying over and across the Northwesterly portion of said parcel;
TOGETHER WITH: A parcel of submerged land deeded by Trustees of the Internal Improvement Fund of the State of Florida Deed No. 21,947.

LEGAL DESCRIPTION (continued)

SPECIFIC LOTS INCLUDED IN THIS OFFERING ARE AS FOLLOWS:

Lot numbers 1 through 45 and 47 through 232, all numbers inclusive.

Receipt# 244536

DANNY L. KOLHAGE
CLERK OF THE CIRCUIT COURT
MONROE COUNTY
500 WHITEHEAD STREET
KEY WEST, FL
33040

Doc#: 1854258 Pgs: 4
Type: CERTIFICATE
Book: 2537 Pages: 1689-1692
RECORDING \$ 35.50

Total	\$	35.50
Cash Tendered	\$	36.00
Change Due	\$	0.50
Balance	\$	0.00

Total Documents: 1
Total Fees: 1

Client Name GENERAL PUBLIC
Filed By KL OCEAN RESORTS/
Oct 7 2011 3:43:09 PM

Cashier: RE

CERTIFICATE

Upon application of KEY LARGO OCEAN RESORTS CO-OP, INC., a Florida corporation, whose address is 94825 Overseas Highway, Key Largo, Florida 33037, and pursuant to Section 92.16 and sub-section 253.12(9), Florida Statutes, the undersigned, on behalf of the BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA, pursuant to Rule 18-21.019, Florida Administrative Code, hereby certifies that the boundary separating the lands of private ownership from the adjacent state owned sovereignty lands on July 1, 1975, is described as follows:

DESCRIPTION

A LINE BEING THE WATERWARD BOUNDARY LINE AS OF JULY 1st, 1975 LYING ALONG THE ATLANTIC OCEAN AND ADJACENT TO SOUTHCLIFF ESTATES, A SUBDIVISION AS RECORDED IN PLAT BOOK 2 AT PAGE 45, PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE WEST ONE-QUARTER (W. ¼) CORNER OF SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST IN MONROE COUNTY, FLORIDA; THENCE SOUTH 00°11'04" EAST, ALONG THE WEST LINE OF SAID SECTION 13, A DISTANCE OF 37.09 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF OVERSEAS HIGHWAY (U.S. HIGHWAY No. 1 - STATE ROAD No. 5); THENCE SOUTH 39°58'03" WEST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 568.20 FEET TO A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF SEASIDE ADDITION NO. 1, AS RECORDED IN PLAT BOOK 3, PAGE 59, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE SOUTH 27°19'05" EAST, ALONG SAID NORTHEASTERLY BOUNDARY LINE AND ITS SOUTHEASTERLY EXTENSION, A DISTANCE OF 719.67 FEET TO THE NORTHWEST CORNER OF PARCEL F, A PARCEL OF SUBMERGED LAND IN SECTIONS 13 AND 14, TOWNSHIP 62 SOUTH, RANGE 38 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 21847, TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA, DATED JULY 17th, 1958; THENCE SOUTH 43°09'17" EAST, ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL F, A DISTANCE OF 81.01 FEET TO A POINT ON THE BOUNDARY LINE OF SUBMERGED LANDS PER DEED NO. 221541, STATE OF FLORIDA BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND, RECORDED IN OFFICIAL RECORDS BOOK 503, PAGE 22 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, DATED APRIL 20th, 1972; THE FOLLOWING TWO (2) COURSES BEING COINCIDENT WITH SAID BOUNDARY LINE OF SUBMERGED LANDS; THENCE NORTH 59°23'35" EAST, A DISTANCE OF 357.94 FEET; THENCE SOUTH 42°42'04" EAST, A DISTANCE OF 28.55 FEET TO THE WET FACE OF AN EXISTING EARTH RETAINING ROCK WALL AND THE POINT OF BEGINNING;

THE FOLLOWING TWELVE (12) COURSES BEING WITH SAID ROCK WALL;
THENCE SOUTH 49°42'06" WEST, A DISTANCE OF 4.16 FEET;
THENCE SOUTH 54°40'57" WEST, A DISTANCE OF 24.84 FEET;
THENCE SOUTH 55°13'41" WEST, A DISTANCE OF 25.38 FEET;
THENCE SOUTH 51°32'20" WEST, A DISTANCE OF 28.07 FEET;
THENCE SOUTH 45°59'21" WEST, A DISTANCE OF 29.79 FEET;
THENCE SOUTH 43°43'15" WEST, A DISTANCE OF 27.20 FEET;
THENCE SOUTH 53°51'46" WEST, A DISTANCE OF 38.07 FEET;
THENCE SOUTH 53°39'20" WEST, A DISTANCE OF 32.67 FEET;
THENCE SOUTH 52°11'33" WEST, A DISTANCE OF 32.31 FEET;
THENCE SOUTH 52°27'42" WEST, A DISTANCE OF 43.34 FEET;
THENCE SOUTH 44°11'36" WEST, A DISTANCE OF 26.38 FEET;

THENCE SOUTH 06°32'03" EAST, A DISTANCE OF 70.91 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL F TO THE POINT OF TERMINUS OF THE HEREIN DESCRIBED WATERWARD BOUNDARY LINE.

ALSO

A LINE BEING THE WATERWARD BOUNDARY LINE AS OF JULY 1st, 1975 LYING ALONG THE ATLANTIC OCEAN AND ADJACENT TO SOUTHCLIFF ESTATES, A SUBDIVISION AS RECORDED IN PLAT BOOK 2 AT PAGE 45, PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE WEST ONE-QUARTER (W. ¼) CORNER OF SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST IN MONROE COUNTY, FLORIDA; THENCE SOUTH 00°11'04" EAST, ALONG THE WEST LINE OF SAID SECTION 13, A DISTANCE OF 37.09 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF OVERSEAS HIGHWAY (U.S. HIGHWAY No. 1 - STATE ROAD No. 5); THENCE SOUTH 39°58'03" WEST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 568.20 FEET TO A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF SEASIDE ADDITION NO. 1, AS RECORDED IN PLAT BOOK 3, PAGE 59, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE SOUTH 27°19'05" EAST, ALONG SAID NORTHEASTERLY BOUNDARY LINE AND ITS SOUTHEASTERLY EXTENSION, A DISTANCE OF 719.67 FEET TO THE NORTHWEST CORNER OF PARCEL F, A PARCEL OF SUBMERGED LAND IN SECTIONS 13 AND 14, TOWNSHIP 62 SOUTH, RANGE 38 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 21847, TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA, DATED JULY 17th, 1958; THENCE SOUTH 43°09'17" EAST, ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL F, A DISTANCE OF 81.01 FEET TO A POINT ON THE BOUNDARY LINE OF SUBMERGED LANDS PER DEED NO. 221541, STATE OF FLORIDA BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND, RECORDED IN OFFICIAL RECORDS BOOK 503, PAGE 22 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, DATED APRIL 20th, 1972;

THE FOLLOWING TWO (2) COURSES BEING COINCIDENT WITH SAID BOUNDARY LINE OF SUBMERGED LANDS;

THENCE NORTH 59°23'35" EAST, A DISTANCE OF 357.94 FEET;

THENCE SOUTH 42°42'04" EAST, A DISTANCE OF 200.00 FEET TO A POINT ON THE SOUTHERLY LIMITS OF PARCEL D, A PARCEL OF SUBMERGED LAND IN SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 24107, TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA, DATED NOVEMBER 2nd, 1965;

THENCE NORTH 47°17'56" EAST, ALONG SAID SOUTHERLY LINE OF PARCEL D, A DISTANCE OF 103.85 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ALSO ON THE MEAN HIGH WATER LINE (ELEVATION 1.50 NGVD29);

ALL FOLLOWING COURSES BEING COINCIDENT WITH SAID MEAN HIGH WATER LINE;

THENCE SOUTH 51°56'13" EAST, A DISTANCE OF 8.52 FEET;
THENCE SOUTH 84°10'07" EAST, A DISTANCE OF 21.24 FEET;
THENCE NORTH 67°20'34" EAST, A DISTANCE OF 24.85 FEET;
THENCE NORTH 47°33'24" EAST, A DISTANCE OF 25.73 FEET;
THENCE NORTH 15°00'15" WEST, A DISTANCE OF 19.77 FEET;
THENCE NORTH 08°35'55" WEST, A DISTANCE OF 12.17 FEET;
THENCE NORTH 23°14'34" WEST, A DISTANCE OF 37.09 FEET;

Trustees No. 41364(6046-44)

THENCE NORTH 45°03'36" WEST, A DISTANCE OF 9.08 FEET;
THENCE NORTH 06°59'12" WEST, A DISTANCE OF 17.05 FEET;
THENCE NORTH 30°45'33" EAST, A DISTANCE OF 41.89 FEET;
THENCE NORTH 30°38'07" EAST, A DISTANCE OF 49.43 FEET;
THENCE NORTH 29°42'50" EAST, A DISTANCE OF 23.50 FEET;
THENCE NORTH 33°33'31" EAST, A DISTANCE OF 63.07 FEET;
THENCE NORTH 32°53'25" EAST, A DISTANCE OF 55.23 FEET;
THENCE NORTH 31°19'00" EAST, A DISTANCE OF 107.50 FEET;
THENCE NORTH 32°08'45" EAST, A DISTANCE OF 26.60 FEET;
THENCE NORTH 36°42'02" EAST, A DISTANCE OF 72.12 FEET;
THENCE NORTH 35°25'24" EAST, A DISTANCE OF 73.30 FEET;

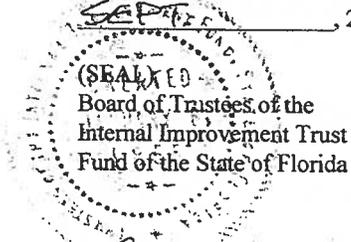
THENCE NORTH 13°19'22" WEST, A DISTANCE OF 5.63 FEET TO THE POINT OF TERMINUS OF THE HEREIN DESCRIBED WATERWARD BOUNDARY LINE. SAID POINT BEING ON NORTHEASTERLY LINE OF PARCEL B, A PARCEL OF SUBMERGED LAND IN SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 24151, TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA, DATED JANUARY 4th, 1966.

The above legal description was prepared by Javier De La Rocha, Florida Professional Surveyor and Mapper No. 6080.

NOTE: (1) This certificate is issued without a title examination of all tidally influenced land or tidally influenced islands bordering or being on sovereignty land, which have been permanently extended, filled, added to existing lands, or created before July 1, 1975, by fill, lying landward of the above described waterward boundary line, and the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida may not have any right, title or interest in any of these lands. (2) The Board of Trustees of the Internal Improvement Trust Fund of the State of Florida has not determined or verified the riparian rights lines of the applicant's privately owned uplands. (3) This certificate does not constitute a determination by the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida that the applicant owns the filled area that extends from applicant's lands that are immediately upland of the filled area.

Trustees No. 41364(6046-44)

In Witness Whereof, I have hereunto set my hand and have caused to be affixed hereto the official seal of the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida at its office in Tallahassee, Leon County, Florida, this 29th day of SEPT., 2011.



Laurie E. Green
Witness

Laurie E. Green
(Typed or Printed Name of Witness)

Mil Tubinsky
Witness

Mil Tubinsky
(Typed or Printed Name of Witness)

BOARD OF TRUSTEES OF THE
INTERNAL IMPROVEMENT TRUST
FUND OF THE STATE OF FLORIDA

By: Rod A. Maddox

Rod A. Maddox
Professional Land Surveyor Manager
Title and Land Records Section
Bureau of Survey and Mapping
Division of State Lands
State of Florida Department of
Environmental Protection
as agent for and on behalf of the Board
of Trustees of the Internal Improvement
Trust Fund of the State of Florida

STATE OF FLORIDA
COUNTY OF LEON

The foregoing instrument was acknowledged before me this 29th day of SEPT., 2011, by Rod A. Maddox, Professional Land Surveyor Manager, Title and Land Records Section, Bureau of Survey and Mapping, Division of State Lands, Department of Environmental Protection, as agent for and on behalf of the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida. He is personally known to me or has produced a driver's license as identification.

Henry Miller III
State of Florida at Large,
Notary Public



(Typed, Printed or Stamped Name of Notary)

Commission No. DD 843046

My Commission Expires: 12/04/12

APPROVED AS TO FORM
& LEGALITY

Samuel J. Jirin
DEP Attorney

Department of Environmental Protection
3900 Commonwealth Boulevard
Tallahassee, Florida 32399-3000



PLANNING COMMISSION RESOLUTION NO. P35-07

A RESOLUTION BY THE MONROE COUNTY PLANNING COMMISSION APPROVING THE REQUEST BY KEY LARGO OCEAN RESORTS, A CO-OPERATIVE, FOR AN AMENDMENT TO A MAJOR CONDITIONAL USE PERMIT TO DEMOLISH ALL EXISTING STRUCTURES AND REDEVELOP ALL INFRASTRUCTURE, AMENITIES, AND REPLACE THE EXISTING RVS, PARK MODELS, AND MOBILE HOMES WITH 285 SINGLE FAMILY PERMANENT RESIDENTIAL DWELLING UNITS AND ACCESSORY USES OF A GATEHOUSE, OFFICE BUILDING, COMMUNITY CENTER AND GRILL/PUB AREA; PROVIDING FOR CONDITIONS; ON PROPERTY LEGALLY DESCRIBED AS SOUTHCLIFF ESTS PB2-45 KEY LARGO NE 100' OF SW 1/2 OF TR 9 PT TR 9-10-11 (14.65AC) PT LINE ROAD (.75AC) PT NE1/4 OF SE1/4 (5.1AC) PT GOV LT 3 (.6AC) & ADJ BAYBTM (5.22AC), KEY LARGO, MONROE COUNTY, FLORIDA HAVING REAL ESTATE NUMBERS 00483390.000000 AND 00483400.000000 AT APPROXIMATE MILE MARKER 95.

WHEREAS, during a regularly scheduled public meeting held on July 25, 2007, the Monroe County Planning Commission conducted a review and consideration of the request filed by Key Largo Ocean Resorts, a Co-operative (KLOR) for an amendment to a major conditional use permit pursuant to Monroe County Code (MCC) §9.5-69; and

WHEREAS, KLOR brought action against Monroe County in 1994 in order to change their Land Use Designation from Recreational Vehicle (RV) to Urban Residential Mobile Home (URM); and

WHEREAS, court hearings and court appointed mediation over ten (10) years occurred and resulted in the BOCC unanimously approving a change from RV to URM along with the corresponding Future Land Use Map change from Mixed Use/Commercial (MC) to Residential High (RH) on August 18, 2004; and

WHEREAS, the BOCC approved and signed Resolution # 242-2006 on June 21, 2006 for a Development Agreement for this property to include a site redevelopment plan along with a major conditional use permit which resulted in this application; and

WHEREAS, the subject property is located at 94825 Overseas Highway, Key Largo; and

WHEREAS, the item was heard at a regularly scheduled meeting of the Development Review Committee on July 11, 2007; and

WHEREAS, the Planning Commission was presented with the following evidence, which by reference is hereby incorporated as part of the record of said hearing:

- 1) The Application for an Amendment to a Major Conditional Use received by the Monroe County Planning and Environmental Resources Department, including the plans and surveys listed in attachment A;
- 2) The staff report prepared by Julianne Thomas, Planner dated July 18, 2007, including attachments;
- 3) The sworn testimony of the Growth Management Division Staff;
- 4) The sworn testimony of the Applicant and Applicant's witnesses;
- 5) Sworn testimony by the public;
- 6) Exhibits provided by the Applicant;
- 7) Comments by Franklin Greenman, Attorney for the Applicant;
- 8) Comments by Susan Grimsley, Assistant County Attorney;
- 9) Comments by Thomas Wright, Acting Planning Commission Counsel.

WHEREAS, MCC § 9.5-65 provides the standards which are applicable to all conditional use permits:

WHEREAS, Staff determined that the application met the standards required in MCC § 9.5-65(a),(b), (c), (d), (e), (f), (g) and (h); and

WHEREAS, Staff could not determine compliance with the following standards imposed on this conditional use application by the Land Development Regulations pursuant to MCC §9.5-65(i):

- 1) Inclusionary housing (MCC §9.5-266); and
- 2) Mitigation Standards (MCC §9.5-346); and
- 3) Street Trees (MCC §9.5-366)

WHEREAS, after consideration of the testimony and evidence presented, the Planning Commission makes the following findings of Fact and Conclusions of Law:

1. Based on §II.C.6 of the Development Agreement, all parties agreed that the approved development shall comply and be controlled by this Agreement, the Land Development Regulations, and the Comprehensive Plan effective on July 22, 2006; and
2. Based on §IV.A., the Site Redevelopment Plan meets the conditions as required by the Development Agreement so long as phasing schedules are followed; and
3. Based on staff review of the application, the application meets the standards required in MCC § 9.5-65(a),(b), (c), (d), (e), (f), (g) and (h); and

4. Based on the Application, staff could not determine compliance with the following standards imposed on this conditional use application by the Land Development Regulations pursuant to MCC §9.5-65(i):
 - a. Inclusionary Housing (§9.5-266)
 - b. Mitigation Standards (§9.5-346)
 - c. Street Trees (§9.5-366)
5. Based on staff review of the of application, the building department will determine compliance with the following Land Development Regulations upon submittal for a building permit:
 - a. Maximum Height (§9.5-283)
 - b. Fencing (§ 9.5-309)
 - c. Floodplain Management (§§. 9.5-316 & 9.5-317)
 - d. Outdoor Lighting (§§ 9.5-391, 9.5-392 & 9.5-393)
 - e. Signs (§§. 9.5-404 & 9.5-405)

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF MONROE COUNTY, FLORIDA;

Section 1. The request by Key Largo Ocean Resorts – a Co-operative for an amendment to a major conditional use permit for the following is APPROVED subject to the conditions in Section 2:

1. Demolish all existing structures and redevelop all infrastructure, amenities, and replace the existing RVs, park models, and mobile homes with 285 single family permanent residential dwelling unit and accessory uses of a gatehouse, office building, community center and grill/pub area.

Section 2. The approval is SUBJECT TO THE FOLLOWING CONDITIONS:

1. Prior to issuance of the Planning Commission Resolution, the applicant shall receive an exemption from the BOCC for the inclusionary housing standards pursuant to MCC §9.5-266 or comply with the inclusionary housing standards.
2. The applicant shall meet the compliance schedule as set forth in the Development Agreement §IV.A.
3. This conditional use permit shall be valid until July 22, 2011 so as to expire on the same date as the Development Agreement pursuant §II.B.
4. The County shall accept building permits only during the appropriate phasing period for corresponding lot number and only by contractors for buildings and floor-plans approved by the KLOR Board of Directors.
5. Prior to the Issuance of a building permit:
 - a. The wetland area of RE 00483390.000000 shall be restored; and
 - b. RE 00483390.000000 shall be placed under a Grant of Conservation Easement, including the entirety of the hardwood hammock area; and

6. Prior to the issuance of a building permit, compliance with the following standards imposed on it by the Land Development Regulations shall be determined upon submittal to the Building Department:
 - a. Fencing (§ 9.5-309)
 - b. Floodplain Management (§§. 9.5-316 & 9.5-317)
 - c. Outdoor Lighting (§§ 9.5-391, 9.5-392 & 9.5-393)
 - d. Signs (§§. 9.5-404 & 9.5-405)
7. Prior to any Certificate of Occupancy (C.O.) for each phase, the applicant shall coordinate with the County Biologist in order to determine what mitigation is going to be required pursuant to MCC §9.5-346 and satisfy mitigation requirements for each phase.
8. Prior to the C.O. for any unit, the applicant shall coordinate with the County Biologist and the Land Authority in order to develop a satisfactory solution to meeting the required street tree planting pursuant to §9.5-366.
9. Prior to the issuance of a C.O., each unit shall have an internal five foot (5') front, side, and rear setback. Setbacks are being measured from the drip lines of the structures resulting in an approximate minimum separation of vertical walls of at least eleven feet (11').
 - a. Stairs for first floor access (of elevated structures). The stairs shall be made from a fire resistant material such as concrete or metal; and
 - b. Stairways shall not face each other; and
 - c. Air conditioner compressor units shall be located at the rear of each unit, elevated to above base flood elevation.
 - d. Optional elevators units to accommodate the needs of physically challenged residents are available. All mechanical components shall be located above base flood.
10. Prior to the issuance of a C.O., any new single family permanent residential dwelling unit shall be equipped with the following to support energy and conservation standards pursuant to MCC §9.5-326:
 - a. Energy efficient appliances
 - b. Ultra efficient and low flow water fixtures
 - c. Energy efficient windows
 - d. A high R-Factor insulation plan
 - e. Tankless super efficient water heaters
 - f. Metal Roofs
11. There shall be no fences placed in the front yard setback of any unit.
12. One-way streets shall be clearly marked as one way as directed by the fire marshal.
13. All homes shall be built with a one (1) hour tenant separation fire resistant rated material between the dwelling unit and carport in order to allow boats to be stored beneath elevated homes.
14. The boat slips shall be for use by KLOR residents only and cannot be leased, bought or sold to persons who do not own a unit in KLOR.
15. There shall be no parking along internal streets or in the front yard setback of any unit. This includes parking boats, boat trailers, jetskis, etc.

WHEREAS, Condition 1 has been met by the BOCC approving the inclusionary housing exemption pursuant to MCC § 9.5-266 at a regularly scheduled meeting scheduled on August 15, 2007; and

PASSED AND ADOPTED by the Planning Commission of Monroe County, Florida, at a regularly meeting held on the 25th day of July, 2007.

Chair Cameron	<u>YES</u>
Vice Chair Wall	<u>YES</u>
Commissioner Cates-Deal	<u>ABSENT</u>
Commissioner Popham	<u>YES</u>
Commissioner Windle	<u>YES</u>

PLANNING COMMISSION OF
MONROE COUNTY, FLORIDA

BY *James D. Cameron*
James D. Cameron, Chair

Signed this 24TH day of AUGUST, 2007

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY
BY *Thomas O. Knight*
Attorney's Office

Attachment A: PLANS REVIEWED

Page Name	Page #	Source	Date
Proposed Site Plan - KLOR	A-1	E.A. Calil Architect	May 2, 2007
Proposed Site Plan - KLOR	A-2	E.A. Calil Architect	May 2, 2007
Proposed Site Plan - KLOR	A-3	E.A. Calil Architect	May 2, 2007
Proposed Site Plan - KLOR	A-4	E.A. Calil Architect	May 2, 2007
Proposed Site Plan - KLOR	A-5	E.A. Calil Architect	May 2, 2007
Open Area Calculations	A-6	E.A. Calil Architect	May 2, 2007
Construction Development Site Plans	A-7	E.A. Calil Architect	May 2, 2007
Proposed Example Elevation	A-8	E.A. Calil Architect	May 2, 2007
Site Key Landscape Plan	L-01	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	L-02	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	L-03	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	L-04	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	L-05	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	L-06	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	LT-01	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	LT-02	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	LT-03	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	LT-04	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	LT-05	Land Form Design Group, Inc.	May 3, 2007
Site Key Landscape Plan	LT-06	Land Form Design Group, Inc.	May 3, 2007
Boundary / As Built Survey	-	Delta Surveyors - Sealed & Signed by Waldo F. Paez on 4-20-07	February 20, 2007

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STATE OF FLORIDA
DIVISION OF ADMINISTRATIVE HEARINGS

MARIA BARROSO,)	
)	
Appellant,)	
)	
vs.)	
)	Case No. 07-5390
MONROE COUNTY PLANNING)	
COMMISSION and KEY LARGO OCEAN)	
RESORT CO-OP, INC.,)	
)	
Appellees.)	

FINAL ORDER OF DISMISSAL

Appellant Maria Barroso seeks review of Monroe County Planning Commission Resolution P35-07, approved by the Planning Commission on August 24, 2007. The Division of Administrative Hearings, by contract, and pursuant to Article XIV, Section 9.5-535, Monroe County Code, has jurisdiction to consider the appeal and to issue a final order.

Leave to intervene as an Appellant was granted to Key Largo Ocean Resort Co-op, Inc. (KLOR), a cooperative under Chapter 719, Florida Statutes (2007). Appellant KLOR was the applicant for the site plan approval, which is the subject of this appeal. Resolution P35-07

Resolution P35-07 approved the application of KLOR for an amendment to a major conditional use permit to demolish all existing structures and redevelop all infrastructure, amenities,

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and redevelop all existing RVs, park models, and mobile home residences on property located at 94825 Overseas Highway, Key Largo, with 285 single-family permanent dwelling units, accessory uses, gatehouse, office building, community center, and grill/pub area, subject to numerous conditions stated in the resolution. For simplicity, the subject of Resolution P35-07 will be referred hereafter in the same way it has been referred to by the parties, as a site plan approval.

Issues Raised on Appeal

On September 20, 2007, Appellant filed a timely "application for appeal," stating the following basis for the appeal:

Planning Commission Resolution No. P35-07 is in direct contravention of and violates the Monroe County Code, the Monroe County Comprehensive Plan, the principles for guiding development as provided in Chapter 380, Florida Statutes, and the terms and conditions of development Agreement approved by the Monroe County, Florida Board of County Commissioners Resolution 242-2006, dated June 21, 2006. Moreover, a representative of Key Largo Ocean Resort misrepresented to the Commission that it had obtained the requisite statutory consent required by Section 719.1055(1), Florida Statutes, to the proposed site plan. [Appellant] reserves the right to amend and supplement this application for appeal with additional information and grounds.

On January 28, 2008, Appellant moved to abate the appeal to allow the circuit court, in a pending case involving these same

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parties, to rule on whether KLOR's application for approval of the site plan was ultra vires, null, and void. Appellant's motion was granted and the appeal remained abated until April 29, 2008, when the Administrative Law Judge set a briefing schedule because the expected ruling of the circuit court had been put off.

Appellant filed her Initial Brief on May 19, 2007. Two issues were raised by Appellant: (1) whether the Planning Commission failed to comply with the essential requirements of law because it was based on a material misrepresentation made by KLOR's attorney; and (2) whether Appellant has standing. No issue was raised regarding whether Resolution P35-07 violated any of the applicable provisions of the Monroe County Code.

Before the deadline for filing answer briefs, the Planning Commission filed a motion to dismiss the appeal, arguing that Appellant failed to raise reviewable issues in its Initial Brief. Appellant filed a response stating that her claim that Resolution P35-07 was based on a material misrepresentation is a proper issue for review because it is a claim that the Planning Commission failed to comply with the essential requirements of law.

The Alleged Misrepresentation

At the public hearing before the Planning Commission held on July 25, 2007, one of the issues raised by persons opposed to

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the proposed site plan was that it had not been properly approved by the cooperative unit owners within KLOR. Their claim of invalidity was based on Section 719.1055, Florida Statutes (2007), which prohibits an amendment to the cooperative documents which materially changes the configuration or size of any cooperative unit, or makes other material changes identified in the statute, unless all unit owners approve the amendment. Appellant and some other unit owners claim that the site plan approved by Resolution P35-07 makes the kinds of material changes which all unit owners must approve, but such approval was not obtained.

The other parties did not concede that approval of the site plan requires the agreement of 100 percent of the cooperative unit owners. Whether 100 percent approval is required is one of the issues to be resolved in the case that is pending in the circuit court.

In his presentation to the Planning Commission, the attorney for KLOR made the following statement:

The law requires when a co-op changes in material fashion the ownership interest of the property that it be put to a vote of the shareholders. I'm always the one that gets to keep the original ballots. I've been holding original ballots for elections now for a couple of years. These are the original ballots of the site plan that was sent out in March of '02 and '03. I will tell you there is a difference. At that time, we put a tennis court where the

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waste plant was because we thought the Key Largo Waste Plant would be in effect. We've had to change that. Other than that, the lots and sizes and everything were the same. There are 285 members, shareholders, that have to vote. 51 voted against it. That's 85 percent approval.

Appellant claims this is a misrepresentation because the cooperative unit owners did not vote on the site plan approved by Resolution P35-07. In the discussion quoted above, however, KLOR's counsel did not say that the cooperative unit owners voted on the site plan that was before the Planning Commission. He made clear that the vote he was referring to was for an earlier site plan.

Appellant further claims that the alleged misrepresentation was material because the Planning Commission's decision was based on this misrepresentation. Appellant's evidence for this second claim is the following statement made at the public hearing by the chairman of the Planning Commission:

We understand that 85 percent of the people in this park have agreed to do this and that's the way our country operates, that's the way we operate, that's majority rule, and I'm afraid that's going to be hard for some of you, but that's the way life is.

Appellant asserts that this statement shows that the commissioners believed that the cooperative unit owners had voted on the proposed site plan. However, it is reasonable to infer that the chairman's statement merely reflects what he was

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told by KLOR's attorney, that 85 percent of the unit owners had agreed to an earlier site plan that was similar. Furthermore, as explained below, the chairman's comment is not material.

Matters Outside the Record

Appended to Appellant's Initial Brief are three documents that are not part of the record created by the Planning Commission. Appellant refers to these documents, in part, as proof of factual issues presented in its Initial Brief. The appended documents are (1) a motion filed in the circuit court, (2) a transcript of the circuit court hearing on the motion, and (3) the court's order on the motion. These documents are not part of the record on review and their inclusion with the Initial Brief was improper. No consideration was given to the documents by the Administrative Law Judge.

Legal Discussion

The Division of Administrative Hearings has jurisdiction over the subject matter of this proceeding and of the parties pursuant to Article XIV, Section 9.5-535, of the Monroe County Code. Under Section 9.5-540(b), the scope of the hearing officer's review is stated as follows:

The hearing officer's order may reject or modify any conclusion of law or interpretation of the Monroe County land development regulations or comprehensive plan in the planning commission's order, whether stated in the order or necessarily implicit in the planning commission's

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determination, but he may not reject or modify any findings of fact unless he first determines from a review of the complete record, and states with particularity in his order, that the findings of fact were not based upon competent substantial evidence or that the proceeding before the planning commission on which the findings were based did not comply with the essential requirements of law.

A hearing officer (administrative law judge) acting in his or her appellate review capacity is without authority to reweigh conflicting testimony presented to the Planning Commission. See Haines City Community Development v. Heggs, 658 So. 2d 523, 530 (Fla. 1995).

The question on appeal is not whether the record contains competent substantial evidence supporting the view of the appellant; rather, the question is whether competent substantial evidence supports the findings made by the Planning Commission. Collier Medical center, Inc. v. Department of Health and Rehabilitative Services, 462 So. 2d 83, 85 (Fla. 1st DCA 1985).

The question of whether the Planning Commission departed from the essential requirements of law is the same as whether the Planning Commission failed to apply the correct law. Haines City Community Development, 658 So. 2d at 530. The correct law to be applied in this particular case, which was not discussed by Appellant, are the Monroe County Code criteria applicable to the amendment of a major conditional use permit.

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Appellant does not identify any criterion that the Planning Commission failed to properly apply. Appellant does not allege nor does the record show that there is any provision of the Monroe County Code that requires, as a condition for the amendment of a major conditional use permit, that an applicant demonstrate that it has properly obtained the approval of its unit owners, association members, board of directors, or any other entity. Even assuming that Appellant is correct that the statement of KLOF's attorney was a misrepresentation, it was not a material misrepresentation because it did not involve a criterion that governed the Planning Commission's decision.

There is no finding of fact in the Planning Commission's decision that Appellant claims is unsupported by competent substantial evidence. There is no interpretation of the Monroe County Code or other legal conclusion in the Planning Commission's decision that Appellant claims to be in error.

DECISION

Based on the foregoing, the appeal of Maria Barroso is DISMISSED.

Jun 27 08 12:50p
Jun 27 08 10:22a

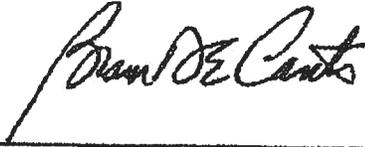
Greenman&Manz

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P. 9

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Bk# 2379 Pg# 2192

DONE AND ORDERED this 25th day of June, 2008, in
Tallahassee, Leon County, Florida.



BRAM D. E. CANTER
Administrative Law Judge
Division of Administrative Hearings
The DeSoto Building
1230 Apalachee Parkway
Tallahassee, Florida 32399-3060
(850) 488-9675 SUNCOM 278-9675
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Filed with the Clerk of the
Division of Administrative Hearings
this 25th day of June, 2008.

COPIES FURNISHED:

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Jun 27 08 12:50p
Jun 27 08 10:22a

Greenman&Manz

(305)743-6523

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P.10

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NOTICE OF RIGHTS

Pursuant to Article XIV, Section 9.5-540(c), Monroe County Code, this Final Order is the final administrative action of Monroe County. It is subject to judicial review by common law certiorari to the circuit court in appropriate judicial circuit.

Karl D. Borglum
Property Appraiser
Monroe County, Florida

office (305) 292-3420
 fax (305) 292-3501
 Website tested on Internet Explorer

GIS Mapping requires Adobe Flash 10.3 or higher.
(An Export Map widget is in the lower left corner.)

Property Record View

Alternate Key: 1593010 Parcel ID: 00483390-000000

Ownership Details

Mailing Address:
 KEY LARGO OCEAN RESORTS CO-OP INC

94825 OVERSEAS HWY
 KEY LARGO, FL 33037

Property Details

PC Code: 10 - VACANT COMMERCIAL
 Millage Group: 500P
 Affordable Housing: No
 Section-Township-Range: 13-62-38
 Property Location: VACANT LAND 94825 OVERSEAS HWY KEY LARGO
 Subdivision: SOUTHCLIFF ESTATES
 Legal Description: SOUTHCLIFF ESTS PB2-45 KEY LARGO NE 100' OF SW 1/2 OF TR 9 OR442-411 OR802-2433 OR1470-165/66 OR1772-1054/55

Parcel Map (Click to open dynamic parcel map)

Land Details

Land Use Code	Frontage	Depth	Land Area
00HH - HARDWOOD HAMMOCK	0	0	0.27 AC
000X - ENVIRONMENTALLY SENS	0	0	1.68 AC

Appraiser Notes

2002/9/3 SB, TPP: 8522908 - KL OCEAN RES. - CONDO ASSOC. 8858205 - OCEANSIDE CAFE 8794959 - BILL'S SOUND 8991775 - CLEAN SWEEP WASH & WAX 8720912 - LOT 1 = RAMIREZ, B LOT 2 = SLAB ONLY - 9/18/02, SB. 8720939 - LOT 3 = FAJARDO, R 8720963 - LOT 4 = BAISTA, S 8721048 - LOT 5 = GOLLANES, Y - VLD2/MH2 - '88 8721064 - LOT 6 = MAZA, M - MH3/UB2/UB2/MH2 - '88 8721081 - LOT 7 = MARRERO, V - CA2/MH2/WD2 - '88 8721102 - LOT 8 = PEREZ, H - MH2/MH3 - '87 8721129 - LOT 9 = LANZA, Y 8721137 - LOT 10 = MARTINEZ, E - MH2 - '88 8721145 - LOT 11 = LORENZO, A - MH2/WD2 - '88 9007747 - LOT 11 = LORENZO, A - RENTAL EQ 8721161 - LOT 12 = HERNANDEZ, V - MH2 - '92 8721188 - LOT 13 = GARCIA, J 8884575 - LOT 14 = MEDINA, J 8721200 - LOT 15 = SANZ, A - MH2/CA2 - '90 8721218 - LOT 16 = MAS, A - MH2/CA2 - '90 8721226 - LOT 17 = GONZALEZ, G - MH3/UB2 - '90 8721242 - LOT 18 = RAMIREZ, O 8721269 - LOT 19 = RUIZ, G - MH2/MH2/MH3 - '92 8721285 - LOT 20 = ENRIQUEZ, P 8721315 - LOT 21 = VELOSA, M 8721331 - LOT 22 = HERNANDEZ, P - UB2/WD2/MH2 - '90 8884605 - LOT 23 = CAJIGAL, A - MH2 - '90 8723920 - LOT 24 = PADILLA, M - MH2/UB2/MH3 - '88 8723938 - LOT 25 = OLIVERA, M - MH3/MH2 - '90 8723946 - LOT 26 = LEON, R - UB2/UB2/MH2/MH3 - '88 8723954 - LOT 27 = LAMAS, S - MH3/MH2 - '88 8723971 - LOT 28 = TOYOS, V - MH2/MH3 - '90 8724012 - LOT 29 = PARIENTE, R - CABANA - '95 8724039 - LOT 30 = MONTOTO, L - UB2/MH2/WD2 - '88 8724055 - LOT 31 = FREEMAN, J 8724063 - LOT 32 = ESNARD, J 8884591 - LOT 33 = GANDARILLAS - MH2/MH3/UB2 - '78 8724098 - LOT 34 = ROSADO, E 8884567 - LOT 35 = LOPEZ, R 8884559 - LOT 36 = DIAZ, O - UB2/MH3/WD2 - '90 8724152 - LOT 37 = LIZANO, J 8724179 - LOT 38 = HEVIA, L - MH3/CA2 - '88 8724195 - LOT 39 = DE LA, V - MH3 '76 8884541 - LOT 40 = SANCHEZ, P - MH2/MH3/UB2 - '88 8724233 - LOT 41 = PERERA, J 8724250 - LOT 42 = PEREZ, F - MH2/UB2 - '80 8724268 - LOT 43 = AQUIAR, H 8724276 - LOT 44 = MARTINEZ, R 8724284 - LOT 45 8724292 - LOT 46 = MESA, H - MH2 - '90 8724306 - LOT 47 = RODRIQUEZ, J - MH2 - '70 8724314 - LOT 48 = DE LA MORENA - CA2 - '80 8884532 - LOT 49 = ENCINOSA, E 8724357 - LOT 50 = ENCINOSA, E LOT 51 = PICK UP IMP FOR 2003. 8724390 - LOT 52 = VALDES, F - MH2/MH3 - '92 8721358 - LOT 53 = CARDENAS, M - CA2/MH2 - '80 8721366 - LOT 54 = LOPEZ, J - MH2/CA2 - '80 8721382 - LOT 55 = XIOMARA, G 8721391 - LOT 56 = BLANCO, M 8721404 - LOT 57 =

MILIAM, A 8721412 - LOT 58 = BARRANCHEA, C 8721421- LOT 59 = LOPEZ, E 8721439 - LOT 60 = ESTEBANEZ, E 8721447 - LOT 61 = HERNANDEZ, J - MH2 - '80 8721455 - LOT 62 = POLO, J 8721463 - LOT 63 = CONET, M 8721471 - LOT 64 = RODRIQUEZ, E 8721480 - LOT 65 = TORRES, Y - MH2 - '90 8721498 - LOT 66 = YERO, M - MH2/CA2 - '88 8721501 - LOT 67 = GONZALEZ, E - MH2/CA2 - '90 8721510 - LOT 68 = ARCA, M - MH2/MH2/CA2 - '88 8721528 - LOT 69 = IRIZAKRY, R - CABANA/PORCH - '88 8721536 - LOT 70 = FUSTER, P - MH2/CA2 - '9 8721544 - LOT 71 = ROSQUET, R 8721552 - LOT 72 = MENDEZ, J 8721561 - LOT 73 = GONZALEZ, C 8721579 - LOT 74 = GARCIA, A - MH2 - '88 8721587 - LOT 75 = BARRETT, M - UB2/CA2/CA2 - '88 8721595 - LOT 76 = GONZALEZ, A - MH2/MH3/MH3 - '80 8721609 - LOT 77 = FILPES, C - MH3 - '76 8721617 - LOT 78 = CHAMIZO, J - MH2 - '76 8721625 - LOT 79 = BALBIS, C 8721633 - LOT 80 = MARQUEZ, A 8721641 - LOT 81 = PEREZ, R - MH2/MH2 - '80 8721650 - LOT 82 = FIALLO, J - MH2 - '88 8721668 - LOT 83 = CORDERO, J - MH2 - '90 8721676 - LOT 84 = MARTINEZ, P - MH2/MH3 - '88 8726520 - LOT 85 = RODRIQUEZ, R - MH2 - '88 8721692 - LOT 86 = FILPES, J 8721706 - LOT 87 = AMADOR, P 8724403 - LOT 88 = CAPDEVILA, M 8724411 - LOT 89 = DE MOLINA, T - WD2/UB2/MH2 - '88 8724616 - LOT 90 = GONZALEZ, J 8724632 - LOT 91 = SALVA, P - MH3 - '88 8724659 - LOT 92 = PUERTAS, A 8724675 - LOT 93 = GULISANO, J - MH3 - '88 8724691 - LOT 94 = CHALUJA, M - MH2 - '90 8724705 - LOT 95 = JAMBU, W - MH2/MH3 - '88 8724721 - LOT 96 = PEREZ, J - MH3/MH2 - '88 8724764 - LOT 98 = GUTIERREZ, M - MH2/UB2 - '89 8724781 - LOT 99 = CRUZ, A 8724802 - LOT 100 = ADAMS, R - MH2/MH2 - '88 8884621 - LOT 101 = ALTEMUS, L - MH2 - '90 8724861 - LOT 102 = SANCHEZ, O - MH2/MH3 - '88 8884524 - LOT 103 - MARQUES ANDRES & LIDIA - MH3 - '90 8724896 - LOT 104 = MARQUEZ, J - MH3 - '90 8724934 - LOT 105 = SIMON, J - MH3/MH3/MH3/WD2 - '88 8724942 - LOT 106 = FERNANDEZ, A - MH2 - '90 8724969 - LOT 107 = ARTILES, J - MH2/MH2 - '80 8884516 - LOT 108 = GONZALEZ, E 8725027 - LOT 109 = PLASENCIA, C 8725051 - LOT 110 = RODRIQUEZ, F - MH2 - '85 LOT 111 = WD2 4X12 - '00 8725183 - LOT 112 = BETANCOURT 8725205 - LOT 113 = RODRIQUEZ, M 8725230 - LOT 114 = CABRERA, R 8725256 - LOT 115 = CABRERA, R 8725281 - LOT 116 = GONZALEZ, J - WD2/CA2 - '80 8725299 - LOT 117 = MARQUEZ, A 8725311 - LOT 118 = SANCHEZ, J - MH2 - '76 8725337 - LOT 119 = SANCHEZ, J 8725352 - LOT 120 = BALSERA, J - MH2/CA2 - '88 8725361 - LOT 121 = CHANG, R - CA2/MH2 - '80 8725388 - LOT 122 = RODROQUEZ, E 8725400 - LOT 123 = HERNANDEZ, O 8725426 - LOT 124 = GARCIA, R 8725442 - LOT 125 = HUE, R - MH2 - '88 8725451 - LOT 126 = GONZALEZ, A - MH2/UB2/MH3 - '88 8725469 - LOT 127 = TEJEDA, H 8725591 - LOT 128 = MARTIN, M 8725621 - LOT 129 = GUILLEN, J - MH2/MH3 - '90 8725647 - LOT 130 = GONZALEZ, P - MH2/MH3 - '86 8725868 - LOT 131 = PEREZ, R - MH2/MH3 - '90 8725671 - LOT 132 = ALBA, P 8725761 - LOT 133 = MEDRANO, R 8725787 - LOT 134 = TELLEZ, E 8723962 - LOT 135 = MERSCHMAN, K - CA2 - '80 8723989 - LOT 136 = MUGARRA, G - MH2 - '80 LOT 137 = SLABS - 12X24 '90, 14X14 '88 - 9/18/02, SB. 8724004 - LOT 138 = LOPEZ, E 8724021 - LOT 139 = GARCIA, C 8724047 - LOT 140 = SANCHEZ, D - MH2/MH3 - '80 8724071 - LOT 141 = SANCHEZ, D - MH2/MH3/CA2/CA2 - '80 8724101 - LOT 142 = QUINTANA, A 8724128 - LOT 143 = VALDEZ, R 8724144 - LOT 144 = CHAVIANO, C 8884630 - LOT 145 = FLORES, R 8724161 - LOT 146 = BORRA187 - LOT 147 = RAMOS, O 8724209 - LOT 148 = ALONZO, D - MH2/MH3 - '92 8724225 - LOT 149 = CUENCA, C - MH2/MH3 - '92 8724241 - LOT 150 = MARTIN, C - MH3/MH3/MH2 - '90 8724322 - LOT 151 = GUILLEN, R 8724349 - LOT 152 = HERRERA, J - CARPORT/BAR & SINK - '86 LOT 153 = P/OJ CABANA 12X16, CPT 8X12 & MH4 40 LF ALL 1999. 8724381 - LOT 154 = ESTRADA, J 8724446 - LOT 155 = MARTINEZ, N - MH3 - '76 8724462 - LOT 156 = SOTOLONGO, A - MH2 - '80 8724489 - LOT 157 = QUINTANA, L 8724501 - LOT 158 = RODRIQUEZ, O 8724527 - LOT 159 = RUIZ, M - MH2 - '90 LOT 160 = VACANT WITH SLABS ONLY ALL OLD '80 -4X6,6X6, & 8X8. 8724543 - LOT 161 = PEREZ, M - MH2 - '76 8724551 - LOT 162 = NAVARRETTE 8884508 - LOT 163 = LLORENS, J 8724560 - LOT 164 = LEON, A - MH2/MH3 - '87 8724578 - LOT 165 = DIAZ, J - MH3 - '84 8724586 - LOT 166 = SEBASTIA, R 8724594 - LOT 167 = GONZALEZ, M - MH2 - '88 8724608 - LOT 168 = PIEDRAHITA, A 8724624 - LOT 169 = LOPEZ, V 8724641 - LOT 170 = PEREZ, I 8724667 - LOT 171 = HORTA, J - MH3 - '92 8724683 - LOT 172 = ARBIDE, I - MH2/UB2 - '76 8724713 - LOT 173 = MENDEZ, A 8724730 - LOT 174 = ACEA, A - UB2/MH3/MH2 - '88 8724756 - LOT 175 = HAMEY, U - MH2 - '92 8724772 - LOT 176 = HANNA, V - MH2 - '88 LOT 177 = VACANT - SITTING AREA USED BY PARK. 8724811 - LOT 178 = ACOSTA, O 8724845 - LOT 179 = OLDS, R - 12 X 19 AWNING - '76 8724870 - LOT 180 = OLDS, R - MH2/MH3 - '88 8724918 - LOT 181 = CABERA, J 8724926 - LOT 182 = MENENDEZ, M - MH2 - '90 8725795 - LOT 183 = RODRIQUEZ, R - MH2/MH3 - '88 8725809 - LOT 184 = ROJAS, J - MH3/MH2 - '88 8725817 - LOT 185 = GONZALEZ, H - MH3/MH2 - '88 LOT 186 = SLAB ONLY 24X24 '80. 8725841 - LOT 187 = COTTER, J - MH2/UB2 - '88 8725884 - LOT 188 = ZAYAS, C 8725906 - LOT 189 = RODRIQUEZ, A 8725914 - LOT 190 = MARTINEZ, S 8884494 - LOT 191 = PEREZ, A - MH2/MH3/UB2 - '88 8725957 - LOT 192 = PLASENCIA, R 8725965 - LOT 193 = DIAZ, R - MH2 - '94 8725981 - LOT 194 = LOPEZ, A 8726007 - LOT 188 8726023 - LOT 196 = DOUGHTY, G 8726040 - LOT 197 = FLEITAS, R - MH2 - '90 8884486 - LOT 198 = GONZALEZ, A - MH2 - '90 8726198 - LOT 199 = DIAZ, B - MH3/MH2/MH2 - '88 8726210 - LOT 200 = RUANO, B 8726236 - LOT 201 = DIAZ, A 8726252 - LOT 202 = ALVAREZ, R - MH3/MH2 - '88 8884478 - LOT 203 = VALOR, J - MH2/MH3 - '82 8726287 - LOT 204 = CRUZ, J 8726309 - LOT 205 = DE LAOSA, P 8726317 - LOT 206 = COLLAZO, E 8884460 - LOT 207 = HUME TRADING - MH2 - '91 8884451 - LOT 208 = ALAYON, R - MH2/MH3 - '92 8726350 - LOT 209 = PARIS, J - UB2/MH2/MH3 - '86 8726384 - LOT 210 = GARCIA, A - MH2/MH2/MH3 - '88 LOT 211 = SPF 12X20 '98 & MH4 124 LF 4' HIGH. P/U FOR 2003. 8726406 - LOT 212 = CABRERA, R 8884443 - LOT 213 = JORGE, J 8726422 - LOT 214 = GONZALEZ, V - UB2/UB2/UB2/WD2/MH2/MH3 - '90 8726431 - LOT 215 = RODRIQUEZ, P 8726465 - LOT 216 = ARVIDSON, L 8726481 - LOT 217 = ADRIAN, P - MH2/WD2 - '90 8726503 - LOT 218 = FERNANDEZ, A - MH2/MH2/WD2/MH3 - '92 8723997 - LOT 219 = DIAZ, A 8725001 - LOT 220 = DELGADO, O - MH3/MH3 - '92 8725019 - LOT 221 = VEREZ, H - UB2/MH2/MH3 - '92 8725035 - LOT 222 = OROZCO, A 8725060 - LOT 223 = BAYONA, R 8725086 - LOT 224 = CORONEL, A - MH2/UB2/MH3 - '88 8725108 - LOT 225 = FERNANDEZ, A 8725124 - LOT 226 = MARTINEZ, R 8884435 - LOT 227 = MARTINEZ, R 8725132 - LOT 229 = VELOSA, A 8884427 - LOT 230 = COLL, F - MH3/UB2/UB2 - '90 LOT 231 = SLAB ONLY 8725141 - LOT 232 = PEREZ, J - MH2 - '88 8725159 - LOT 233 = HERNANDEZ, A - WD2/MH2 - '88 LOT 234 = OLD SLAB 24X30 '86, FN2 42X3 '98, & CBS MH4 12X40 '89. P/U FOR 2003. LOT 235 = SLAB 24X30 '86, AP2 10X20 '96. 8725167 - LOT 236 = MC NAB, L 8725191 - LOT 237 = HAAS, A - MH2 - '95 8884419 - LOT 238 = LOVERMI, J 8725213 - LOT 239 = GARCIA, E - MH2/MH2/MH3 - '92 8725248 - LOT 240 = CORTES, R - CABANA - '92 8884401 - LOT 241 = NEW FANTASY 8906188 - LOT 242 = HEVIA, R - MH3 '96 LOT 243 = TK3 OWNED BY PARK. 8884389 - LOT 244 = = PEREZ, A 8729090 - LOT 246 = AGUILAR, M 8725302 - LOT 247 = SARDVY, D 8725329 - LOT 248 = HUERTA, A - MH2/MH3 - '92 8725345 - LOT 249 = BITTLEMAN, N - WD2/MH3/MH2 - '92 LOT 250 = MH ONLY - 60 LF OF MH4. 8725370 - LOT 251 = HERNANDEZ, N - MH2/MH3/WD2 - '88 8725396 - LOT 252 = HERNANDEZ, N - MH2/MH3 - '90 8725418 - LOT 253 = FOLGAR, M - UB2/MH2/MH2/MH3 - '88 8725477 - LOT 254 = LOYNAZ, M - SCREEN PORCH - '87 8725485 - LOT 255 = GARRO, L - MH3 - '87 8725493 - LOT 256 = BENCOMO, E 8884362 - LOT 257 = GARRO, L - UB2 - '94 8725507 - LOT 258 = PEREZ - SCREEN CPORCH - '98 8725515 - LOT 259 = CALIL, A 8721714 - LOT 260 = RODRIQUEZ, L LOT 261 = SLAB 6X12 '86, AP2 6X24 '86. 8721722 - LOT 262 = PEREZ, P 8721731 - LOT 263 = CHANG, E 8721871 - LOT 264 = CORDERO, P - MH2/MH3 - '88 8721889 - LOT 265 = VILA, A 8721901 - LOT 266 = VARELA, O 8721919 - LOT 267 = MENDEZ, R 8721935 - LOT 268 = BARRENCECH - MH2/UB2/MH3 - '86 8721951 - LOT 269 = GONZALEZ, E 8721960 - LOT 270 = DELVALLE - MH2 - '90 LOT 271 - TONY HUERTA - PCH 12X20 WITH TILES '96. P/U FOR 2003. 8721994 - LOT 272 = PENA, S - MH2 - '88 8722001 - LOT 273 = NINEHOUSER 8722028 - LOT 274 = ODIO, J 8722044 - LOT 275 = ALVAREZ, E 8722061 - LOT 276 = TAPANEZ, E 8722087 - LOT 277 = GONZALEZ, O 8722109 - LOT 278 = PAEZ, P 8722117 - LOT 279 = GONZALEZ, E 8722133 - LOT 280 = IGLESIAS, J - MH3/MH3 - '88 8722141 - LOT 281 = GARCIA, P - MH2/MH3 - '88 8722168 - LOT 282 = ARANGO, R 8722184 - LOT 283 = LEAL, I - MH2/MH2/MH3 - '88 8722206 - LOT 284 = HERNANDEZ, M - CABANA - '86

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	06306854	02/06/2007	12/04/2007	1		FIRE DAMAGED MH/DEMOLITION/ REMOVAL OF DEBRIS

Parcel Value History

Certified Roll Values.

View Taxes for this Parcel.

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	0	0	373	373	196	0	373
2010	0	0	179	179	179	0	179
2009	0	0	1,073	1,073	1,073	0	1,073
2008	0	0	1,073	1,073	1,073	0	1,073
2007	0	0	3,408	3,408	3,408	0	3,408
2006	0	0	3,408	3,408	3,408	0	3,408
2005	0	0	2,045	2,045	2,045	0	2,045
2004	0	0	3,408	2,044	2,044	0	2,044
2003	0	0	3,408	2,044	2,044	0	2,044
2002	0	0	3,408	2,044	2,044	0	2,044
2001	0	0	3,408	2,044	2,044	0	2,044
2000	0	0	3,408	2,044	2,044	0	2,044

1999	0	0	3,408	2,044	2,044	0	2,044
1998	0	0	3,408	2,045	2,045	0	2,045
1997	0	0	3,408	2,045	2,045	0	2,045
1996	0	0	3,408	2,045	2,045	0	2,045
1995	0	0	3,408	3,408	3,408	0	3,408
1994	0	0	3,408	3,408	3,408	0	3,408
1993	0	0	3,408	3,408	3,408	0	3,408
1992	0	0	3,408	3,408	3,408	0	3,408
1991	0	0	3,408	3,408	3,408	0	3,408
1990	0	0	3,408	3,408	3,408	0	3,408
1989	0	0	3,408	3,408	3,408	0	3,408
1988	0	0	3,408	3,408	3,408	0	3,408
1987	0	0	3,744	3,744	3,744	0	3,744
1986	0	0	63,180	63,180	63,180	0	63,180
1985	0	0	63,180	63,180	63,180	0	63,180
1984	0	0	63,180	63,180	63,180	0	63,180
1983	0	0	64,000	64,000	64,000	0	64,000
1982	0	0	64,000	64,000	64,000	0	64,000

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
7/1/1997	1470 / 0165	55,000	WD	Q
2/1/1974	802 / 2433	16,000	00	Q

This page has been visited 6,853 times.

Monroe County Property Appraiser
 Karl D. Borglum
 P.O. Box 1176
 Key West, FL 33041-1176

Karl D. Borglum
Property Appraiser
Monroe County, Florida

office (305) 292-3420
 fax (305) 292-3501
 Website tested on Internet Explorer

GIS Mapping requires Adobe Flash 10.3 or higher.
 (An Export Map widget is in the lower left corner.)

Property Record View

Alternate Key: 1593028 Parcel ID: 00483400-000000

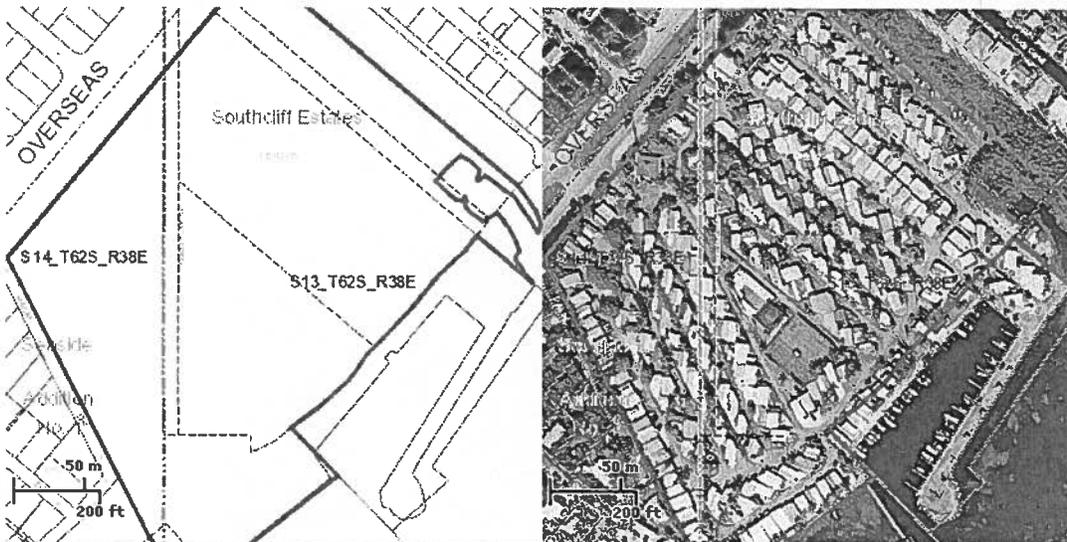
Ownership Details

Mailing Address:
 KEY LARGO OCEAN RESORTS CO-OP INC
 94825 OVERSEAS HWY
 KEY LARGO, FL 33037

Property Details

PC Code: 28 - PARKING LOTS, MOBILE HOME PARKS
 Millage Group: 500P
 Affordable Housing: No
 Section-Township-Range: 13-62-38
 Property Location: 94825 OVERSEAS HWY KEY LARGO
 Subdivision: SOUTHCLIFF ESTATES
 Legal Description: SOUTHCLIFF ESTS PB2-45 KEY LARGO PT TR 9-10-11 (14.65AC) PT LINE ROAD (.75AC) PT NE 1/4 OF SE 1/4 (5.1AC) PT GOV LT 3 (.6AC) & ADJ BAYBTM (5.22AC) II DEEDS 21847, 24104, 24151 OR44-194/195 OR470-689/695 OR474-441/444 OR563/785 OR807-357/359Q OR810-357/359Q OR810-363/372 OR834-377/381Q RE'S: 8865, 8867, 8868, 8887, 8889, 48341, 48342, 48343 & 48344 COMBINED PER OWNERS REQUEST 5-24-85 OR1027-1281/1282AMD OR2270-538/40C OR2343-927/929C OR2465-1541/1542Q/C OR2465-1543/1544(ASSN/LEASE)

Parcel Map (Click to open dynamic parcel map)



Land Details

Land Use Code	Frontage	Depth	Land Area
02RV - REC VEHICLE PARK	0	0	25.57 AC

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	RW2:RETAINING WALL	200 SF	0	0	2005	2006	1	50
0	CL2:CH LINK FENCE	5,150 SF	0	0	2005	2006	1	30
0	AP2:ASPHALT PAVING	450 SF	0	0	2005	2006	1	25
5	PT3:PATIO	2,200 SF	0	0	1975	1976	1	50
7	BR2:BOAT RAMP	667 SF	29	23	1975	1976	2	60
8	DK4:WOOD DOCKS	1,936 SF	242	8	1975	1976	3	40

13	SW2:SEAWALL	1,662 SF	277	6	1975	1976	2	60
14	SW2:SEAWALL	4,512 SF	752	6	1975	1976	2	60
15	DK3:CONCRETE DOCK	1,662 SF	277	6	1975	1976	2	60
16	DK3:CONCRETE DOCK	4,512 SF	752	6	1975	1976	2	60
17	DK4:WOOD DOCKS	720 SF	0	0	1975	1976	3	40
18	DK4:WOOD DOCKS	144 SF	0	0	1975	1976	3	40
20	AP2:ASPHALT PAVING	133,450 SF	0	0	1975	1976	2	25
21	FN2:FENCES	2,500 SF	625	4	1992	1993	4	30
22	CL2:CH LINK FENCE	380 SF	76	5	1975	1976	2	30
23	PT3:PATIO	1,677 SF	39	43	1975	1976	2	50
24	FN2:FENCES	672 SF	84	8	1975	1976	4	30
29	CA2:CARPORT	300 SF	25	12	1975	1976	5	50
33	SW2:SEAWALL	7,650 SF	765	10	1975	1976	1	60
34	SW2:SEAWALL	2,280 SF	380	6	1975	1976	1	60
35	DK4:WOOD DOCKS	2,600 SF	0	0	1975	1976	3	40

Appraiser Notes

KEY LARGO OCEAN RESORTS CO-OP. WATERFRONT SITES = 23; VIEW SITES = 11; DRY SITES = 253 TOTAL = 287 2001/06/25 FIELD INSPECTED, PHOTOS ON FILE. SEWAGE TREATMENT PLANT IS IN LAND VALUE. BLDG 1 = RECREATION BLDG BLDG 2 = MAINT. GARAGE BLDG 3 = OCEANSIDE CAFE & MARINA BLDG 4 = RESORT OFFICE BLDG 5 = BATH-HOUSE BLDG 6 = BATH-HOUSE BLDG 7 = BATH-HOUSE BLDG 8 = BATH-HOUSE BLDG 9 = MANAGERS RES. 2002/9/3 SB, SEE AK:1593010 FOR LIST OF MISC IMP ON TPP AND OTHER TPP ACCOUNTS. 6/14/01 2001 AUDIT PARCEL.

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	01303132	09/21/2001	12/31/2005	1		CHAIN LINK FENCE
	04305555	12/22/2004	12/31/2005	1		CONCRETE WALL
	05300446	03/22/2005	12/31/2005	1		PAVEMENT OF TWO RADIUS
1	9733194	03/11/1998	01/01/1999	1	Commercial	REPLACE GUARDHOUSE ROOF
	3302138	06/10/2003	01/01/2004	1		REROOF TO CLUBHOUSE

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	0	381,688	6,712,125	7,093,813	7,093,813	0	7,093,813
2010	860,455	489,004	6,712,125	7,734,790	7,734,790	0	7,734,790
2009	888,107	499,745	7,191,563	7,734,790	7,734,790	0	7,734,790
2008	899,581	510,379	14,383,125	13,967,258	13,967,258	0	13,967,258
2007	709,945	426,105	14,383,125	13,967,258	13,967,258	0	13,967,258
2006	725,682	389,367	14,383,125	15,498,174	15,498,174	0	15,498,174
2005	730,163	388,188	7,479,225	8,597,576	8,597,576	0	8,597,576
2004	721,678	394,277	7,479,225	8,595,180	8,595,180	0	8,595,180
2003	721,678	403,091	7,479,225	8,603,994	8,603,994	0	8,603,994
2002	693,149	411,668	7,479,225	8,584,042	8,584,042	0	8,584,042
2001	693,149	417,759	7,191,563	8,302,471	8,302,471	0	8,302,471
2000	663,088	212,266	6,306,310	7,181,664	7,181,664	0	7,181,664
1999	639,629	287,506	6,264,650	7,191,785	7,191,785	0	7,191,785
1998	441,738	253,016	6,264,650	6,959,404	6,959,404	0	6,959,404
1997	441,738	260,627	6,264,650	6,967,015	6,967,015	0	6,967,015
1996	404,239	267,411	6,264,650	6,936,300	6,936,300	0	6,936,300
1995	404,239	273,859	6,264,650	6,942,748	6,942,748	0	6,942,748
1994	243,864	266,200	5,512,892	6,022,956	6,022,956	0	6,022,956
1993	243,864	278,114	5,512,892	6,034,870	6,034,870	0	6,034,870
1992	243,864	290,071	5,512,892	6,046,827	6,046,827	0	6,046,827
1991	243,864	301,987	5,512,892	6,058,743	6,058,743	0	6,058,743
1990	243,864	313,712	5,512,892	6,070,468	6,070,468	0	6,070,468

1989	243,864	327,230	5,512,892	6,083,986	6,083,986	0	6,083,986
1988	230,246	255,918	5,512,892	5,999,056	5,999,056	0	5,999,056
1987	225,595	265,283	5,512,892	6,003,770	6,003,770	0	6,003,770
1986	199,585	274,534	5,011,720	5,485,839	5,485,839	0	5,485,839
1985	194,887	283,898	5,011,720	5,490,505	5,490,505	0	5,490,505
1984	0	97,959	243,750	341,709	341,709	0	341,709
1983	0	98,980	245,000	343,980	343,980	0	343,980
1982	0	100,000	175,500	275,500	275,500	0	275,500

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/7/2010	2465 / 1541	0	QC	11
5/1/1980	810 / 357	0	QC	Q

This page has been visited 6,866 times.

Monroe County Property Appraiser
 Karl D. Borglum
 P.O. Box 1176
 Key West, FL 33041-1176

**KEY LARGO OCEAN RESORTS CO-OP
INC.**

**DESIGN GUIDELINES AND USE RULES AND
REGULATIONS FOR DEVELOPMENT**

August 15, 2011

PREPARED BY:
ORESTES LOPEZ-RECIO ARCHITECT



10-70-11

1 OF 25 SHTS.

ARCHITECTURAL REVIEW BOARD OF
KEY LARGO OCEAN RESORTS CO-OP, INC.
DESIGN GUIDELINES AND USE RULES AND REGULATIONS
(APPROVED BY THE ASSOCIATION BOARD OF DIRECTORS ON AUGUST 15, 2011)

This document is not intended to change or replace any of the by-laws or rules and regulations as set forth in the **BY-LAWS OR CORPORATE DOCUMENTS OF KEY LARGO OCEAN RESORTS CO-OP, INC.**; it has been promulgated to protect the architectural integrity and harmony of this community.

All structures covered on this document must be in compliance with all rules and regulations promulgated by the authorities having jurisdiction **AHJ**. Compliance with this document does not relieve the unit owner from compliance with the aforementioned rules and regulations of the **AHJ**.

Permits and inspections are the **SOLE** responsibility of the unit owner after prior approval and issuance of an authorization letter to proceed by this Board.

The attached Graphic Architectural Guidelines Rules and Regulations shall be used in conjunction with this document. In the event that conflicting information is found between the two documents, the more restrictive rule shall govern. In the event that conflicts are found in reference to measurements the dimensions depicted on the graphic guidelines shall govern.

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- g. Massing
- h. Architectural Review Board
- i. Project review procedure
- j. Community Parking Regulations

II. Building Guidelines Rules and Regulations

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IV. Pre-Approved Models (Facade)

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Authority

These Design and Use Rules and Regulations for Development have been adopted and approved by the Key Largo Ocean Resorts Co-op Inc. Board of Directors in accordance with the Association by-laws as of August 15, 2011. This document has been adopted not only to protect the architectural integrity and harmony of the community, but also to promote the safety and welfare of residents and to maintain an acceptable quality of life.

This document is provided as a complement to the Association by-laws and is to be implemented as such. It **does not** replace the code requirements mandated and enforced by the AHJ.

Definitions

Accessory Shoreline Structures and Plantings: Any accessory structure constructed or shrub or tree planted as specified under these guidelines.

Association: legal entity holding fee simple title ownership of the land. Key Largo Ocean Resorts Co-op Inc. (KLOR)

Architectural Review Board, ARB: entity designated by the KLOR Board of Directors to protect the architectural integrity and harmony of the community.

Board of Directors, BOD: governing body of the association elected by its members.

Authority(ies) having jurisdiction, AHJ: is the governmental agency or sub-agency which regulates the construction process such as but not limited to, County, State and Federal agencies which enforce the building and fire codes.

Unit: The graphical representation of the boundaries of the leased premises on the Site Plan for the specific purpose of the measurement of setbacks and the distance required between buildings.

Setback: is the distance from the unit boundaries to the building envelope. Measured from the boundary(ies) line(s) to the eave or drip-line of the structure, in these guidelines the drip-line is synonymous with the building envelope line. Also the distance between a building and the property line.

Building envelope: the volume created within a unit by establishing the required setbacks from the boundaries and the maximum building height from the crown of the road directly in front of the unit.

Structure: structure used or intended for supporting or sheltering any use or continuous occupancy within the building envelope as a single family residence.

Watercraft: any vessel, boat or personal craft that is designed to move through the water.

Mean high water line: mark established by survey which represents the intersection of the nineteen-year mean high water elevation with the shoreline.

History

Since its inception in the late 1970's as a travel-trailer park, the residents of this community transient and permanent alike have been drawn to use KLOR as a departure port for their fishing expeditions as well as other sea-related activities. The strategic location proffered by Key Largo Ocean Resorts is the main reason for its use and occupancy. Any person who has lived or visited this community has always come away with fond memories of the surrounding sea, its deep water access and the overall views and vistas available from the shoreline.

Mission Statement

On June 5, 2010 an overwhelming majority of KLOR shareholders voted to adopt the proposed Site Plan which these Design Guidelines and Use Rules and Regulations are a part of. On September 13, 2011 an overwhelming majority again voted to adopt a modified Site Plan and Design Guidelines and Use Rules and Regulations based on a compromise with dissenting waterfront unit owners.

The main reason for this overwhelming approval is the fact that it brings equity to all shareholders. In order to ensure compliance with the majority's decision while preserving future property values through the development of a cohesive community, the KLOR BOD has devised a tool whereby all shareholders can design and build their homes through the use of design and construction professionals and while doing so also maintain and preserve the character and architectural style of their community.

The intent of the Key Largo Ocean Resorts Co-op Inc., Design Guidelines and Use Rules and Regulations is to create and maintain a harmonious and cohesive architectural environment through the use of simple architectural design elements and materials

Project Program

To design a community consisting of two hundred eighty four (285) new single family homes, an existing office structure, an existing recreation building structure, an existing marina grill structure, an existing tennis/basketball amenity and a new manned entry gatehouse structure all within a waterfront twenty three point zero four (23.04) acre site in Key Largo, Florida.

Parking for two motor vehicles and one watercraft shall be provided within the building envelope of each unit.

The first habitable level of all unit structures shall be elevated to comply with flood plain requirements.

Property setbacks for new construction and other requirements such as open community area and buffers are as follows:

Setback at Northwest (Overseas Highway) property line: twenty (20) feet scenic corridor.

Setback at Southwest property line: twenty five (20) feet landscape buffer

Setback at Northeast property line: twenty five (20) feet landscape buffer

Shoreline setback at Southeast (Atlantic Ocean) property line: twenty (20) feet

Open community area required: one hundred and two thousand (102,000) square feet

Design concept

In the context of establishing this community's architectural style and character it is important to consider the relationship between the user and his ultimate goal which the use and enjoyment of the adjacent Atlantic Ocean. It follows that a marine-like theme would be the best suited to both identify and reinforce this relationship.

There are two program requirements which are crucial to the successful architectural design for this community.

First, almost all of the 285 residents own some type of watercraft and motor vehicle and the available common areas is limited to the use of access roads, community buildings and open community space, thus the need to locate them within the individual unit envelope.

Second, this community is situated on a flood zone, thus the lowest habitable level must comply with the federally mandated flood requirements.

The placement of the lowest habitable level living area on stilts to comply with flood and parking requirements provides the physical solution to the program requirement as far as functionality of design is concerned and in doing so it establishes the form and character of the homes of this community.

Providing a rectangular layout following the building envelope will provide the most cost-efficient plan and maximize the use of the available space, which in this project is a must.

The architectural style then becomes a natural progression of the island/marine theme which can best be described as Florida Caribbean Vernacular.

The character is then enhanced by the use of recessed porches and terraces, the style of the windows and doors and their trim, the metal roofing and the horizontal siding

Massing

The program which requires the placement of 285 homes on this site together with the need to store motor vehicles and watercraft within the individual unit envelope due to site constraints as well as the need to comply with flood requirements for this site will help shape the strong form of these houses. A rectangular plan raised on stilts provides the best architectural solution as the massing can then be articulated through the juxtaposition of volume and void.

Porches and terraces will be recessed within the volume of the structure under one roof

(Hipped or gabled or a combination of both) the pitch will a constant minimum of 4.5 in 12.

Terraces recessed within the volume of the structure at the rear will be mandatory on those houses which have their rear façade facing the shoreline.

The one or two story houses will be elevated off the ground via the use of 16"x16" concrete stilts.

Vertical circulation from ground level to first habitable level may be provided on the exterior, outside of and attached to the structure envelope, for maximization of the usable living space or it may be integrated within the structure design.

Architectural Review Board

The Board of Directors shall appoint three (3) association members to serve on the Architectural Review Board on a voluntary basis for a period of at least six (6) months. The ARB shall be composed of at least one Architect, one General contractor and one lay person. They will convene the first (1st) Wednesday of every month.

Project Review Procedure

KLOR association members interested in developing their unit must apply to the KLOR ARB for review and approval prior to submitting their permit plans to the Monroe County Building department. The following items are required for submittal to the Architectural Review Board:

1. Completed KLOR ARB application and fee of \$50.00
2. Site plan drawing at a suitable scale depicting the location of the proposed structure in compliance with these rules and regulations.
3. Landscaping Plan depicting compliance with the Approved Overall project landscaping plan.
4. Floor plans drawn at ¼"=1'-0" scale depicting room designations and dimensions.
5. Exterior elevations depicting all four facades of the proposed structure following the design elements and materials specified by the Rules and regulations.

Completed application packages and required fee must be submitted by the fifteenth (15th) of the preceding month to be placed on the agenda for the next meeting.

Meeting agendas will be made available the week prior to the KLOR ARB meeting and can be obtained at the Association's main office. Applicants should be present during

the review and are encouraged to participate in the review process. Applicants will be advised of the disposition of the review during the meeting and if approved, the KLOR ARB will draft and sign an authorization letter to proceed with the building permit process.

The KLOR ARB will review the design and materials specified for the exterior of the home based on but not limited to the following criteria as set forth on the Design Guidelines and Rules and Regulations:

- a. Architectural style (Florida Caribbean Vernacular), character, scale and appropriateness.
- b. Use of design elements as set forth on the Design Guidelines Rules and Regulations
- c. Compliance with landscaping requirements as set forth on the Approved Landscaping Plan.
- d. Proper screening of exterior mounted equipment
- e. Façade color scheme.

Community Parking Regulations

Community or visitor parking spaces are available throughout the project for the use of visitors and or residents alike.

Parking of any watercraft in these spaces is strictly prohibited.

Parking of motor vehicles and or watercraft is strictly prohibited on the roads providing access to the units as well as in the setback area of any unit.

All vehicular access roads must be kept clear of vehicles and watercraft to allow for ingress and egress of emergency vehicle. *

***This regulation will be strictly enforced and all vehicles found in violation will be towed away at the shareholder or visitor's expense.**

Building Envelope

The volume of the building envelope is established by two physical parameters, both mandated by the Monroe County Building and Planning Department and the Monroe County Fire Department.

The first parameter is the setback distance from the unit boundaries, the second parameter is the vertical distance from the crown of the road in front of the unit to the to the highest point of the structure.

The general setback required from all unit boundary lines is a **minimum** of five feet zero inches (5'-0") measured from boundary to the building envelope line. The required minimum eave length is zero feet six inches (0'-6") therefore the minimum structure to structure distance is eleven feet zero inches (11'-0").

The rear setback required at the shoreline structures is twenty feet zero inches (20'-0") measured from the mean high water line to the building envelope.

The minimum rear setback required at buffer yard structures is twenty feet zero inches (20'-0") measured from the project property line to the building envelope, unless otherwise noted on lot-specific regulations

A non-combustible stairway from the ground floor to the first elevated habitable level is permitted within the side setback area. Refer to the vertical circulation section for the minimum requirements if this stairway is part of the design.

The maximum structure height is thirty five feet zero inches (35'-0") measured from a point at the crown or centerline of the road in front of the unit to the highest point of the structure's roof.

Unit off-street parking required

A minimum of two (2) 8'-6"x18'-0" off-street parking spaces are required to be located at ground level within the building envelope preferably below the first habitable living level. In addition all personal watercraft and vessels must be kept within the same area. Please note that parking or keeping of the watercraft, motor vehicles or vessels outside of the unit's building envelope is strictly prohibited.

The parking area floor shall be a non-combustible permeable material such as but not limited to concrete pavers and or river stones.

The ceiling above the parking area shall have a minimum fire rating of one (1) hour for the assembly.

There shall be no mechanical or other repairs performed on the vehicles and or watercraft while stationed within the building envelope or in any community area.

Please refer to the community/visitor parking section for parking requirements and regulations outside of the unit.

Ground floor storage

Each unit is allowed a ground floor storage area not to exceed a total of two-hundred and ninety-nine (299) square feet in area located within the structure envelope. This storage area if provided may not encroach into the required off-street parking and watercraft area.

Construction of ground floor storage shall comply with all the requirements of the AHJ

Structure height

The maximum structure height shall be 35'-0" to be measured from a point at the crown (centerline) of the road directly in front of the unit vertically up to the highest point of the structure's roof.

The minimum floor elevation of the lowest habitable level shall be governed by Flood plain requirements and these guidelines and regulations.

The access opening to the ground floor off-street parking area shall have a minimum height of ten (10) feet above the interior parking surface elevation. The height of this opening may not exceed twelve (12) feet above the interior parking surface elevation.

The minimum clear floor to ceiling height of any habitable level shall be eight (8) feet, unless a different floor to ceiling height is otherwise required (never less than 8 feet) by any other section of this document.

Porches and terraces

All structures within units **shall** incorporate a porch at the façade facing the street. This porch shall be recessed within the building envelope and may **not** encroach into the front setback.

All structures within units **may** incorporate a rear terrace. This terrace if provided shall be recessed within the building envelope and may **not** encroach into the rear setback.

All structures within units at the shoreline area shall incorporate rear terraces in their design, as stipulated in the site-specific Design Guidelines and Use Rules and Regulations section of this document.

Fenestration

All fenestration shall be energy efficient and bear the Energy Star label.

Windows:

Type: single hung metal framed with impact-resistant glazing.

Frame color: White

Glazing: clear or tinted impact glass with a "U" factor of 0.75 Btu/hr-sf-°F and a minimum solar heat gain coefficient (sghc) of 0.60

Appearance: multi-pane with a six (6) over six (6) glass pattern at front elevation

Trim: minimum 4" wide at sides and 6" at top. All trim shall be white

Location:

When the floor to ceiling height is nine (9) feet at any habitable level the top of the window shall be set at eight (8) feet above the finished floor and the window height shall be adjusted accordingly.

When the floor to ceiling height is eight (8) feet at any habitable level, the top of the window shall be set at 7'-0" above the finished floor and the window height shall be adjusted accordingly.

Exterior doors:

Shall be metal insulated with wood frame with a minimum "U" value of 0.56 Btu/hr-sf-°F.

Appearance minimum six (6) panels

Trim: minimum 4" wide at sides and 6" at top. All trim shall be white

Vertical circulation

In order to maximize the use of the living space, the structure's design may incorporate a non-combustible exterior stairway to provide access from the ground level to the first elevated habitable level.

Such stairway if provided may be located within the side setback area provided it is attached to the structure. The width of the stairway from the face of the structure envelope towards the setback area cannot exceed three (3) feet.

If provided in contiguous structures, this stair may not face the stair from the adjacent structure.

It is suggested that when provided, the stair be located on the side of the structure opposite to the side receiving the prevailing summer winds.

Elevators that provide access by the disabled to the first elevated habitable level will be permitted by these Guidelines.

Roof

Roof shapes:

1. Gable
2. Hipped
3. Combination*

* Flat usable roof deck areas may be incorporated into the roof design provided they are not visible from the street.

Roof Slope:

Minimum roof slope shall be 4.5" in 12" maximum roof slope shall be 6" in 12"

Roof finishes:

1. Aluminum Standing Seam
2. White flat cement tile

Structure construction and exterior elements

Structure construction shall be either a manufactured single family home or a CBS single family home.

Ground to first elevated level:

Reinforced concrete or reinforced masonry columns 16"x16" spaced as per structural design. Reinforced concrete beams shall the structural support frame. Height of beams shall be kept uniform 18" above columns

Bearing walls:

Wood, metal or reinforced concrete masonry, the minimum insulation value shall be R19 for wood and metal walls and R5 for masonry walls.

Intermediate floors:

Shall be constructed of wood, metal, reinforced concrete or a combination of these. The bottom of first elevated floor shall have a fire resistance rating of one (1) hour when vehicles and or watercraft will be stationed under it.

Roof:

Prefabricated wood trusses or metal trusses with exterior grade plywood sheathing, minimum insulation value shall be R30.

Reinforced concrete with built-up roof deck minimum insulation value shall be R12

Guardrails and handrails: design of exterior guardrails shall be simple and aesthetically integrated in the façade design. Intricate ornate designs are discouraged. Material shall be aluminum, color to be white.

Exterior cladding:

All construction types shall have their exterior walls clad with cement-based "Hardieplank" horizontally applied lap siding over a water-resistant membrane. The exposure of the siding shall be a minimum of 5" and a maximum of 6". All corners shall be trimmed with a minimum of 4" material.

Site-specific Building Rules and Regulations and Use Restrictions

Units 1 through 5

The use of the area defined by the buffer setback shall be granted to the shareholders that have units contiguous to the buffer area and abutting this setback provided the following conditions are met:

1. The area is defined by measuring twenty (20) feet from the property line to the contiguous unit boundary.
2. This area is a landscaped buffer area and permanent structures are prohibited.
3. This area shall be maintained free of debris, trash or any other material detrimental to the visual enjoyment of the space.
4. There shall be no fences erected in this area

5. Setbacks shall be five feet zero inches (5'-0") from all unit boundary lines to the building envelope.

Units 6 through 26:

The use of the area defined by the buffer setback shall be granted to the shareholders that have units contiguous to the buffer area and abutting this setback provided the following conditions are met:

1. The area is defined by measuring twenty (20) feet from the property line to the contiguous unit boundary.
2. This area is a landscaped buffer area and permanent structures are prohibited.
3. This area shall be maintained free of debris, trash or any other material detrimental to the visual enjoyment of the space.
4. There shall be no fences erected in this area
5. The front setback shall be ten feet zero inches (10'-0") from the street-side boundary line to the building envelope.
6. The rear setback shall be twenty feet zero inches (20'-0") from the overall project property line to the unit's rear boundary or eave line.
7. Side setbacks shall be five feet zero inches (5'-0") from boundary lines to the building envelope

Unit 27:

The use of the area defined by the buffer setback shall be granted to the shareholders that have units contiguous to the buffer area and abutting this setback provided the following conditions are met:

1. The area is defined by measuring twenty (20) feet from the property line to the contiguous unit boundary.
2. This area is a landscaped buffer area and permanent structures are prohibited.
3. This area shall be maintained free of debris, trash or any other material detrimental to the visual enjoyment of the space.
4. There shall be no fences erected in this area
5. The front setback shall be five feet zero inches (5'-0") from the street-side boundary line to the building envelope.
6. The rear setback shall be twenty feet zero inches (20'-0") from the overall project property line to the unit's rear boundary or eave line
7. Side setbacks shall be five feet zero inches (5'-0") from boundary lines to the building envelope

Units 28 through 38:

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/riprap and between the seaward projections of the side boundaries shall be granted exclusively to the respective shareholders (and their guests). The KLOR BOD will not interfere with any riparian rights appurtenant to those units. The KLOR BOD does not have sufficient information to determine the extent of those rights; therefore, the establishment of those rights may be the burden of the unit owner upon its application to the respective AHJ. The following paragraphs specify the methodology and conditions for use of this area.

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/riprap and between the seaward projections of the side boundaries is divided into two parts:

- (1) The first part is a maintenance/repair easement contiguous and parallel to the seaward edge of the seawall. This easement shall include the seawall/riprap in its entirety as well as the minimum first two (2) feet upland from the upland face of the seawall/riprap. Because the seawall/riprap meanders, the upland face of the seawall may result in the easement exceeding two feet but shall not encroach on the area designated for accessory shoreline structures and plantings. The purpose of this easement is to enable KLOR to maintain, repair and replace any damaged seawall. **This easement area shall be free of any structure and or encumbrance temporary or otherwise except for the rip rap seawall and its ground surface (excepting for the riprap seawall) shall be uniformly covered with paspalum vaginatum sod (Seashore paspalum).** No structures shall be constructed within this easement area except related to structural repairs and/or replacement of the seawall/riprap in accordance with the form and height of the existing seawall.
- (2) The second part of the area to be used is the area designated for accessory shoreline structures and plantings. This area is defined by a measurement of sixteen (16) feet in a seaward direction from the seaward line of the building envelope.

Refer to the attached diagram representing the maintenance/repair easement and the accessory shoreline structures and planting area.

1. Any and all shareholders who comply with these guidelines shall be granted the privilege to use this shoreline area to erect, build or cause to be constructed an **accessory shoreline structure** solely within this sixteen (16) foot wide designated area contiguous to the applicable unit's seaward boundary line. The accessory shoreline structures shall be limited to those permitted by the AHJ and shall

comply with the additional criteria stated below. In addition, landscaping, fences and movable furniture shall be permitted subject to the requirements stated below.

- A. Gazebos and open shelters shall be constructed of durable water-resistant materials such as painted pressure treated wood or pre-finished PVC or other material.
 - a. Columns shall be minimum 4"x4" for sizes up to 10'x10' and 6"x6" for sizes 11'x11' and over.
 - b. Roof shall be hipped, minimum five in twelve slope, roof material shall match the main structure roof's material and color.
- B. "Chickee" huts shall be permitted, maximum size 10'x10'
- C. Decks on grade shall have their top elevation at at seven (7) inches above grade and shall be constructed of permeable materials to be approved by the ARB. The decks shall allow for infiltration of storm water run-off and shall not encroach into the seawall maintenance easement. Decks shall follow the slope of the grade elevation as established by the approved drainage plans. Decks shall be subject to a side setback requirement of two (2) feet on each side. Decks shall natural wood grain color or painted light gray.
- D. Benches are permitted provided they are constructed of a water-resistant material and may be permanently attached to the ground or deck. Benches shall be white.
- E. Beach type umbrellas are permitted provided they are temporary in nature and are used during daylight hours only.
- F. The total maximum coverage of any structure or deck shall not exceed a total of sixty (60) percent of the upland area of the shoreline setback and shall not be less than two (two) feet from the neighboring unit boundary line.
- G. Low (thirty (30) inches maximum height) open-type picket fences are permitted provided they have one point of connection with the easement area and follow the previously established easement and side setback requirements. Picket fences shall be painted white.
- H. Low planting shrubs (maximum three (3) feet in height when mature) of a Native salt-tolerant species may be planted at the side setback area between units. In addition a maximum of three (3) coconut palms may be planted in this designated accessory structure construction area provided the planting of these Palms does not interfere with the ocean view corridors available between principal structures from the street to the ocean. A landscaping plan shall be submitted for approval by the KLOR ARB.

- I. Lawn furniture shall be permitted to be used in this area provided it is temporary in nature and not attached to the existing ground or deck.
 - J. Any proposed construction and landscaping seaward of the respective unit seaward building envelope line shall be initially reviewed and approved by the KLOR ARB and subsequently be reviewed and approved for permitting by the AHJ including but not limited to Monroe County, The State of Florida and the Federal government as applicable. The AHJ regulations may be applied in a more restrictive manner than those proposed above and no representations are made concerning approval by the AHJ.
2. Temporary ladders are permitted for access to area seaward of the easement provided the owner and user of same provides a "hold harmless" agreement to the KLOR BOD indemnifying the Association from any possible claims arising from any injuries that may occur through their use.
 3. The following structures **shall not be permitted** within the shoreline setback, maintenance/repair easement, designated accessory structure construction area or seaward from the MHWL:
 - a. Pools and or Spas and Water features
 - b. Screen enclosures
 - c. Boat Ramps
 - d. fish cleaning stations
 4. Shareholders granted the privilege of this use shall be responsible for the payment of their proportionate share of property taxes **in addition** to the 1/285 proportionate share promulgated by the yearly budget which is customarily referred to as the monthly maintenance assessment. The exact amount to be paid will be determined once the exact area to be used by each shareholder is established by Survey.

Units 39 through 110 and 126-203 and 207-277:

These units are to conform to the general criteria and use regulations

Units 111 through 116

1. Front setback shall be ten feet zero inches (10'-0") from the street boundary line to the building envelope.
2. Rear setback shall be five feet zero inches (5'-0") from the rear boundary line to the building envelope.
3. Side setbacks shall be five feet zero inches (5'-0") from side boundary lines to the building envelope.

All other requirements shall conform to the general criteria and use regulations

Units 117 through 125:

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall and between the seaward projections of the side boundaries shall be granted exclusively to the respective shareholders (and their guests). The KLOR BOD will not interfere with any riparian rights appurtenant to those units. The KLOR BOD does not have sufficient information to determine the extent of those rights; therefore, the establishment of those rights may be the burden of the unit owner upon its application to the respective AHJ. The following paragraphs specify the methodology and conditions for use of this area.

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/walkway and between the seaward projections of the side boundaries is divided into two parts:

- (1) The first part is a maintenance/repair easement contiguous and parallel to the seaward edge of the seawall. This easement shall include the seawall and walkway in its entirety as well as the minimum first eight (8) feet upland from the seaward face of the seawall. The easement may not encroach on the area designated for accessory shoreline structures and plantings. The purpose of this easement is to enable KLOR to maintain, repair and replace any damaged seawall or walkway. **This easement area shall be free of any structure and or encumbrance temporary or otherwise except for the seawall and the walkway and its ground surface (excepting for the seawall and walkway) shall be uniformly covered with paspalum vaginatum sod (Seashore paspalum).** No structures shall be constructed within this easement area except related to structural repairs and/or replacement of the seawall or walkway in accordance with the form and height of the existing seawall and walkway.
- (2) The second part of the area to be used is the area designated for accessory shoreline structures and plantings. This area is defined by a measurement of twelve (12) feet in a seaward direction from the seaward line of the building envelope.

Refer to the attached diagram representing the maintenance/repair easement and the accessory shoreline structures and planting area.

1. Any and all shareholders who comply with these guidelines shall be granted the privilege to use this shoreline area to erect, build or cause to be constructed an **accessory shoreline structure** solely within this twelve (12) foot wide designated area contiguous to the applicable unit's seaward boundary line. The accessory shoreline structures shall be limited to those permitted by the AHJ and additionally shall comply with the criteria listed below. Landscaping, lawn furniture and fences shall also be permitted subject to the requirements listed below.
 - A. Gazebos and open shelters shall be constructed of durable water-resistant materials such as painted pressure treated wood or pre-finished PVC or other material.
 - a. Columns shall be minimum 4"x4" for sizes up to 10'x10' and 6"x6" for sizes 11'x11' and over.
 - b. Roof shall be hipped, minimum five in twelve slope, roof material shall match the main structure roof's material and color.
 - B. "Chickee" huts shall be permitted, maximum size 10'x10'
 - C. Decks on grade shall have their top elevation is at seven (7) inches above grade and shall be constructed of permeable materials to be approved by the ARB. The decks shall allow for infiltration of storm water run-off and shall not encroach into the seawall maintenance easement. Decks shall follow the slope of the grade elevation as established by the approved drainage plans. Decks shall be subject to a side setback requirement of two (2) feet on each side. Decks shall be natural wood grain color or painted light-gray .
 - D. Benches are permitted provided they are constructed of a water-resistant material and may be permanently attached to the ground or deck. Benches shall be white.
 - E. Beach type umbrellas are permitted provided they are temporary in nature and are used during daylight hours only.
 - F. The total maximum coverage of any structure or deck shall not exceed a total of sixty (60) percent of the upland area of the shoreline setback and shall not be less than two (two) feet from the neighboring unit boundary line.
 - G. Low (thirty (30) inches maximum height) open-type picket fences are permitted provided they have one point of connection with the easement area and follow

the previously established easement and side setback requirements. Picket fences shall be painted white.

- H. Low planting shrubs (maximum three (3) feet in height when mature) of a Native salt-tolerant species may be planted at the side setback area between units. In addition a maximum of three (3) coconut palms may be planted in this designated accessory structure construction area provided the planting of these palms does not interfere with the ocean view corridors available between principal structures from the street to the ocean. A landscaping plan shall be submitted for approval by the Klor ARB.
 - I. Lawn furniture shall be permitted to be used in this area provided it is temporary in nature and not attached to the existing ground or deck.
 - J. Any proposed construction and landscaping seaward of the respective unit seaward building envelope line shall be initially reviewed and approved by the Klor ARB and subsequently be reviewed and approved for permitting by the AHJ including but not limited to Monroe County, The State of Florida and the Federal government as applicable. The AHJ regulations may be applied in a more restrictive manner than those proposed above and no representations are made concerning approval by the AHJ.
2. The following structures **shall not be permitted** within the shoreline setback, maintenance/repair easement, designated accessory structure construction area or seaward from the MHWL:
 - a. Pools and or Spas and Water features
 - b. Screen enclosures
 - c. Boat Ramps
 - d. fish cleaning stations
 3. Shareholders granted the privilege of this use shall be responsible for the payment of their proportionate share of property taxes **in addition** to the 1/285 proportionate share promulgated by the yearly budget which is customarily referred to as the monthly maintenance assessment. The exact amount to be paid will be determined once the exact area to be used by each shareholder is established by Survey.

Units 204 through 206

1. Front setback shall be twenty feet zero inches (20'-0") from the street boundary line to the building envelope.
2. Rear setback shall be five feet zero inches (5'-0") from the rear boundary line to the building envelope.

3. Side setbacks shall be five feet zero inches (5'-0") from side boundary lines to the building envelope.

All other requirements shall conform to the general criteria and use regulations

Unit 278:

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/riprap and between the seaward projections of the side boundaries shall be granted exclusively to the respective shareholder (and his/her guests). The Klor BOD will not interfere with any riparian rights appurtenant to that unit. The Klor BOD does not have sufficient information to determine the extent of those rights; therefore, the establishment of those rights may be the burden of the unit owner upon its application to the respective AHJ. The following paragraphs specify the methodology and conditions for use of this area.

The use of the area defined by the seaward line of the building envelope and upland of the seaward edge of the seawall/riprap and between the seaward projections of the side boundaries is divided into two parts:

- (1) The first part is a maintenance/repair easement contiguous and parallel to the seaward edge of the seawall. This easement shall include the seawall/riprap in its entirety as well as the minimum first two (2) feet upland from the upland face of the seawall/riprap. Because the seawall/riprap meanders, the upland face of the seawall may result in the easement exceeding two feet but shall not encroach on the area designated for accessory shoreline structures and plantings. The purpose of this easement is to enable Klor to maintain, repair and replace any damaged seawall. **This easement area shall be free of any structure and or encumbrance temporary or otherwise except for the rip rap seawall and its ground surface (excepting for the riprap seawall) shall be uniformly covered with paspalum vaginatum sod (Seashore paspalum).** No structures shall be constructed within this easement area except related to structural repairs and/or replacement of the seawall/riprap in accordance with the form and height of the existing seawall.

- (2) The second part of the area to be used is the area designated for accessory shoreline structures and plantings. This area is defined by a measurement of sixteen (16) feet in a seaward direction from the seaward line of the building envelope.

Refer to the attached diagram representing the maintenance/repair easement and the accessory shoreline structures and planting area.

1. Any and all shareholders who comply with these guidelines shall be granted the privilege to use this shoreline area to erect, build or cause to be constructed an **accessory shoreline structure** solely within this sixteen (16) foot wide designated

area contiguous to the applicable unit's seaward boundary line. The placement of accessory shoreline structures shall be limited the northeast section of the aforementioned designated area situated to the northeast and seaward of the unit's building envelope/boundary line, the area southeast and seaward of the unit's building envelope/boundary line shall be kept as a preserve and shall be free of accessory shoreline structures. Accessory shoreline structures where permitted shall be limited those permitted by the AHJ and shall comply with the additional criteria stated below. In addition, landscaping, fences and movable furniture shall be permitted subject to the requirements stated below.

- A. Gazebos and open shelters shall be constructed of durable water-resistant materials such as painted pressure treated wood or pre-finished PVC or other material.
 - a. Columns shall be minimum 4"x4" for sizes up to 10'x10' and 6"x6" for sizes 11'x11' and over.
 - b. Roof shall be hipped, minimum five in twelve slope, roof material shall match the main structure roof's material and color.
- B. "Chickee" huts shall be permitted, maximum size 10'x10'
- C. Decks on grade shall have their top elevation at at seven (7) inches above grade and shall be constructed of permeable materials to be approved by the ARB. The decks shall allow for infiltration of storm water run-off and shall not encroach into the seawall maintenance easement. Decks shall follow the slope of the grade elevation as established by the approved drainage plans. Decks shall be subject to a side setback requirement of two (2) feet on each side. Decks shall be natural wood grain color or painted light gray .
- D. Benches are permitted provided they are constructed of a water-resistant material and may be permanently attached to the ground or deck. Benches shall be white.
- E. Beach type umbrellas are permitted provided they are temporary in nature and are used during daylight hours only.
- F. The total maximum coverage of any structure or deck shall not exceed a total of sixty (60) percent of the upland area of the shoreline setback and shall not be less than two (two) feet from the neighboring unit boundary line.
- G. Low (thirty (30) inches maximum height) open-type picket fences are permitted provided they have one point of connection with the easement area and follow

the previously established easement and side setback requirements. Picket fences shall be painted white.

- H. Low planting shrubs (maximum three (3) feet in height when mature) of a Native salt-tolerant species may be planted at the side setback area between units. In addition a maximum of three (3) coconut palms may be planted in this designated accessory structure construction area provided the planting of these Palms does not interfere with the ocean view corridors available between principal structures from the street to the ocean. A landscaping plan shall be submitted for approval by the KLOR ARB.
 - I. Lawn furniture shall be permitted to be used in this area provided it is temporary in nature and not attached to the existing ground or deck.
 - J. Any proposed construction and landscaping seaward of the respective unit seaward building envelope line shall be initially reviewed and approved by the KLOR ARB and subsequently be reviewed and approved for permitting by the AHJ including but not limited to Monroe County, The State of Florida and the Federal government as applicable. The AHJ regulations may be applied in a more restrictive manner than those proposed above and no representations are made concerning approval by the AHJ.
2. Temporary ladders are permitted for access to area seaward of the easement provided the owner and user of same provides a "hold harmless" agreement to the KLOR BOD indemnifying the Association from any possible claims arising from any injuries that may occur through their use.
 3. The following structures **shall not be permitted** within the shoreline setback, maintenance/repair easement , designated accessory structure construction area or seaward from the MHWL:
 - a. Pools and or Spas and Water features
 - b. Screen enclosures
 - c. Boat Ramps
 - d. fish cleaning stations
 4. Shareholders granted the privilege of this use shall be responsible for the payment of their proportionate share of property taxes **in addition** to the 1/285 proportionate share promulgated by the yearly budget which is customarily referred to as the monthly maintenance assessment. The exact amount to be paid will be determined once the exact area to be used by each shareholder is established by Survey.

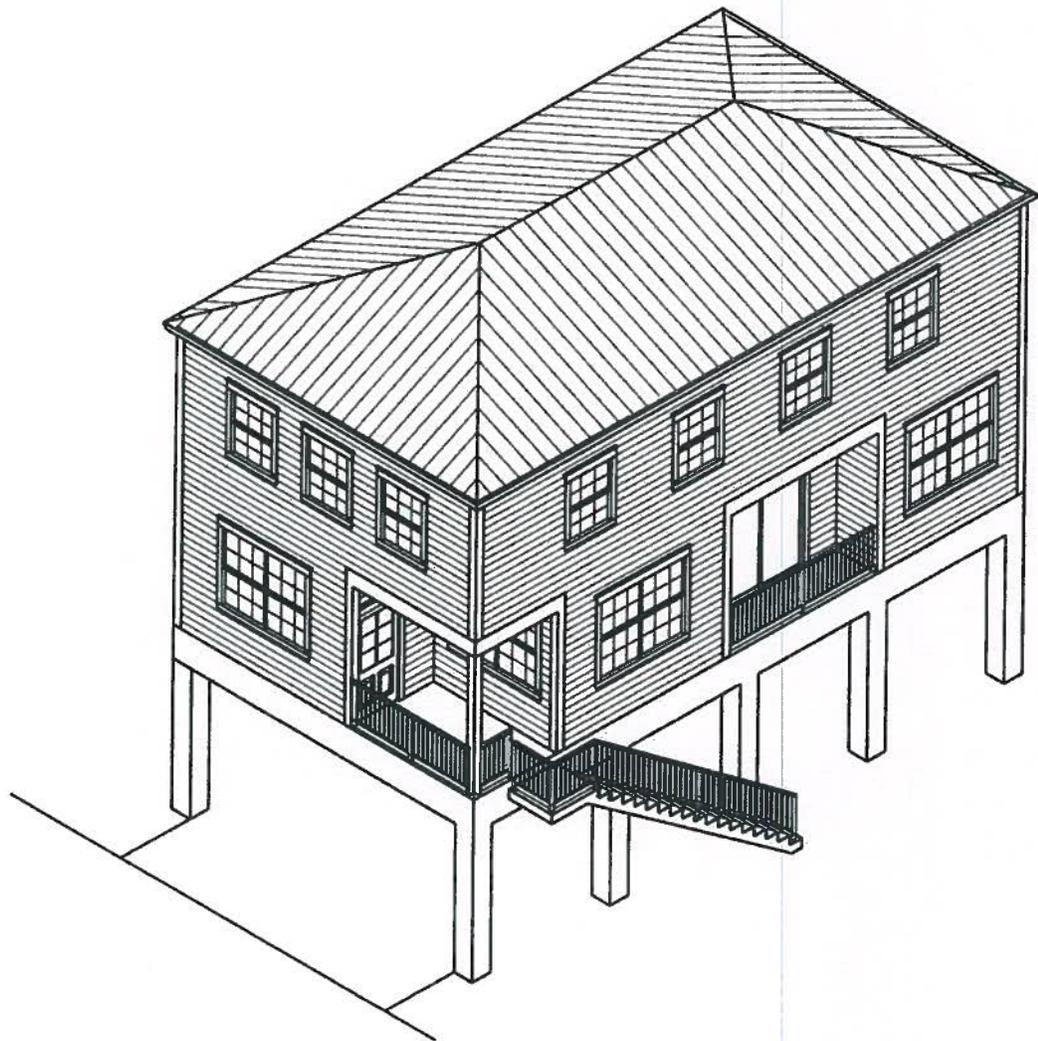
Units 279 through 285:

The use of the area defined by the buffer setback shall be granted to the shareholders that have units contiguous to the buffer area and abutting this setback provided the following conditions are met:

1. The area is defined by measuring twenty (20) feet from the property line to the contiguous unit boundary.
2. This area is a landscaped buffer area and permanent structures are prohibited.
3. This area shall be maintained free of debris, trash or any other material detrimental to the visual enjoyment of the space.
4. There shall be no fences erected in this area
5. Setbacks shall be five feet zero inches (5'-0") from all unit boundary lines to the building envelope.

Pre-Approved Models (Facade)

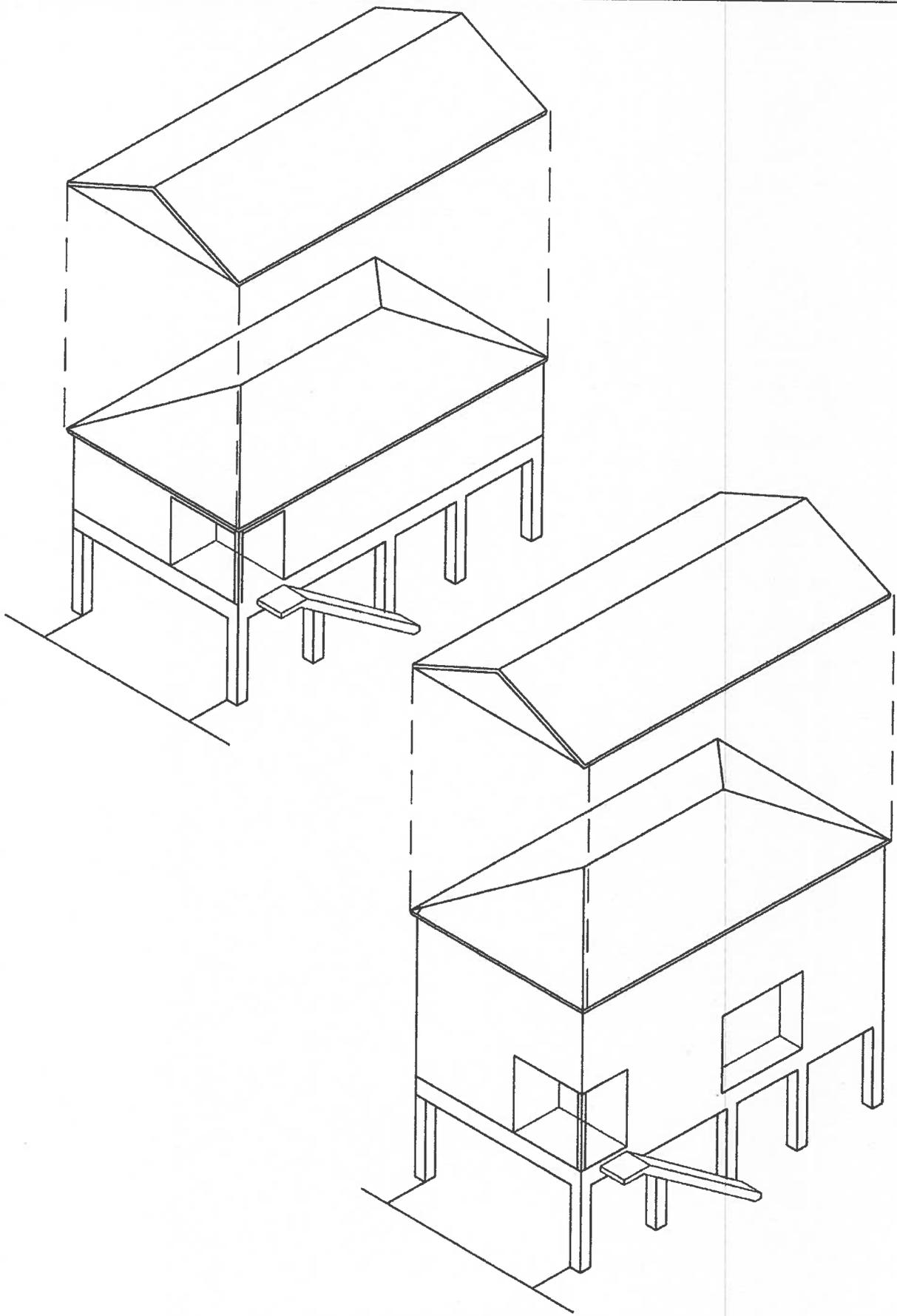
The front rendering of the front elevation (façade) of each of the models listed has been reviewed by the KLOR BOD and has been deemed to conceptually comply with these guidelines. Upon submittal of the actual construction plans of each individual unit to the KLOR ARB they will be reviewed for compliance with the remaining parameters set forth in these guidelines and regulations. The major design elements that will require review of all four elevations to assure continuity and the character of the community are: the exterior stairs, the roof shape, the window size and placement and the exterior cladding.



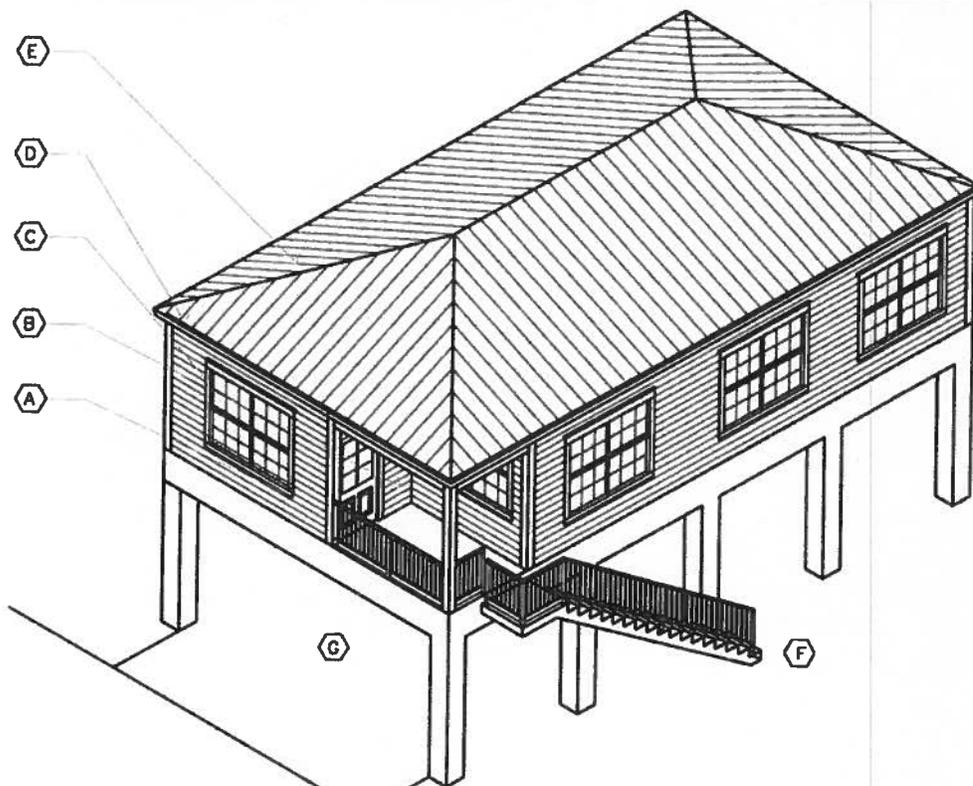
KEY LARGO OCEAN RESORTS
ARCHITECTURAL GRAPHIC DESIGN
GUIDELINES
AND USE RULES AND REGULATIONS FOR
DEVELOPMENT
August 15, 2011

PREPARED BY: ORESTES LOPEZ-RECIO, ARCHITECT

[Signature]
10.10.11
1 OF 46 SHTS

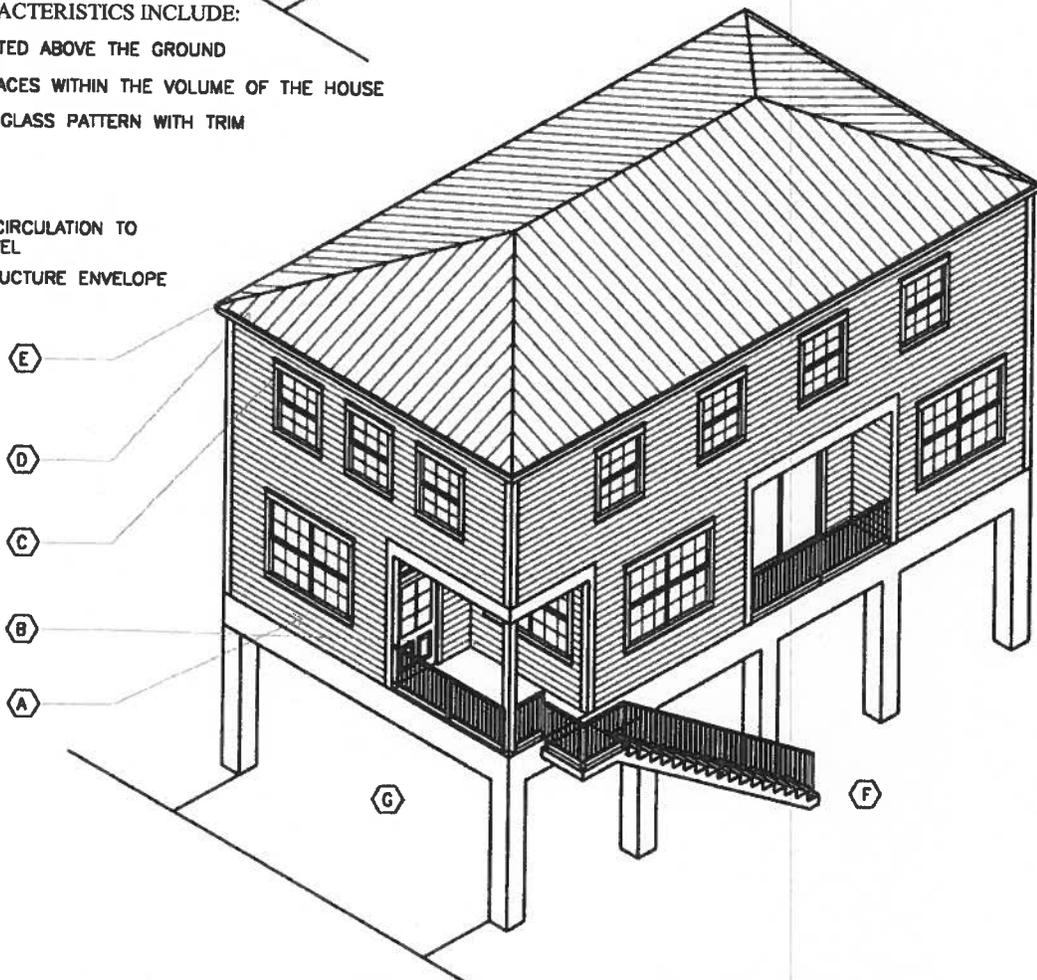


MASSING

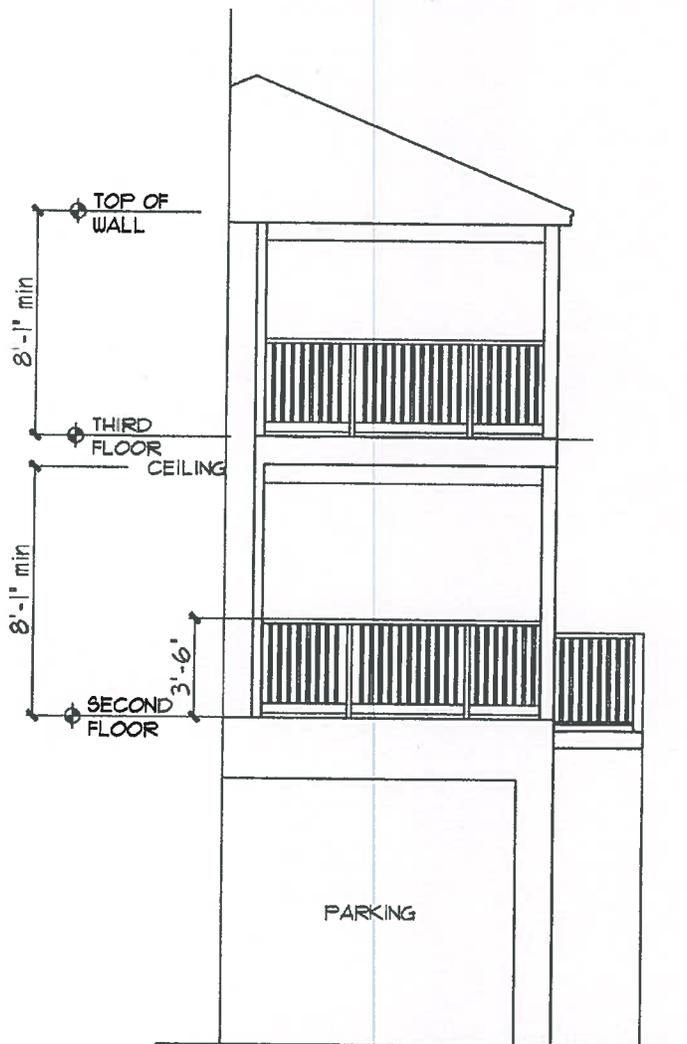
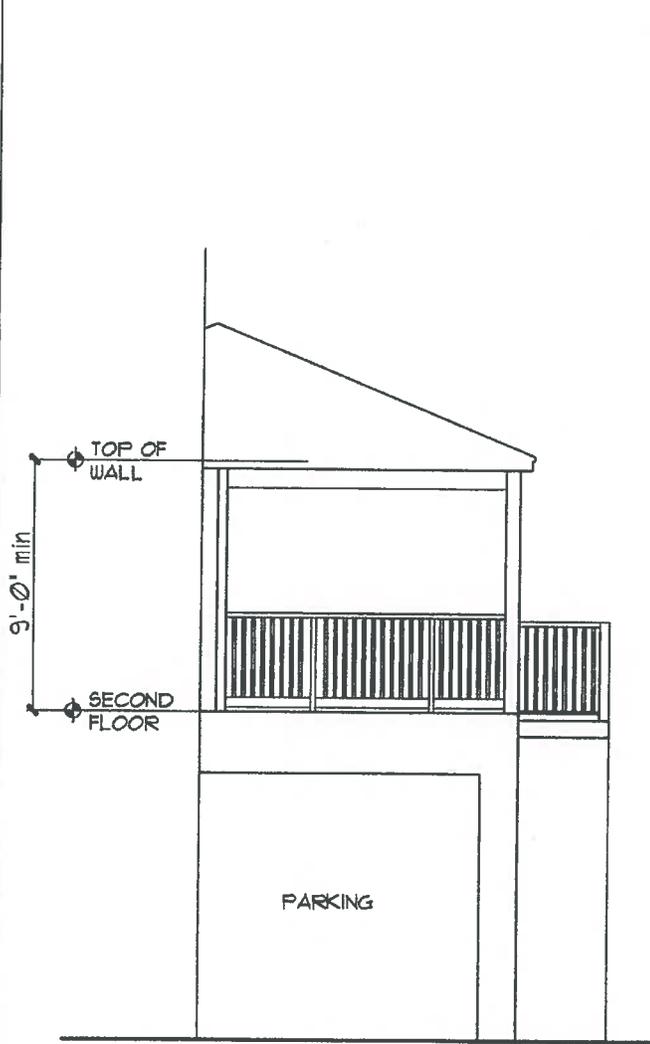


ESSENTIAL CHARACTERISTICS INCLUDE:

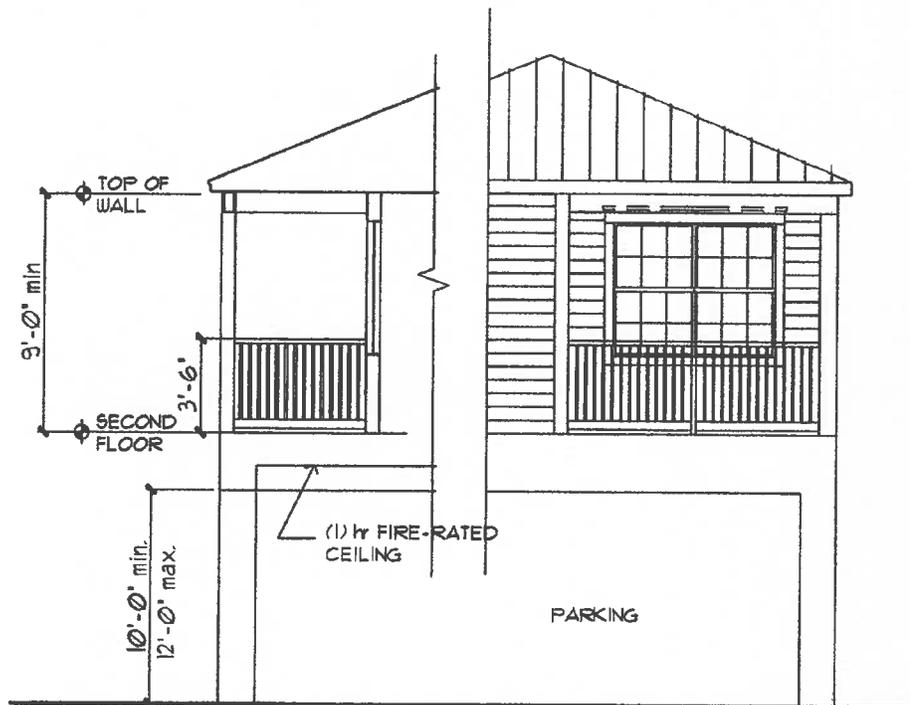
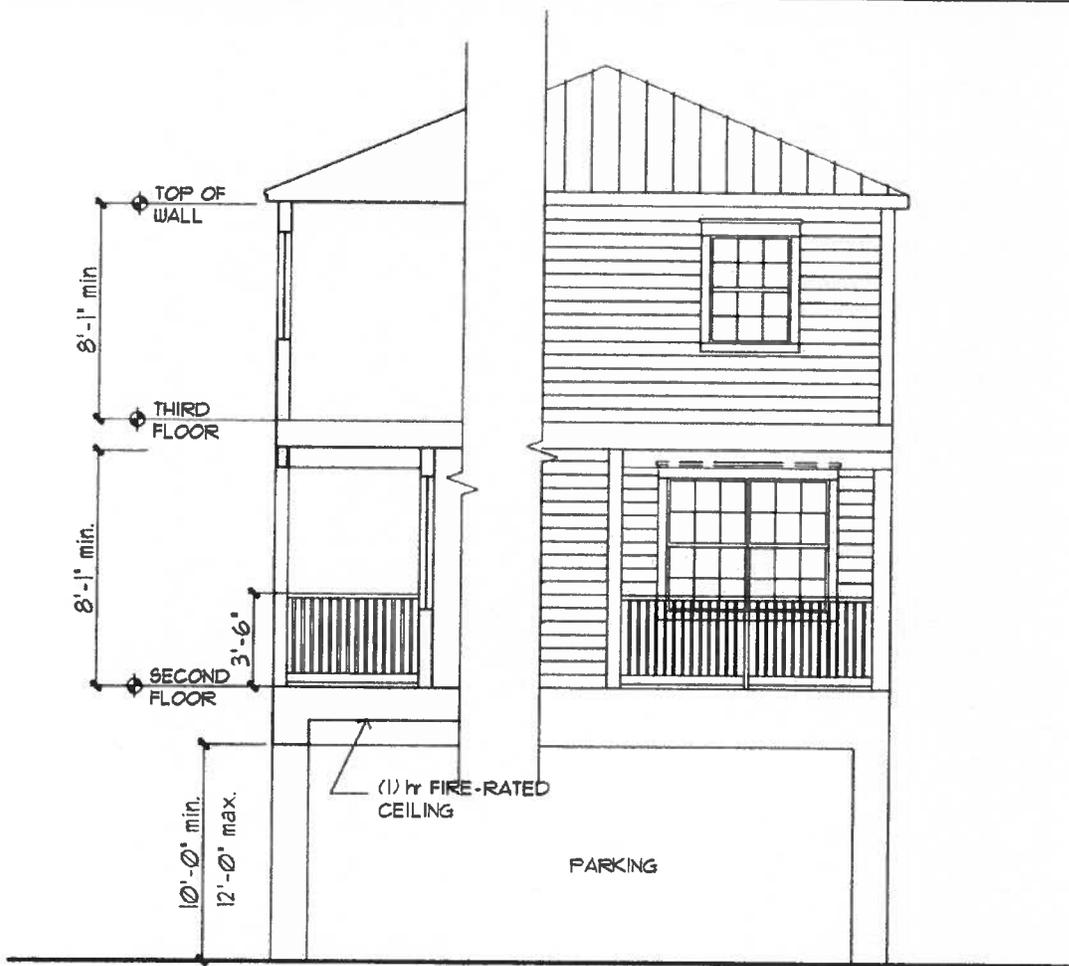
- (A) LIVING FLOOR ELEVATED ABOVE THE GROUND
- (B) PORCHES AND TERRACES WITHIN THE VOLUME OF THE HOUSE
- (C) WINDOWS IN A 6/6 GLASS PATTERN WITH TRIM
- (D) HORIZONTAL SIDING
- (E) METAL ROOF
- (F) EXTERIOR VERTICAL CIRCULATION TO FIRST HABITABLE LEVEL
- (G) PARKING UNDER STRUCTURE ENVELOPE REQUIRED



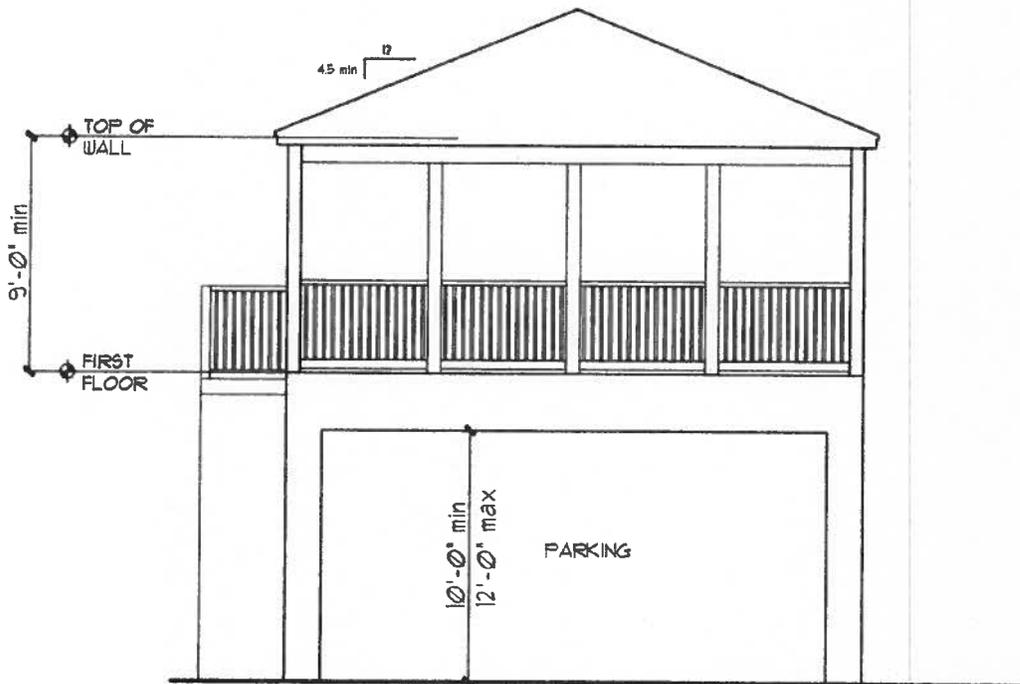
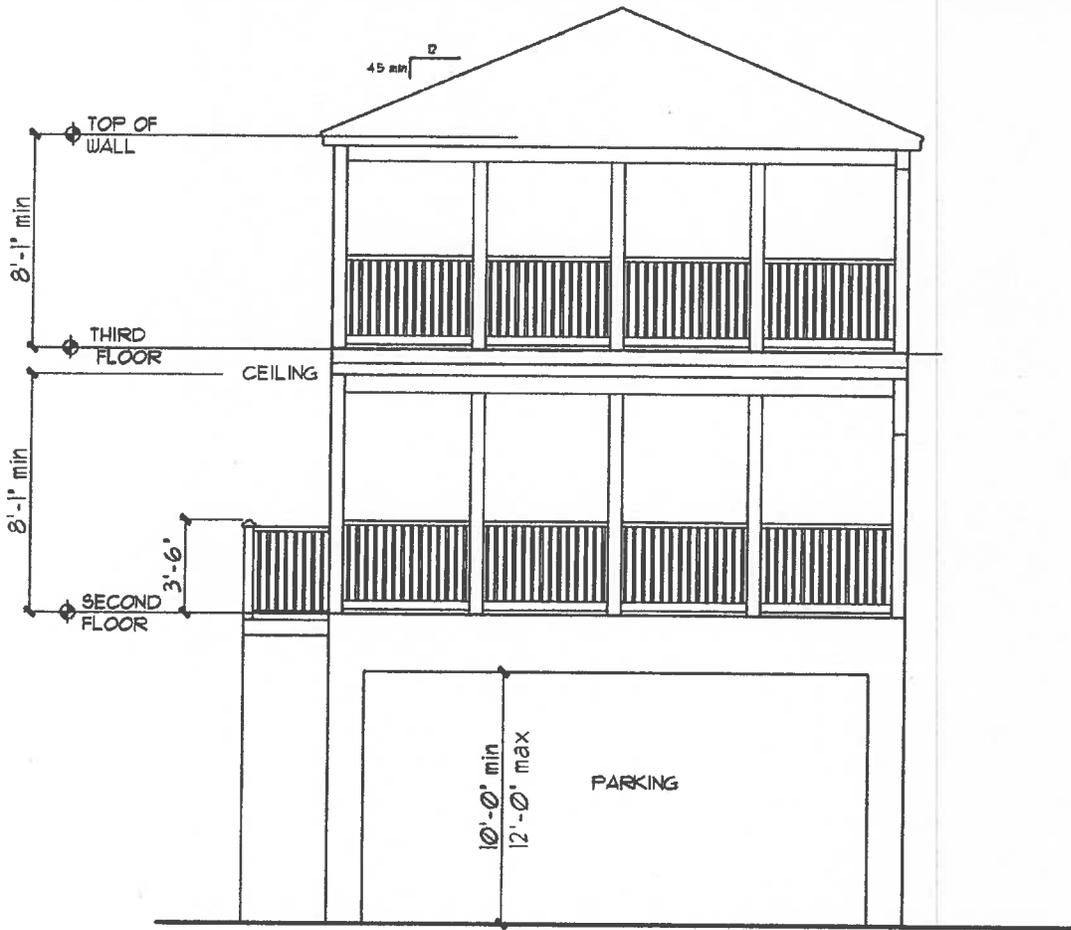
TYPICAL STRUCTURE CHARACTERISTICS



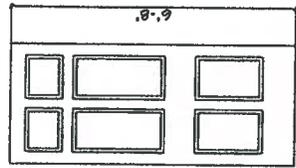
FRONT PORCHES



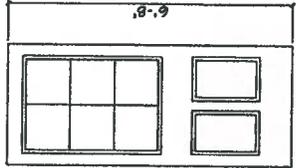
SECTION • ELEVATION FRONT PORCHES



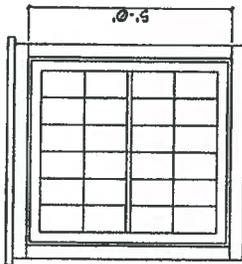
REAR TERRACES



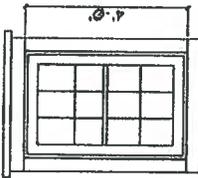
SINGLE DOOR



SINGLE DOOR



FIRST FLOOR



SECOND FLOOR

STANDARD WINDOWS AND DOORS

Doors and windows: All windows at front elevation are multi-panes in a 6 over 6 glass pattern.
 Standard window height at first living level 5'-0".
 Standard window height at second living level 4'-0".
 All windows have trim 4" at sides and sill and 6" at head.
 All windows shall be impact resistant low 'E'.
 Door and window placement will vary with architectural design.

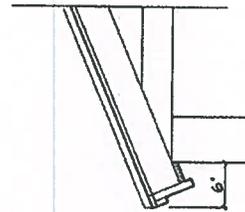
Roof Form: Gabled or Hipped, minimum pitch 4.5 in 12

Minimum floor to ceiling heights: 9 feet for the first floor and 8 feet, 1 inch for the second floor.

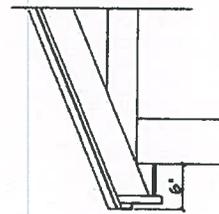
First floor elevation: varies from a minimum of eleven feet two inches above adjacent elevation for units near Overseas Highway to fifteen feet six inches for units at the shoreline

Doors and window openings: framed with trim boards and relatively flush with the wall surface.

Exterior cladding: 5 TO 6 inch wide horizontal fiber cement-based cladding.

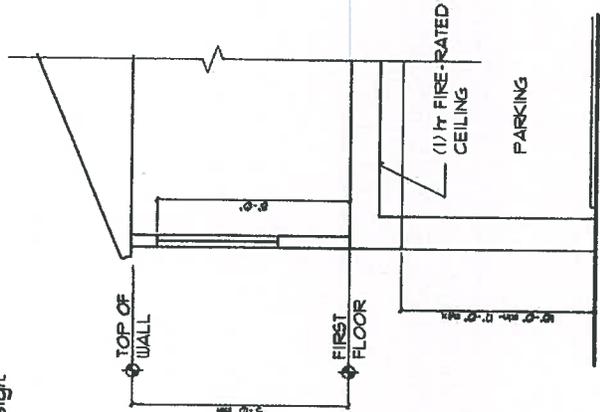
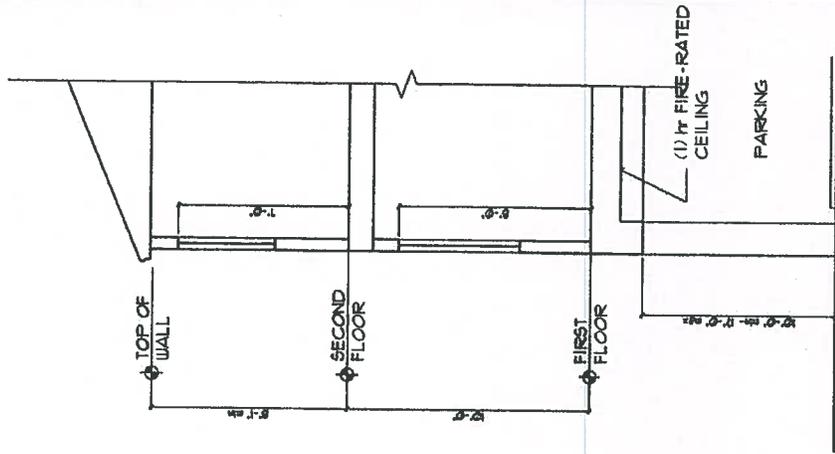


SQUARE

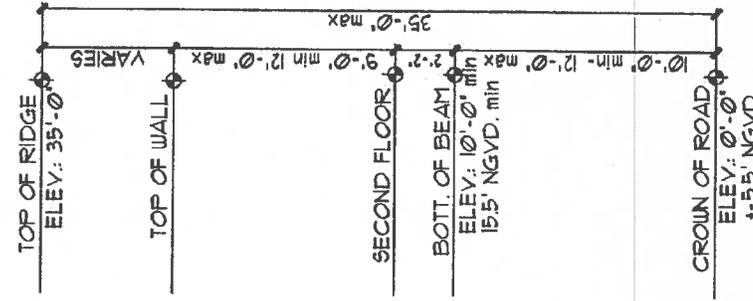


PLUMB CUT

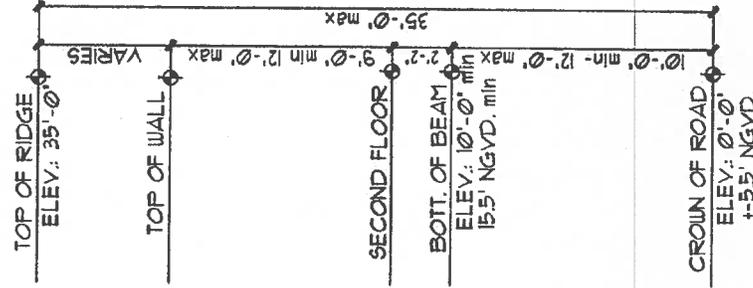
EAVE DETAILS



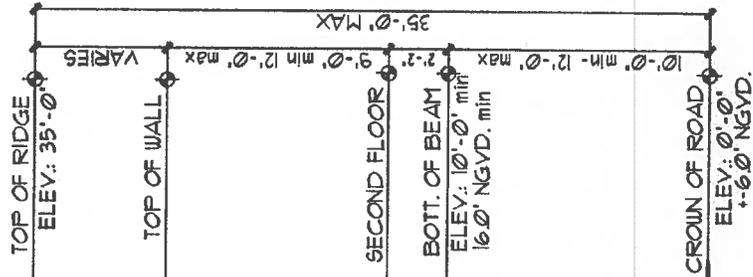
TYPICAL SECTIONS



ZONE AE-8



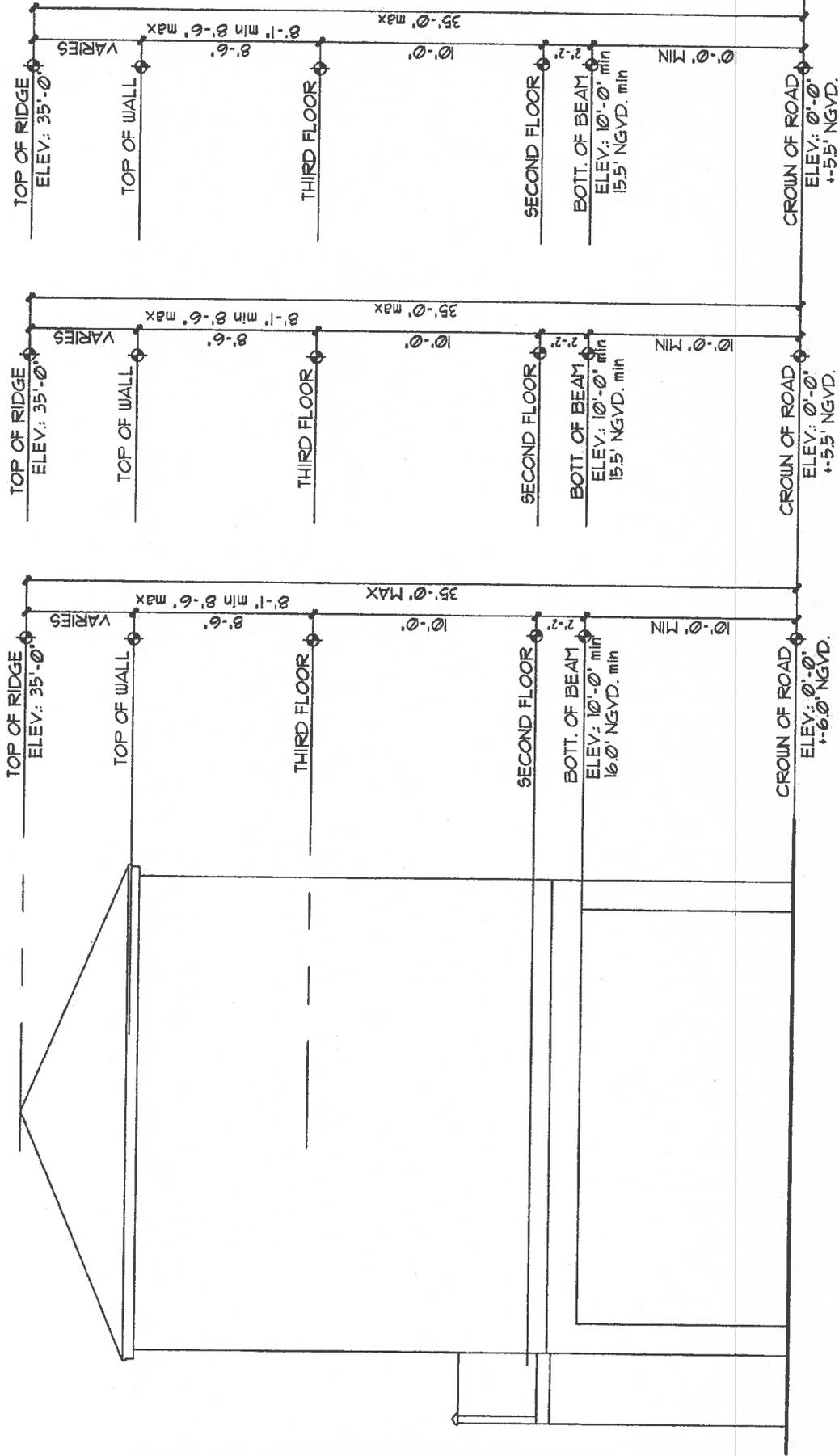
ZONE AE-9



ZONE AE-10

TYPICAL STRUCTURE HEIGHTS BASED ON FLOOD ELEVATION

REFERENCE ELEVATION FOR DATA IS AVERAGE CROWN OF ROAD AT FRONT OF UNIT



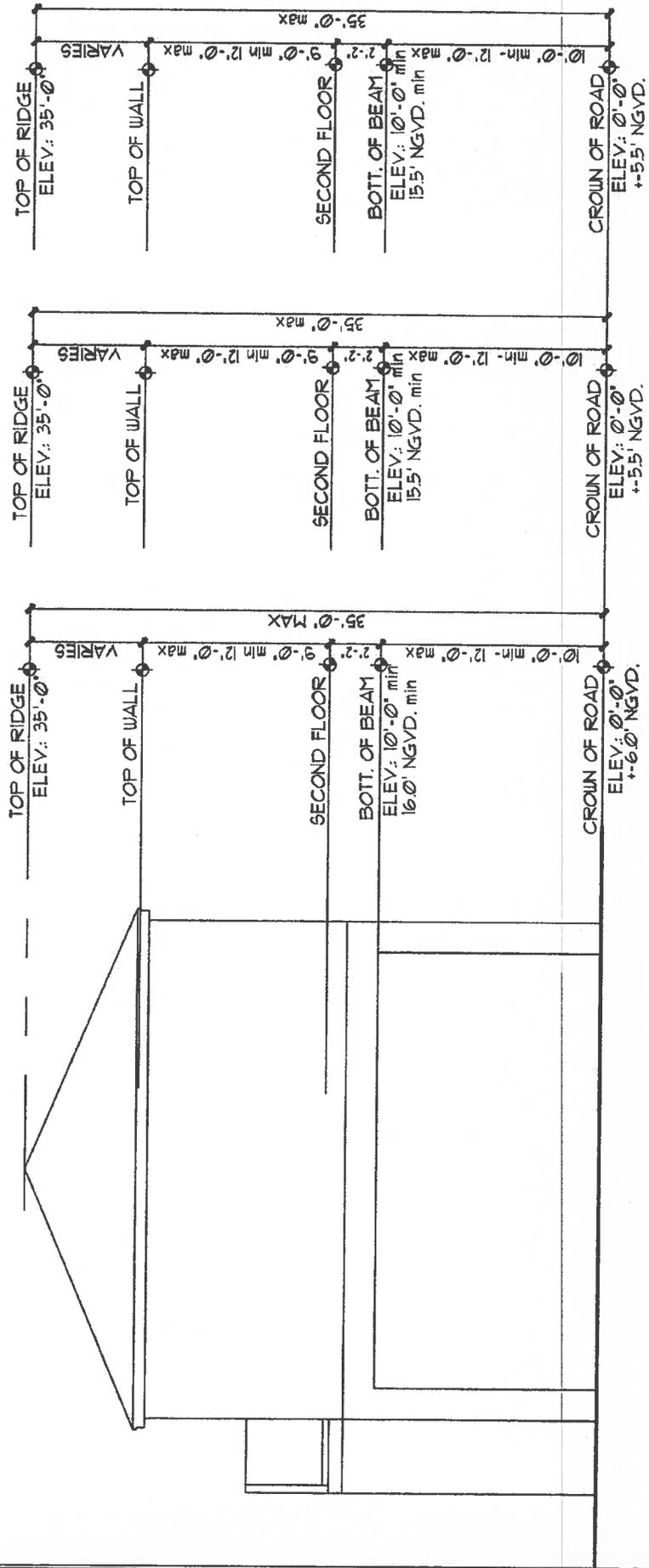
ZONE AE-8

ZONE AE-9

ZONE AE-10

TYPICAL STRUCTURE HEIGHTS BASED ON FLOOD ELEVATION

REFERENCE ELEVATION FOR DATA IS AVERAGE CROWN OF ROAD AT FRONT OF UNIT



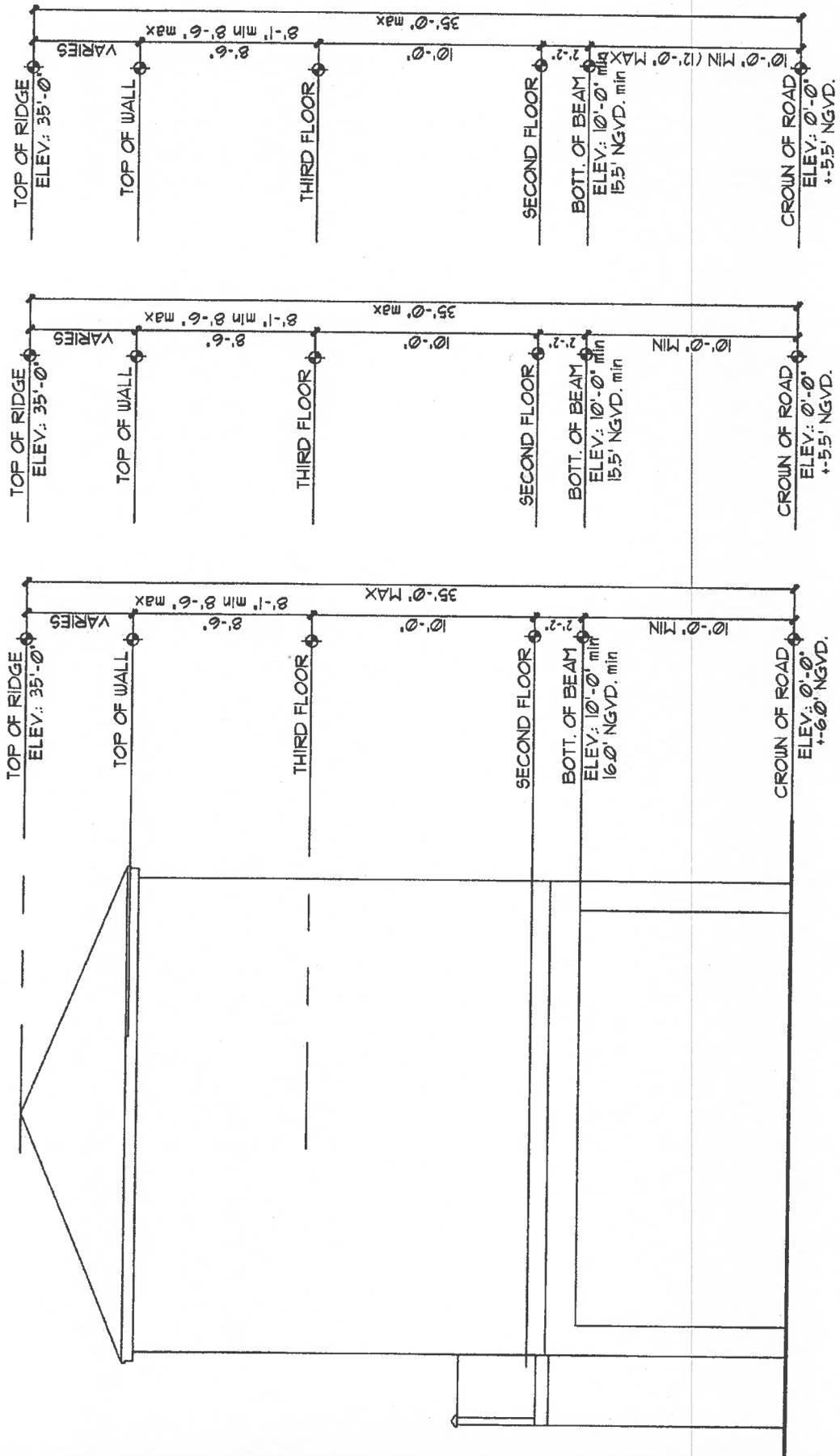
ZONE VE-12

ZONE VE-13

ZONE VE-15

TYPICAL STRUCTURE HEIGHTS BASED ON FLOOD ELEVATION

REFERENCE ELEVATION FOR DATA IS AVERAGE CROWN OF ROAD AT FRONT OF UNIT



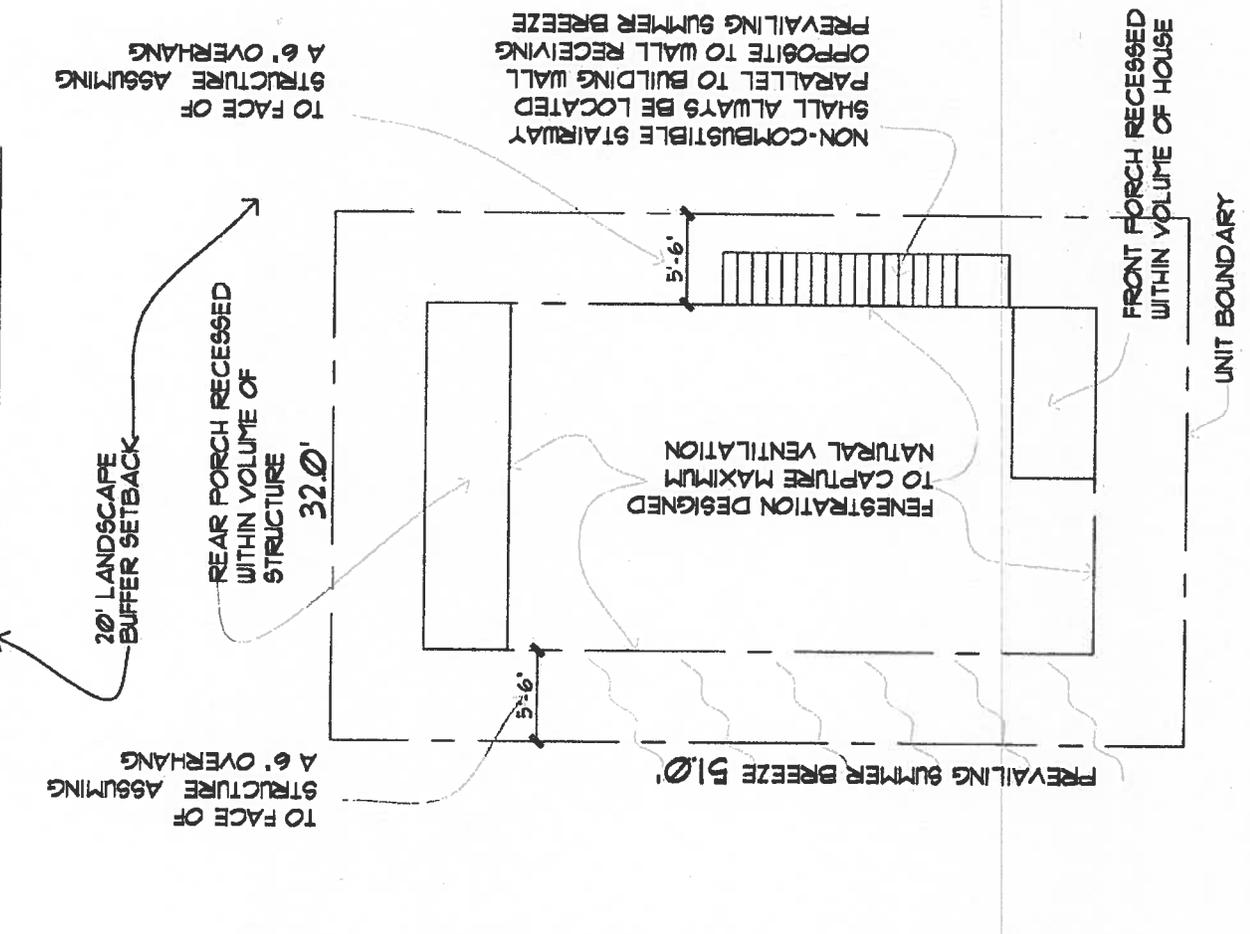
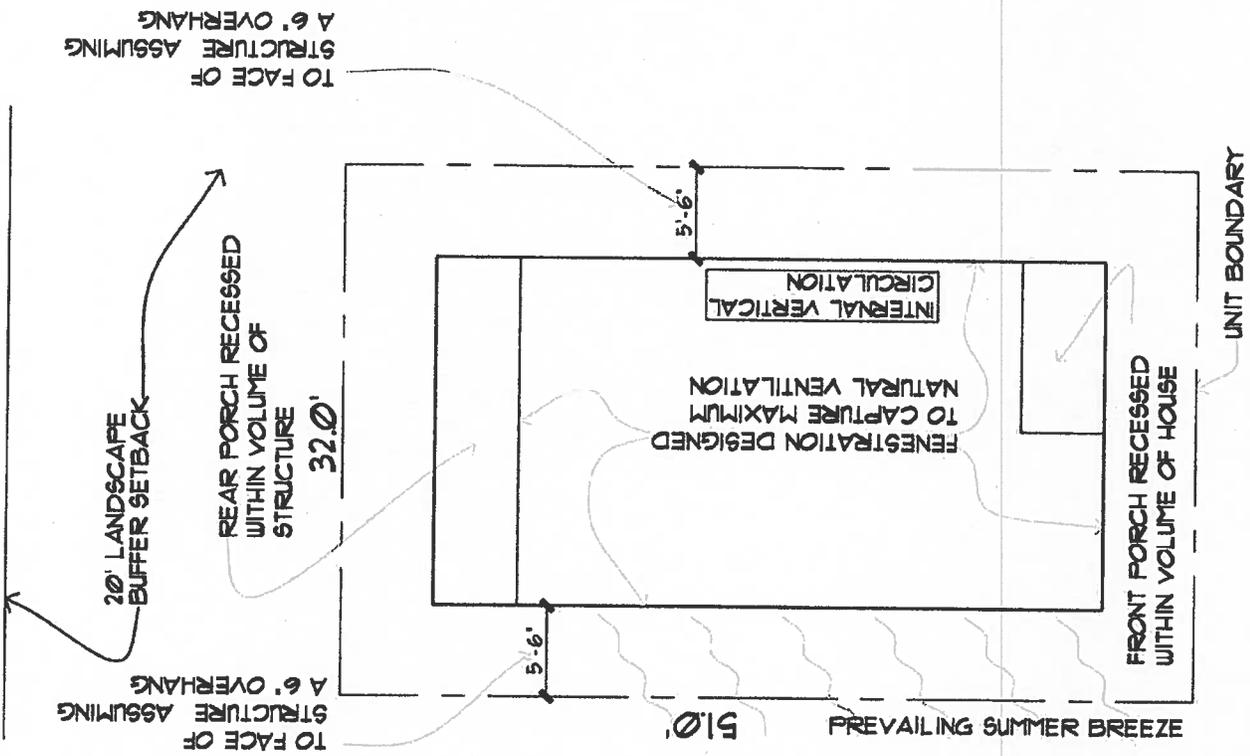
ZONE VE-15

ZONE VE-13

ZONE VE-12

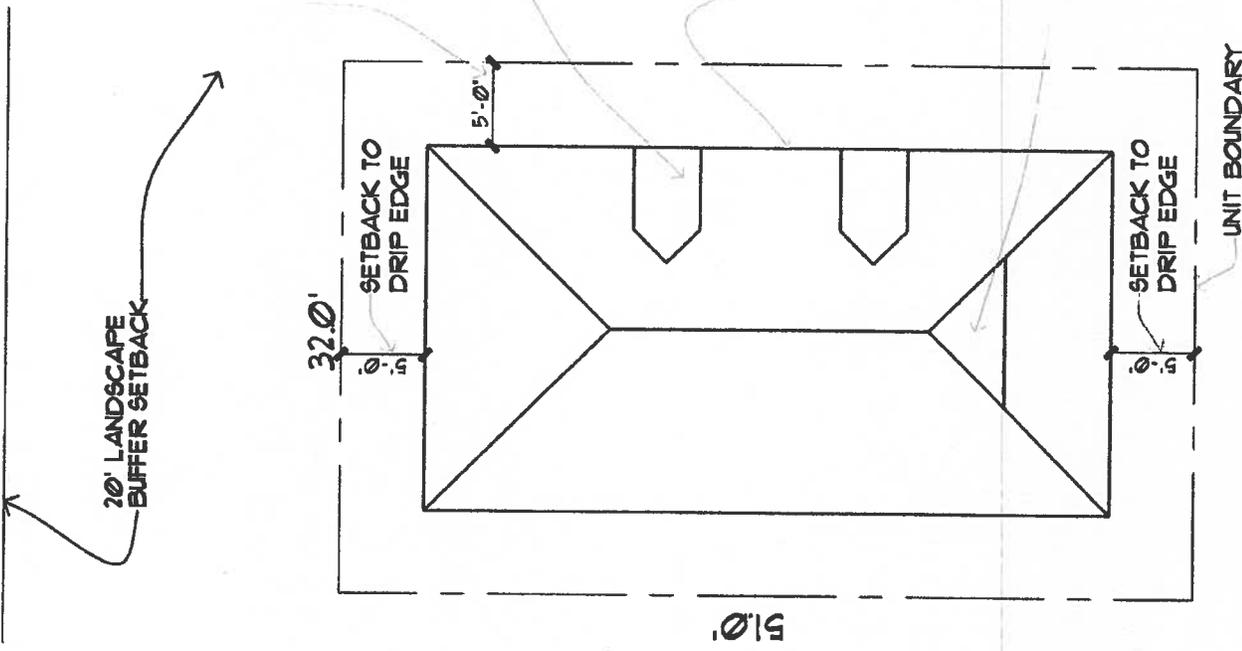
TYPICAL STRUCTURE HEIGHTS BASED ON FLOOD ELEVATION

REFERENCE ELEVATION FOR DATA IS AVERAGE CROWN OF ROAD AT FRONT OF UNIT



TYPICAL 1st. ELEVATED FLOOR TYPICAL 2nd. ELEVATED FLOOR

UNITS No. 1 through 5



TYPICAL ROOF PLAN

UNITS No. 1 through 5

TO FACE OF STRUCTURE ASSUMING 4' 6" OVERHANG

EXISTING 20' LANDSCAPE BUFFER

REAR PORCH RECESSED WITHIN VOLUME OF STRUCTURE 32' 0"

TO FACE OF STRUCTURE ASSUMING 4' 6" OVERHANG

TO FACE OF STRUCTURE ASSUMING 4' 6" OVERHANG

EXISTING 20' LANDSCAPE BUFFER

REAR PORCH RECESSED WITHIN VOLUME OF STRUCTURE 32' 0"

TO FACE OF STRUCTURE ASSUMING 4' 6" OVERHANG

NON-COMBUSTIBLE STAIRWAY SHALL ALWAYS BE LOCATED OPPOSITE TO WALL RECEIVING PREVAILING SUMMER BREEZE

FRONT PORCH RECESSED WITHIN VOLUME OF HOUSE

5' 0" PREVAILING SUMMER BREEZE

5' 0" BREEZE PREVAILING SUMMER

INTERNAL VERTICAL CIRCULATION

FENESTRATION DESIGNED TO CAPTURE MAXIMUM NATURAL VENTILATION

FENESTRATION DESIGNED TO CAPTURE MAXIMUM NATURAL VENTILATION

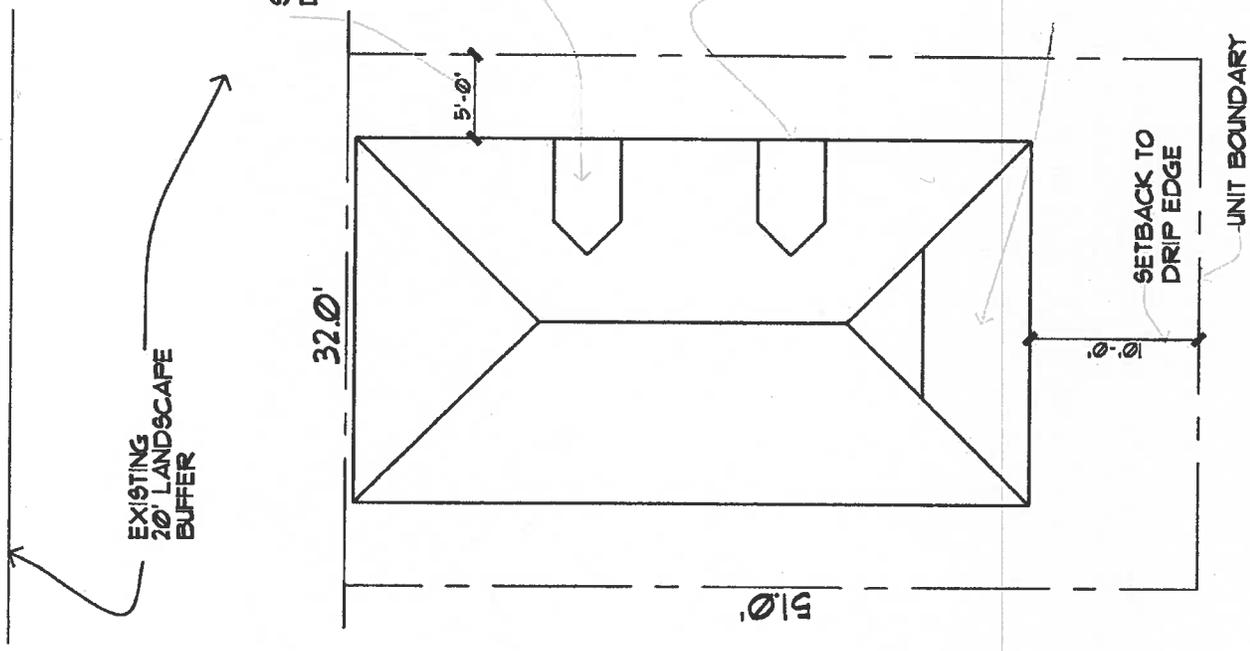
UNIT BOUNDARY

UNIT BOUNDARY

TYPICAL 2nd. ELEVATED FLOOR

TYPICAL 1st. ELEVATED FLOOR

UNITS No. 6 through 26



EXISTING
20' LANDSCAPE
BUFFER

SETBACK TO
DRIP EDGE

5'-0"

DORMERS
MAY BE USED

HIPPED ROOF (PREFERRED)
MIN. 4.5:12 SLOPE
GABLED ROOF OPTIONAL

COMBINATION
HIP/GABLE
MAY BE USED

SETBACK TO
DRIP EDGE

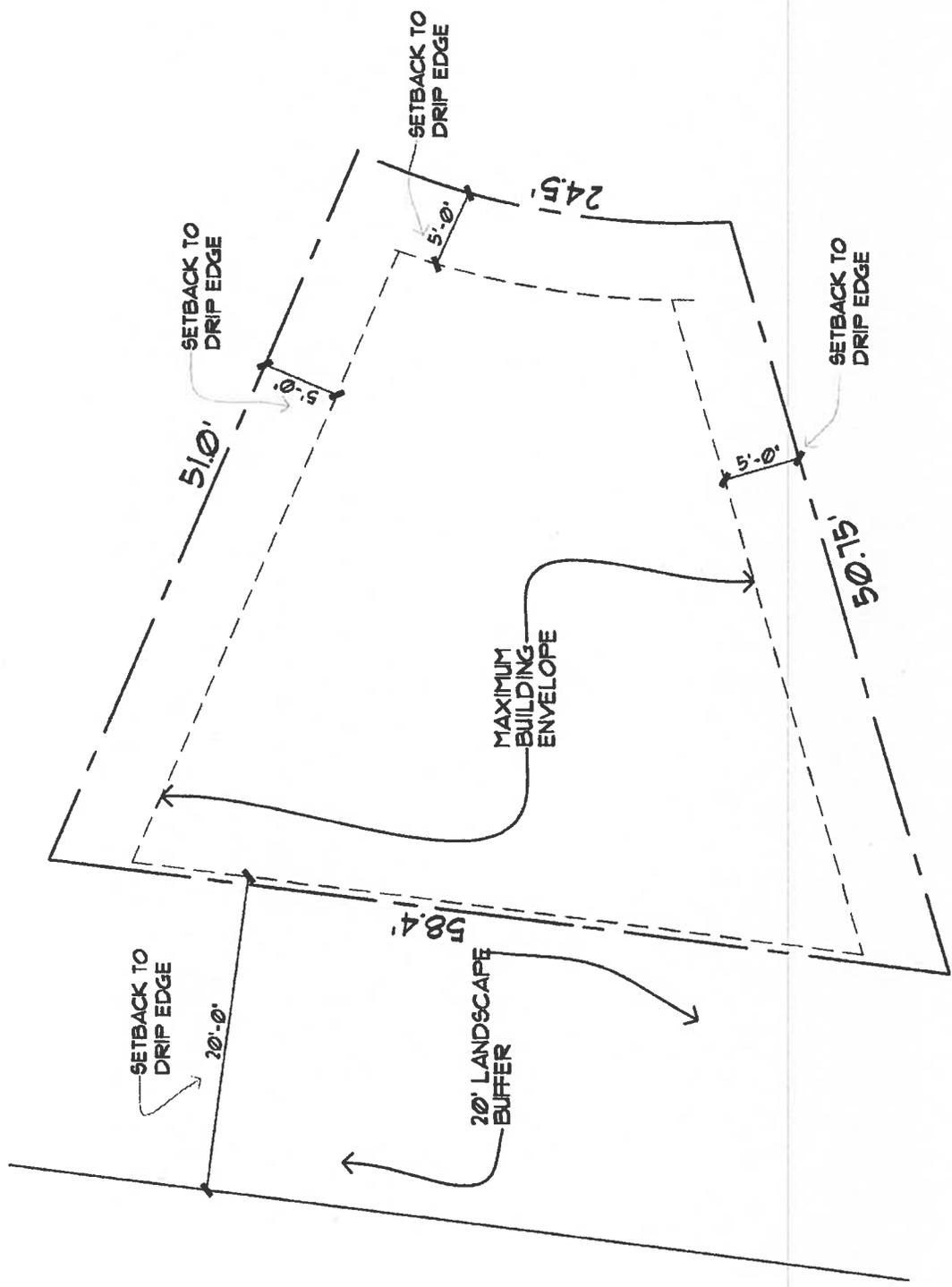
UNIT BOUNDARY

32'-0"

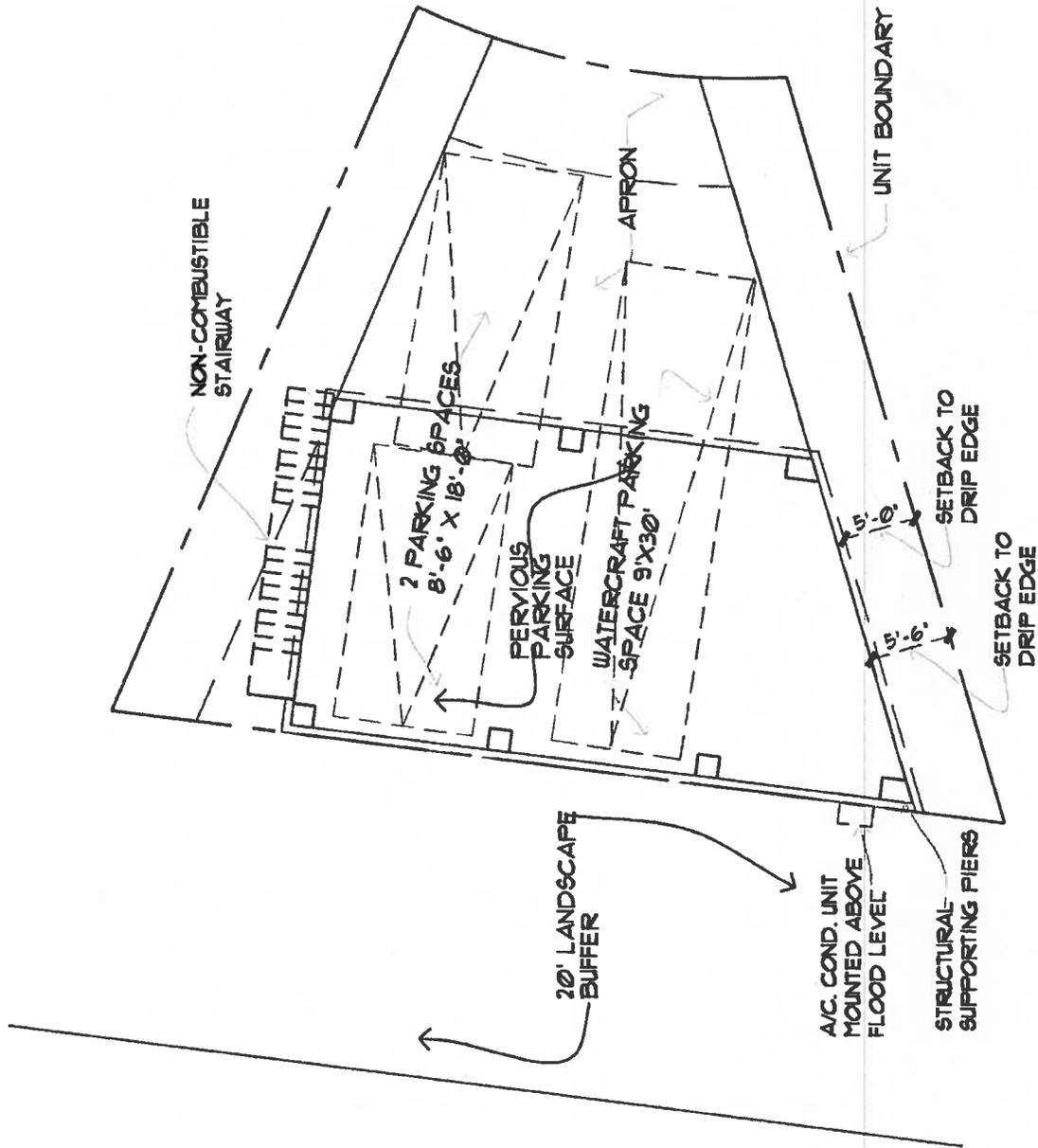
5'-0"

TYPICAL ROOF PLAN

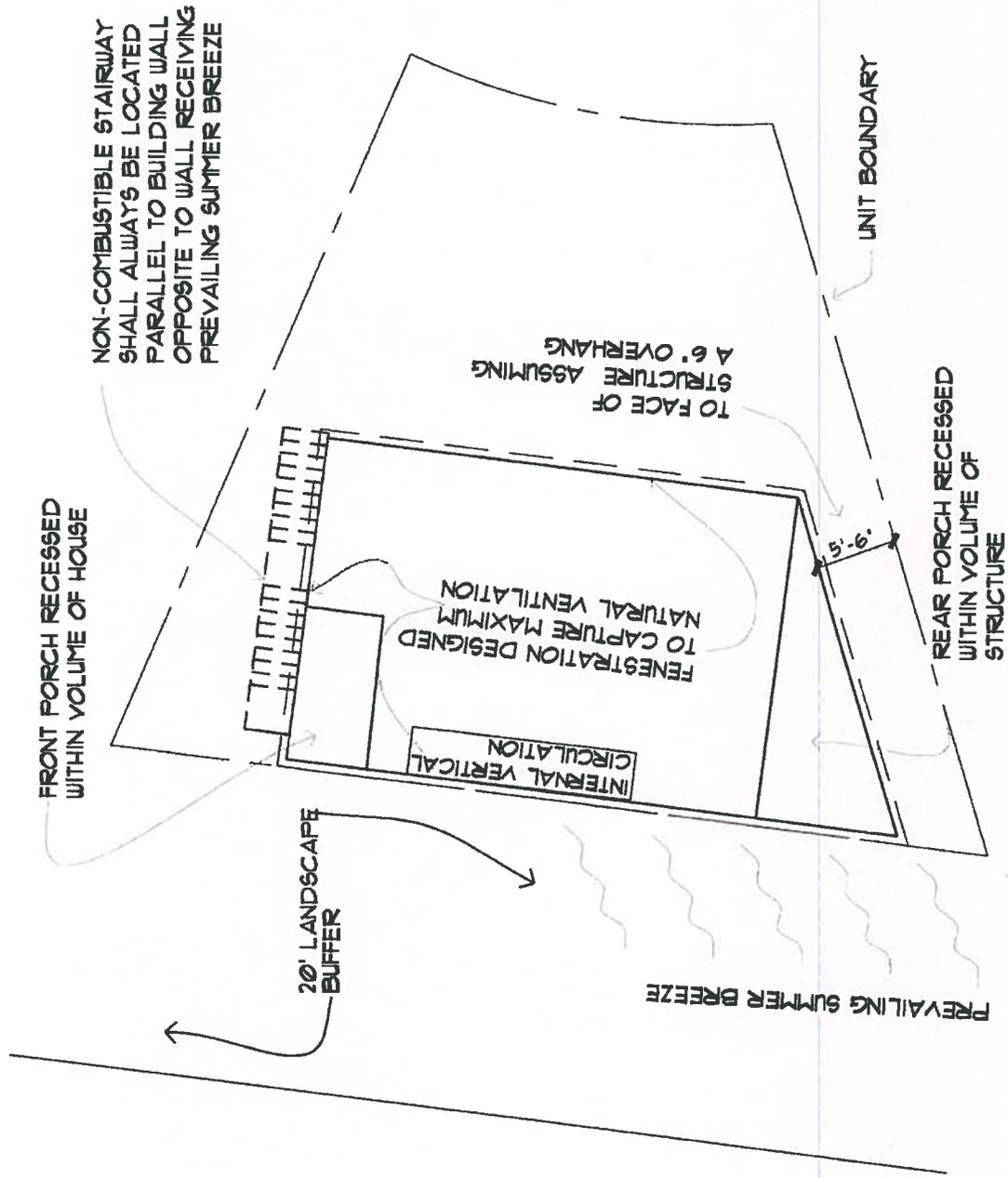
UNITS No. 6 through 26



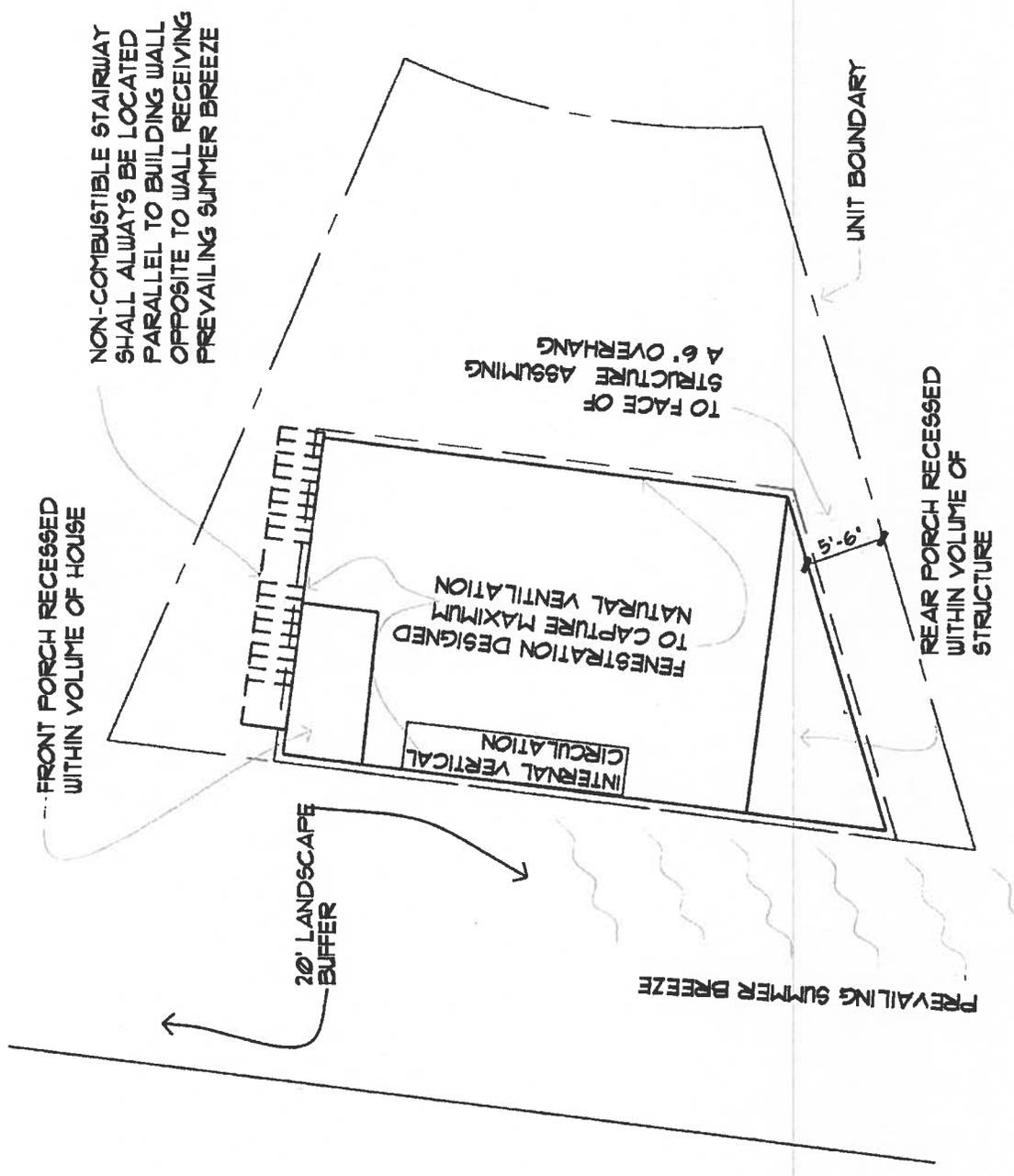
TYPICAL UNIT BOUNDARY UNIT No.27



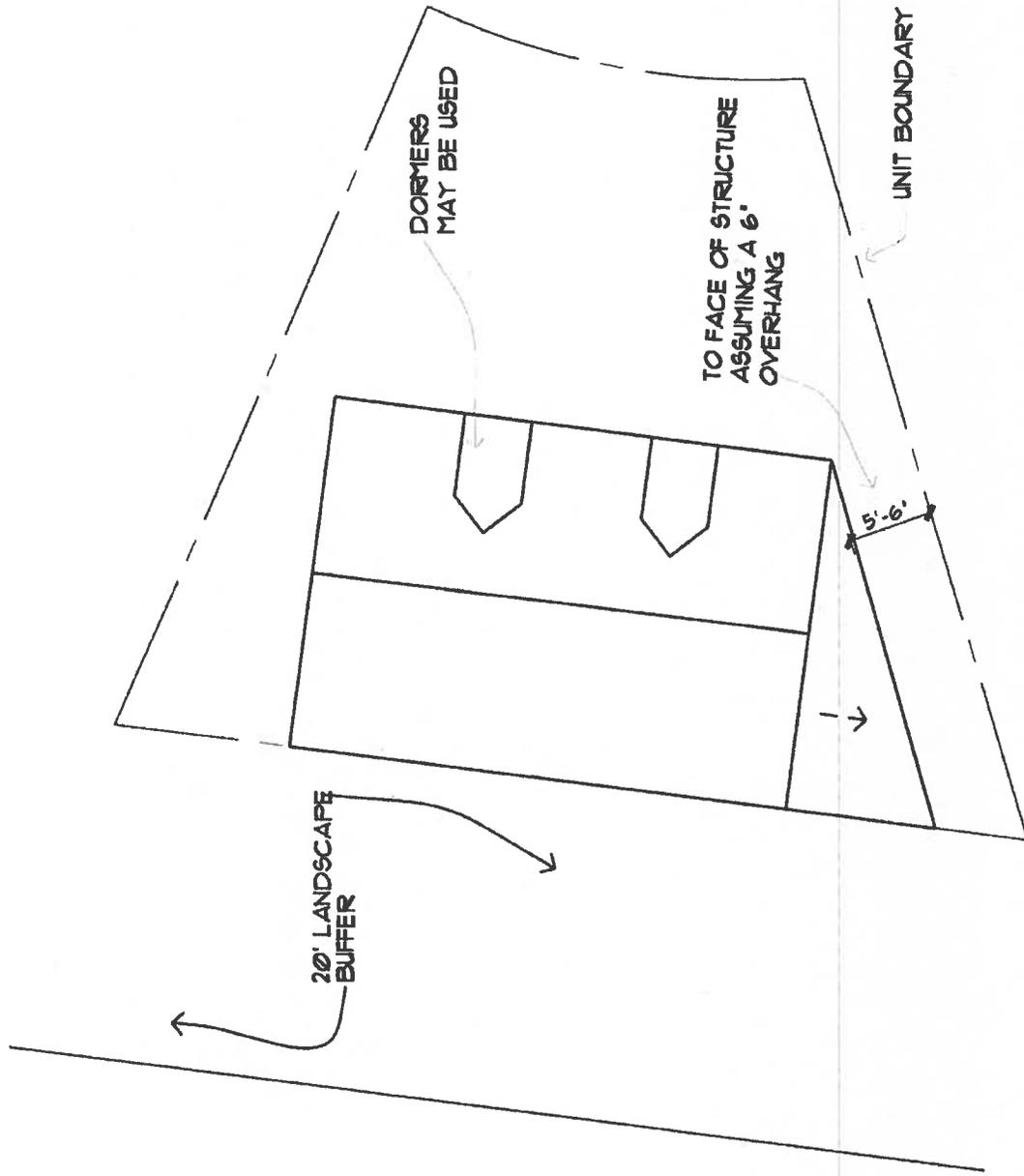
TYPICAL GROUND FLOOR UNIT No. 27



1st ELEVATED FLOOR UNIT No. 27



2nd ELEVATED FLOOR UNIT No. 27



TYPICAL ROOF PLAN UNIT No. 27

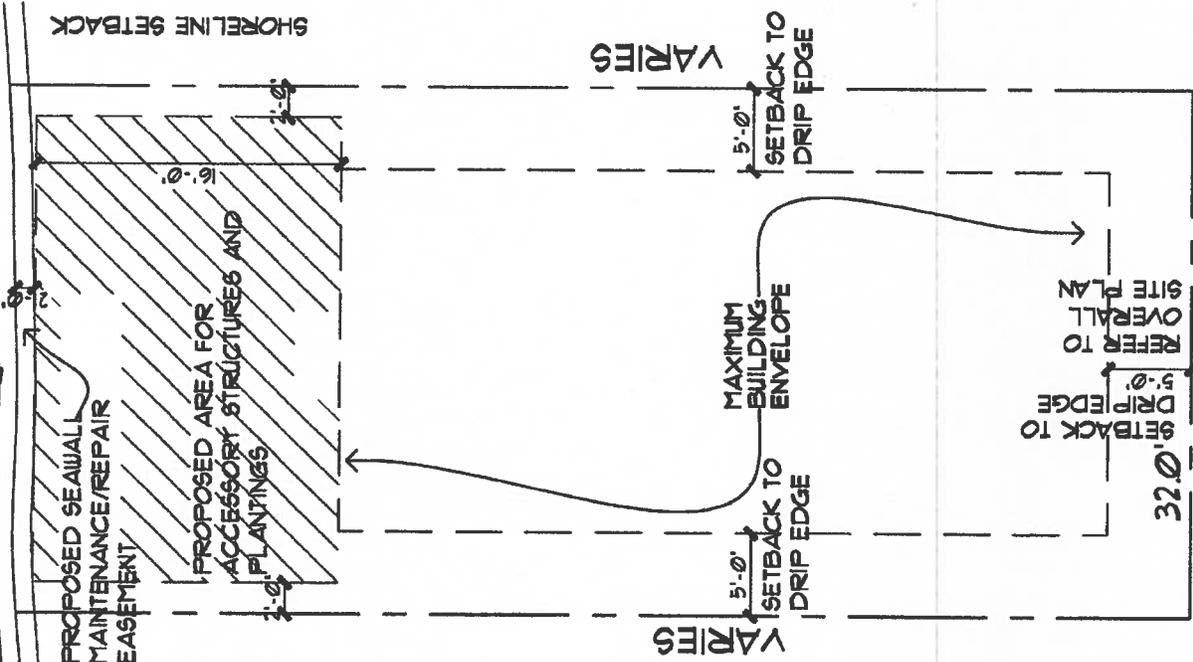
EXISTING MEANDERING SEAWALL APPROXIMATELY 2'-0" WIDE

PROPOSED SEAWALL MAINTENANCE/REPAIR EASEMENT

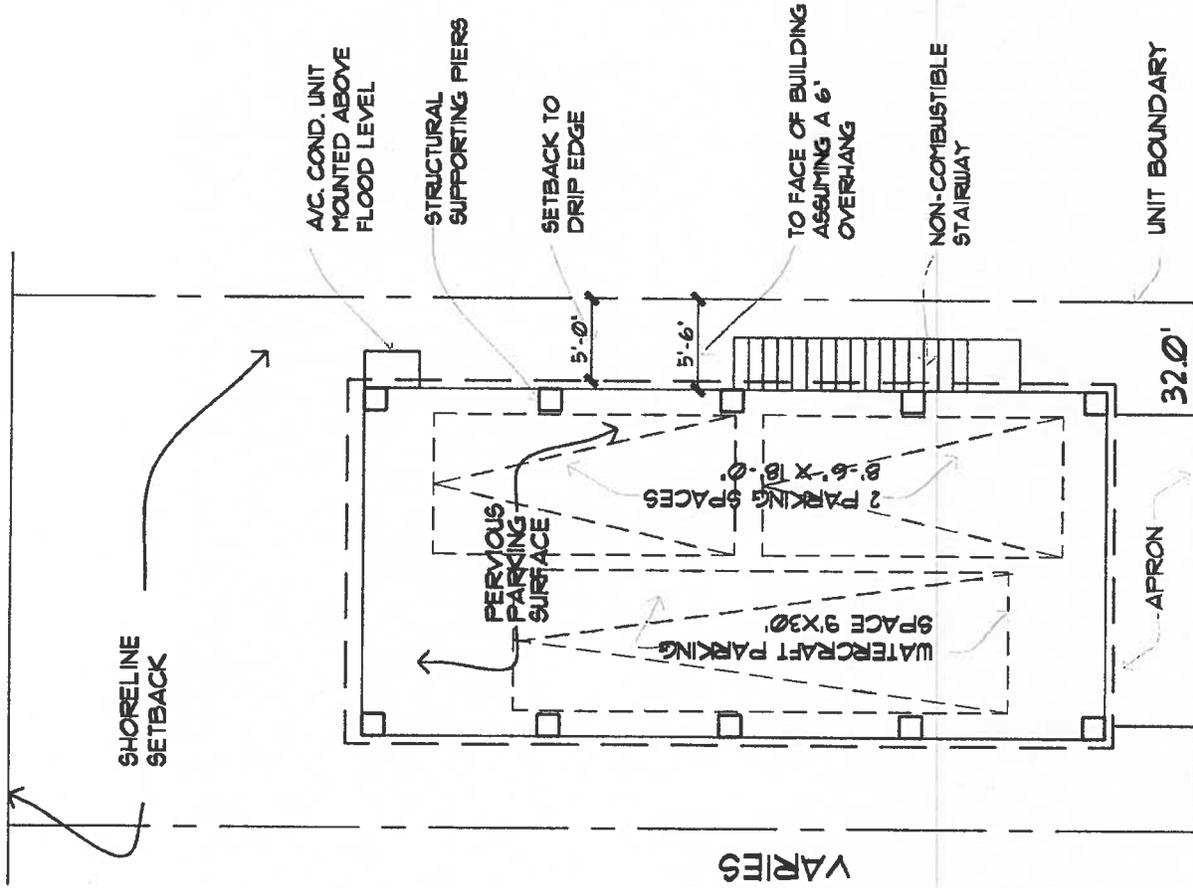
PROPOSED AREA FOR ACCESSORY STRUCTURES AND PLANTINGS

SHORELINE SETBACK

MHWL VERIFIED BY SURVEY

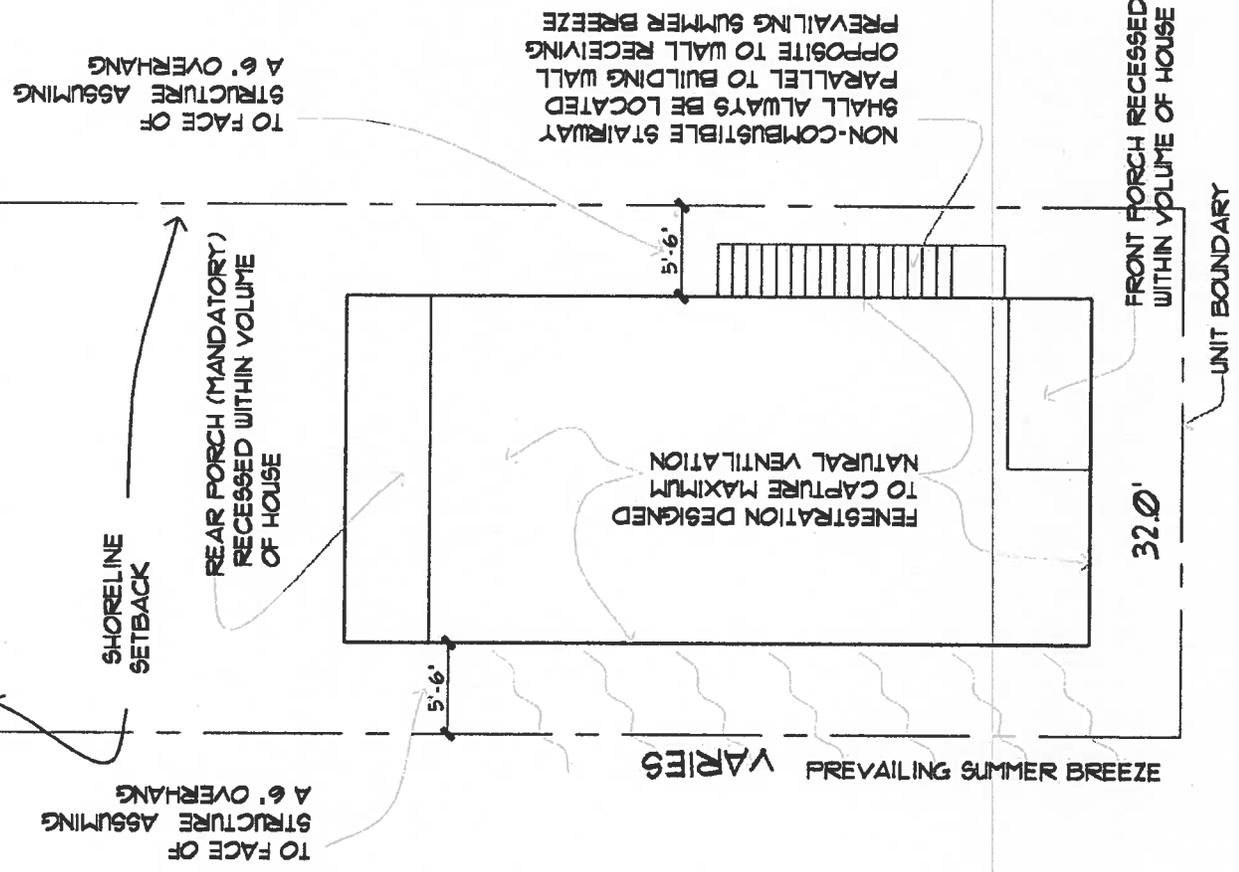
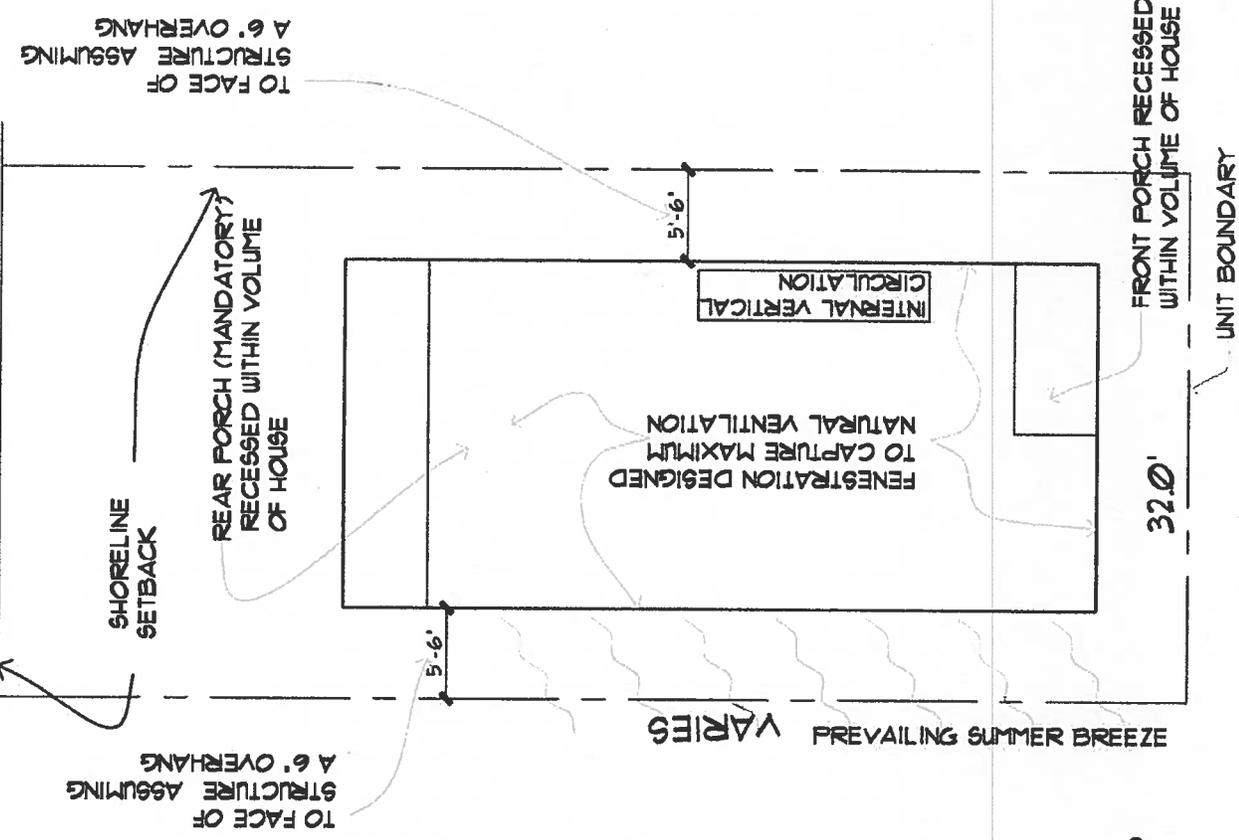


TYPICAL UNIT BOUNDARY



TYPICAL GROUND FLOOR

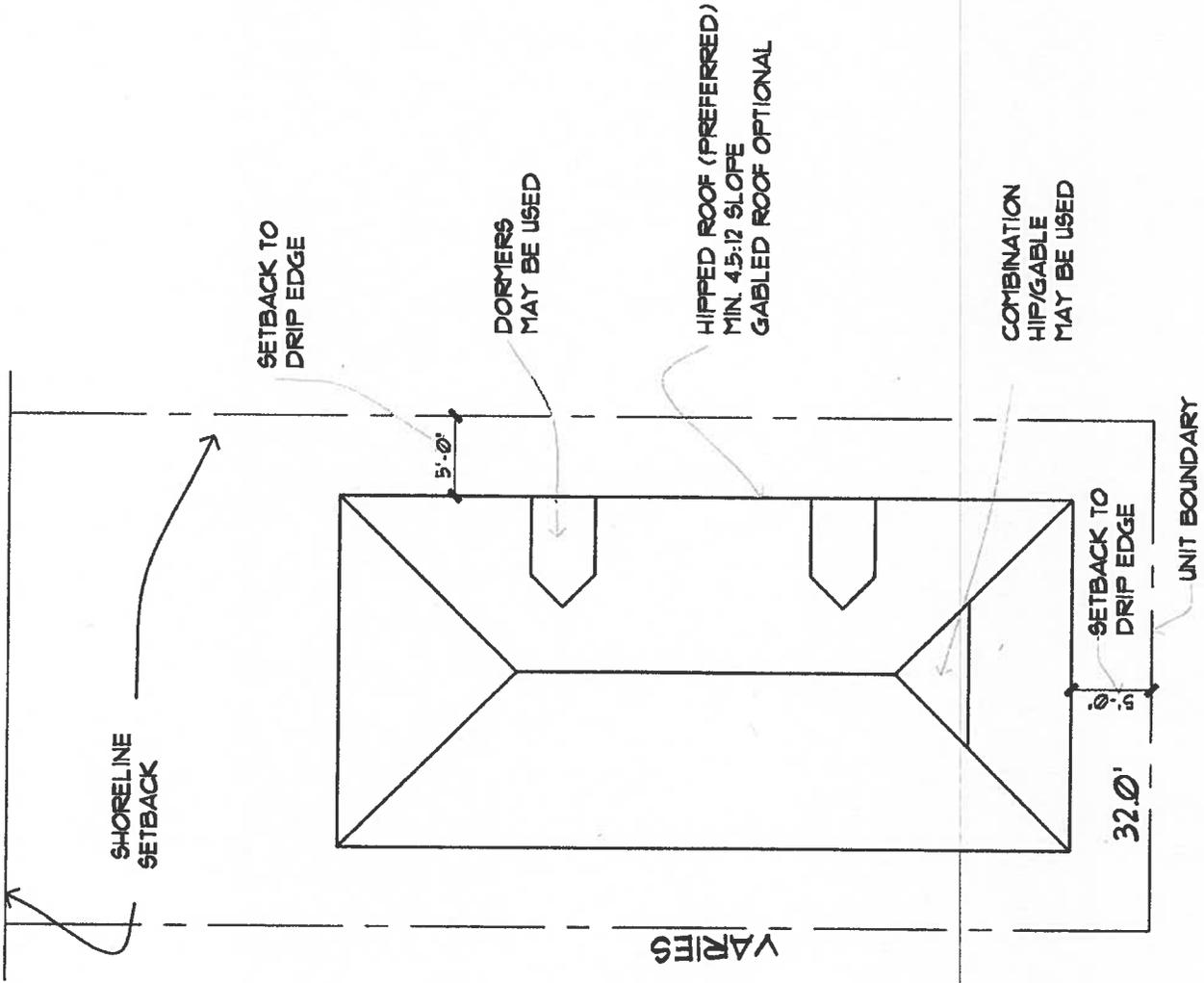
UNITS No. 28 through 38



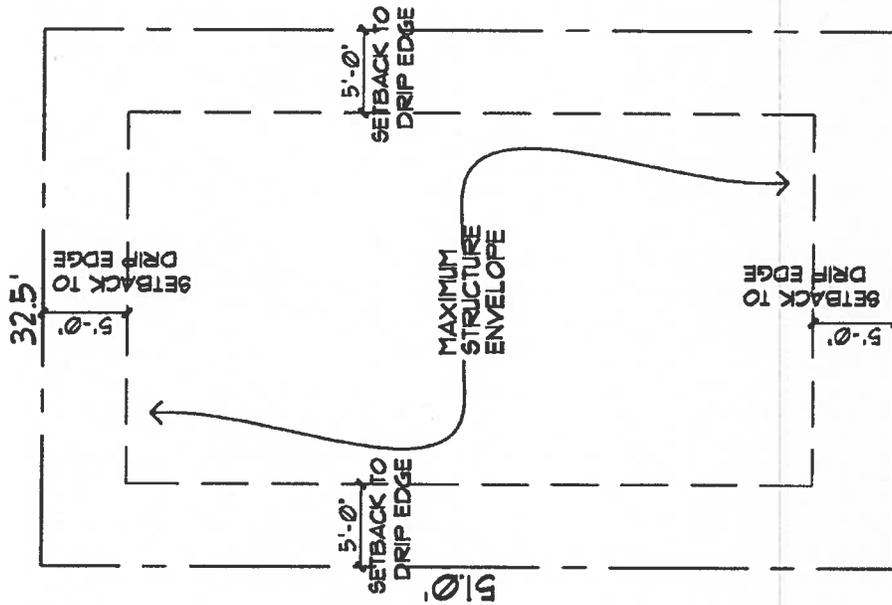
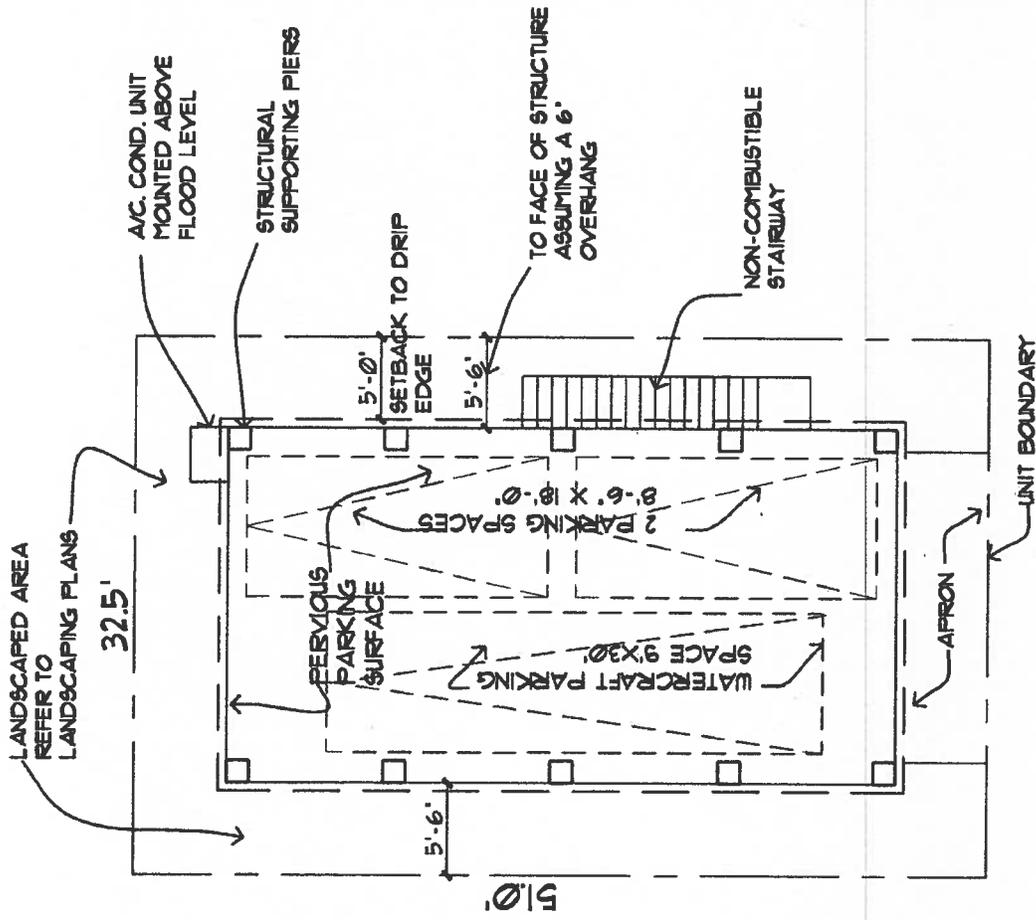
TYPICAL 1st. ELEVATED FLOOR

TYPICAL 2nd. ELEVATED FLOOR

UNITS No. 28 through 38

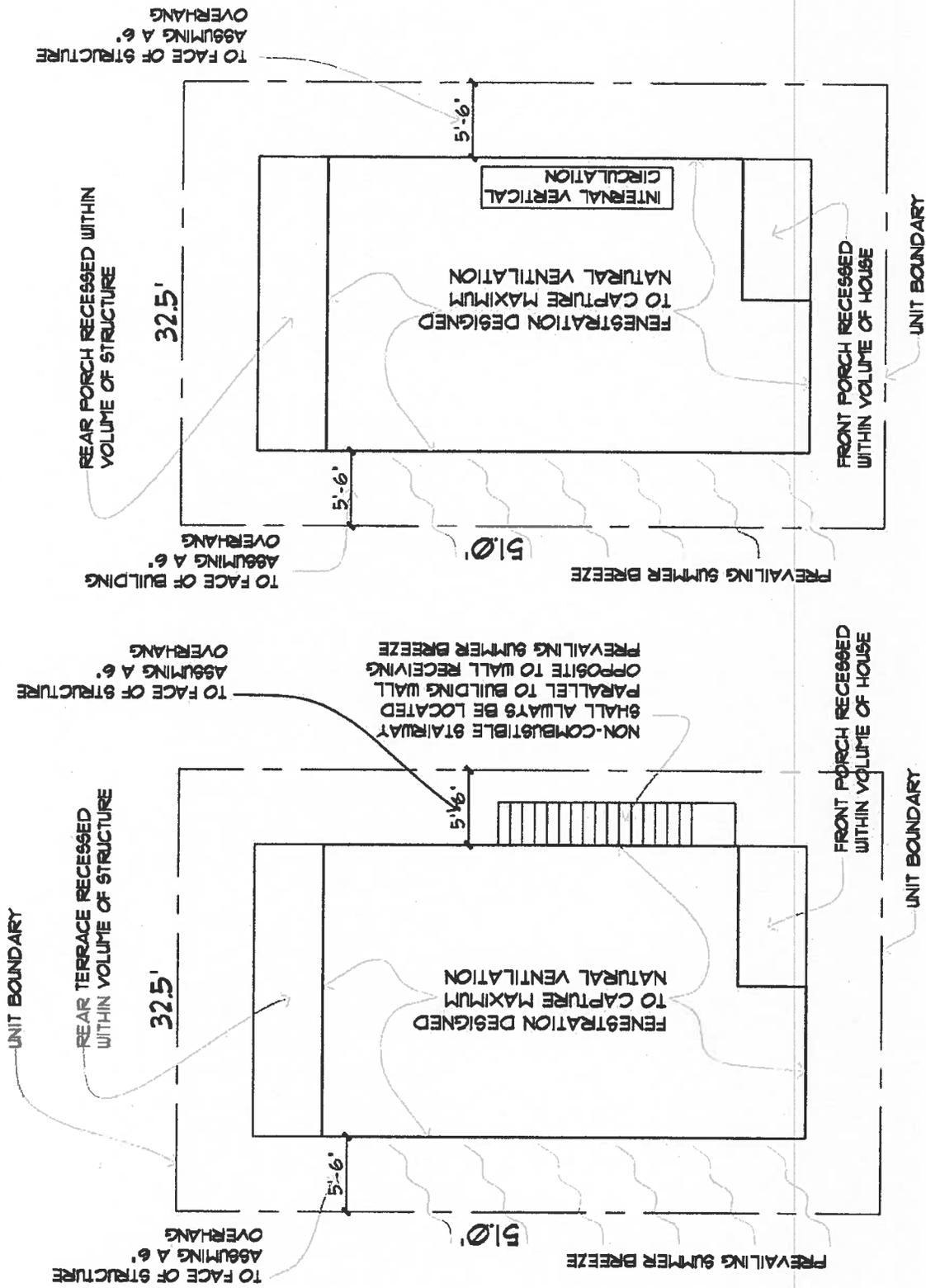


TYPICAL ROOF PLAN
UNITS No. 28 through 38



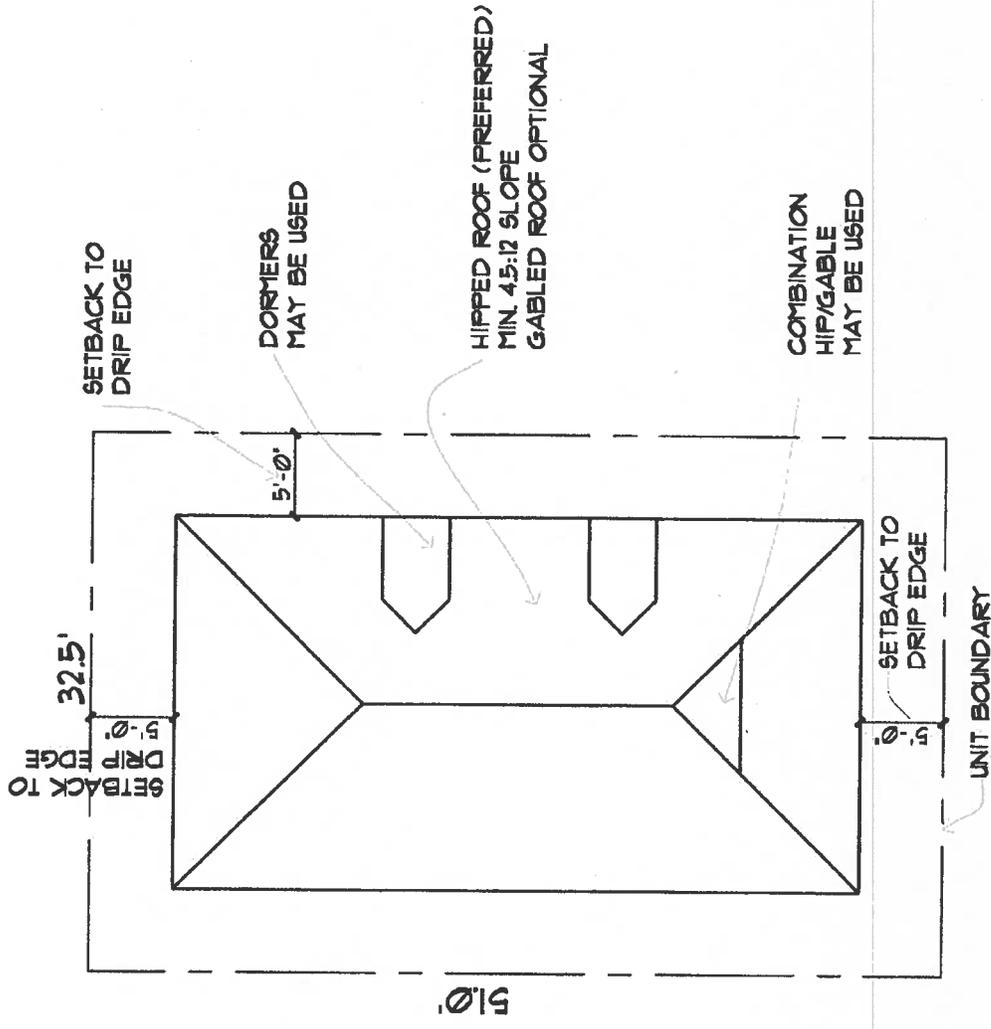
TYPICAL UNIT BOUNDARY TYPICAL GROUND FLOOR

UNITS No. 39 - 110 and 126 -203 and 207-277



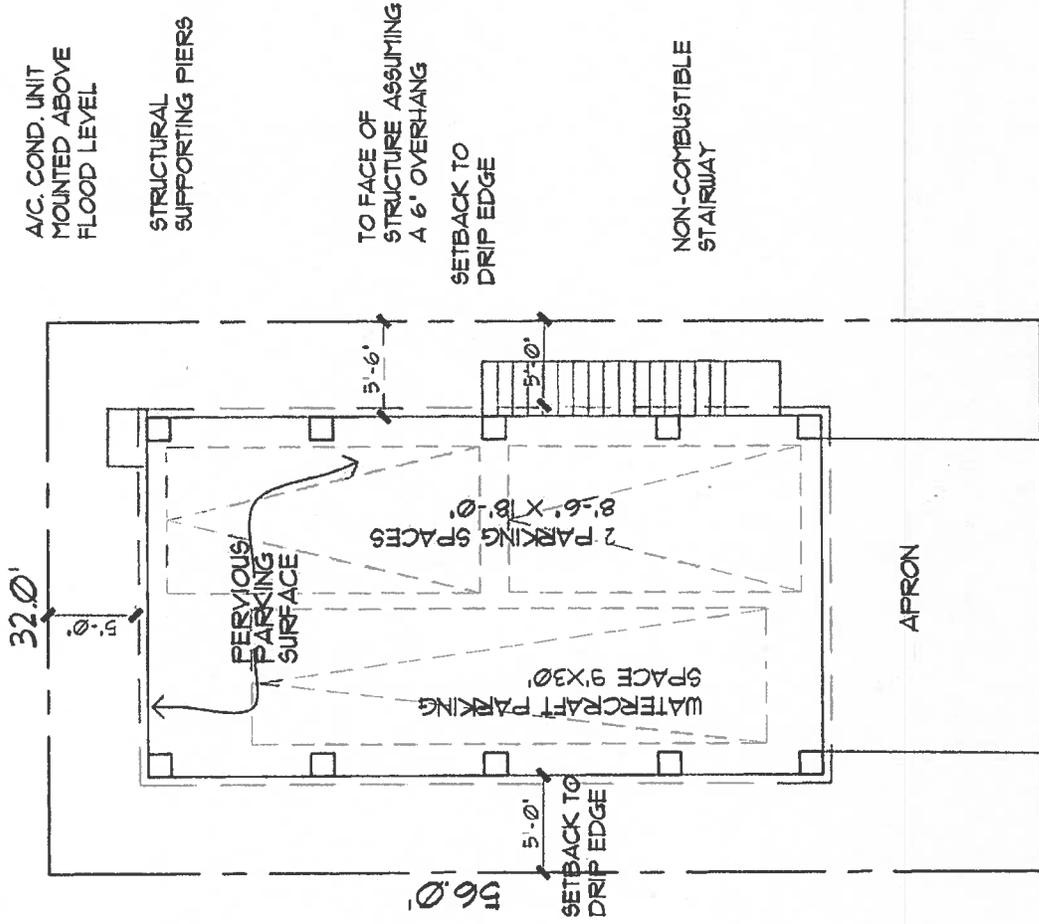
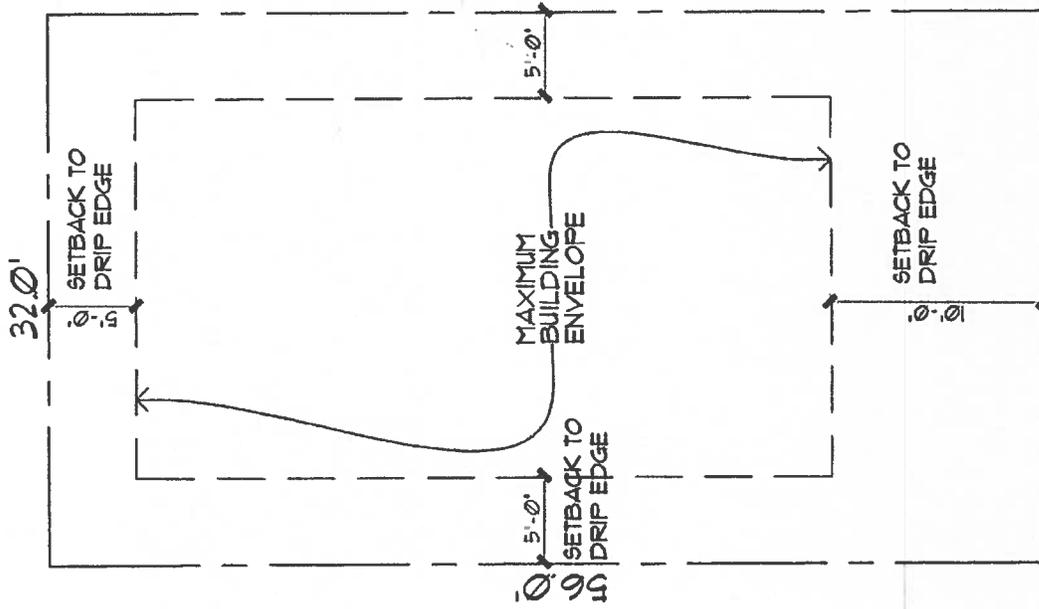
TYPICAL 1st. ELEVATED FLOOR TYPICAL 2nd. ELEVATED FLOOR

UNITS No. 39 - 110 and 126 -203 and 207-277



TYPICAL ROOF PLAN

UNITS No. 39 - 110 and 126 -203 and 207-277

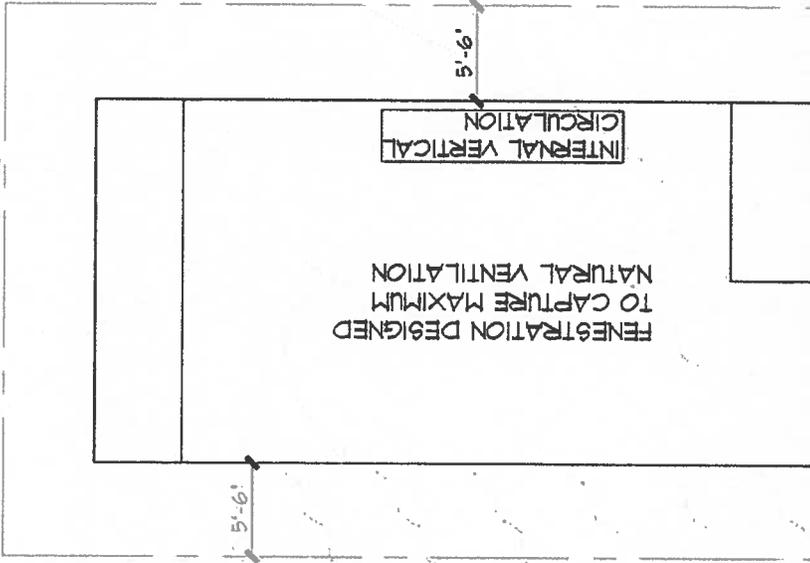


TYPICAL UNIT BOUNDARY TYPICAL GROUND FLOOR

UNITS No. 111 through 116

TO FACE OF
STRUCTURE ASSUMING
A 6' OVERHANG

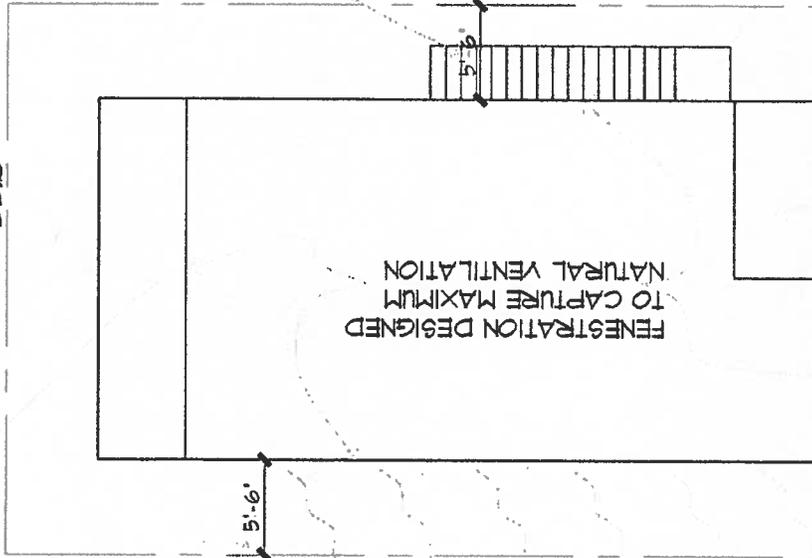
REAR PORCH RECESSED
WITHIN VOLUME OF
STRUCTURE 32'0"



56'0" PREVAILING SUMMER BREEZE

TO FACE OF
STRUCTURE ASSUMING
A 6' OVERHANG

REAR PORCH RECESSED
WITHIN VOLUME OF
STRUCTURE 32'0"



56'0" PREVAILING SUMMER BREEZE

TO FACE OF
STRUCTURE ASSUMING
A 6' OVERHANG

FRONT PORCH RECESSED
WITHIN VOLUME OF HOUSE

UNIT BOUNDARY

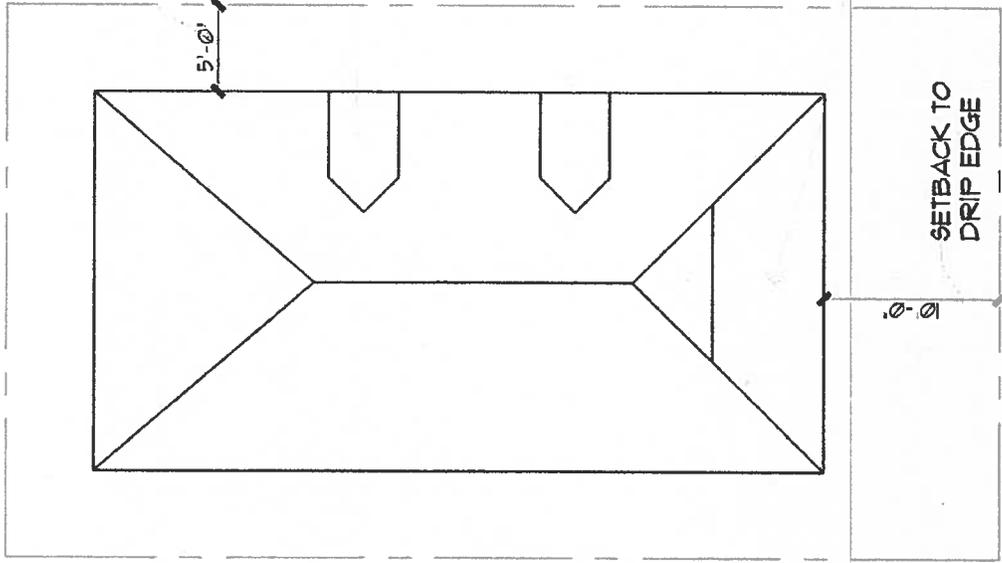
UNIT BOUNDARY

TYPICAL 2nd. ELEVATED FLOOR

TYPICAL 1st. ELEVATED FLOOR

UNITS No. 111 through 116

32'-0"



SETBACK TO DRIP EDGE

DORMERS MAY BE USED

HIPPED ROOF (PREFERRED)
MIN. 4.5:12 SLOPE
GABLED ROOF OPTIONAL

COMBINATION HIP/GABLE MAY BE USED

SETBACK TO DRIP EDGE

UNIT BOUNDARY

TYPICAL ROOF PLAN

UNITS No. 111 through 116

TO FACE OF STRUCTURE ASSUMING 6' OVERHANG

SHORELINE SETBACK

REAR PORCH (MANDATORY) RECESSED WITHIN VOLUME OF HOUSE 32'-0"

32'-0"

TO FACE OF STRUCTURE ASSUMING 6' OVERHANG

TO FACE OF STRUCTURE ASSUMING 6' OVERHANG

REAR PORCH (MANDATORY) RECESSED WITHIN VOLUME OF HOUSE 32'-0"

32'-0"

TO FACE OF STRUCTURE ASSUMING 6' OVERHANG

SHORELINE SETBACK

NON-COMBUSTIBLE STAIRWAY SHALL ALWAYS BE LOCATED PARALLEL TO BUILDING WALL OPPOSITE TO WALL RECEIVING PREVAILING SUMMER BREEZE

FENESTRATION DESIGNED TO CAPTURE MAXIMUM NATURAL VENTILATION

FENESTRATION DESIGNED TO CAPTURE MAXIMUM NATURAL VENTILATION

INTERNAL VERTICAL CIRCULATION

FRONT PORCH RECESSED WITHIN VOLUME OF HOUSE

UNIT BOUNDARY

5'-6" PREVAILING SUMMER BREEZE

5'-6" PREVAILING SUMMER BREEZE

FRONT PORCH RECESSED WITHIN VOLUME OF HOUSE

UNIT BOUNDARY

5'-6"

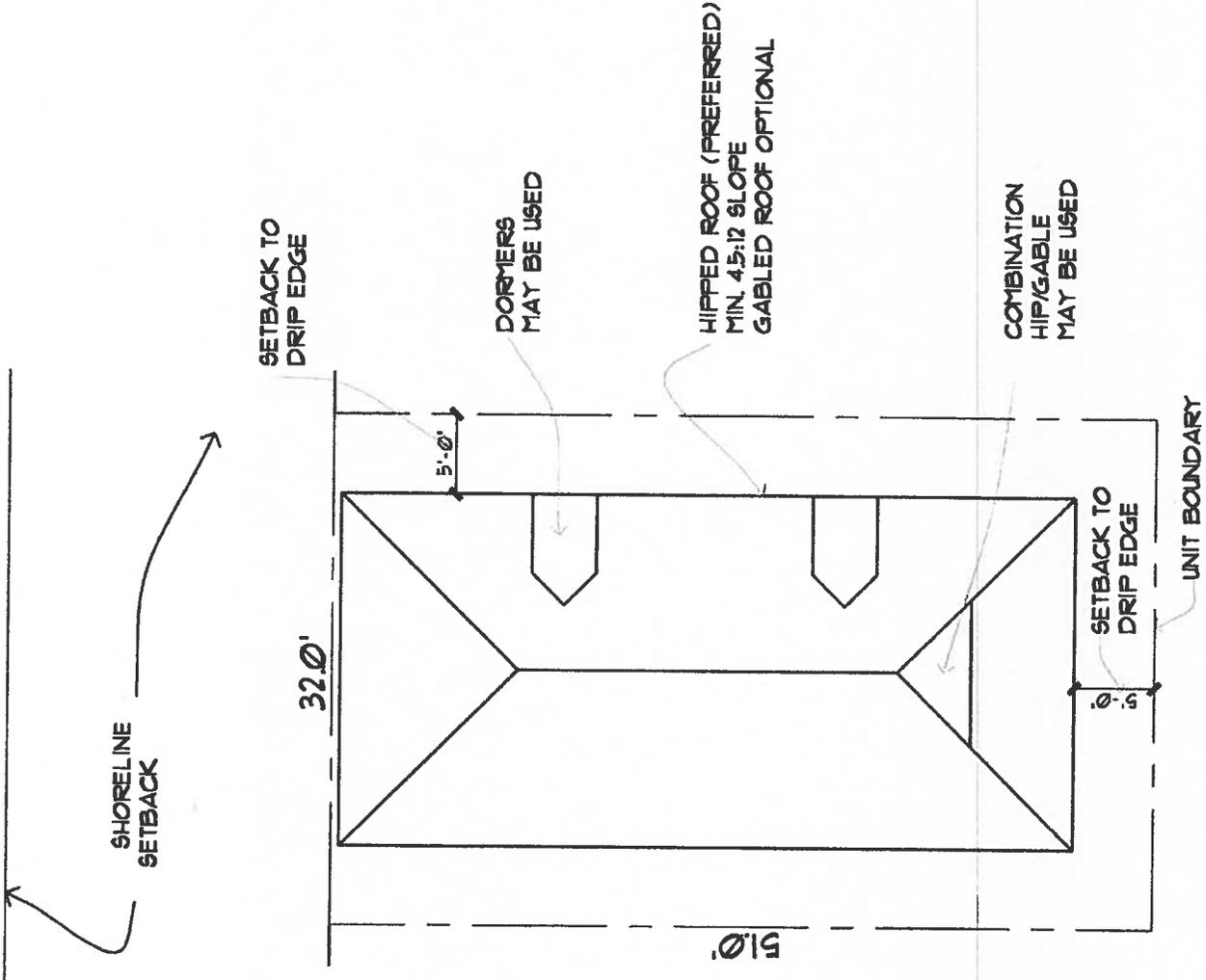
5'-6"

32'-0"

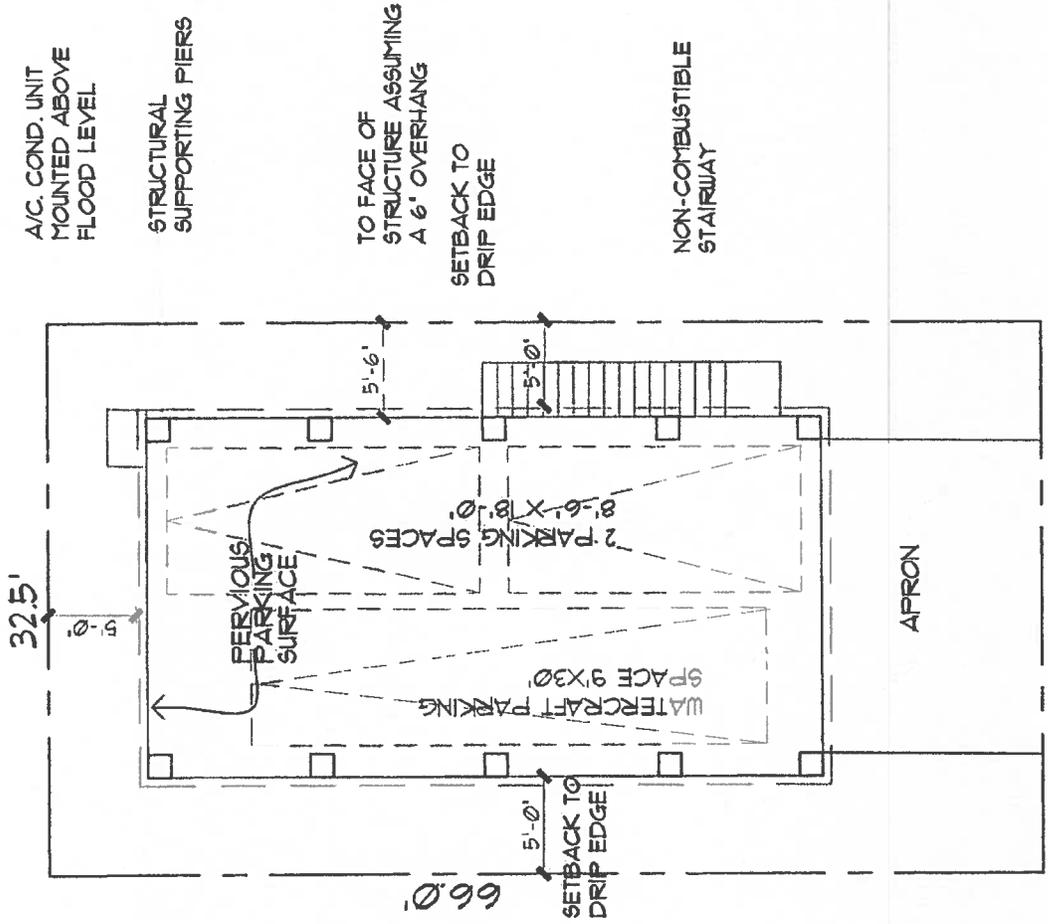
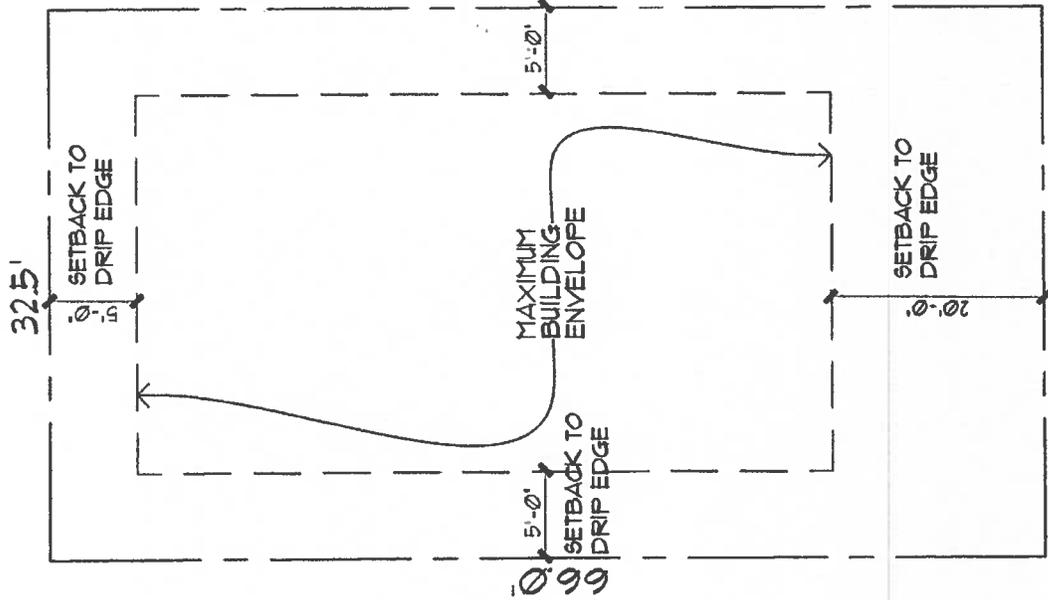
TYPICAL 1st. ELEVATED FLOOR

TYPICAL 2nd. ELEVATED FLOOR

UNITS No. 117 through 125



TYPICAL ROOF PLAN
UNITS No. 117 through 125



TYPICAL UNIT BOUNDARY TYPICAL GROUND FLOOR

UNITS No. 204 through 206

A/C COND. UNIT MOUNTED ABOVE FLOOD LEVEL

STRUCTURAL SUPPORTING PIERS

TO FACE OF STRUCTURE ASSUMING A 6" OVERHANG

SETBACK TO DRIP EDGE

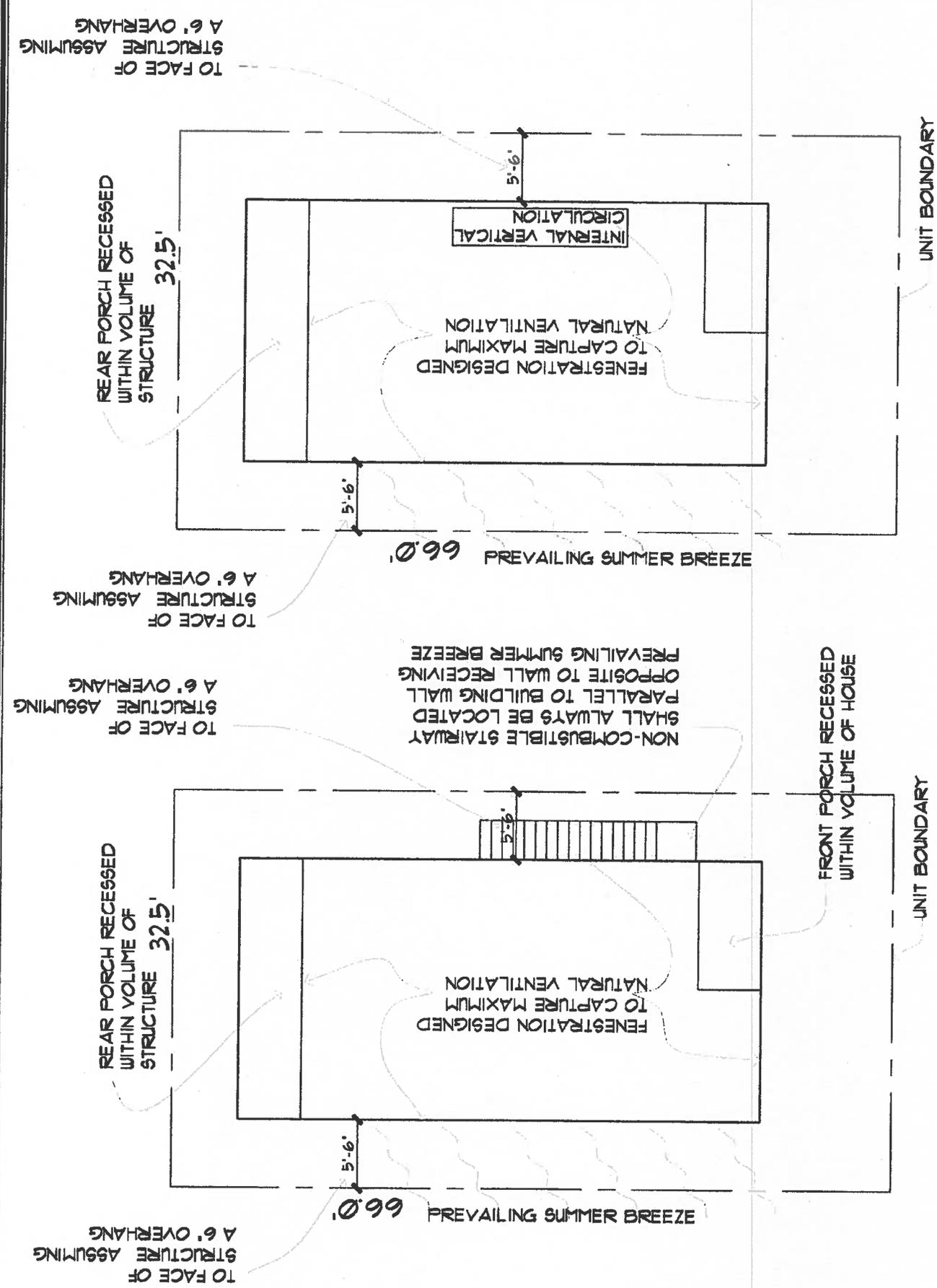
NON-COMBUSTIBLE STAIRWAY

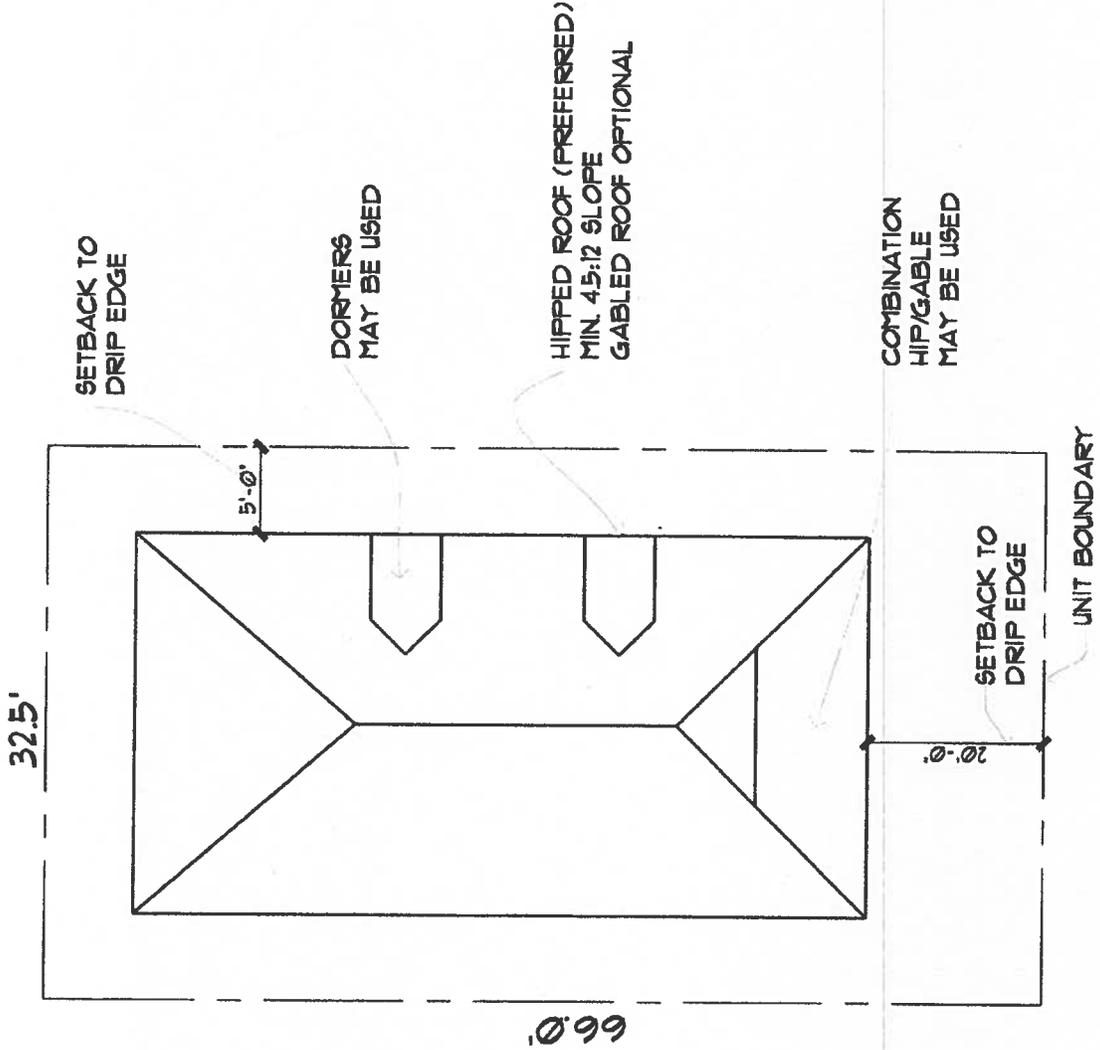
APRON

UNIT BOUNDARY

TYPICAL 1st. ELEVATED FLOOR TYPICAL 2nd. ELEVATED FLOOR

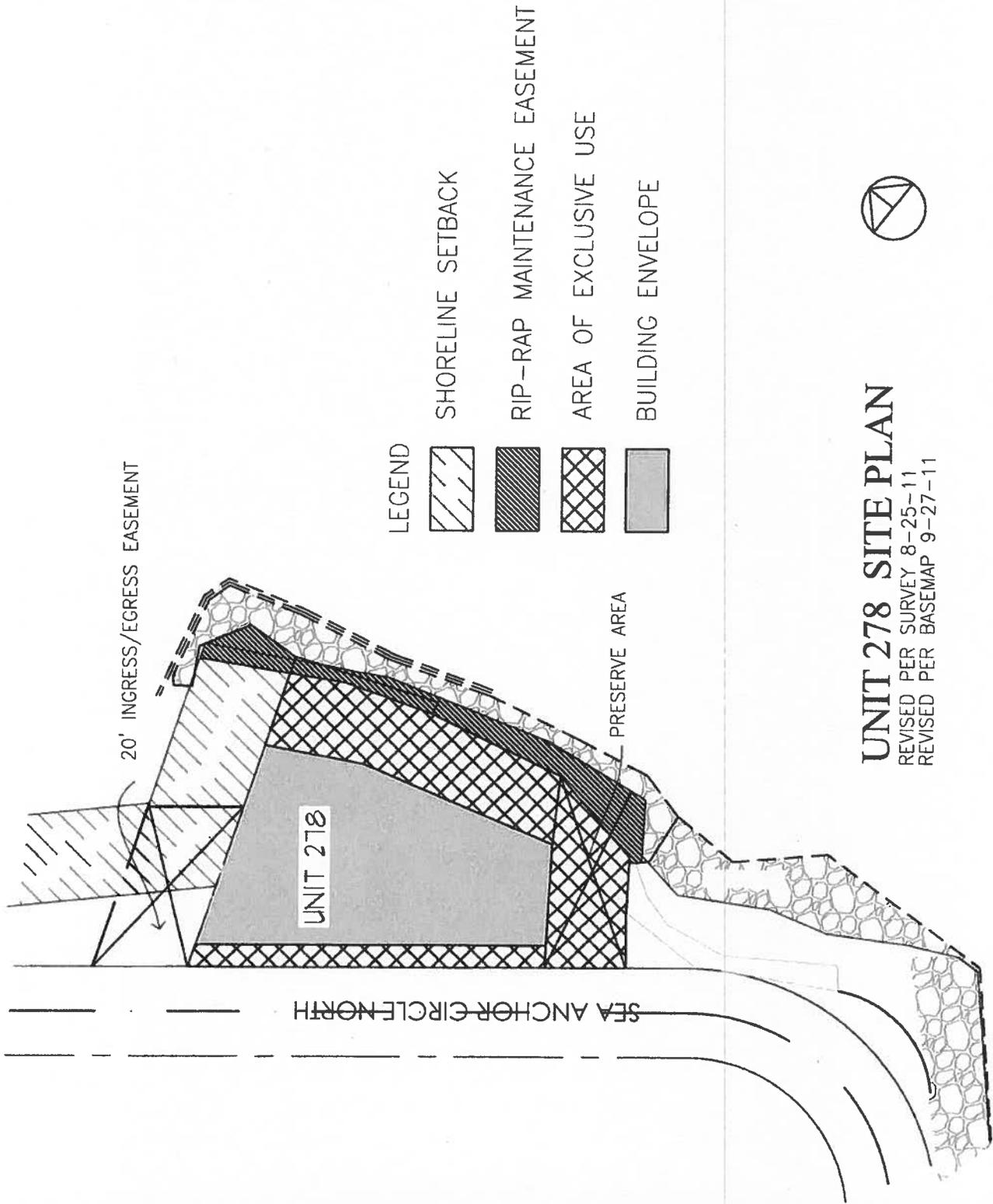
UNITS No. 204 through 206





TYPICAL ROOF PLAN

UNITS No. 204 through 206



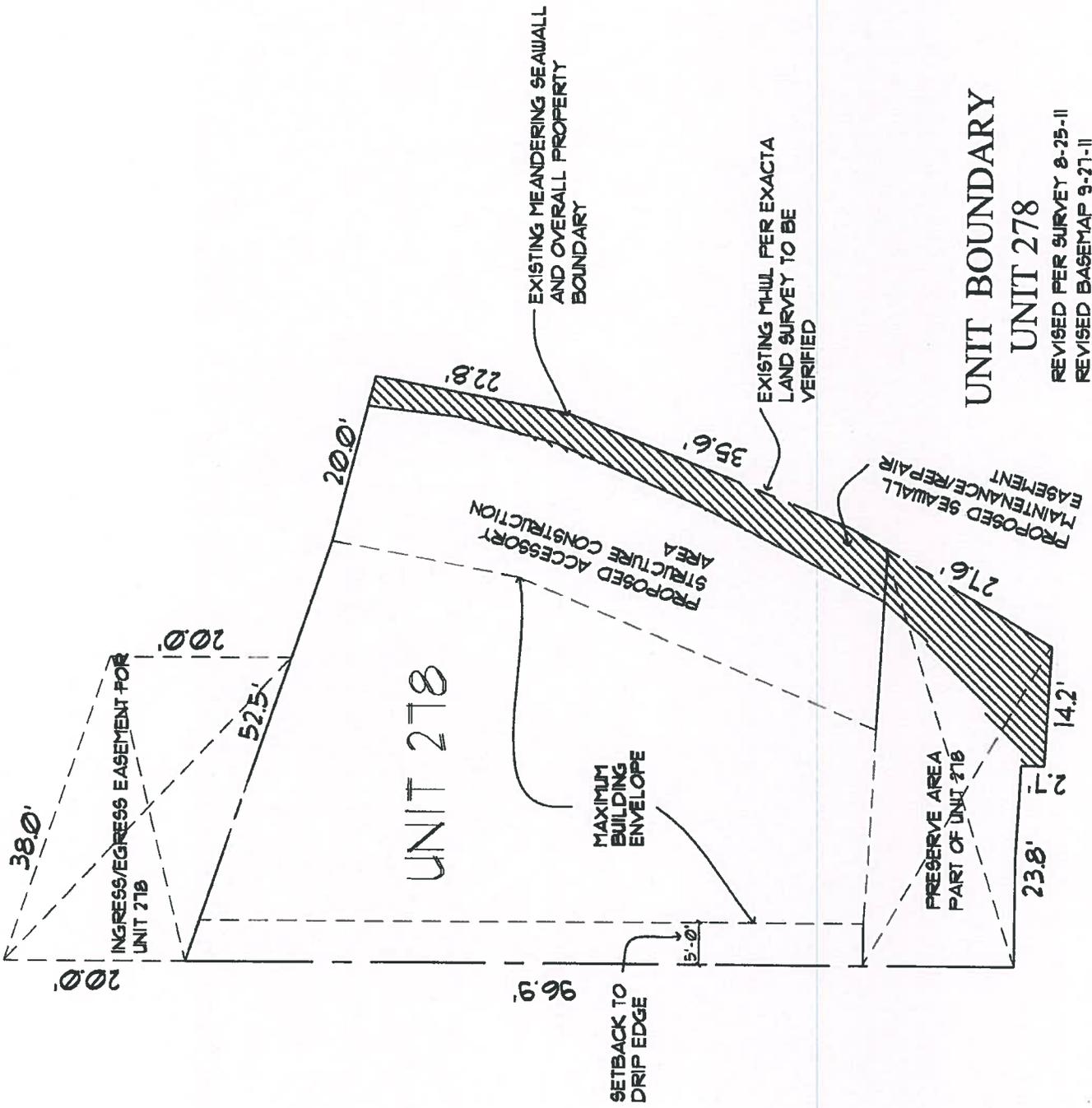
LEGEND

	SHORELINE SETBACK
	RIP-RAP MAINTENANCE EASEMENT
	AREA OF EXCLUSIVE USE
	BUILDING ENVELOPE



UNIT 278 SITE PLAN

REVISED PER SURVEY 8-25-11
 REVISED PER BASEMAP 9-27-11

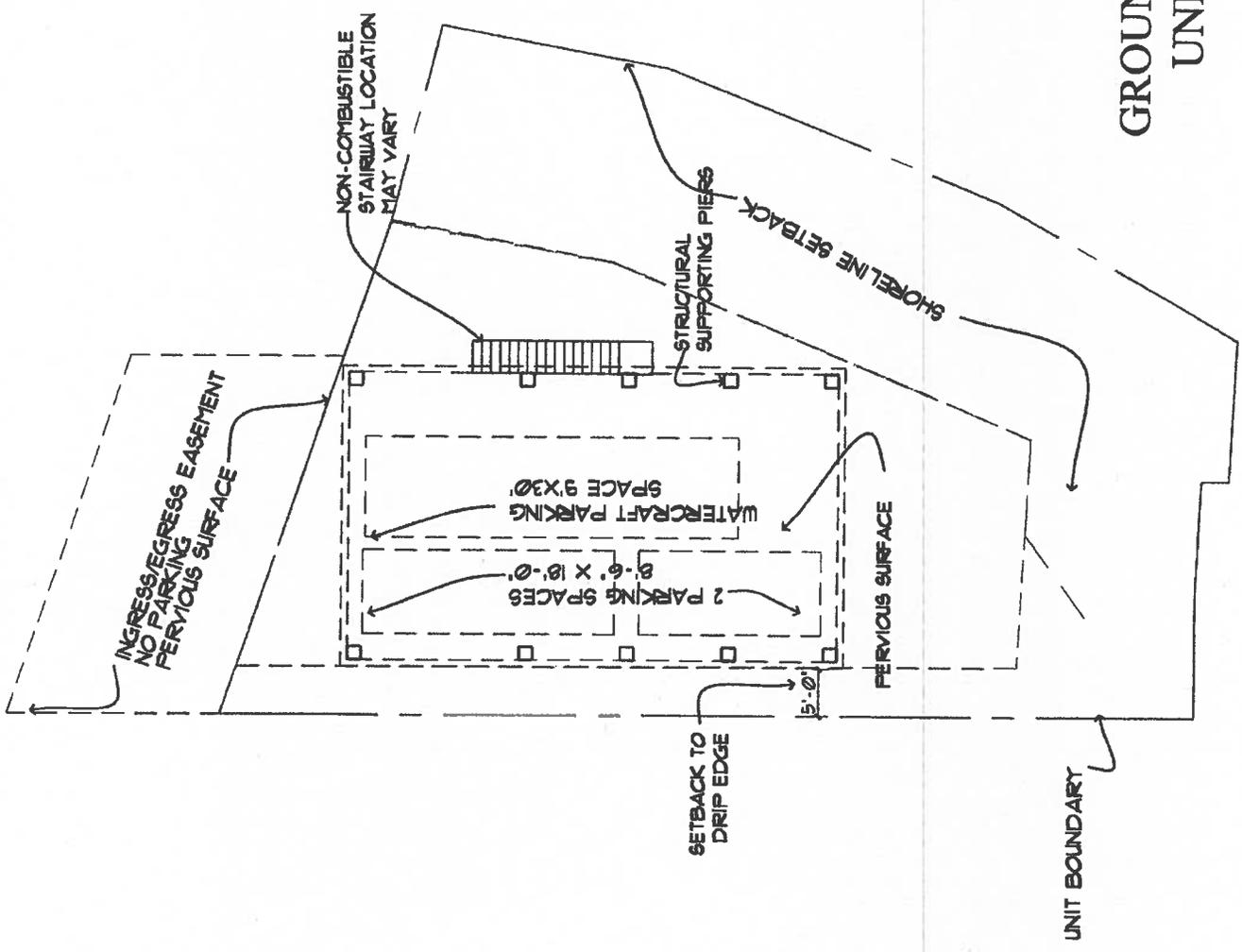


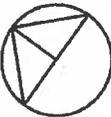
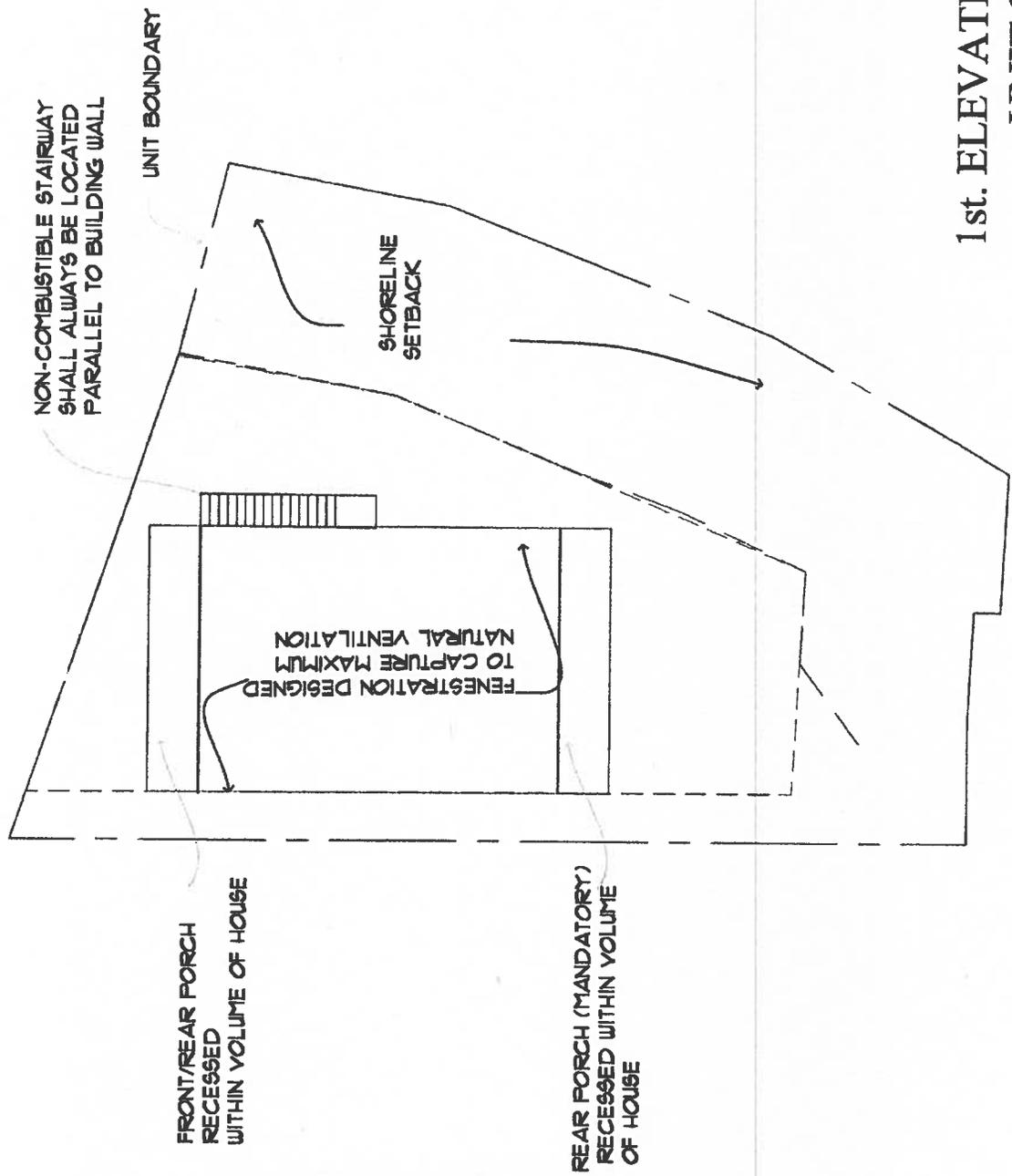
UNIT BOUNDARY
 UNIT 278

REVISED PER SURVEY 8-25-11
 REVISED BASEMAP 9-27-11



GROUND FLOOR UNIT 278

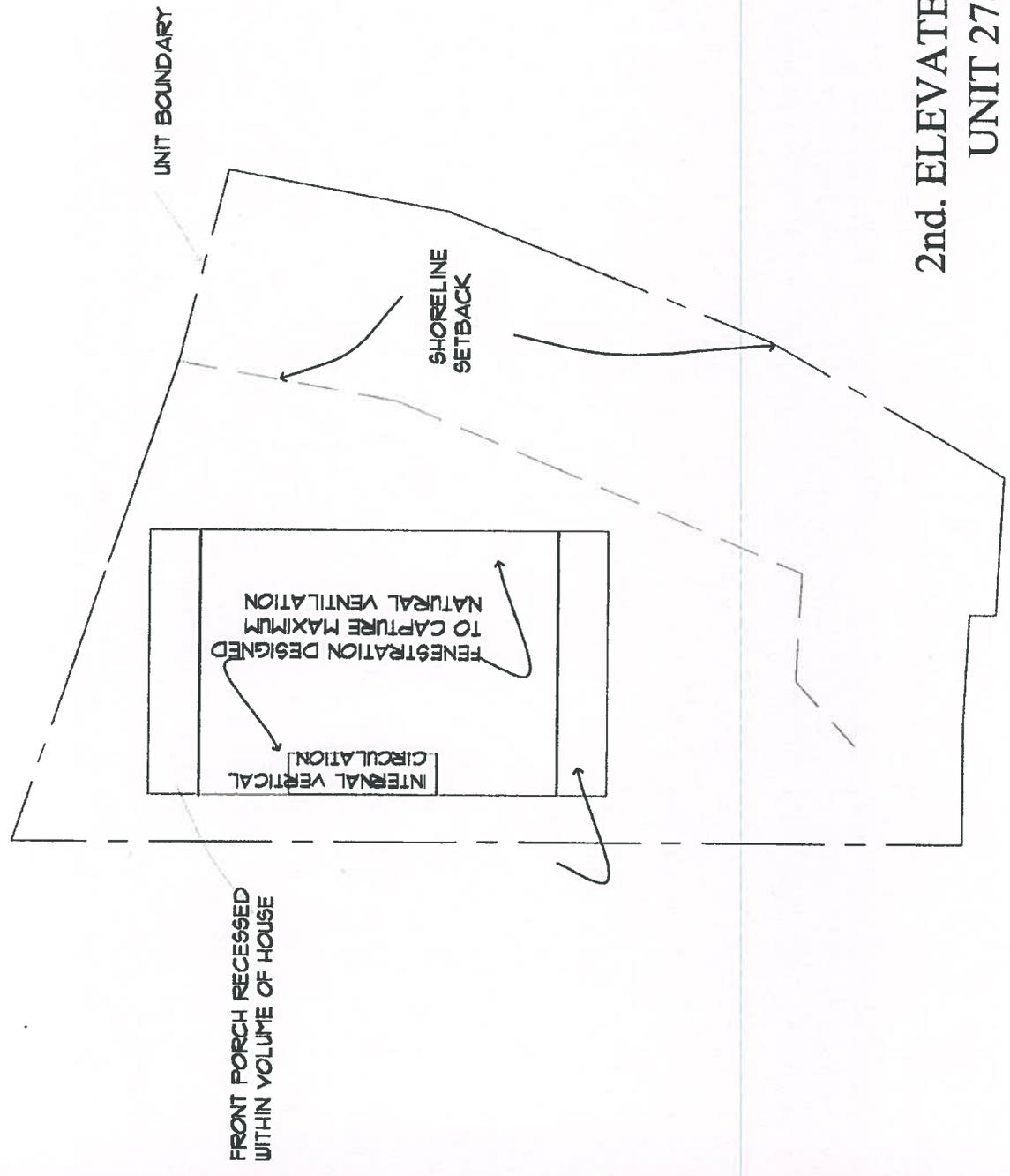


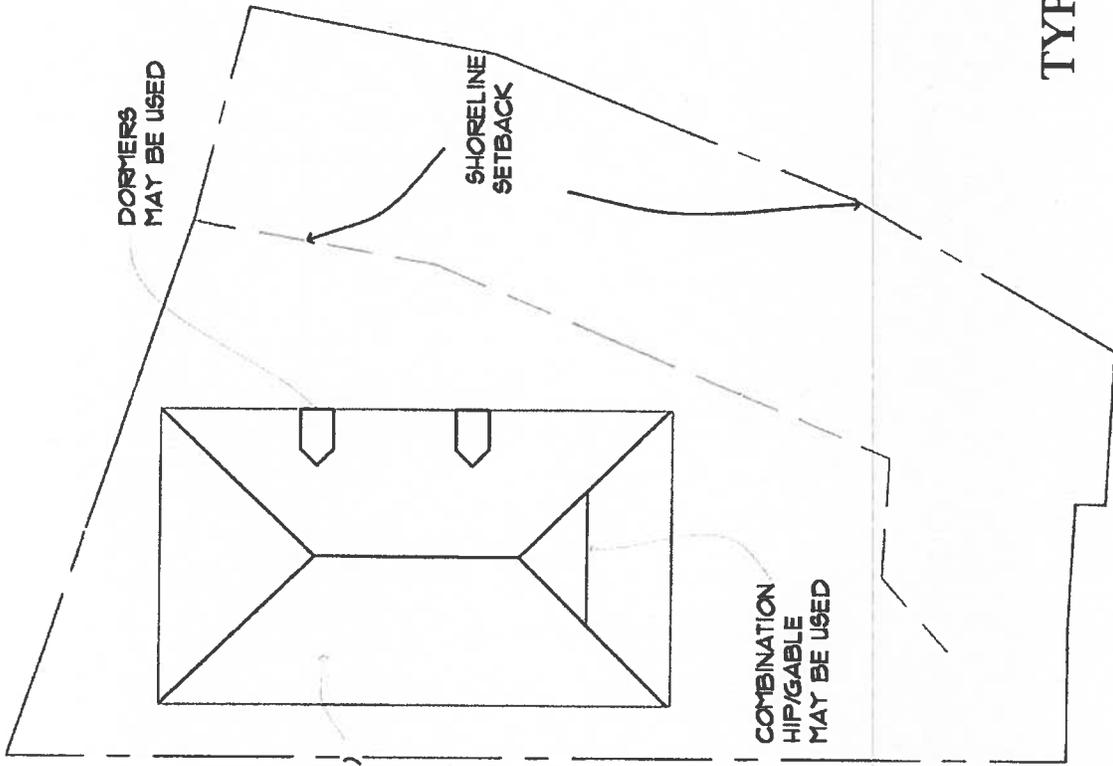


1st. ELEVATED FLOOR
UNIT 278



2nd. ELEVATED FLOOR UNIT 278





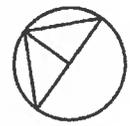
DORMERS
MAY BE USED

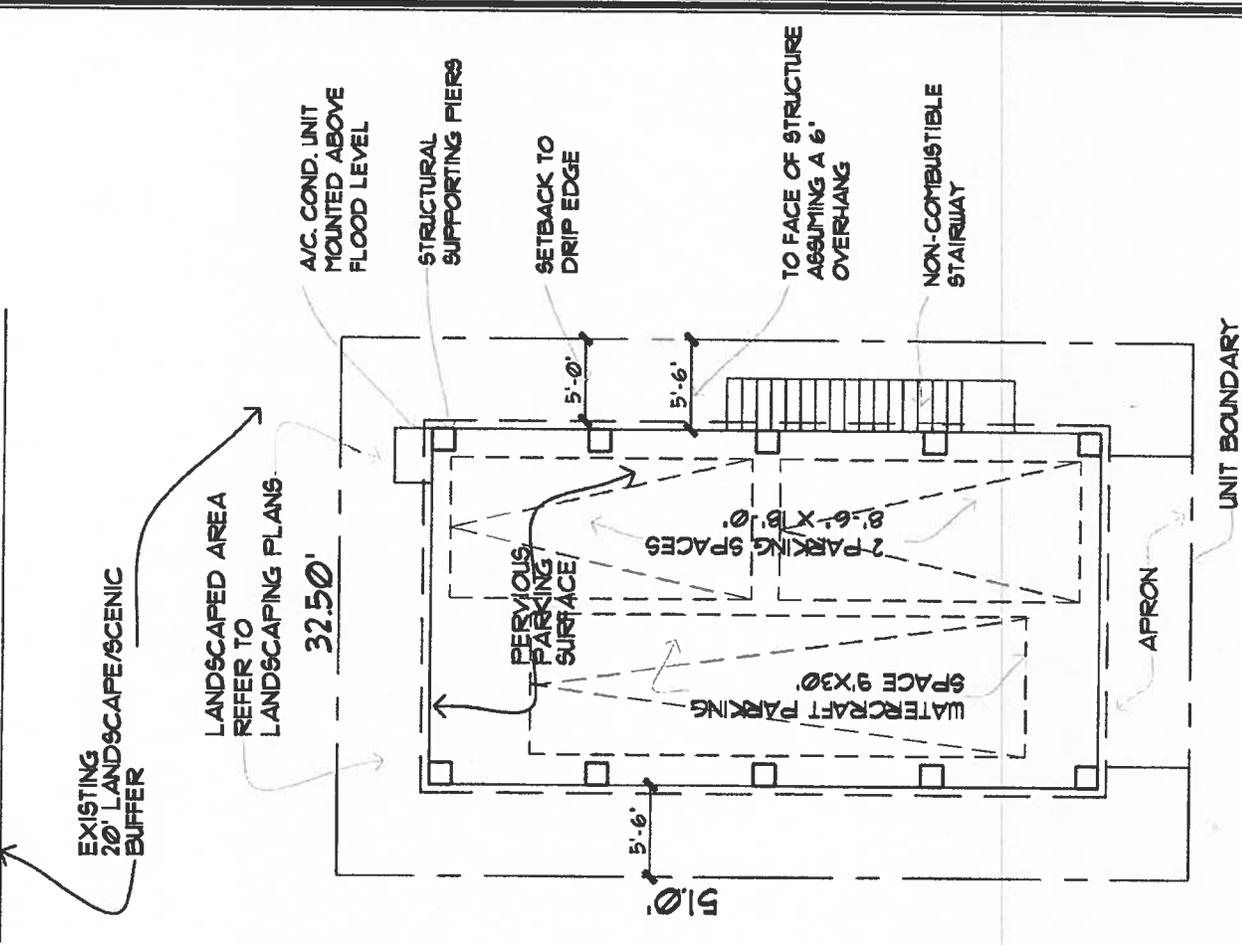
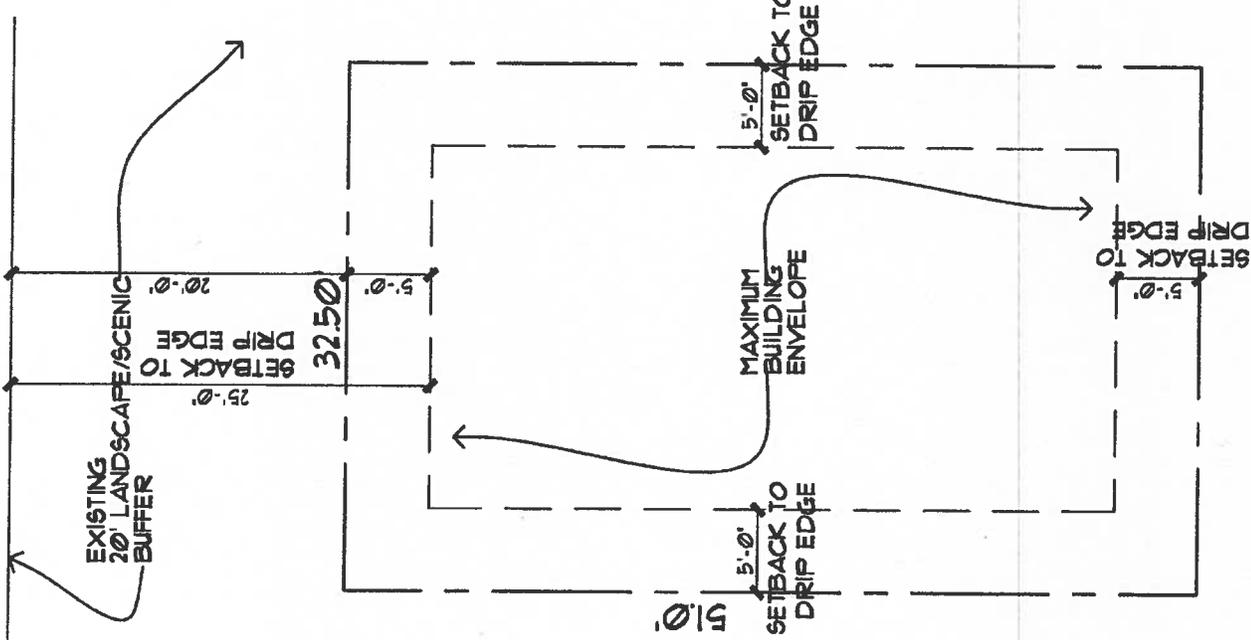
SHORELINE
SETBACK

COMBINATION
HIP/GABLE
MAY BE USED

HIPPED ROOF (PREFERRED)
MIN. 4.5:12 SLOPE
GABLED ROOF OPTIONAL

TYPICAL ROOF PLAN UNIT 278





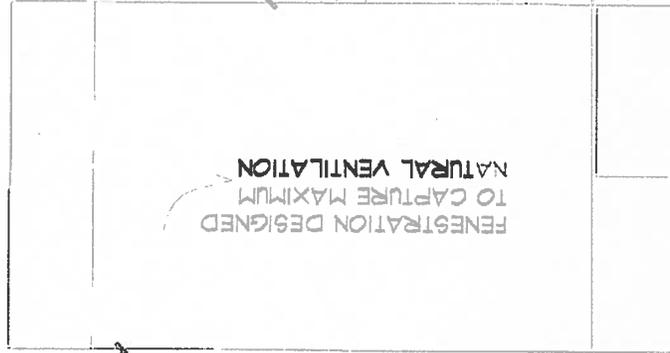
TYPICAL UNIT BOUNDARY TYPICAL GROUND FLOOR

UNITS No. 279 through 285

TO FACE OF
STRUCTURE ASSUMING
A 6' OVERHANG

EXISTING
20' LANDSCAPE/SCENIC
BUFFER

32.50'



51.0' PREVAILING SUMMER BREEZE

EDGE OF PAVEMENT

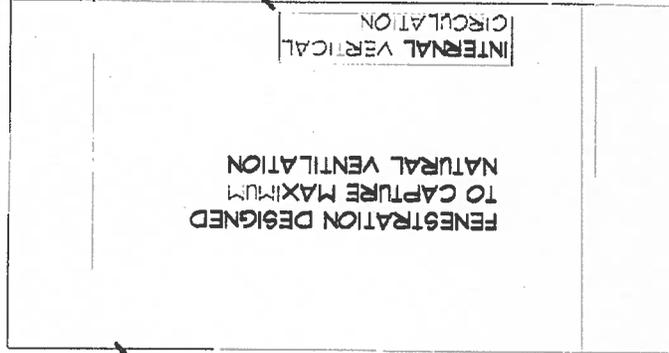
FRONT PORCH RECESSED
WITHIN VOLUME OF HOUSE

NON-COMBUSTIBLE STAIRWAY
SHALL ALWAYS BE LOCATED
PARALLEL TO BUILDING WALL
OPPOSITE TO WALL RECEIVING
PREVAILING SUMMER BREEZE

TO FACE OF
STRUCTURE ASSUMING
A 6' OVERHANG

EXISTING
20' LANDSCAPE/SCENIC
BUFFER

32.50'



51.0' PREVAILING SUMMER BREEZE

UNIT BOUNDARY

FRONT PORCH RECESSED
WITHIN VOLUME OF HOUSE

TO FACE OF
STRUCTURE ASSUMING
A 6' OVERHANG

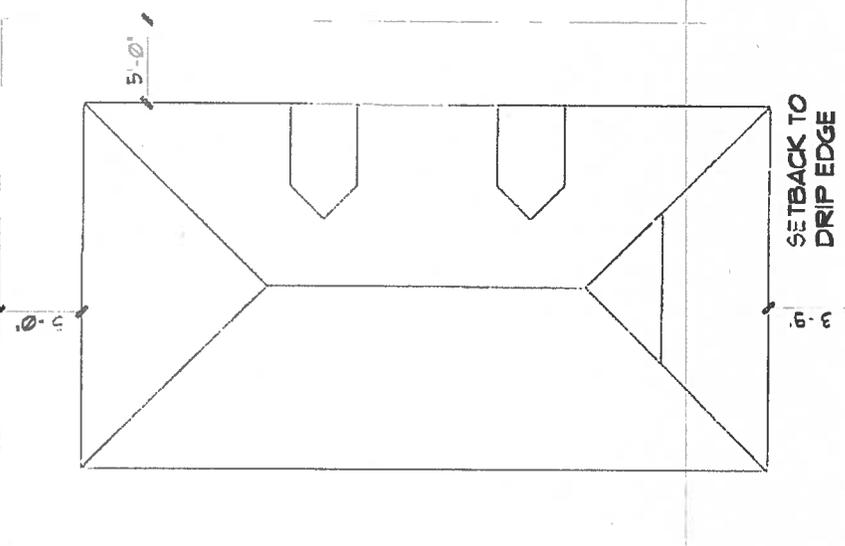
TYPICAL 1st. ELEVATED FLOOR TYPICAL 2nd. ELEVATED FLOOR

UNITS No. 279 through 285

EXISTING
20' LANDSCAPE/SCENIC
BUFFER

SETBACK TO
DRIP EDGE

32.50'



DORMERS
MAY BE USED

HIPPED ROOF (PREFERRED)
MIN. 4.5:12 SLOPE
GABLED ROOF OPTIONAL

COMBINATION
HIP/GABLE
MAY BE USED

SETBACK TO
DRIP EDGE

UNIT BOUNDARY

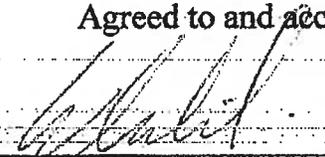
TYPICAL ROOF PLAN

UNITS No. 279 through 285

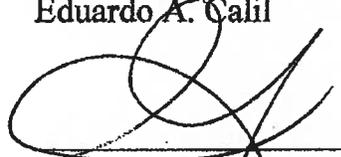
Limited Release

In consideration for the approval of shareholders of Key Largo Ocean Resort ("KLOR") of the Site Plan ("New Site Plan") on September 13, 2011 as well as approval by the Board of Directors of the New Site Plan, the undersigned parties will not pursue the previously discussed and planned litigation against Key Largo Ocean Resort, Monroe County, and/or Orestes Lopez-Recio for (1) the taking of water rights arising out of the twenty-foot shoreline setback and/or (2) copyright infringement claims that arose from a prior site plan submitted as part of an application for a major deviation. These two legal claims are identified in letters from Gonzalo Dorta, Esq. dated March 11, 2011 and March 30, 2011. On September 13, 2011, all of the previously identified KLOR shareholders represented by Gonzalo Dorta, Esq. voted in favor of the New Site Plan and do not oppose approval of the New Site Plan by Monroe County. This Limited Release only affects the above-identified two legal claims by the undersigned as they affect the New Site Plan approved by KLOR shareholders on September 13, 2011 and does not in any way release any other legal claims the parties may have.

Agreed to and accepted this 4 day of October, 2011.



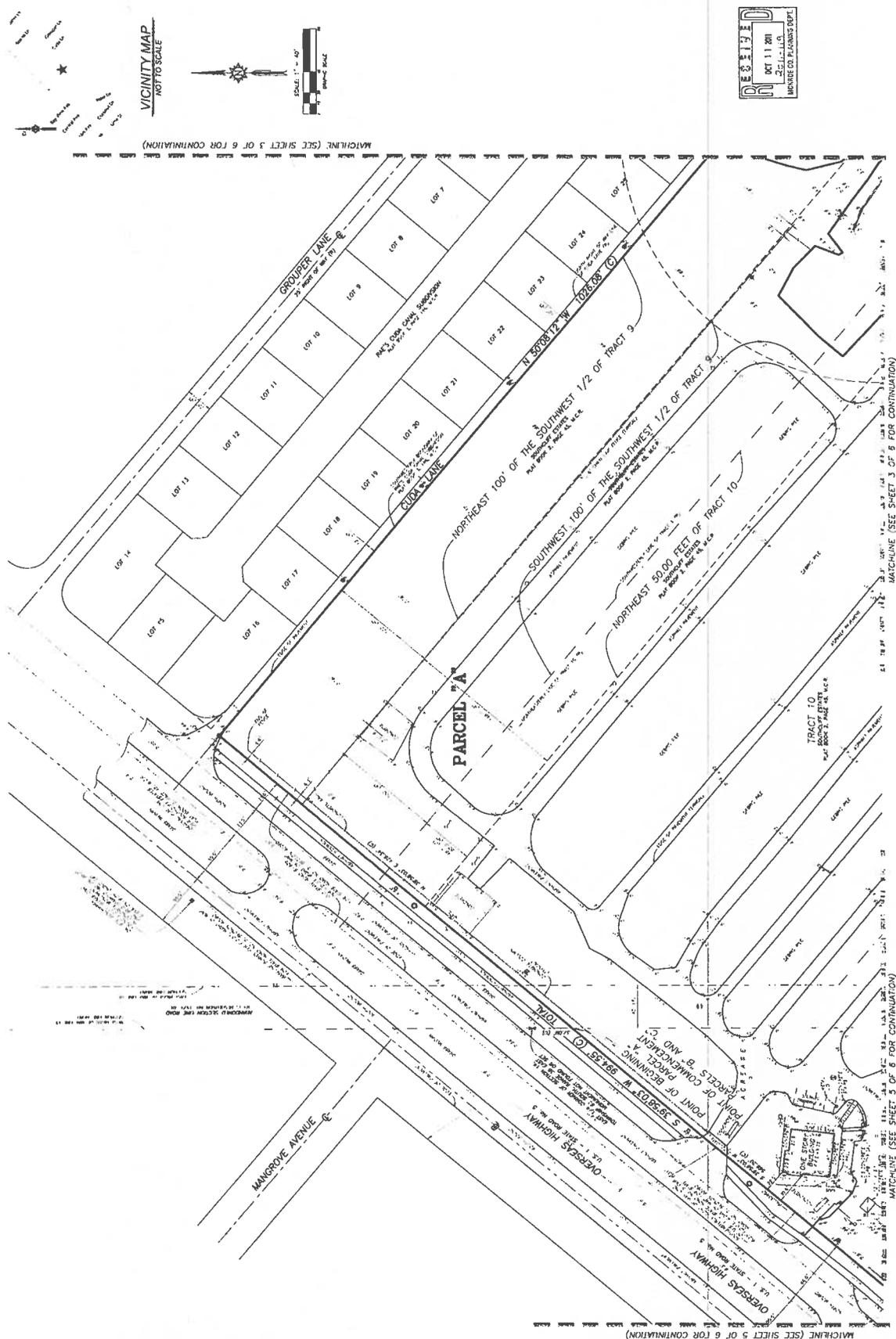
Eduardo A. Calil



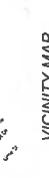
Gonzalo R. Dorta, Esquire

Attorney for Mr. Calil and Previously Identified Individual KLOR Shareholders

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: **94825 OVERSEAS HWY, KEY LARGO, FL.**



VICINITY MAP
NOT TO SCALE



SCALE: 1" = 40'

MATCHLINE (SEE SHEET 3 OF 6 FOR CONTINUATION)

MATCHLINE (SEE SHEET 5 OF 6 FOR CONTINUATION)

MATCHLINE (SEE SHEET 3 OF 6 FOR CONTINUATION)

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MATCHLINE (SEE SHEET 5 OF 6 FOR CONTINUATION)

MATCHLINE (SEE SHEET 3 OF 6 FOR CONTINUATION)

MATCHLINE (SEE SHEET 5 OF 6 FOR CONTINUATION)

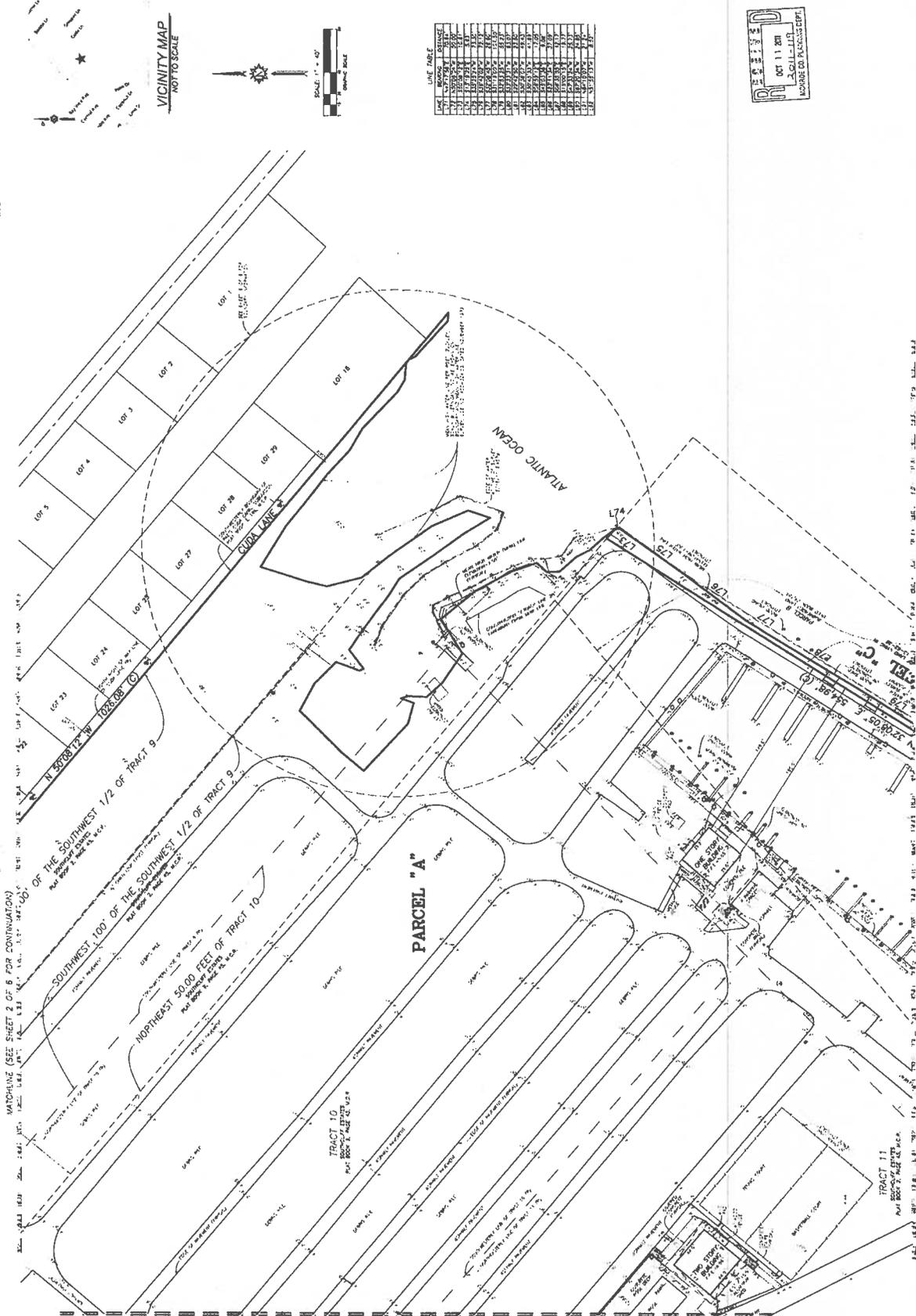
SEAL
I AM A LICENSED SURVEYOR
STATE OF FLORIDA
NO. 12345
DATE: 10/11/2011

SKETCH OF BOUNDARY
& TOPOGRAPHIC SURVEY
PARCELS OF LAND Lying IN
SECTION 13 & 14, TOWNSHIP 23 S., RANGE 38 E.
MONROE COUNTY, FLORIDA
94825 OVERSEAS HWY., KEY LARGO, FL. 33037

EXACTA
COMMERCIAL LAND SURVEYORS
P.O. BOX 1000, TAMPA, FL 33601
PHONE: 813-281-0770 FAX: 813-281-0771

FL 1109-1025
02

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: 94825 OVERSEAS HWY, KEY LARGO, FL.



LINE TABLE

LINE NO.	BEARING	DISTANCE
1	N 89° 15' 00" W	100.00
2	S 89° 15' 00" E	100.00
3	N 00° 00' 00" E	100.00
4	S 00° 00' 00" W	100.00
5	N 45° 00' 00" W	100.00
6	S 45° 00' 00" E	100.00
7	N 00° 00' 00" E	100.00
8	S 00° 00' 00" W	100.00
9	N 45° 00' 00" W	100.00
10	S 45° 00' 00" E	100.00
11	N 00° 00' 00" E	100.00
12	S 00° 00' 00" W	100.00
13	N 45° 00' 00" W	100.00
14	S 45° 00' 00" E	100.00
15	N 00° 00' 00" E	100.00
16	S 00° 00' 00" W	100.00
17	N 45° 00' 00" W	100.00
18	S 45° 00' 00" E	100.00
19	N 00° 00' 00" E	100.00
20	S 00° 00' 00" W	100.00
21	N 45° 00' 00" W	100.00
22	S 45° 00' 00" E	100.00
23	N 00° 00' 00" E	100.00
24	S 00° 00' 00" W	100.00
25	N 45° 00' 00" W	100.00
26	S 45° 00' 00" E	100.00
27	N 00° 00' 00" E	100.00
28	S 00° 00' 00" W	100.00
29	N 45° 00' 00" W	100.00
30	S 45° 00' 00" E	100.00

OCT 11 2011
 2:00 PM - 11:15
 MONROE CO. PLANNING DEPT.

FL 1109-1025
 03

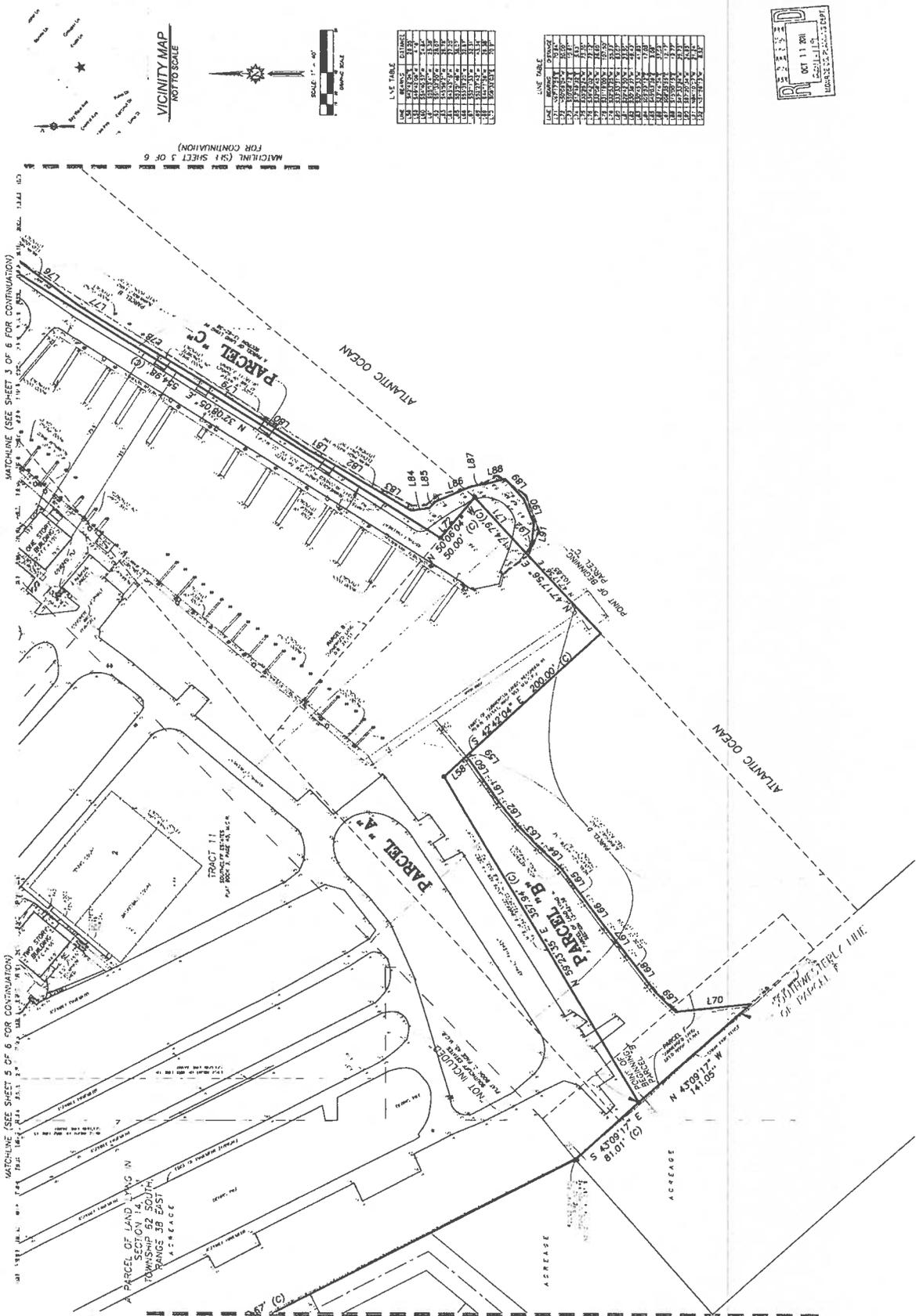
MATCHLINE (SEE SHEET 4 OF 6 FOR CONTINUATION)

MATCHLINE (SEE SHEET 4 OF 6 FOR CONTINUATION)

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: 94825 OVERSEAS HWY, KEY LARGO, FL. 33077
 MONROE COUNTY, FLORIDA
 SECTION 13 & 14, TOWNSHIP 25 S, RANGE 30 E
 PARCELS OF LAND LIVING IN
 94825 OVERSEAS HWY, KEY LARGO, FL. 33077
 DATE: 10/11/11
 SURVEYOR: J. J. JENSEN
 MODEL: JENSEN
 ANGLE: 0.000000
 1. DATE: 10/11/11
 2. SCALE: 1" = 40'
 3. MONROE CO. PLANNING DEPT.



SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: **94825 OVERSEAS HWY, KEY LARGO, FL.**



VICINITY MAP
NOT TO SCALE



LINE TABLE

LINE NO.	BEARING	DISTANCE
1	N 17°15' E	17.50
2	S 89°35' E	35.91
3	N 32°08'5" E	54.98
4	N 43°09'17" E	81.01
5	S 89°35' E	35.91
6	N 17°15' E	17.50
7	S 89°35' E	35.91
8	N 32°08'5" E	54.98
9	N 43°09'17" E	81.01
10	S 89°35' E	35.91
11	N 17°15' E	17.50
12	S 89°35' E	35.91
13	N 32°08'5" E	54.98
14	N 43°09'17" E	81.01
15	S 89°35' E	35.91
16	N 17°15' E	17.50
17	S 89°35' E	35.91
18	N 32°08'5" E	54.98
19	N 43°09'17" E	81.01
20	S 89°35' E	35.91
21	N 17°15' E	17.50
22	S 89°35' E	35.91
23	N 32°08'5" E	54.98
24	N 43°09'17" E	81.01
25	S 89°35' E	35.91
26	N 17°15' E	17.50
27	S 89°35' E	35.91
28	N 32°08'5" E	54.98
29	N 43°09'17" E	81.01
30	S 89°35' E	35.91
31	N 17°15' E	17.50
32	S 89°35' E	35.91
33	N 32°08'5" E	54.98
34	N 43°09'17" E	81.01
35	S 89°35' E	35.91
36	N 17°15' E	17.50
37	S 89°35' E	35.91
38	N 32°08'5" E	54.98
39	N 43°09'17" E	81.01
40	S 89°35' E	35.91
41	N 17°15' E	17.50
42	S 89°35' E	35.91
43	N 32°08'5" E	54.98
44	N 43°09'17" E	81.01
45	S 89°35' E	35.91
46	N 17°15' E	17.50
47	S 89°35' E	35.91
48	N 32°08'5" E	54.98
49	N 43°09'17" E	81.01
50	S 89°35' E	35.91
51	N 17°15' E	17.50
52	S 89°35' E	35.91
53	N 32°08'5" E	54.98
54	N 43°09'17" E	81.01
55	S 89°35' E	35.91
56	N 17°15' E	17.50
57	S 89°35' E	35.91
58	N 32°08'5" E	54.98
59	N 43°09'17" E	81.01
60	S 89°35' E	35.91
61	N 17°15' E	17.50
62	S 89°35' E	35.91
63	N 32°08'5" E	54.98
64	N 43°09'17" E	81.01
65	S 89°35' E	35.91
66	N 17°15' E	17.50
67	S 89°35' E	35.91
68	N 32°08'5" E	54.98
69	N 43°09'17" E	81.01
70	S 89°35' E	35.91
71	N 17°15' E	17.50
72	S 89°35' E	35.91
73	N 32°08'5" E	54.98
74	N 43°09'17" E	81.01
75	S 89°35' E	35.91
76	N 17°15' E	17.50
77	S 89°35' E	35.91
78	N 32°08'5" E	54.98
79	N 43°09'17" E	81.01
80	S 89°35' E	35.91
81	N 17°15' E	17.50
82	S 89°35' E	35.91
83	N 32°08'5" E	54.98
84	N 43°09'17" E	81.01
85	S 89°35' E	35.91
86	N 17°15' E	17.50
87	S 89°35' E	35.91
88	N 32°08'5" E	54.98
89	N 43°09'17" E	81.01
90	S 89°35' E	35.91
91	N 17°15' E	17.50
92	S 89°35' E	35.91
93	N 32°08'5" E	54.98
94	N 43°09'17" E	81.01
95	S 89°35' E	35.91
96	N 17°15' E	17.50
97	S 89°35' E	35.91
98	N 32°08'5" E	54.98
99	N 43°09'17" E	81.01
100	S 89°35' E	35.91

LINE TABLE

LINE NO.	BEARING	DISTANCE
1	N 17°15' E	17.50
2	S 89°35' E	35.91
3	N 32°08'5" E	54.98
4	N 43°09'17" E	81.01
5	S 89°35' E	35.91
6	N 17°15' E	17.50
7	S 89°35' E	35.91
8	N 32°08'5" E	54.98
9	N 43°09'17" E	81.01
10	S 89°35' E	35.91
11	N 17°15' E	17.50
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13	N 32°08'5" E	54.98
14	N 43°09'17" E	81.01
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54	N 43°09'17" E	81.01
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56	N 17°15' E	17.50
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73	N 32°08'5" E	54.98
74	N 43°09'17" E	81.01
75	S 89°35' E	35.91
76	N 17°15' E	17.50
77	S 89°35' E	35.91
78	N 32°08'5" E	54.98
79	N 43°09'17" E	81.01
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88	N 32°08'5" E	54.98
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94	N 43°09'17" E	81.01
95	S 89°35' E	35.91
96	N 17°15' E	17.50
97	S 89°35' E	35.91
98	N 32°08'5" E	54.98
99	N 43°09'17" E	81.01
100	S 89°35' E	35.91

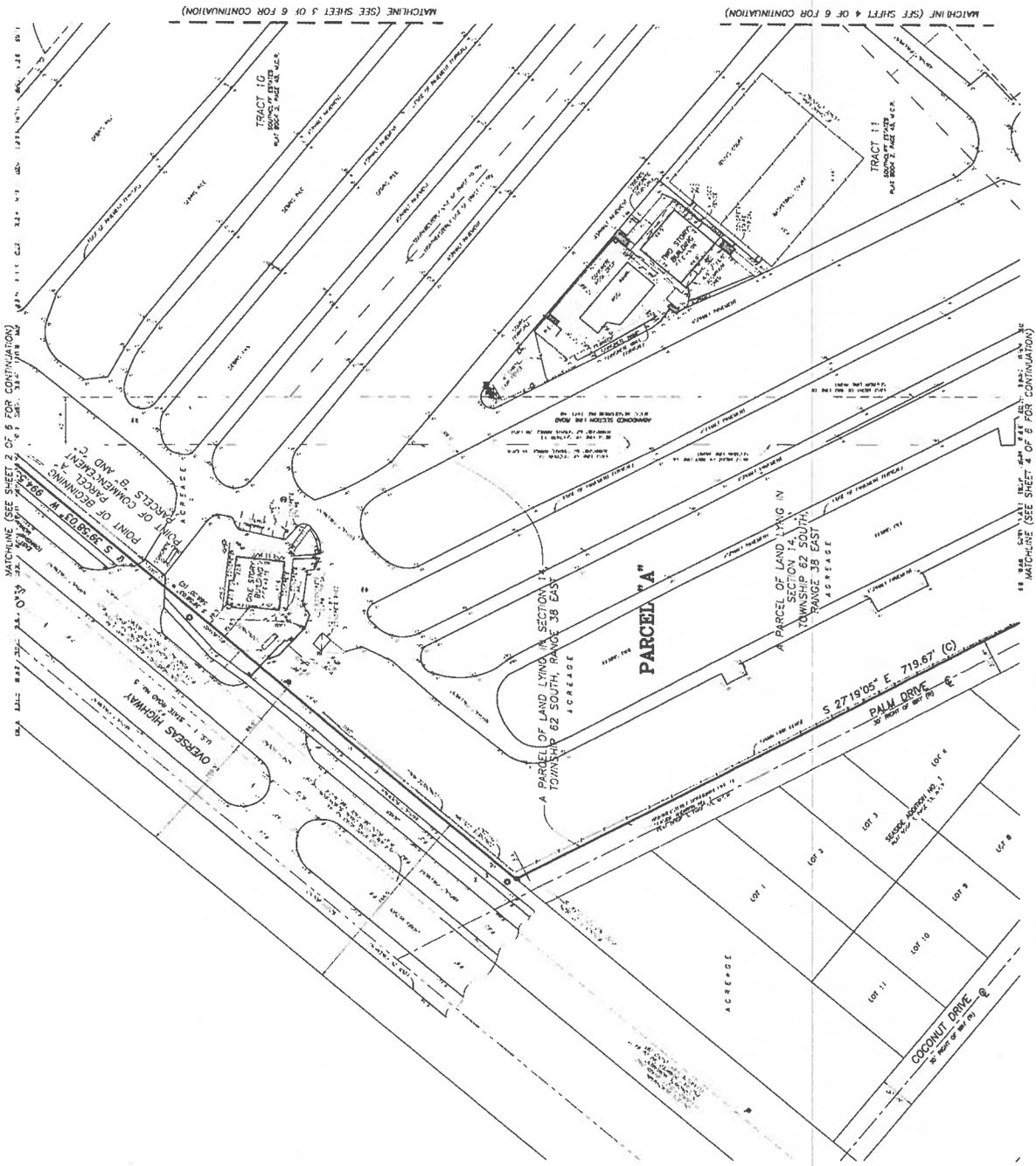
LINE TABLE

LINE NO.	BEARING	DISTANCE
1	N 17°15' E	17.50
2	S 89°35' E	35.91
3	N 32°08'5" E	54.98
4	N 43°09'17" E	81.01
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98	N 32°08'5" E	54.98
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100	S 89°35' E	35.91

LINE TABLE

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19	N 43°09'17" E	81.01
20	S 89°35' E	35.91
21		

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: **94825 OVERSEAS HWY, KEY LARGO, FL.**



SEAL
 I HAVE EXAMINED THESE PLANS AND FIND THEM TO BE CORRECT AND ACCURATE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEYOR'S SEAL.

EXACTA
 SURVEYING & MAPPING
 1200 N. W. 10th Ave.
 Ft. Lauderdale, FL 33304

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: PARCELS OF LAND LYING IN SECTION 1 & 14, TOWNSHIP 62 S, RANGE 38 E, HIGHLAND COUNTY, FLORIDA
 94825 OVERSEAS HWY, KEY LARGO, FL 33037

DATE: 08/11/2011
 TIME: 11:20 AM
 PROJECT: 94825-1191
 SURVEYOR: J. B. GILBERT
 CHECKED: J. B. GILBERT
 DRAWN: J. B. GILBERT

FL 1109-1025
 05 06

94825 OVERSEAS HWY, KEY LARGO, FL.

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

NO.	DATE	DESCRIPTION
1	11/11/11	...
2	11/11/11	...
3	11/11/11	...
4	11/11/11	...
5	11/11/11	...
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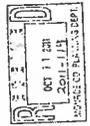
VICINITY MAP
NOT TO SCALE

SCALE: 1" = 20'

GRAPHIC SCALE

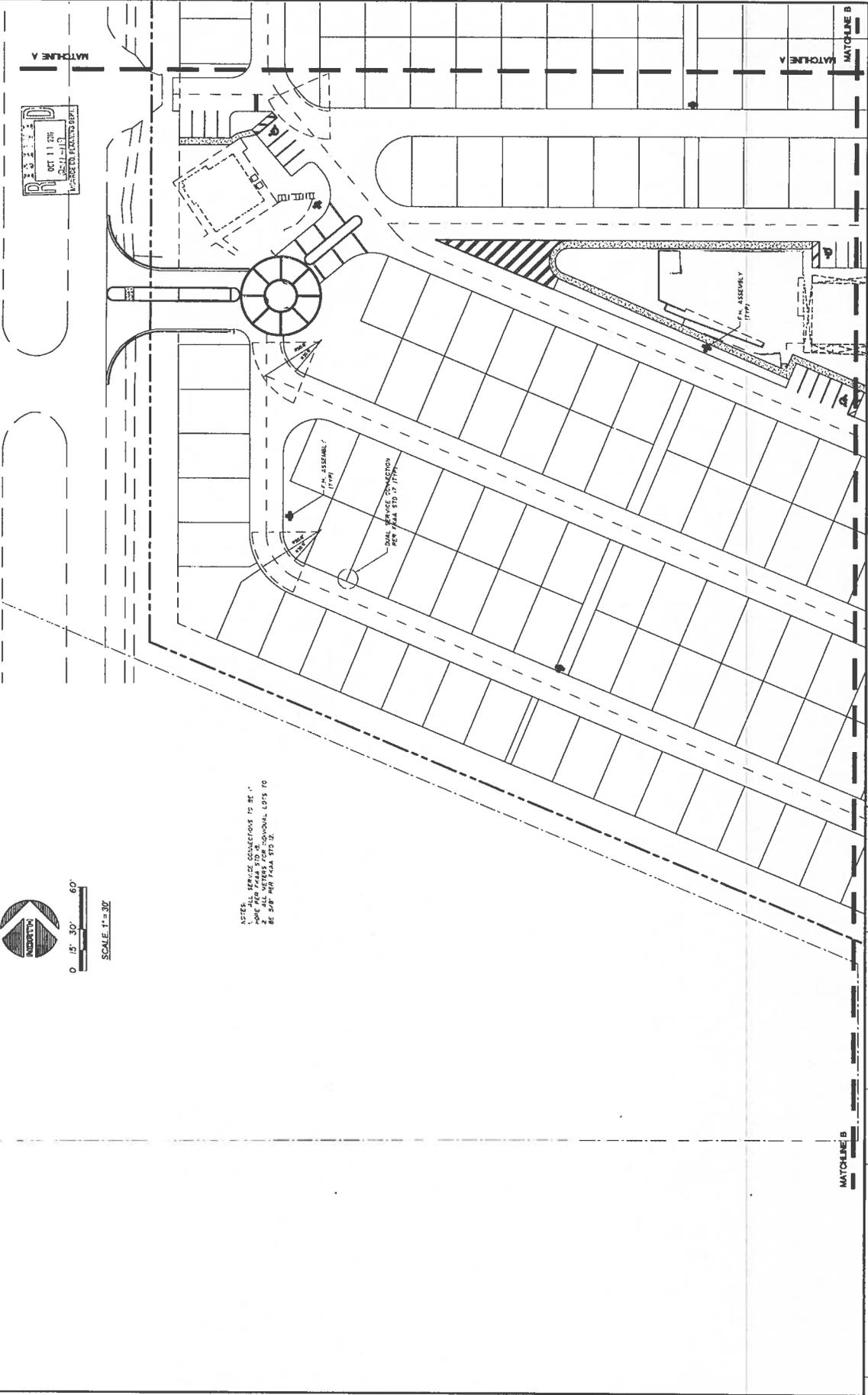
Legend:

- Property
- Highway
- Water
- Other





NOTES:
 1. ALL SERVICE CONNECTIONS TO BE 1"
 WIDE AND 1/4" DIA STD. W. ANCHORAL LOTS TO
 BE 3/4" DIA STD. W. ANCHORAL LOTS TO



PROJECT NUMBER 8000B		CONCEPTUAL PLAN	
SHEET NUMBER FPI OF 4		KEY LARGO OCEAN RESORT KLCOR	
Engineer of Report: ALBERTO P. HERRERA		Date: <u>July 2003</u>	
Registered Engineer Number: State of Florida		Date: <u>July 2003</u>	
Planning & Development & Administration conservation administration 12845 SW 135 Street, Suite 206 Miami, Florida 33186 Phone: (305) 232-1970 Authorization No. EB-34343			
Designed by: <u>A.P.H.</u>	Date: <u>05/02</u>	Checked by: <u>A.P.H.</u>	Date: <u>05/02</u>
Drawn by: <u>A.P.H.</u>	Date: <u>05/02</u>	Checked by: <u>A.P.H.</u>	Date: <u>05/02</u>
NO.	DATE	BY	REVISION
1			REVISION



0 15' 30' 60'

SCALE: 1" = 30'

NOTES:
1. SEE FIRE CONNECTIONS TO BE 1"
2. ALL METERS FOR INDIVIDUAL LOTS TO
BE 2.5" PER WATER STD 2



PROJECT NUMBER
20018
SHEET NUMBER
FP2 OF 4

FIRE ACCESS AND HYDRANT LOCATION
CONCEPTUAL PLAN
KEY LARGO OCEAN RESORT
KLCOR

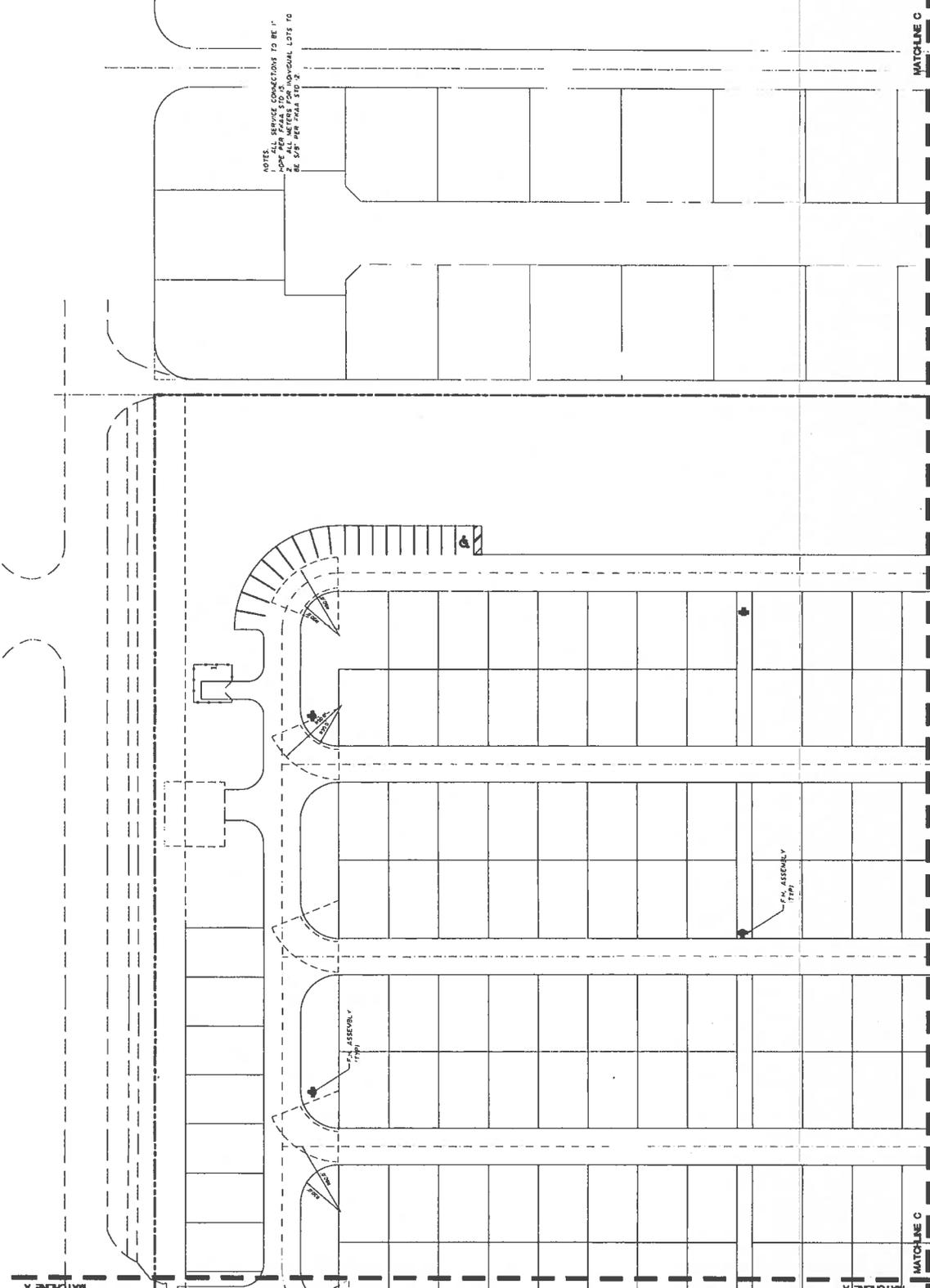
Albert P. Huerfano
Registered Engineer Number
8345
State of Florida

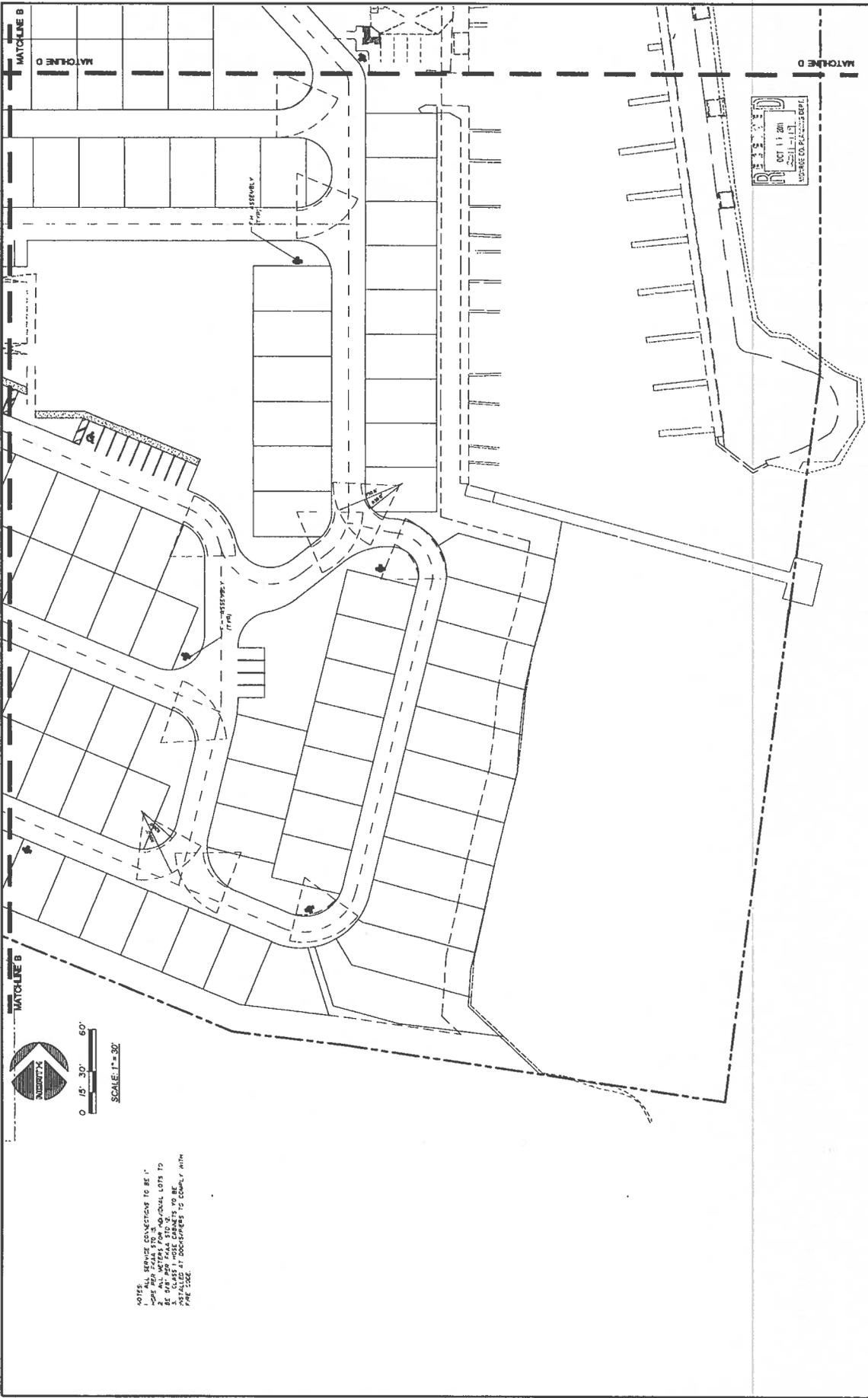
planning & engineering & transportation
construction administration
12855 SW 133 Street, Suite 206
Miami, Florida 33186
Phone: (305) 251-9770
Fax: (305) 251-9770
Authorization No. EB-34343



Designed by: A.P.H. Date: DEC 12
Drawn by: A.P.H. Date: 08-18
Checked by: A.P.H. Date: 08-18

NO.	DATE	BY	REVISION





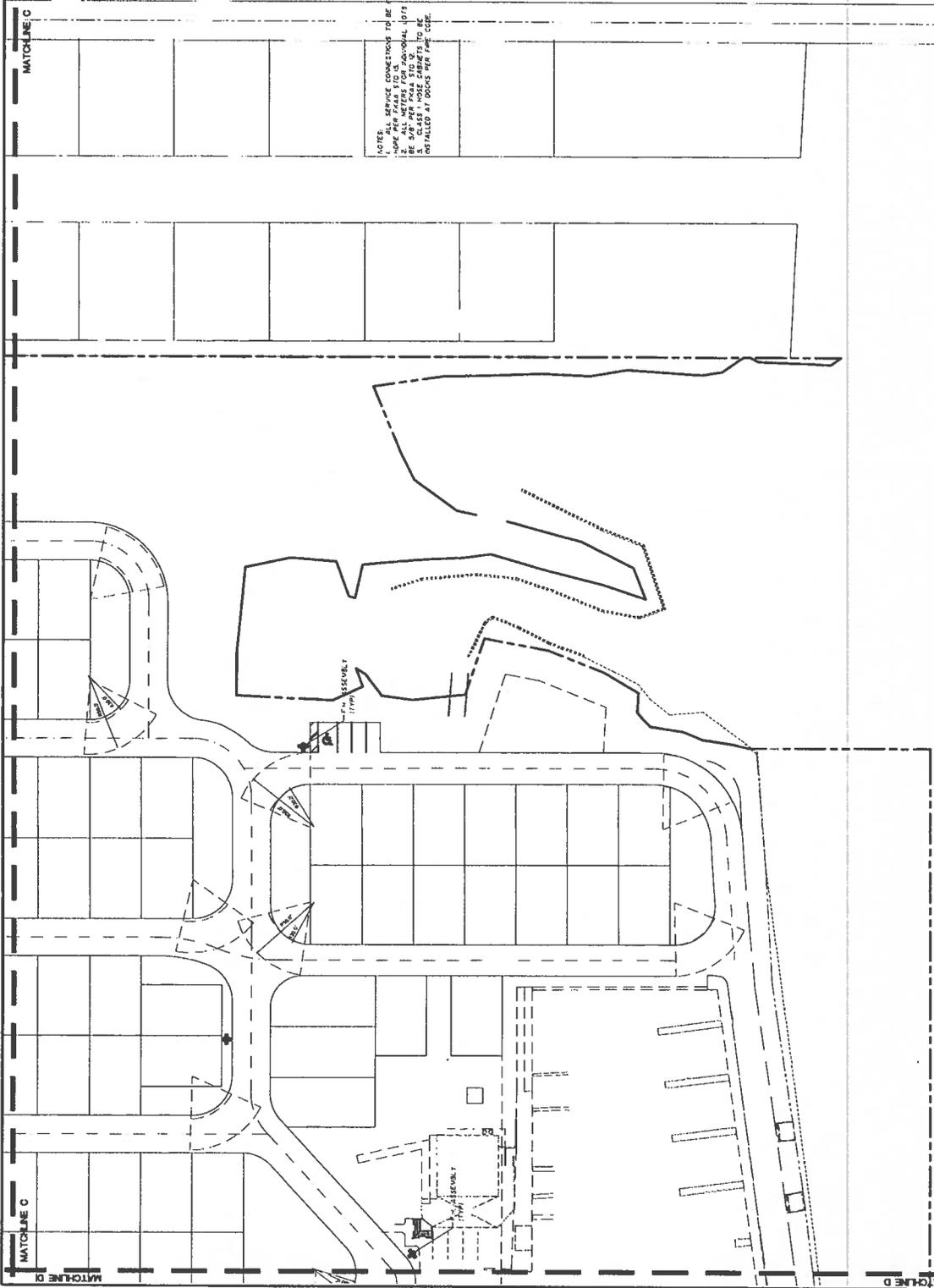
0 15' 30' 60'
SCALE: 1" = 30'

- NOTES:
1. ALL SERVICE CONNECTIONS TO BE 1"
 2. ALL METERS FOR INDIVIDUAL LOTS TO BE 3/4"
 3. FIRE HYDRANTS TO BE 4" TO BE INSTALLED AT INTERSECTIONS TO COMPLY WITH FDC 2001.

PROJECT NUMBER 201018		FIRE ACCESS AND HYDRANT LOCATION CONCEPTUAL PLAN	
SHEET NUMBER PPS OF 4		KEY LARGO OCEAN RESORT KLOR	
Engineer of Record: ALBERTO P. HEREDIA		Date: 11/11/11	
Registered Engineer Number: 13185		State of Florida: FL	
planning & engineering & transportation 13866 SW 132 Street, Suite 206 Miramar, Florida 33186 Phone: (305) 231-1970 Fax: (305) 231-1970 AutoCAD: (305) 231-1970			
Drawn by: A.P.H. Date: 08/12		Checked by: A.P.H. Date: 08/12	
Approved by: A.P.H. Date: 08/12		Approved by: A.P.H. Date: 08/12	
NO.	DATE	BY	REVISION
1			

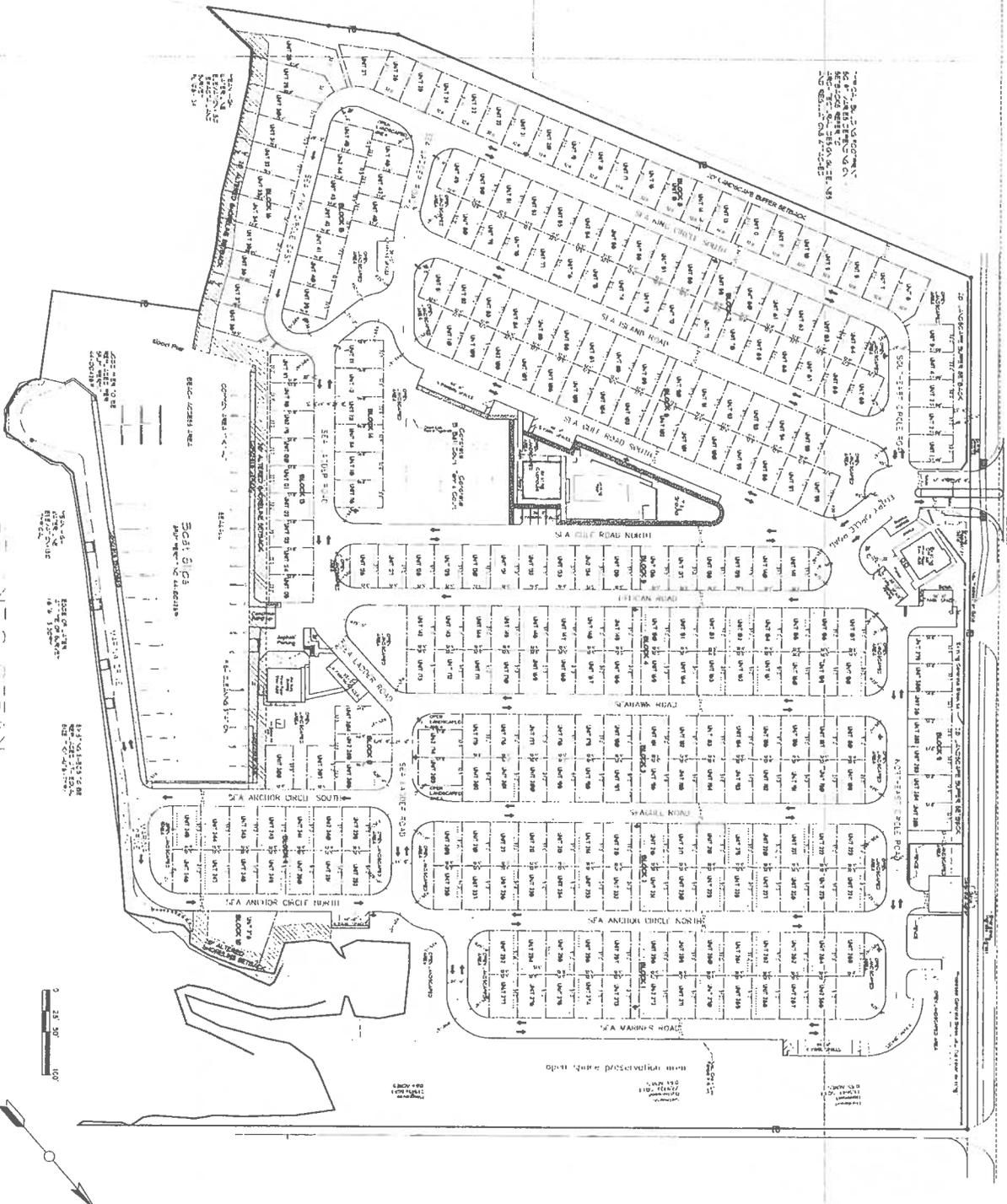


0 15' 30' 60'
SCALE: 1" = 30'



NOTES:
1. ALL SERVICE CONNECTIONS TO BE
2. ALL METERS FOR ADJACENT LOTS TO
BE INSTALLED AT DOCKS PER FFA CODE.
3. CLASS A HOSE CADDIES TO BE
INSTALLED AT DOCKS PER FFA CODE.

PROJECT NUMBER 20006		SHEET NUMBER PPA OF 4	
FIRE ACCESS AND HYDRANT LOCATION CONCEPTUAL PLAN KEY LARGO OCEAN RESORT KIOR			
Engineer of Record: Alberto P. Hernandez Registered Professional Engineer State of Florida No. 11111 Date: 11/11/11		Planning & engineering services 12885 SW 133 Street, Suite 206 Miami, Florida 33186 Phone: (305) 225-1970 Fax: (305) 225-1971 Authorization No. EB-24343	
 development consulting group		Designed by: A.P.H. Date: 09/10 Drawn by: A.P.H. Date: 09/10 Checked by: A.P.H. Date: 09/10	
NO.	DATE	BY	REVISION



PROPOSED SITE PLAN

SCALE 1"=30'

KEY LARGO OCEAN RESORTS

0 25 50 100

ZONING DATA			
ZONE	USE	MIN. LOT AREA	MIN. FRONT YARD SETBACK
R-1	RESIDENTIAL	10,000 SQ. FT.	25 FT.
R-2	RESIDENTIAL	15,000 SQ. FT.	30 FT.
R-3	RESIDENTIAL	20,000 SQ. FT.	35 FT.
R-4	RESIDENTIAL	25,000 SQ. FT.	40 FT.
R-5	RESIDENTIAL	30,000 SQ. FT.	45 FT.
R-6	RESIDENTIAL	35,000 SQ. FT.	50 FT.
R-7	RESIDENTIAL	40,000 SQ. FT.	55 FT.
R-8	RESIDENTIAL	45,000 SQ. FT.	60 FT.
R-9	RESIDENTIAL	50,000 SQ. FT.	65 FT.
R-10	RESIDENTIAL	55,000 SQ. FT.	70 FT.
R-11	RESIDENTIAL	60,000 SQ. FT.	75 FT.
R-12	RESIDENTIAL	65,000 SQ. FT.	80 FT.
R-13	RESIDENTIAL	70,000 SQ. FT.	85 FT.
R-14	RESIDENTIAL	75,000 SQ. FT.	90 FT.
R-15	RESIDENTIAL	80,000 SQ. FT.	95 FT.
R-16	RESIDENTIAL	85,000 SQ. FT.	100 FT.
R-17	RESIDENTIAL	90,000 SQ. FT.	105 FT.
R-18	RESIDENTIAL	95,000 SQ. FT.	110 FT.
R-19	RESIDENTIAL	100,000 SQ. FT.	115 FT.
R-20	RESIDENTIAL	105,000 SQ. FT.	120 FT.
R-21	RESIDENTIAL	110,000 SQ. FT.	125 FT.
R-22	RESIDENTIAL	115,000 SQ. FT.	130 FT.
R-23	RESIDENTIAL	120,000 SQ. FT.	135 FT.
R-24	RESIDENTIAL	125,000 SQ. FT.	140 FT.
R-25	RESIDENTIAL	130,000 SQ. FT.	145 FT.
R-26	RESIDENTIAL	135,000 SQ. FT.	150 FT.
R-27	RESIDENTIAL	140,000 SQ. FT.	155 FT.
R-28	RESIDENTIAL	145,000 SQ. FT.	160 FT.
R-29	RESIDENTIAL	150,000 SQ. FT.	165 FT.
R-30	RESIDENTIAL	155,000 SQ. FT.	170 FT.
R-31	RESIDENTIAL	160,000 SQ. FT.	175 FT.
R-32	RESIDENTIAL	165,000 SQ. FT.	180 FT.
R-33	RESIDENTIAL	170,000 SQ. FT.	185 FT.
R-34	RESIDENTIAL	175,000 SQ. FT.	190 FT.
R-35	RESIDENTIAL	180,000 SQ. FT.	195 FT.
R-36	RESIDENTIAL	185,000 SQ. FT.	200 FT.
R-37	RESIDENTIAL	190,000 SQ. FT.	205 FT.
R-38	RESIDENTIAL	195,000 SQ. FT.	210 FT.
R-39	RESIDENTIAL	200,000 SQ. FT.	215 FT.
R-40	RESIDENTIAL	205,000 SQ. FT.	220 FT.
R-41	RESIDENTIAL	210,000 SQ. FT.	225 FT.
R-42	RESIDENTIAL	215,000 SQ. FT.	230 FT.
R-43	RESIDENTIAL	220,000 SQ. FT.	235 FT.
R-44	RESIDENTIAL	225,000 SQ. FT.	240 FT.
R-45	RESIDENTIAL	230,000 SQ. FT.	245 FT.
R-46	RESIDENTIAL	235,000 SQ. FT.	250 FT.
R-47	RESIDENTIAL	240,000 SQ. FT.	255 FT.
R-48	RESIDENTIAL	245,000 SQ. FT.	260 FT.
R-49	RESIDENTIAL	250,000 SQ. FT.	265 FT.
R-50	RESIDENTIAL	255,000 SQ. FT.	270 FT.
R-51	RESIDENTIAL	260,000 SQ. FT.	275 FT.
R-52	RESIDENTIAL	265,000 SQ. FT.	280 FT.
R-53	RESIDENTIAL	270,000 SQ. FT.	285 FT.
R-54	RESIDENTIAL	275,000 SQ. FT.	290 FT.
R-55	RESIDENTIAL	280,000 SQ. FT.	295 FT.
R-56	RESIDENTIAL	285,000 SQ. FT.	300 FT.
R-57	RESIDENTIAL	290,000 SQ. FT.	305 FT.
R-58	RESIDENTIAL	295,000 SQ. FT.	310 FT.
R-59	RESIDENTIAL	300,000 SQ. FT.	315 FT.
R-60	RESIDENTIAL	305,000 SQ. FT.	320 FT.
R-61	RESIDENTIAL	310,000 SQ. FT.	325 FT.
R-62	RESIDENTIAL	315,000 SQ. FT.	330 FT.
R-63	RESIDENTIAL	320,000 SQ. FT.	335 FT.
R-64	RESIDENTIAL	325,000 SQ. FT.	340 FT.
R-65	RESIDENTIAL	330,000 SQ. FT.	345 FT.
R-66	RESIDENTIAL	335,000 SQ. FT.	350 FT.
R-67	RESIDENTIAL	340,000 SQ. FT.	355 FT.
R-68	RESIDENTIAL	345,000 SQ. FT.	360 FT.
R-69	RESIDENTIAL	350,000 SQ. FT.	365 FT.
R-70	RESIDENTIAL	355,000 SQ. FT.	370 FT.
R-71	RESIDENTIAL	360,000 SQ. FT.	375 FT.
R-72	RESIDENTIAL	365,000 SQ. FT.	380 FT.
R-73	RESIDENTIAL	370,000 SQ. FT.	385 FT.
R-74	RESIDENTIAL	375,000 SQ. FT.	390 FT.
R-75	RESIDENTIAL	380,000 SQ. FT.	395 FT.
R-76	RESIDENTIAL	385,000 SQ. FT.	400 FT.
R-77	RESIDENTIAL	390,000 SQ. FT.	405 FT.
R-78	RESIDENTIAL	395,000 SQ. FT.	410 FT.
R-79	RESIDENTIAL	400,000 SQ. FT.	415 FT.
R-80	RESIDENTIAL	405,000 SQ. FT.	420 FT.
R-81	RESIDENTIAL	410,000 SQ. FT.	425 FT.
R-82	RESIDENTIAL	415,000 SQ. FT.	430 FT.
R-83	RESIDENTIAL	420,000 SQ. FT.	435 FT.
R-84	RESIDENTIAL	425,000 SQ. FT.	440 FT.
R-85	RESIDENTIAL	430,000 SQ. FT.	445 FT.
R-86	RESIDENTIAL	435,000 SQ. FT.	450 FT.
R-87	RESIDENTIAL	440,000 SQ. FT.	455 FT.
R-88	RESIDENTIAL	445,000 SQ. FT.	460 FT.
R-89	RESIDENTIAL	450,000 SQ. FT.	465 FT.
R-90	RESIDENTIAL	455,000 SQ. FT.	470 FT.
R-91	RESIDENTIAL	460,000 SQ. FT.	475 FT.
R-92	RESIDENTIAL	465,000 SQ. FT.	480 FT.
R-93	RESIDENTIAL	470,000 SQ. FT.	485 FT.
R-94	RESIDENTIAL	475,000 SQ. FT.	490 FT.
R-95	RESIDENTIAL	480,000 SQ. FT.	495 FT.
R-96	RESIDENTIAL	485,000 SQ. FT.	500 FT.
R-97	RESIDENTIAL	490,000 SQ. FT.	505 FT.
R-98	RESIDENTIAL	495,000 SQ. FT.	510 FT.
R-99	RESIDENTIAL	500,000 SQ. FT.	515 FT.
R-100	RESIDENTIAL	505,000 SQ. FT.	520 FT.

DEVIATIONS FROM PREVIOUSLY APPROVED PLAN

1. THE TOTAL NUMBER OF UNITS HAS INCREASED FROM 100 TO 105 UNITS.

2. THE TOTAL AREA OF THE SITE HAS INCREASED FROM 100,000 SQ. FT. TO 105,000 SQ. FT.

3. THE TOTAL NUMBER OF PARKING SPACES HAS INCREASED FROM 100 TO 105 SPACES.

4. THE TOTAL NUMBER OF TRUCK SPACES HAS INCREASED FROM 10 TO 15 SPACES.

5. THE TOTAL NUMBER OF MOTORCYCLE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

6. THE TOTAL NUMBER OF BICYCLE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

7. THE TOTAL NUMBER OF STORAGE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

8. THE TOTAL NUMBER OF SERVICE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

9. THE TOTAL NUMBER OF MAINTENANCE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

10. THE TOTAL NUMBER OF OFFICE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

11. THE TOTAL NUMBER OF RESTROOM SPACES HAS INCREASED FROM 10 TO 15 SPACES.

12. THE TOTAL NUMBER OF SHOWER SPACES HAS INCREASED FROM 10 TO 15 SPACES.

13. THE TOTAL NUMBER OF KITCHEN SPACES HAS INCREASED FROM 10 TO 15 SPACES.

14. THE TOTAL NUMBER OF BATH SPACES HAS INCREASED FROM 10 TO 15 SPACES.

15. THE TOTAL NUMBER OF BEDROOM SPACES HAS INCREASED FROM 10 TO 15 SPACES.

16. THE TOTAL NUMBER OF LIVING SPACES HAS INCREASED FROM 10 TO 15 SPACES.

17. THE TOTAL NUMBER OF DINING SPACES HAS INCREASED FROM 10 TO 15 SPACES.

18. THE TOTAL NUMBER OF BREAKFAST ROOM SPACES HAS INCREASED FROM 10 TO 15 SPACES.

19. THE TOTAL NUMBER OF PORCH SPACES HAS INCREASED FROM 10 TO 15 SPACES.

20. THE TOTAL NUMBER OF PATIO SPACES HAS INCREASED FROM 10 TO 15 SPACES.

21. THE TOTAL NUMBER OF BALCONY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

22. THE TOTAL NUMBER OF TERRACE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

23. THE TOTAL NUMBER OF GARAGE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

24. THE TOTAL NUMBER OF DRIVEWAY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

25. THE TOTAL NUMBER OF WALKWAY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

26. THE TOTAL NUMBER OF BIKEWAY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

27. THE TOTAL NUMBER OF TRAILWAY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

28. THE TOTAL NUMBER OF BOARDWALK SPACES HAS INCREASED FROM 10 TO 15 SPACES.

29. THE TOTAL NUMBER OF BEACH SPACES HAS INCREASED FROM 10 TO 15 SPACES.

30. THE TOTAL NUMBER OF POOL SPACES HAS INCREASED FROM 10 TO 15 SPACES.

31. THE TOTAL NUMBER OF SPA SPACES HAS INCREASED FROM 10 TO 15 SPACES.

32. THE TOTAL NUMBER OF SAUNA SPACES HAS INCREASED FROM 10 TO 15 SPACES.

33. THE TOTAL NUMBER OF GYM SPACES HAS INCREASED FROM 10 TO 15 SPACES.

34. THE TOTAL NUMBER OF CLUB SPACES HAS INCREASED FROM 10 TO 15 SPACES.

35. THE TOTAL NUMBER OF BAR SPACES HAS INCREASED FROM 10 TO 15 SPACES.

36. THE TOTAL NUMBER OF RESTAURANT SPACES HAS INCREASED FROM 10 TO 15 SPACES.

37. THE TOTAL NUMBER OF CAFE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

38. THE TOTAL NUMBER OF BAKERY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

39. THE TOTAL NUMBER OF BUTCHERY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

40. THE TOTAL NUMBER OF DELI SPACES HAS INCREASED FROM 10 TO 15 SPACES.

41. THE TOTAL NUMBER OF GROCERY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

42. THE TOTAL NUMBER OF FLOWER SHOP SPACES HAS INCREASED FROM 10 TO 15 SPACES.

43. THE TOTAL NUMBER OF GIFT SHOP SPACES HAS INCREASED FROM 10 TO 15 SPACES.

44. THE TOTAL NUMBER OF BOOK STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

45. THE TOTAL NUMBER OF MUSIC STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

46. THE TOTAL NUMBER OF TOY STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

47. THE TOTAL NUMBER OF SPORTS EQUIPMENT STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

48. THE TOTAL NUMBER OF FISH MARKET SPACES HAS INCREASED FROM 10 TO 15 SPACES.

49. THE TOTAL NUMBER OF BUTCHERY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

50. THE TOTAL NUMBER OF RESTAURANT SPACES HAS INCREASED FROM 10 TO 15 SPACES.

51. THE TOTAL NUMBER OF CAFE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

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71. THE TOTAL NUMBER OF GIFT SHOP SPACES HAS INCREASED FROM 10 TO 15 SPACES.

72. THE TOTAL NUMBER OF BOOK STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

73. THE TOTAL NUMBER OF MUSIC STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

74. THE TOTAL NUMBER OF TOY STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

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93. THE TOTAL NUMBER OF CAFE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

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99. THE TOTAL NUMBER OF GIFT SHOP SPACES HAS INCREASED FROM 10 TO 15 SPACES.

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101. THE TOTAL NUMBER OF MUSIC STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

102. THE TOTAL NUMBER OF TOY STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

103. THE TOTAL NUMBER OF SPORTS EQUIPMENT STORE SPACES HAS INCREASED FROM 10 TO 15 SPACES.

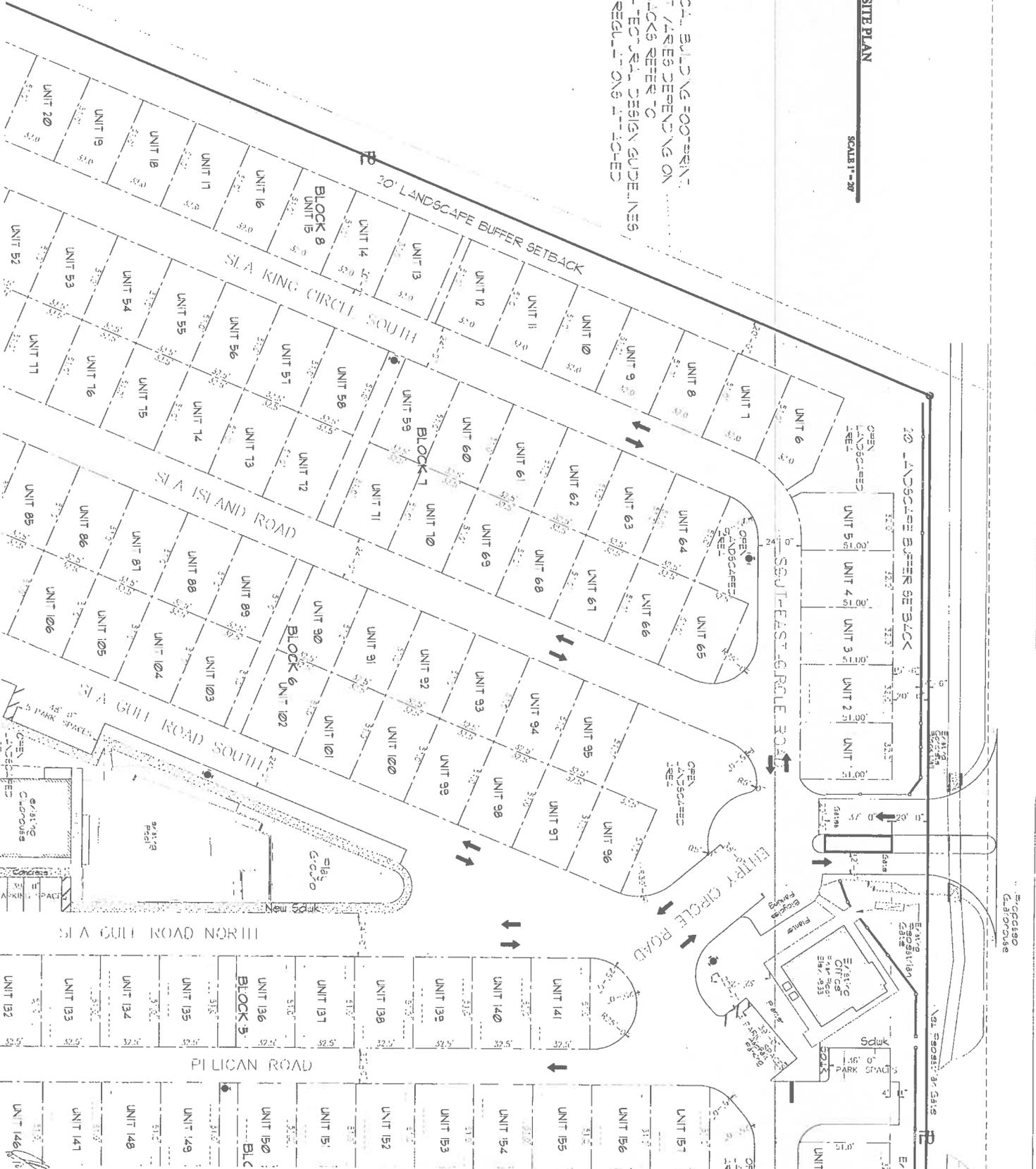
104. THE TOTAL NUMBER OF FISH MARKET SPACES HAS INCREASED FROM 10 TO 15 SPACES.

105. THE TOTAL NUMBER OF BUTCHERY SPACES HAS INCREASED FROM 10 TO 15 SPACES.

SECTION 1 - SITE PLAN

SCALE 1" = 20'

PERMITTED BUILDING FOOTPRINT
 SETBACKS ARE SHOWN DEPENDING ON
 SETBACKS REFER TO
 ARCHITECTURAL DESIGN GUIDELINES
 AND REGULATIONS APPLICABLE



A-2

DATE: 11/11/20
 SCALE: 1" = 20'
 DRAWN: [Name]
 SHEET NO. 1

KEY LARGO OCEAN RESORTS
 94825 OVERSEAS HIGHWAY
 KEY LARGO, FLORIDA

OLR

ARCHITECT

900 NW 41 ST
 MIAMI, FLORIDA 33135
 TEL: 305.441.1111
 WWW.OLRARCHITECT.COM

SFA GULF ROAD NORTH

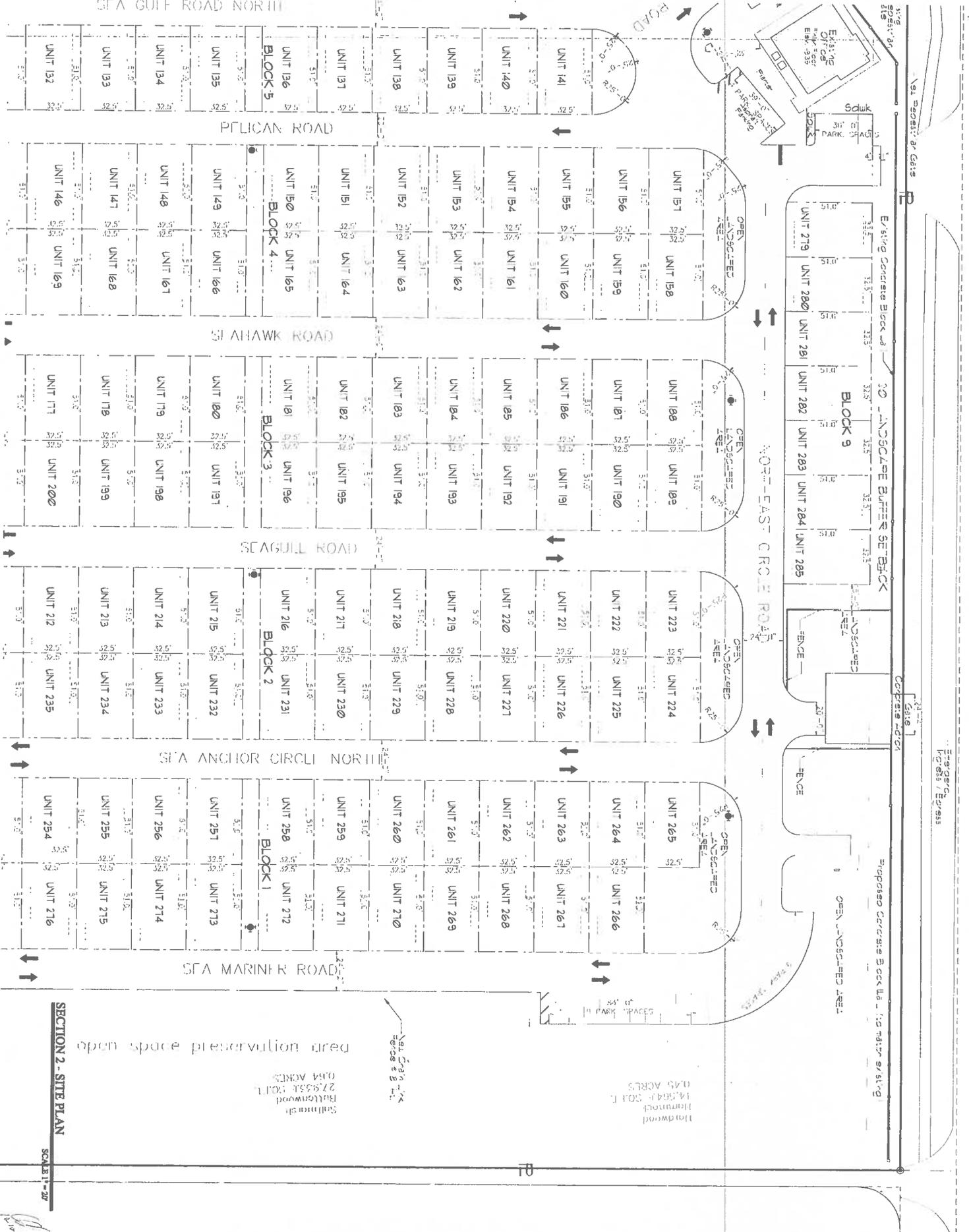
PETRICAN ROAD

SEAHAWK ROAD

SEAGULL ROAD

SFA ANCHOR CIRCL NORTH

SFA MARINER ROAD



open space preservation area

Sullivan St
Bulterwood
0.44 ACRES

0.45 ACRES

Handwood
14,584 - 504 F.
0.45 ACRES

SECTION 2 - SITE PLAN

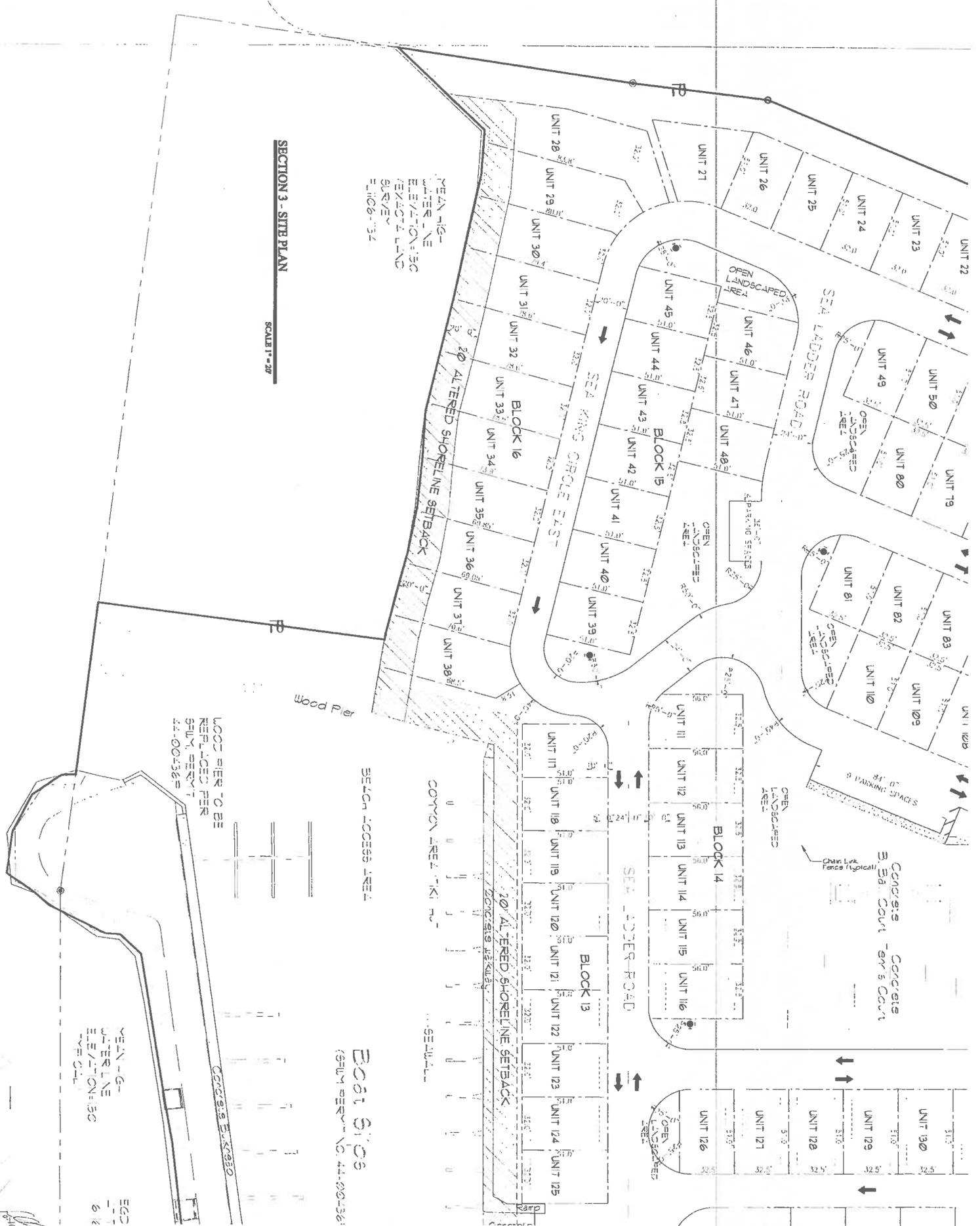
SCALE 1" = 20'

DATE: 11/11/20
DRAWN BY: [Signature]
SCALE: 1" = 20'
JOB NO.: [Number]

KEY LARGO OCEAN RESORTS
94825 OVERSEAS HIGHWAY
KEY LARGO, FLORIDA

OLR
OCEAN LAGO RESORTS
ARCHITECTS

A-3



SECTION 3 - SITE PLAN

SCALE 1" = 20'

MEAN HIGH WATER LINE
ELEVATION = 30
EXACT LAND SURVEY
LINE 0-34

WOOD PIER TO BE
REPLACED PER
SHUBERT
24-00-565

SEASON ACCESS AREA

BOAT SLIPS
(SHUBERT NO. 44-00-565)

MEAN HIGH WATER LINE
ELEVATION = 30
EXACT LAND SURVEY

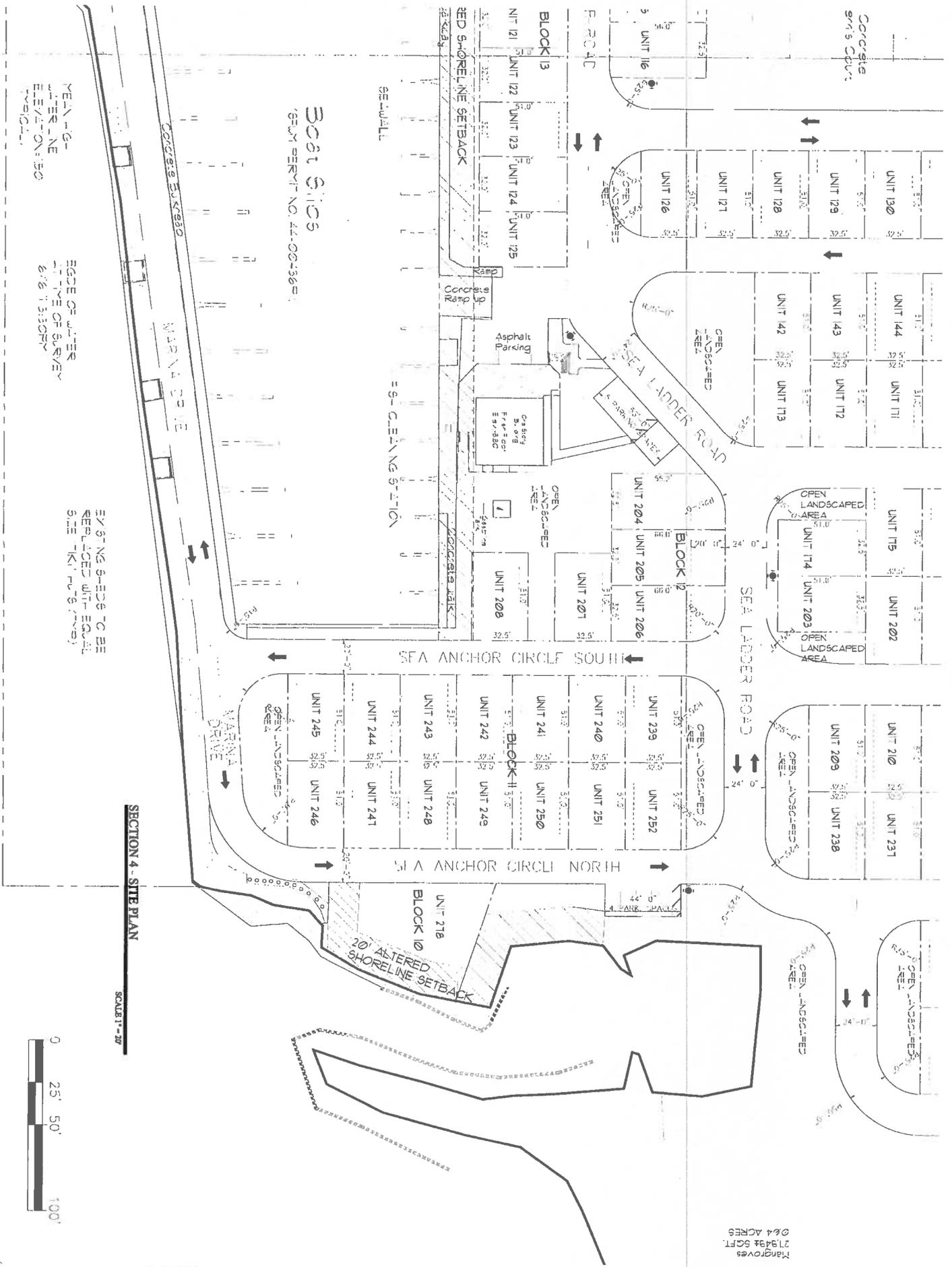
KEY LARGO OCEAN RESORTS
94825 OVERSEAS HIGHWAY
KEY LARGO, FLORIDA



A-4
DATE: 11-11-11
SCALE: 1" = 20'
DRAWN: [Name]
JOB NO.:



NOT FOR CONSTRUCTION
LOCAL PLANNING DEPT.
TELEPHONE: 305-360-2600



SECTION 4 - SITE PLAN

SCALE 1" = 20'



219,493 SQ. FT.
0.64 ACRES



KEY LARGO OCEAN RESORTS
94825 OVERSEAS HIGHWAY
KEY LARGO, FLORIDA

MEAN HIGH WATER LINE
ELEVATION: 5.00
TYPICAL

EDGE OF WATER
TYPICAL ELEVATION: 5.00
ELEVATION: 5.00
TYPICAL

EXISTING SHORES TO BE
RETRACTED WITH EQUAL
SETBACKS (SEE PLAN)

BOAT SLIPS
SERIAL PERMIT NO. 44-00-368

SEWAGE

6' CLEANING STATION

SEA ANCHOR CIRCLE SOUTH

SEA ANCHOR CIRCLE NORTH

SEA LADDER ROAD

SEA LADDER ROAD

SEA LADDER ROAD

20' ALTERED SHORELINE SETBACK

BLOCK 10

UNIT 218

BLOCK 11

UNIT 249

UNIT 250

UNIT 251

UNIT 252

UNIT 241

UNIT 242

UNIT 243

UNIT 244

UNIT 245

UNIT 246

BLOCK 12

UNIT 204

UNIT 205

UNIT 206

UNIT 207

UNIT 208

UNIT 121

UNIT 122

UNIT 123

UNIT 124

UNIT 125

UNIT 126

UNIT 127

UNIT 128

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UNIT 356

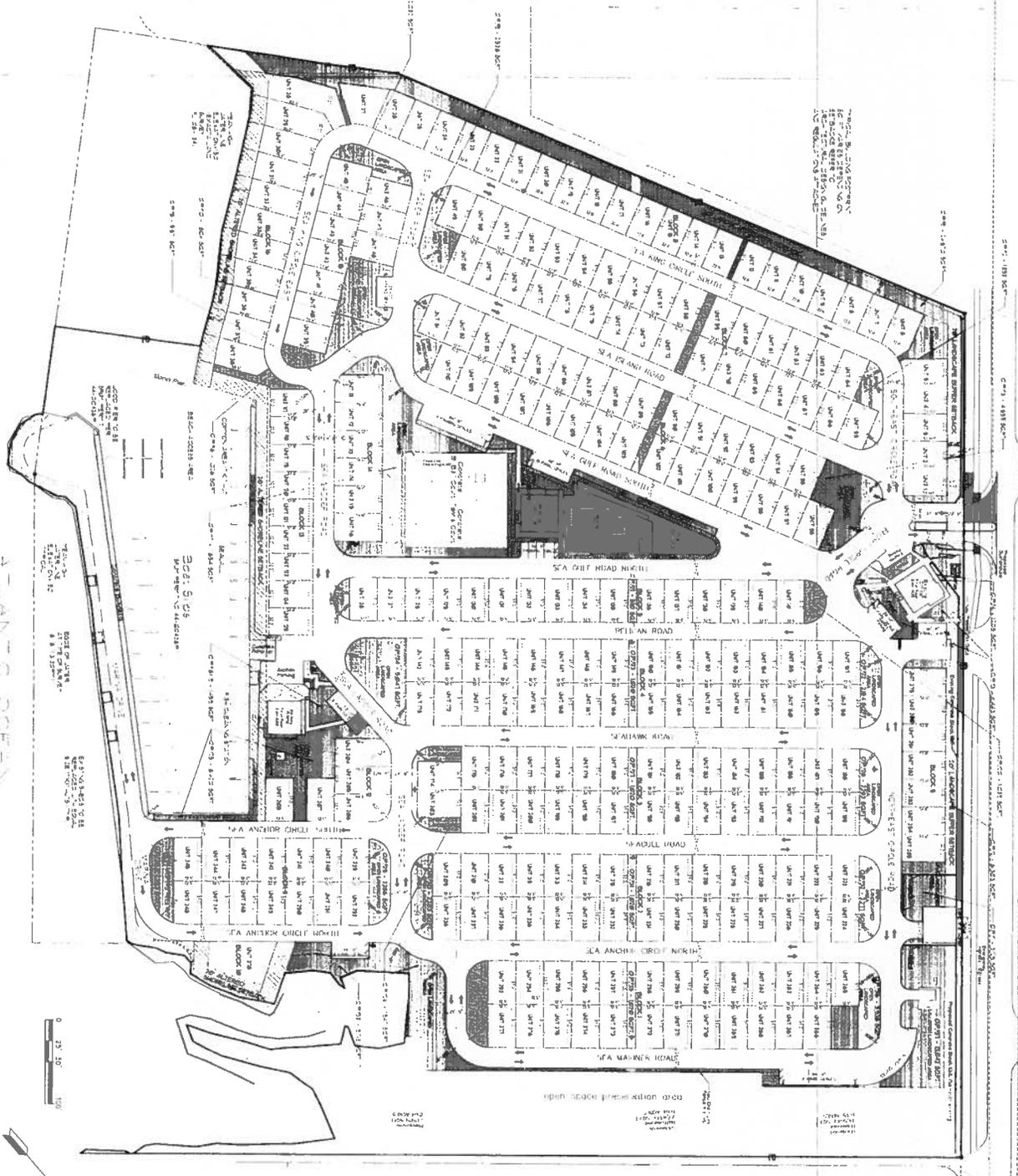
UNIT 357

UNIT 358

UNIT 359

OPEN SPACE

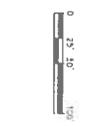
NO.	DESCRIPTION	AREA (SQ. FT.)	TOTAL
1	OPEN SPACE	1,175,520	1,175,520
2	OPEN SPACE	1,175,520	2,351,040
3	OPEN SPACE	1,175,520	3,526,560
4	OPEN SPACE	1,175,520	4,702,080
5	OPEN SPACE	1,175,520	5,877,600
6	OPEN SPACE	1,175,520	7,053,120
7	OPEN SPACE	1,175,520	8,228,640
8	OPEN SPACE	1,175,520	9,404,160
9	OPEN SPACE	1,175,520	10,579,680
10	OPEN SPACE	1,175,520	11,755,200
11	OPEN SPACE	1,175,520	12,930,720
12	OPEN SPACE	1,175,520	14,106,240
13	OPEN SPACE	1,175,520	15,281,760
14	OPEN SPACE	1,175,520	16,457,280
15	OPEN SPACE	1,175,520	17,632,800
16	OPEN SPACE	1,175,520	18,808,320
17	OPEN SPACE	1,175,520	20,000,000
18	OPEN SPACE	1,175,520	21,191,680
19	OPEN SPACE	1,175,520	22,383,360
20	OPEN SPACE	1,175,520	23,575,040
21	OPEN SPACE	1,175,520	24,766,720
22	OPEN SPACE	1,175,520	25,958,400
23	OPEN SPACE	1,175,520	27,150,080
24	OPEN SPACE	1,175,520	28,341,760
25	OPEN SPACE	1,175,520	29,533,440
26	OPEN SPACE	1,175,520	30,725,120
27	OPEN SPACE	1,175,520	31,916,800
28	OPEN SPACE	1,175,520	33,108,480
29	OPEN SPACE	1,175,520	34,300,160
30	OPEN SPACE	1,175,520	35,491,840
31	OPEN SPACE	1,175,520	36,683,520
32	OPEN SPACE	1,175,520	37,875,200
33	OPEN SPACE	1,175,520	39,066,880
34	OPEN SPACE	1,175,520	40,258,560
35	OPEN SPACE	1,175,520	41,450,240
36	OPEN SPACE	1,175,520	42,641,920
37	OPEN SPACE	1,175,520	43,833,600
38	OPEN SPACE	1,175,520	45,025,280
39	OPEN SPACE	1,175,520	46,216,960
40	OPEN SPACE	1,175,520	47,408,640
41	OPEN SPACE	1,175,520	48,600,320
42	OPEN SPACE	1,175,520	49,792,000
43	OPEN SPACE	1,175,520	50,983,680
44	OPEN SPACE	1,175,520	52,175,360
45	OPEN SPACE	1,175,520	53,367,040
46	OPEN SPACE	1,175,520	54,558,720
47	OPEN SPACE	1,175,520	55,750,400
48	OPEN SPACE	1,175,520	56,942,080
49	OPEN SPACE	1,175,520	58,133,760
50	OPEN SPACE	1,175,520	59,325,440
51	OPEN SPACE	1,175,520	60,517,120
52	OPEN SPACE	1,175,520	61,708,800
53	OPEN SPACE	1,175,520	62,900,480
54	OPEN SPACE	1,175,520	64,092,160
55	OPEN SPACE	1,175,520	65,283,840
56	OPEN SPACE	1,175,520	66,475,520
57	OPEN SPACE	1,175,520	67,667,200
58	OPEN SPACE	1,175,520	68,858,880
59	OPEN SPACE	1,175,520	70,050,560
60	OPEN SPACE	1,175,520	71,242,240
61	OPEN SPACE	1,175,520	72,433,920
62	OPEN SPACE	1,175,520	73,625,600
63	OPEN SPACE	1,175,520	74,817,280
64	OPEN SPACE	1,175,520	76,008,960
65	OPEN SPACE	1,175,520	77,200,640
66	OPEN SPACE	1,175,520	78,392,320
67	OPEN SPACE	1,175,520	79,584,000
68	OPEN SPACE	1,175,520	80,775,680
69	OPEN SPACE	1,175,520	81,967,360
70	OPEN SPACE	1,175,520	83,159,040
71	OPEN SPACE	1,175,520	84,350,720
72	OPEN SPACE	1,175,520	85,542,400
73	OPEN SPACE	1,175,520	86,734,080
74	OPEN SPACE	1,175,520	87,925,760
75	OPEN SPACE	1,175,520	89,117,440
76	OPEN SPACE	1,175,520	90,309,120
77	OPEN SPACE	1,175,520	91,500,800
78	OPEN SPACE	1,175,520	92,692,480
79	OPEN SPACE	1,175,520	93,884,160
80	OPEN SPACE	1,175,520	95,075,840
81	OPEN SPACE	1,175,520	96,267,520
82	OPEN SPACE	1,175,520	97,459,200
83	OPEN SPACE	1,175,520	98,650,880
84	OPEN SPACE	1,175,520	99,842,560
85	OPEN SPACE	1,175,520	101,034,240
86	OPEN SPACE	1,175,520	102,225,920
87	OPEN SPACE	1,175,520	103,417,600
88	OPEN SPACE	1,175,520	104,609,280
89	OPEN SPACE	1,175,520	105,800,960
90	OPEN SPACE	1,175,520	107,000,000
91	OPEN SPACE	1,175,520	108,191,680
92	OPEN SPACE	1,175,520	109,383,360
93	OPEN SPACE	1,175,520	110,575,040
94	OPEN SPACE	1,175,520	111,766,720
95	OPEN SPACE	1,175,520	112,958,400
96	OPEN SPACE	1,175,520	114,150,080
97	OPEN SPACE	1,175,520	115,341,760
98	OPEN SPACE	1,175,520	116,533,440
99	OPEN SPACE	1,175,520	117,725,120
100	OPEN SPACE	1,175,520	118,916,800



OPEN AREA CALCULATION SITE PLAN

SCALE 1"=50'

ATLANTIC OCEAN



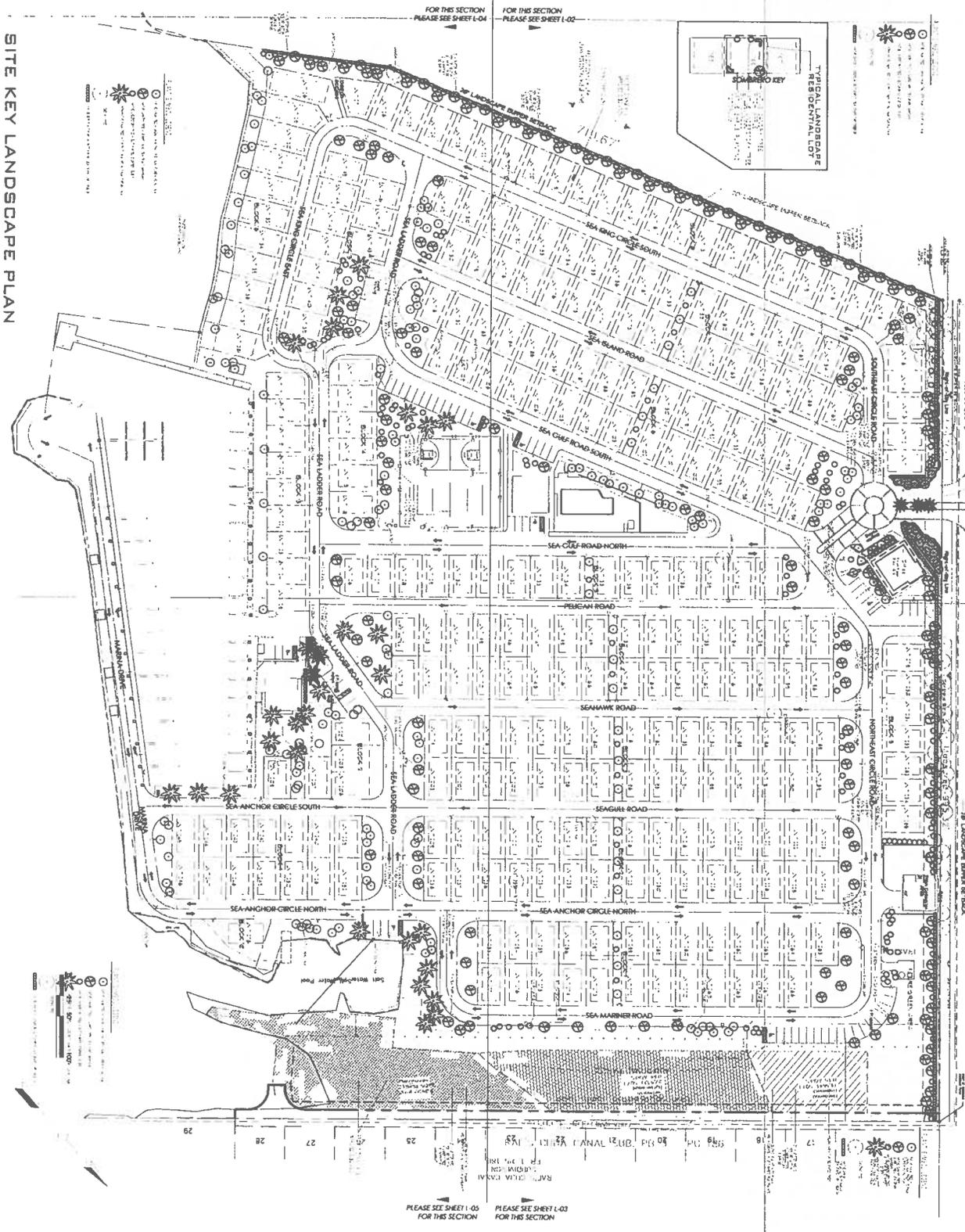
KEY LARGO OCEAN RESORTS
 94825 OVERSEAS HIGHWAY
 KEY LARGO, FLORIDA



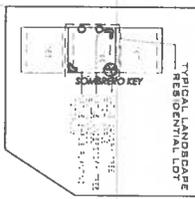
A-6
 SHEET NO.

DATE: 7/1/10
 SCALE: 1"=50'
 DRAWN: [Signature]
 SHEET NO.:

SITE KEY LANDSCAPE PLAN



SCALE: N.T.S.



FOR THIS SECTION PLEASE SEE SHEET L-04

PLEASE SEE SHEET L-05 FOR THIS SECTION

FOR THIS SECTION PLEASE SEE SHEET L-02

PLEASE SEE SHEET L-03 FOR THIS SECTION

DESIGNS GROUP

DATE	11/11/01
BY	ML
CHECKED	ML
SCALE	N.T.S.
PROJECT	KEY LARGO OCEAN RESORTS
SHEET	L-01

PROPOSED SITE LANDSCAPE PLAN FOR:
KEY LARGO OCEAN RESORTS
 94825 OVERSEA HIGHWAY
 KEY LARGO, FL 33037

LAND FORM DESIGN GROUP, INC.
 5079 N. Dixie Highway No. 260
 Fort Lauderdale, FL 33334
 TEL: 954-461-6191
 FAX: 954-566-1161
 EMAIL: malcolm@comcast.net

DATE	11/11/01
BY	ML
CHECKED	ML
SCALE	N.T.S.
PROJECT	KEY LARGO OCEAN RESORTS
SHEET	L-01



RAVINE CUBA CANAL SUB. PB 03 PG 086

RAVINE CUBA CANAL SUBDIVISION
 SHEET NO. 180

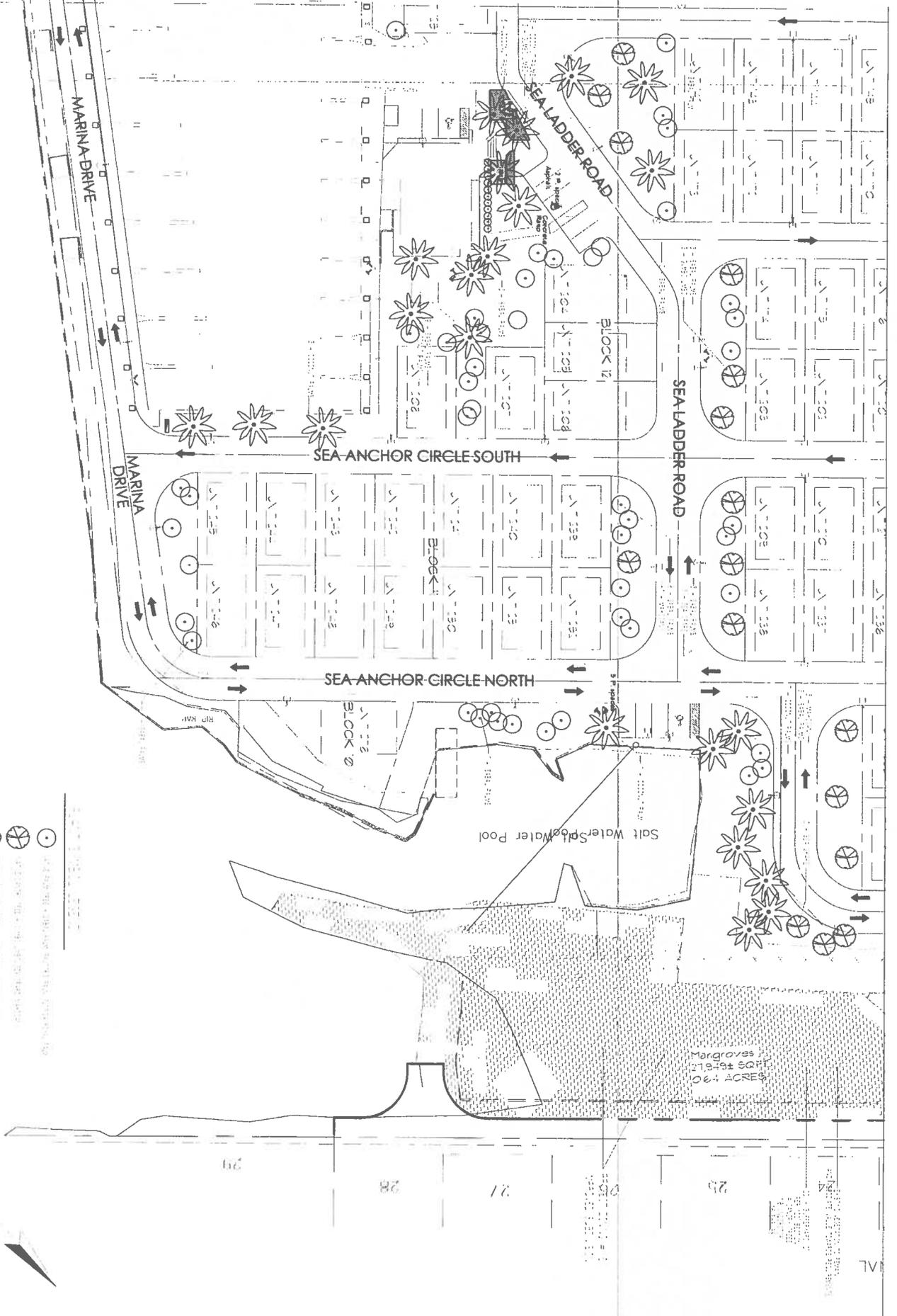
L-03	DATE	2/28/03
	DESIGNER	ML
	CHECKED BY	ML
	SCALE	AS SHOWN

PROPOSED SITE LANDSCAPE PLAN FOR:
KEY LARGO OCEAN RESORTS
 5495 OCEAN LANE HIGHWAY
 KEY LARGO, FL 33057

LAND FORM DESIGN GROUP, INC.
 5079 N. Dixie Highway No. 260
 Fort Lauderdale, FL 33334
 TEL 954-461-6191
 FAX 954-566-1161
 EMAIL malcolm@comcast.net

DATE	2/28/03
DESIGNER	ML
CHECKED BY	ML
SCALE	AS SHOWN

DATE	2/28/03
DESIGNER	ML
CHECKED BY	ML
SCALE	AS SHOWN



DATE	11/11/05
BY	ML
PROJECT	KEY LARGO OCEAN RESORTS
SCALE	AS SHOWN
NO.	L-05
REV.	1 OF 1

PROPOSED SITE LANDSCAPE PLAN FOR:
KEY LARGO OCEAN RESORTS
 5079 N. DIXIE HIGHWAY
 KEY LARGO, FL 33057

LAND FORM DESIGN GROUP, INC.
 5079 N. Dixie Highway No. 260
 Fort Lauderdale, FL 33334
 TEL 954-461-6191
 FAX 954-566-1161
 EMAIL ml@comcast.net



NO.	1
REV.	1
DATE	11/11/05
BY	ML

MONROE COUNTY LAND DEVELOPMENT REGULATIONS FOR REQUIRED LANDSCAPING

REQUIRED BUFFERYARDS

1. OVERSEAS HIGHWAY (NORTH)
URM / IS DISTRICT BOUNDARY BUFFER
BUFFERYARD 0' - 20' WIDE - 1,000.00 LINEAR FEET
2. WEST PROPERTY LINE
URM / IS DISTRICT BOUNDARY BUFFER
BUFFERYARD 0' - 10' WIDE - 1094.75 LINEAR FEET
3. ATLANTIC OCEAN (SOUTH)
URM / IS DISTRICT BOUNDARY BUFFER

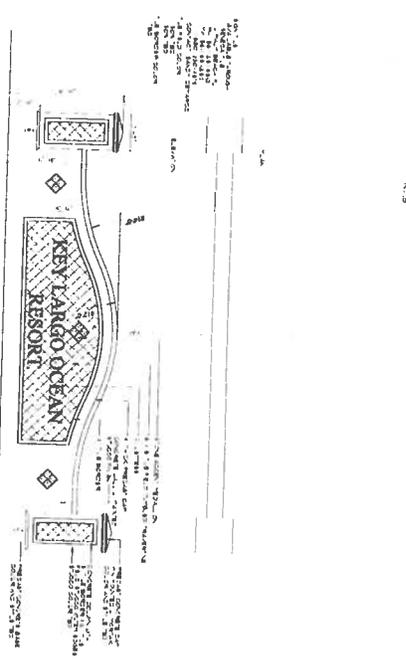
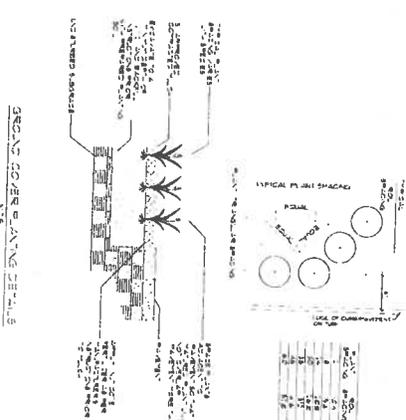
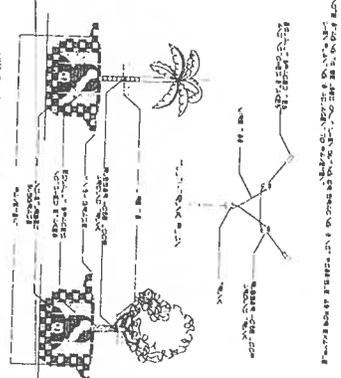
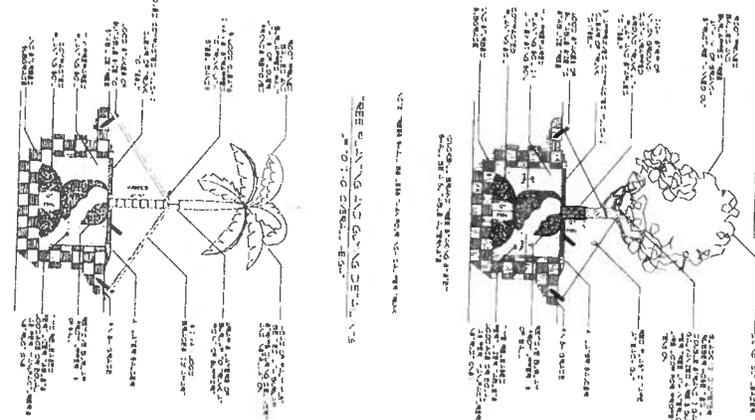
PLANT TYPE	BTU/100 LF	LENGTH	TOTAL	TOTAL
CANOPY TREE UNDERSTORY TREE SHRUB	6.6 3.3 28	10.0 10.0 10.0	66.00 33.00 280.00	66 33 280
CANOPY TREE UNDERSTORY TREE SHRUB	5.0 2.0 20	10.94 10.94 10.94	54.70 21.88 218.80	35 14 144
CANOPY TREE UNDERSTORY TREE	4.0 1.6	10.0 10.0	40.00 16.00	36 14
CANOPY TREE UNDERSTORY TREE	1.6	10.0	16.00	14

FINAL PLANT LIST TO BE DETERMINED PRIOR TO PERMITTING AND SUBMISSION OF CONSTRUCTION DRAWINGS
PLANT MATERIAL WILL BE A MINIMUM OF 70% FLORIDA KEYS NATIVE PLANTS

PLANTING NOTES & SPECIFICATIONS

1. Digging and setting of trees shall be done in accordance with the following specifications:
 - a. Digging shall be done to a depth of 18" below the root ball.
 - b. The root ball shall be placed in the hole and the soil shall be packed around it.
 - c. The hole shall be filled with soil to the top of the root ball.
 - d. The soil shall be watered immediately after setting.
2. All trees shall be set in accordance with the following specifications:
 - a. The root ball shall be placed in the hole and the soil shall be packed around it.
 - b. The hole shall be filled with soil to the top of the root ball.
 - c. The soil shall be watered immediately after setting.
3. All trees shall be set in accordance with the following specifications:
 - a. The root ball shall be placed in the hole and the soil shall be packed around it.
 - b. The hole shall be filled with soil to the top of the root ball.
 - c. The soil shall be watered immediately after setting.

PLANTING DETAILS:



ENTRANCE SIGN WALL



PROPOSED SITE LANDSCAPE PLAN FOR
KEY LARGO OCEAN RESORTS
1875 OVERSEAS HIGHWAY
KEY LARGO, FL 33037

LAND FORM DESIGN GROUP, INC.
5079 N. Dixie Highway No. 260
Fort Lauderdale, FL 33334
TEL 954-461-6191
FAX 954-566-1161
EMAIL mlstoolnm@comcast.net

SCALE: 1" = 10'-0"

DATE: 11/11/11

PROJECT NO: 11-001

DATE: 11/11/11

L-06

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 38 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of SEP, 2011.

Signature of Sole Owner/Voting Member

Print Name: SPADOL BOUCE JR.

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 232 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of SEP., 2011.

Signature of sole Owner/Voting Member

Print Name: SPALDOR CORRE JR.

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 172 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of September, 2011.

Isidro R. Arbide

Signature of Sole Owner/Voting Member

Print Name: Isidro R. Arbide

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 1 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such special Meeting held within ninety (90) days of the date this special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of SEPT., 2011.

Signature of sole Owner/Voting Member

Print Name: CARLOS L. RABASSA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) _____ as anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

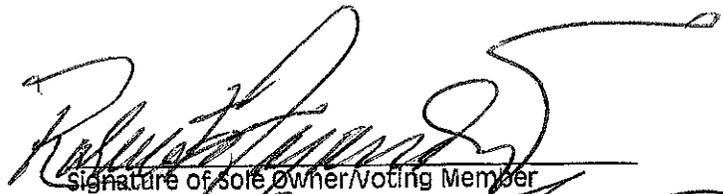


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of SEP, 2011.


Signature of sole Owner/Voting Member
Print Name: ROBERTO F. LOPEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 7 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) as anyone of the directors of the Association, or my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 7 day of Sep, 2011.

Victor Moreno
Signature of Sole Owner/Voting Member Lot #7
Print Name: VICTOR MORENO

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot #9 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of 13, 2011.



Signature of Sole Owner/Voting Member

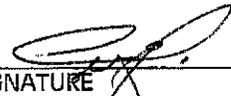
Print Name: Orestes Lopez-Recio

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this 9 day of 13, 2011.



PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 10 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of Sept, 2011.


Signature of Sole Owner/Voting Member
Print Name: EUGENIO MARTINEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

205-852-4395

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #11 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoints as anyone of the directors of the Association, or my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reico together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 9 day of 9, 2011.


Signature of Said Owner/Voting Member
Print Name: Alside V. Lopez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT # 12 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

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Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 3 day of Sept, 2011.


Signature of Sole Owner/Voting Member
Print Name: VICTOR HUGO HERNANDEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

14 The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of 09, 2011.

Jose L. Medina
Signature of Sole Owner/Voting Member

Print Name: Jose L. Medina

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 16 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 30 day of August, 2011.

Eugenia N. Mas
Signature of Sole Owner/Voting Member
Print Name: Eugenia N. Mas

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

LOT 17 The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) as any of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 3 day of Sep, 2011.

Rossana Meireles
Signature of Sole Owner/Voting Member

LOT 17

Print Name: ROSSANA MEIRELES

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owners(s) or the Voting Member for property located at Lot #18 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or Orlando O. Ramirez as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12th day of September 2011.

Mercedes Ramirez
Signature of Sole Owner/Voting Member

Print Name: Mercedes Ramirez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

2011 30 The undersigned owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 30 day of AUGUST, 2011.

Signature of Sole Owner/Voting Member

Print Name: Pedro Enriquez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE _____

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #21 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

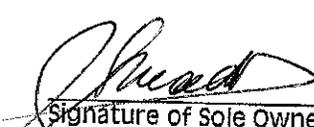


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 04 day of September, 2011.


Signature of Sole Owner/Voting Member

Print Name: JAVIER Sobrado

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 9425 OVERSEAS HWY KEY LARGO and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of SEPT., 2011.

A. Catalal
Signature of Sole Owner/Voting Member

Print Name: A.R. CATALAL LOT #23

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

Lot #24

Lot #24

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) _____ as anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 7 day of Sep-, 2011.

Manuel Padilla
Signature of sole owner/Voting Member
Print Name: MANUEL PADILLA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

H:\LIBRARY\CASES\5820\2100010\2JZ0709.DOC

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT # 25 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 30 day of August, 2011.

x Maria C. Olivera / Mercedes Quintana
Signature of Sole Owner/Voting Member

Print Name: Maria C. Olivera / Mercedes Quintana

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

Lot #26

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 27 day of Aug, 2011.


Signature of Sole Owner/Voting Member
Print Name: ROLANDO LEON

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 27 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12th day of September, 2011.

Silvia Martinez

Signature of Sole Owner/Voting Member

Print Name: SILVIA MARTINEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 27 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or RAFAEL PARRIENTE as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of SEPT, 2011.


Signature of Sole Owner/Voting Member

Print Name: RAFAEL PARRIENTE

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 30 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 6 day of September, 2011.


Signature of Sole Owner/Voting Member

Print Name: Maria Susana Barbat

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 32 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

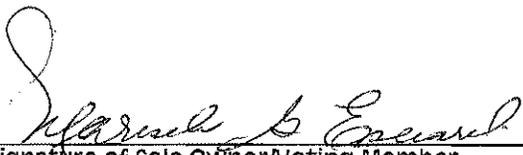


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 11 day of September, 2011.


Signature of Sole Owner/Voting Member

Print Name: MARISELA G. ESNARD

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #33 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.


Signature of Sole Owner/Voting Member

Print Name: Gerardo Cardenas

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 35 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

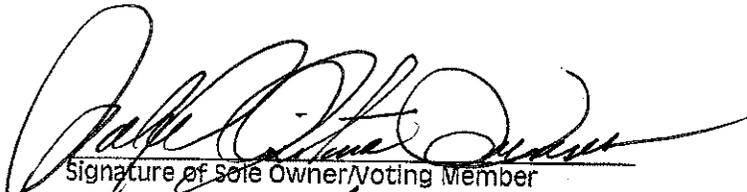


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 31 day of August, 2011.


Signature of Sole Owner/Voting Member
Print Name: Isabel Cristina MENESES

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 36 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or Nicholas Milian as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of September, 2011.



Signature of Sole Owner/Voting Member
Print Name: Nicholas Milian

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 39 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of September, 2011.



Signature of Sole Owner/Voting Member

Print Name: Luis F. Gomez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

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**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Unit # 40 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

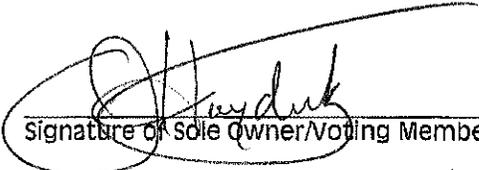


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 7 day of Sept., 2011.


Signature of Sole Owner/Voting Member

Print Name: John Hayduk

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 41 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of SEP, 2011.

Signature of Sole Owner/Voting Member

Print Name: ANDRES ARCIA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy #1 LOT 42 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

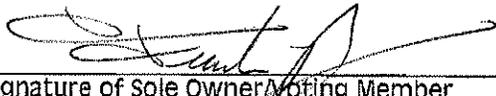


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9th day of Sept., 2011.



Signature of Sole Owner/Voting Member

Print Name: Frank Perez LOT # 42

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 43 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept., 2011.

Elba Aguilar
Signature of Sole Owner/Voting Member
Print Name: Elba Aguilar

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned owner(s) or the Voting Member for property located at # 44 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 8:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES



AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES

DATED this 9 day of 9, 2011.


Signature of Sole Owner/Voting Member

Print Name: RUFINO MARTINEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE _____

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**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 45 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Flesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of 9., 2011.

Adolfo Mappero
Signature of Sole Owner/Voting Member
Print Name: Adolfo Mappero

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

94825 0002595 HWY 48
The undersigned ^{to} owner(s) or the Voting Member for property located at anyone of the directors of the Association, or and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of Sept, 2011.

Juana de la Morena
Signature of Sole Owner/Voting Member

Print Name: JUANA DE LA MORENA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

Lot 49
94825 OVRSPAS HWY LOT 49

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned, Owner(s) or the Voting Member for property located at 94825 OVRSPAS HWY LOT 49 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of Sept, 2011.

Juana de la Morena
Signature of Sole Owner/Voting Member

Print Name: JUANA DE LA MORENA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE FOR THE SPECIAL MEETING OF THE MEMBERS OF KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy Lot 50 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES



AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 13th day of September, 2011.

Caridad M. Feria
Signature of Sole Owner/Voting Member
Print Name: Caridad M. Feria

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LA #51

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

9482506 The undersigned Owner(s) or the Voting Member for property located at
9482506 on SE 05th Ave Lot 51 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s)
anyone of the directors of the Association, or _____ as
my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and
to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may
be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at
the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall
also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this
Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE
BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS
PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio
together with the proposed Association's Architectural Guidelines consisting of the
Association's Design Guidelines & Use Rules and Regulations for Development be
approved so that the Association may proceed with effectuating the alterations to the
Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of Sept, 2011.

Juana De la Mdreva
Signature of Sole Owner/Voting Member

Print Name: JUANA DE LA MDREVA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes
to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute
for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 52 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

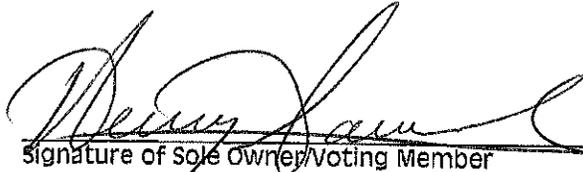


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept., 2011.


Signature of Sole Owner/Voting Member

Print Name: Henry Sanchez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE FOR THE SPECIAL MEETING OF THE MEMBERS OF KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at #34 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) any one of the directors of the Association, or my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 09 day of September, 2011.

Signature of Sole Owner/Voting Member: Pilar C. Franco
Print Name: Pilar C. Franco

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94925 Over Seaside Way, Lot 56 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 02 day of September, 2011.

[Signature] Lot 56
Signature of Sole Owner/Voting Member

Print Name: Paloma Casar Vega Chapelin

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 100 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of 13, 2011.



Signature of Sole Owner/Voting Member

Print Name: CARLOS M LOPEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LST # (1) and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

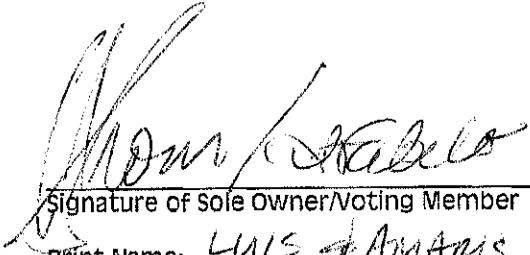


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 8 day of Sept., 2011.


Signature of Sole Owner/Voting Member

Print Name: LUIS FABELO

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

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for property located at
its Co-Op, Inc., hereby appoint(s)
as
purpose of obtaining a quorum and
purpose for which this Proxy may
**number 13, 2011, at 6:00 p.m., at
Miami, FL 33174.** This Proxy shall
ninety (90) days of the date this
d in writing by the undersigned.

MUST INDICATE YOUR PREFERENCE
R AND NOTICE ENCLOSED WITH THIS

d by Orestes Lopez-Reclo
elines consisting of the
is for Development be
ng the alterations to the

**THE PROPOSED SITE PLAN DATED
15, 2011 AND GUIDELINES**


Voting Member
Maria Baker

holder if the Proxy holder wishes

_____ to substitute

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**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 10704 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.



Signature of sole Owner/Voting Member

Print Name: ESTEBAN POOLRIVER

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOTE #65 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoints U.S.C. SW 14601 N 11th FL 3318 anyone of the directors of the Association, or U.S.C. SW 14601 N 11th FL 3318 my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reco together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of sept, 2011.

Yolanda Torres
Signature of sole Owner/Voting Member

Print Name: YOLANDA TORRES

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

Unit #
66 (213)
The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 1 day of September, 2011.

John Velasquez
Signature of Sole Owner/Voting Member

Print Name: John Velasquez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

67
**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned owner(s) or the Voting Member for property located at Beida Flores Lawro and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.

Beida Flores Lawro
Signature of Sole Owner/Voting Member

Print Name: Beida Flores Lawro

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy Lot 68 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 2 day of SEPT, 2011.


Signature of Sole Owner/Voting Member

Print Name: Edwardo Gomez de Molina
Lot # 68

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owners) or the Voting Member for property located at Lot 69 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 10 day of Sept., 2011.

Maria Lopez Recio
Signature of Sole Owner/Voting Member
Print Name: MARIA LOPEZ-RECIO

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 70 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

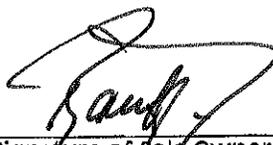


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of September, 2011.



Signature of Sole Owner/Voting Member

Print Name:

RAUL VALDES JR.

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 71 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m.**, at **the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174**. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of Sept, 2011.

Rosa Rosquet
Signature of Sole Owner/Voting Member

Print Name: Rosa Rosquet

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

72 The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

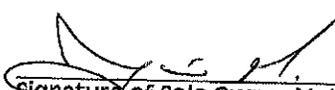
LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of September, 2011.



Signature of Sole Owner/Voting Member

Print Name: JESUS MENDEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 73 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept., 2011.

Susana Gonzalez
Signature of Sole Owner/Voting Member

Print Name: Susana Gonzalez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 75 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 10 day of Sept, 2011.

Scott Barrett
Signature of Sole Owner/Voting Member

Print Name: Scott Barrett

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

76 The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 10 day of Sept, 2011.

Signature of Sole Owner/Voting Member

Print Name:

Gicela Rino

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

17
**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at CLAUDIO & MERCEDES FILPES and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of Sept, 2011.

Claudio Filpes Mercedes Filpes
Signature of Sole Owner/Voting Member

Print Name: CLAUDIO FILPES & MERCEDES FILPES

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 78 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 2 day of Sept., 2011.


Signature of Sole Owner/Voting Member

Print Name: JOAQUIN CHAMIZO
SIXTA CHAMIZO

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT 79 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 11 day of SEPT., 2011.

Carlos Balbis
Signature of Sole Owner/Voting Member
Print Name: CARLOS BALBIS

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The 8 undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of 9, 2011.

Apolonio Marroel
Signature of Sole Owner/Voting Member

Print Name: APOLONIO MARROEL

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this 13 day of 9, 2011.

PROXY SIGNATURE

2081

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

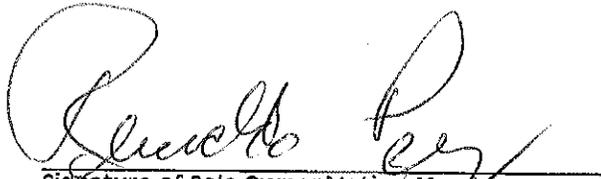


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011


Signature of Sole Owner/Voting Member
Print Name: REINALDO PEREZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 82 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) as anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

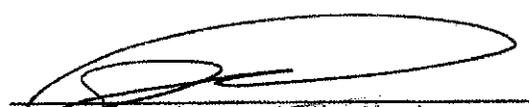
LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of September 2011.


Signature of Sole Owner/Voting Member

Print Name: Jose Blanco

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at 207 85 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

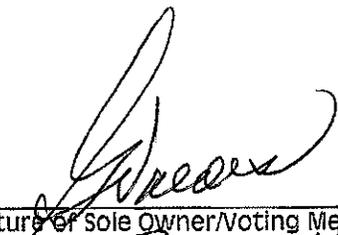


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 6 day of SEPT., 2011.


Signature of Sole Owner/Voting Member

Print Name: GUSTAVO VALDES

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

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**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy Lot# 89 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 2nd day of Sept., 2011.



Signature of sole Owner/Voting Member
Print Name: Teodoro Gomez de M. Quez. Lopez (89)

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

Lot #092
Key Largo 33037

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Blvd and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 31 day of August, 2011.

Mary Quintana #092
Signature of Sole Owner/Voting Member
Print Name: Mary Quintana

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

93 The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.



Signature of Sole Owner/Voting Member

Print Name: _____



DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

96

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of 9, 2011.

Signature of Sole Owner/Voting Member

Print Name: BERNARDO GONZALEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 97 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of SEP., 2011.

Signature of Sole Owner/Voting Member

Print Name: LEONIDES SANCHEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 98 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

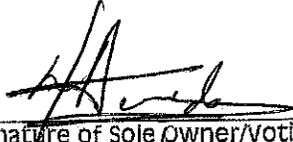


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of 11, 2011.


Signature of Sole owner/voting Member

Print Name: Nestor Acevedo

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Lot 99 Owner(s) or the Voting Member for property located at Lot 99 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 5 day of sept., 2011.

[Signature] Lot 99
Signature of Sole Owner/Voting Member

Print Name: Armando Cruz For
Crumen Family Limited
Partnership

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at lot # 101 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) as anyone of the directors of the Association, or _____ to my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 10 day of September, 2011.

[Signature]
Signature of sole Owner/voting Member
Print Name: Victor R. Maryaca

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #102 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Flesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 31 day of August, 2011.

Signature of Sole Owner/Voting Member

Print Name:

Daniel Gamas

For: Alda Int'l, Inc.

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owners(s) or the Voting Member for property located at Lot 103 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 10 day of September, 2011.


Signature of Sole Owner/Voting Member
Print Name: LIDIA MARQUEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 104 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 31 day of August, 2011.



Signature of Sole Owner/Voting Member

Print Name: Daniel Gammas

For: Alde Int'l, Inc.

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 105 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 31 day of August, 2011.


Signature of Sole Owner/Voting Member
Print Name: JUAN SIMON

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

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**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 3 day of Sep, 2011.

Rossana Meireles
Signature of Sole Owner/Voting Member

LOT 108

Print Name: ROSSANA MEIRELES

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 111 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 7 day of Sept, 2011.

Lee Ann Barberis
Signature of Sole Owner/Voting Member
Print Name: Lee Ann Barberis

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT# 113 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 08 day of 30, 2011.

Mohamed Omar Latif
Signature of Sole Owner/Voting Member

Print Name: MOHAMED O. LATIFF

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT 114 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or Rodolfo Cabrera as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 8:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES **AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of SEPT., 2011.

[Signature]
Signature of Sole Owner/Voting Member
Print Name: Rodolfo Cabrera

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 115 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.

Ana Cabrera
Signature of Sole Owner/Voting Member

Print Name: Ana Cabrera

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owners) or the Voting Member for property located at LOT 117 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 10 day of September, 2011.

Lidia Marquez
Signature of Sole Owner/Voting Member

Print Name: LIDIA MARQUEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT #118 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

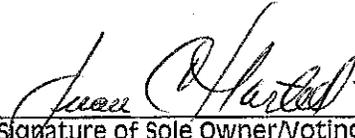


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 7 day of SEPTEMBER 2011.



Signature of Sole Owner/Voting Member
Print Name: JUAN C. MARTELL

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 120 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

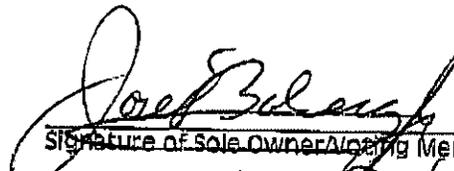
LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of 13, 2011.


Signature of Sole Owner/Voting Member
Print Name: JOSE BALSERA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

Lot #121

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94805 Overseas Hwy, Cayman and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

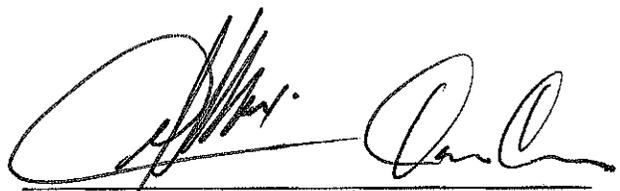
Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13th day of September, 2011.

Lot 121


Signature of Sole Owner/Voting Member
Print Name: Pelayo CERUDO
Armen Cerudo

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 122 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 8 day of Sept, 2011.



Signature of Sole Owner/Voting Member

Print Name: ANA BERNALLO

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The # 123 undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

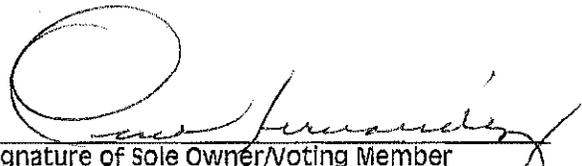


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 8 day of September, 2011.


Signature of Sole Owner/Voting Member

Print Name: OMAR HERNANDEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 125 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 31 day of August, 2011.



Signature of sole Owner/Voting Member
Print Name: Jose A. Suarez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ___ day of _____, 2011.

PROXY SIGNATURE

Lot #126

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at LOT #126 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of August, 2011.

Signature of Sole Owner/Voting Member

Print Name: Isabel Gonzalez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

HALIBRARY\CASES\5820\2100010\2\Z0709.DOC

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT 127 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or Rodolfo Cabrera as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of September, 2011.

[Signature]
Signature of Sole Owner/Voting Member
Print Name: Heriberto Tejeda

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

Lot # 128

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of September 2011.

Signature of Sole Owner/Voting Member

Print Name: Odalys Martin

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 130 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

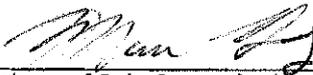
LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 1st day of SEPTEMBER 2011.



Signature of Sole Owner/Voting Member

Print Name: MARIA GONZALEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE FOR THE SPECIAL MEETING OF THE MEMBERS OF KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owners or the Voting Member for property located at 132 and operated by Key Largo Ocean Resorts Co-op, Inc., hereby appoints as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 19, 2011, at 8:00 p.m., at the Fiesta Palace Banquet Hall located at 185 SW 107 Avenue, 3rd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reich together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 9 day of 2, 2011.

9/2/11

Signature of Sole Owner/Voting Member

Print Name: RAUL PINE

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE _____

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #133 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 10 day of SEP., 2011.

Raul Medina
Signature of Sole Owner/Voting Member

Print Name: RAUL MEDINA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

9-4-8-11 Orestes Hwy Key Largo, Fla
The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sep, 2011.

Maria Tellez Emilio Tellez
Signature of Sole Owner/Voting Member

Print Name: MARIA Tellez Emilio Tellez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 1360 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reco together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept., 2011.


Signature of Sole Owner/Voting Member

Print Name: GILFREDO J. MUGARRA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 137 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.

Ana Cabrera
Signature of Sole Owner/Voting Member
Print Name: Ana Cabrera

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 138 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reilo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 11 day of Sept., 2011.

Signature of Sole Owner/Voting Member

Print Name: Enrique Lopez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 140 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the iterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 09 day of 09, 2011.

Dora Sanchez
Signature of Sole Owner/Voting Member

Print Name: DORA SANCHEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 142 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 6 day of September, 2011.

Alcida Quintana
Signature of Sole Owner/Voting Member

Print Name: ALCIDA QUINTANA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

Lot #144

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

94825 Overseas Highway - Key Largo
F23x37
LOT 144
The undersigned Owner(s) or the Voting Member for property located at anyone of the directors of the Association, or as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of SEPT., 2011.

LOT 144

Celestino Chaviano
Signature of Sole Owner/Voting Member
Print Name: CELESTINO CHAVIANO
Celso Chaviano
IRMA CHAVIANO

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

Lot #145

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

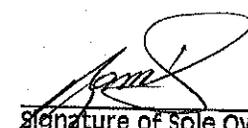
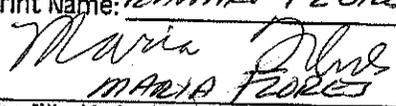
94825 OVERSEA ~~HOW~~ KEY LARGO
P. 3303) The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES **AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of SEPTEMBER, 2011.


Signature of Sole Owner/Voting Member
Print Name: DAMIRO FLORES

MARIA FLORES

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned ¹⁴⁷ Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of September, 2011.



Signature of Sole Owner/Voting Member
Print Name: Orestes L. Ramos

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The ¹⁴⁸ undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 31 day of August, 2011.



Signature of Sole Owner/Voting Member

Print Name: Alain Escobedo

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94815 Overseas Hwy / Lot 149 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or N/A as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 8 day of Sept., 2011.

Signature of Sole Owner/Voting Member

Print Name: Carlos Cuenca
(Lot #149)

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 150 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 6th day of September 2011.

Cecilio A. Martin

Signature of Sole Owner/Voting Member

Print Name:

Cecilio A. Martin

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

Lot #151

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 151 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

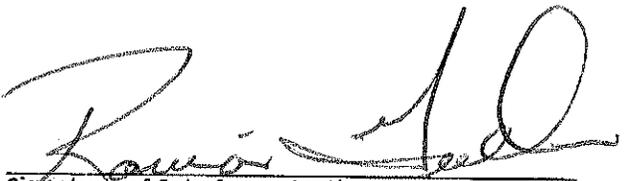
LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of September 2011.


Signature of Sole Owner/Voting Member
Print Name: Ramon Guillen

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owners(s) or the Voting Member for property located at 153 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reco together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 3 day of Sept, 2011.

Signature of Sole Owner/Voting Member

Print Name: RUTH MARRENE

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #157 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of September, 2011.

Lidia A. Quintana
Signature of Sole Owner/Voting Member

Print Name: Lidia A. Quintana

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

159

The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this _____ day of SEP 13th, 2011.

Signature of Sole Owner/Voting Member

Print Name:

Mario Ruiz
MARIO RUIZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

94865 OVERSEAS HOLDINGS LIMITED
The undersigned Owner(s) or the Voting Member for property located at _____ as anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 09 day of September, 2011.



Signature of Sole Owner/Voting Member

Print Name: Andrés de Cabo

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

Lot # 162

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 162 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 31 day of August, 2011.

Signature of Sole Owner/Voting Member

Print Name: Daniel Gamás

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE _____

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 166 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 07 day of 09, 2011.



Signature of Sole Owner/Voting Member
Print Name: Roberto Sebastia

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE FOR THE SPECIAL MEETING OF THE MEMBERS OF KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at 167 and operated by Key Largo Ocean Resorts Co-Op, Inc. hereby appoints anyone of the directors of the Association, or Jesus Lopez my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 8:00 p.m., at the Flota Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orastes Lopez-Rocio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 12 day of September, 2011.

Keys Paradise #167, LLC

[Signature]
Signature of Sole Owner/Voting Member

Print Name: Jesus Lopez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above

DATED this _____ day of _____, 2011.

PROXY SIGNATURE _____

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 168 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 5 day of September, 2011.


Signature of Sole Owner/Voting Member

Print Name: Arnaldo Piedrahita

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 169 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 10 day of Sept, 2011.

Scott Barrett
Signature of Sole Owner/Voting Member

Print Name: Scott Barrett

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 170 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.

Leo Garcia

Signature of Sole Owner/Voting Member

Print Name: Leo Garcia

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT 171 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 1 day of Sept, 2011.



Signature of Sole Owner/Voting Member

Print Name: Cosme Delgado

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

LOT 173 The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoints _____ as anyone of the directors of the Association, or _____ my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m.**, at **the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174**. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reilo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of September, 2011.

T Escobar

Signature of sole Owner/Voting Member

Print Name: Tania Escobar

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 174 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of Sep., 2011.

Jose E. Pena
Signature of Sole Owner/Voting Member
Print Name: Jose E. Pena

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 175 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 6 day of Sept., 2011.

Miriam Alvarez
Signature of Sole Owner/Noting Member

Print Name: MIRIAM ALVAREZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 176 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 1 day of Sept., 2011.

Joan Hanna
Signature of Sole Owner/Voting Member

Print Name: Joan Hanna

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #179 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 5th day of September, 2011.

Margaret Stadick Olds
Signature of Sole Owner/Voting Member

Print Name: MARGARET STADICK OLDS

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned owner(s) or the Voting Member for property located at 94825 Oceanview Hwy #182 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 2 day of SEPT, 2011.



Signature of sole Owner/Voting Member
Print Name: Eduardo Gomez de Molina
LOT # 182

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #189 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) as anyone of the directors of the Association, or my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of Sep., 2011.

Signature of Sole Owner/Voting Member

Print Name: Alberto Rodriguez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot #190 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) as any of the directors of the Association, or as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 8:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of September 2011.

Signature of Sole Owner/Voting Member

Print Name: Silvio Martinez
Sara Martinez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE _____

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy Lot 191 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 29 day of AUGUST, 2011.


Signature of Sole Owner/Voting Member

Print Name: GABRIEL ZNIDARCIC

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 192 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of SEPT., 2011.


Signature of Sole Owner/Voting Member
Print Name: FEDERICO PLASENCIA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT 194 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoints anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 7 day of Sept., 2011.


Signature of Sole Owner/Voting Member

Print Name: ANTONIO LOPEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 197 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of September, 2011.



Signature of Sole Owner/Voting Member

Print Name: Nancy C. Freitas

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

H:\LIBRARY\CASES\5820\2100010\2JZ0709.DOC

SENT VIA
FAX (305-852-4895)

Lot # 198

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 198 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of August, 2011.

Isabel Gonzalez
Signature of Sole Owner/Voting Member

Print Name: _____

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

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**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 199 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 8 day of 9, 2011.



Signature of Sole Owner/Voting Member

Print Name: Faisal Musa
Zaida M. Rodriguez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owners(s) or the Voting Member for property located at Lot 200 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.



Signature of Sole Owner/Voting Member
Print Name: Ramiro Aburto

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 201 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 09 day of 08, 2011.

[Signature]
Signature of Sole Owner/Voting Member
Print Name: Miriam Gulló
VIRGINIO G. FORTE

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owners(s) or the Voting Member for property located at 203 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 5th day of September 2011.

Signature of Sole Owner/Voting Member

Print Name: JOSE IGNACIO VITOR

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owners²⁰⁵ for the Voting Member for property located at Key Largo Ocean Resorts Plant and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 09 day of 06, 2011.

Julia Jimenez
Signature of Sole Owner/Voting Member
Print Name: Julia Jimenez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

#206

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #206 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of Sept., 2011.

Signature of sole Owner/Voting Member

Print Name: R. Collazo

(Rosie Collazo)

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 207 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33170. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

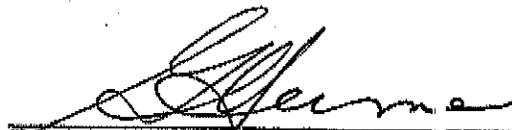


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of September, 2011.


Signature of Sole Owner/Voting Member

Print Name: Goldwyn Harris

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT 209 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 5 day of SEPTEMBER 2011.

Jose A Paris
Signature of Sole Owner/Voting Member

Print Name: JOSE A. PARIS

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 213 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or Eduardo Calil as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 29th day of August, 2011.


Signature of sole Owner/Voting Member

Print Name: ANGEL A. CORTINAS
LOT 213

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

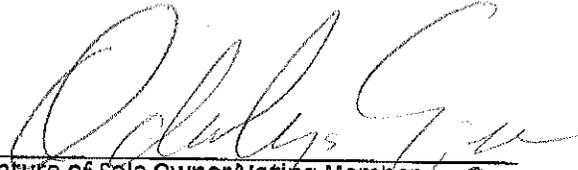
LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.


Signature of Sole Owner/Voting Member
Print Name: Odalys Sierra

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE FOR THE SPECIAL MEETING OF THE MEMBERS OF KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned owner(s) or the Voting Member for property located at Lot 216 (Unit 30) and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or N/A as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Flesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES



AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 13 day of Sept, 2011.

Signature of Jose Danavy, Nancy Danavy

Print Name: Jose Danavy, Nancy Danavy

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

Lot # 217

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

94825 OCEANVIEW HWY, KEY LARGO, FL
33037
LOT 144
The undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES **AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES**

DATED this _____ day of _____, 2011.

Irma Chaviano
Irma Chaviano

LOT: 217

Irma Chaviano
Signature of Sole Owner/Voting Member
Print Name: CELESTINO CHAVIANO
IRMA CHAVIANO

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot 222 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of SEPT, 2011.

MARIE E. HORDAS
Signature of Sole Owner/Voting Member

Print Name: MARIE E HORDAS

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

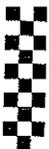
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LIMITED PROXY WITH SUBSTITUTION OF NOMINEE FOR THE SPECIAL MEETING OF THE MEMBERS OF KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at Lot 229 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoints anyone of the directors of the Association, or my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES



AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 9th day of Sept, 2011.

Signature of Sole Owner/Voting Member

Print Name: ARMANDO / ELSIE CONDOLL

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate to substitute for me in the Proxy set forth above.

DATED this day of , 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #226 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 8:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of 9, 2011.


Signature of Sole Owner/Voting Member

Print Name: RUFINO MARTINEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

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**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 227 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of 9, 2011.

Rubino Martinez
Signature of Sole Owner/Voting Member
Print Name: RUBINO MARTINEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

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**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 228 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) any one of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12th day of September, 2011.

Maria E. Veloso
Signature of sole Owner/Voting Member
Print Name: Maria E. Veloso

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 229 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 185 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12th day of September, 2011.



Signature of Sole Owner/Voting Member

Print Name: Maria E. Veloso

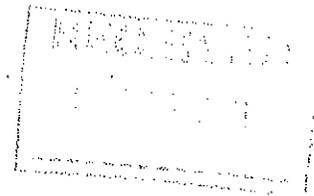
DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE



**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 230 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

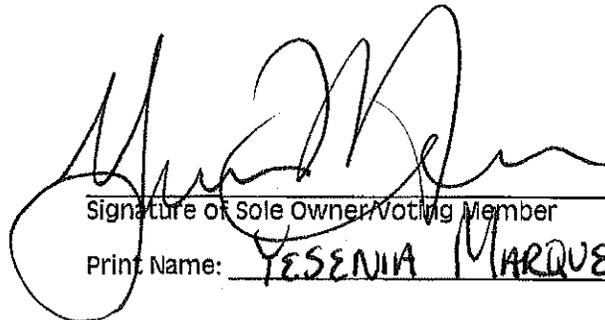


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 11 day of September, 2011.



Signature of Sole Owner/Voting Member
Print Name: YESENIA MARQUETTI

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

Lot #231

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at A 231 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of Sept., 2011.



Signature of Sole Owner/Voting Member

Print Name: R. Collazo
(Rosie Collazo)

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT 237 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 8:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 29 day of Aug, 2011.

Miguel A. Valdes
Signature of Sole Owner/Voting Member

Print Name: Miguel Valdes

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot #39 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 7 day of September, 2011.

Maria V. Garcia

Signature of Sole Owner/Voting Member

Print Name: MARIA V. GARCIA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LOT 240 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 31 day of August, 2011.

Andres Cortes
Signature of Sole Owner/Voting Member

Print Name: Andres Cortes

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owners(s) or the Voting Member for property located at #242 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sep., 2011.

Roberto Hevia Xiomara Hevia
Signature of Sole Owner/Voting Member

Print Name: Roberto e Xiomara Hevia

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

Lot # 245

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 1245 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Flesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of Sept., 2011.


Signature of Sole Owner/Voting Member

Print Name: R. Collazo
(Rosie Collazo)

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

Lot #247

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE FOR THE SPECIAL MEETING OF THE MEMBERS OF KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at 94825 Overseas Hwy and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or Marilyn Barandiaran as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES

DATED this 13 day of Sept, 2011.

Marilyn Barandiaran
Signature of Sole Owner/Voting Member
Print Name: Marilyn Barandiaran

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at A 248 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 9 day of September, 2011.



Signature of Sole Owner/Voting Member

Print Name: Alba Martinez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 249 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept, 2011.

Alba Cruz
Signature of Sole Owner/Voting Member

Print Name: ALBA CRUZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at Lot # 252 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 8 day of August, 2011.

Celso Hernandez MD
Signature of Sole Owner/Voting Member

Print Name: CELSO R. HERNANDEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at None 256 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept., 2011.

Esteban Bencomo
Signature of Sole Owner/Voting Member

Print Name: Esteban Bencomo

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 257 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of SEP, 2011.


Signature of sole Owner/Voting Member

Print Name: XIOMARA M. GARZO

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at LDT 258 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12th day of September, 2011.



Signature of Sole Owner/Voting Member

Print Name: MARIA-ROSA P. LOPEZ-MUNOZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at #259 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept., 2011.



Signature of Sole Owner/Voting Member

Print Name: Fernando A. Colón

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at Lot 261 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES



AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES

DATED this 12th day of September, 2011.

Paul D. Day
Signature of Sole Owner/Voting Member
Print Name: PAUL DAY
Lot # 261

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

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DN")

or property located at
Co-Op, Inc., hereby appoint(s)
as
purpose of obtaining a quorum and
purpose for which this Proxy may
**September 13, 2011, at 6:00 p.m., at
Miami, FL 33174.** This Proxy shall
ninety (90) days of the date this
in writing by the undersigned.

MUST INDICATE YOUR PREFERENCE
AND NOTICE ENCLOSED WITH THIS

d by Orestes Lopez-Recló
guidelines consisting of the
rules for Development be
including the alterations to the

THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES

Signature of Voting Member
Tha Perez

Proxy holder if the Proxy holder wishes

to substitute

SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The 264 undersigned Owner(s) or the Voting Member for property located at _____ and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

FOR THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES **AGAINST THE PROPOSED SITE PLAN DATED AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sep, 2011.

Georgina Cordero
Signature of Sole Owner/Voting Member
Print Name: GEORGINA CORDERO

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 267 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of sep., 2011.



Signature of Sole Owner/Voting Member
Print Name: Rene Rodriguez.

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 268 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 27 day of August, 2011.



Signature of Sole Owner/Voting Member
Print Name: PEDRO BARRENECHEA

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at *270 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of September, 2011.


Signature of Sole Owner/Voting Member
Print Name: Samuel Rodriguez / Jorge Rodriguez

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 271 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoints anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

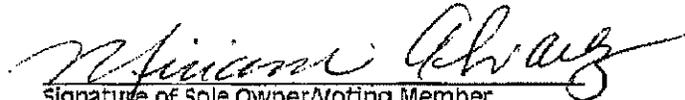
LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reico together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 6 day of Sept., 2011.


Signature of Sole Owner/Voting Member
Print Name MIRIAM ALVAREZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 274 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) Luis Gonzalez as anyone of the directors of the Association, or Luis Gonzalez as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recio together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**

**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of September, 2011.

[Signature]
Signature of Sole Owner/Voting Member
Print Name: Nelia Odio

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate Luis Gonzalez to substitute for me in the Proxy set forth above.

DATED this 13 day of September, 2011.

PROXY SIGNATURE

**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at 276 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 8:00 p.m., at the Fiesta Palace Banquet Hall located at 185 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reco together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 13 day of Sept., 2011.


Signature of sole Owner/Voting Member

Print Name: Olga R. Miyares

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

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**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 277 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Recló together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

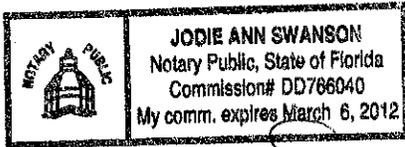


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 30 day of AUGUST, 2011.




Signature of Sole Owner/Voting Member, _____
Print Name: PEDRO GARCIA

Jodie Ann Swanson 8/2/11 Personally Know
DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")

The undersigned Owner(s) or the Voting Member for property located at Lot 278 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the special Meeting of the Members, to be held on Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174. This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Orestes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the cooperative property as described herein?



**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 12 day of Sept, 2011.


Signature of Sole Owner/Voting Member

Print Name: PEDRO RODRIGUEZ

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this ____ day of _____, 2011.

PROXY SIGNATURE

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**LIMITED PROXY WITH SUBSTITUTION OF NOMINEE
FOR THE SPECIAL MEETING OF THE MEMBERS OF
KEY LARGO OCEAN RESORTS CO-OP, INC. ("ASSOCIATION")**

The undersigned Owner(s) or the Voting Member for property located at # 279 and operated by Key Largo Ocean Resorts Co-Op, Inc., hereby appoint(s) anyone of the directors of the Association, or _____ as my/our true and lawful Proxy with powers of substitution to appear for the purpose of obtaining a quorum and to represent and cast votes in the manner specified below and for any other purpose for which this Proxy may be used at the Special Meeting of the Members, to be held on **Tuesday, September 13, 2011, at 6:00 p.m., at the Fiesta Palace Banquet Hall located at 155 SW 107 Avenue, 2nd Floor, Miami, FL 33174.** This Proxy shall also be used for all lawful adjournments of such Special Meeting held within ninety (90) days of the date this Special Meeting was originally called, if any, unless this Proxy is sooner revoked in writing by the undersigned.

LIMITED POWERS (FOR YOUR VOTE TO BE COUNTED ON THE FOLLOWING ISSUE, YOU MUST INDICATE YOUR PREFERENCE BY CHECKING THE APPROPRIATE BOX PROVIDED BELOW.) PLEASE REVIEW THE LETTER AND NOTICE ENCLOSED WITH THIS PROXY.

Should the proposed Site Plan dated August 15, 2011, prepared by Oretes Lopez-Reclo together with the proposed Association's Architectural Guidelines consisting of the Association's Design Guidelines & Use Rules and Regulations for Development be approved so that the Association may proceed with effectuating the alterations to the Cooperative property as described herein?

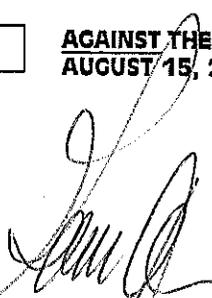


**FOR THE PROPOSED SITE PLAN
DATED AUGUST 15, 2011 AND
GUIDELINES**



**AGAINST THE PROPOSED SITE PLAN DATED
AUGUST 15, 2011 AND GUIDELINES**

DATED this 31 day of August, 2011.



Signature of Sole Owner/Voting Member

Print Name: Daniel Gamas

For: Alda Int'l, Inc.

DO NOT COMPLETE THIS SECTION. This section is only to be filled in by the Proxy holder if the Proxy holder wishes to appoint a substitute Proxy holder.

SUBSTITUTION OF PROXY

The undersigned, appointed as Proxy above, does hereby designate _____ to substitute for me in the Proxy set forth above.

DATED this _____ day of _____, 2011.

PROXY SIGNATURE

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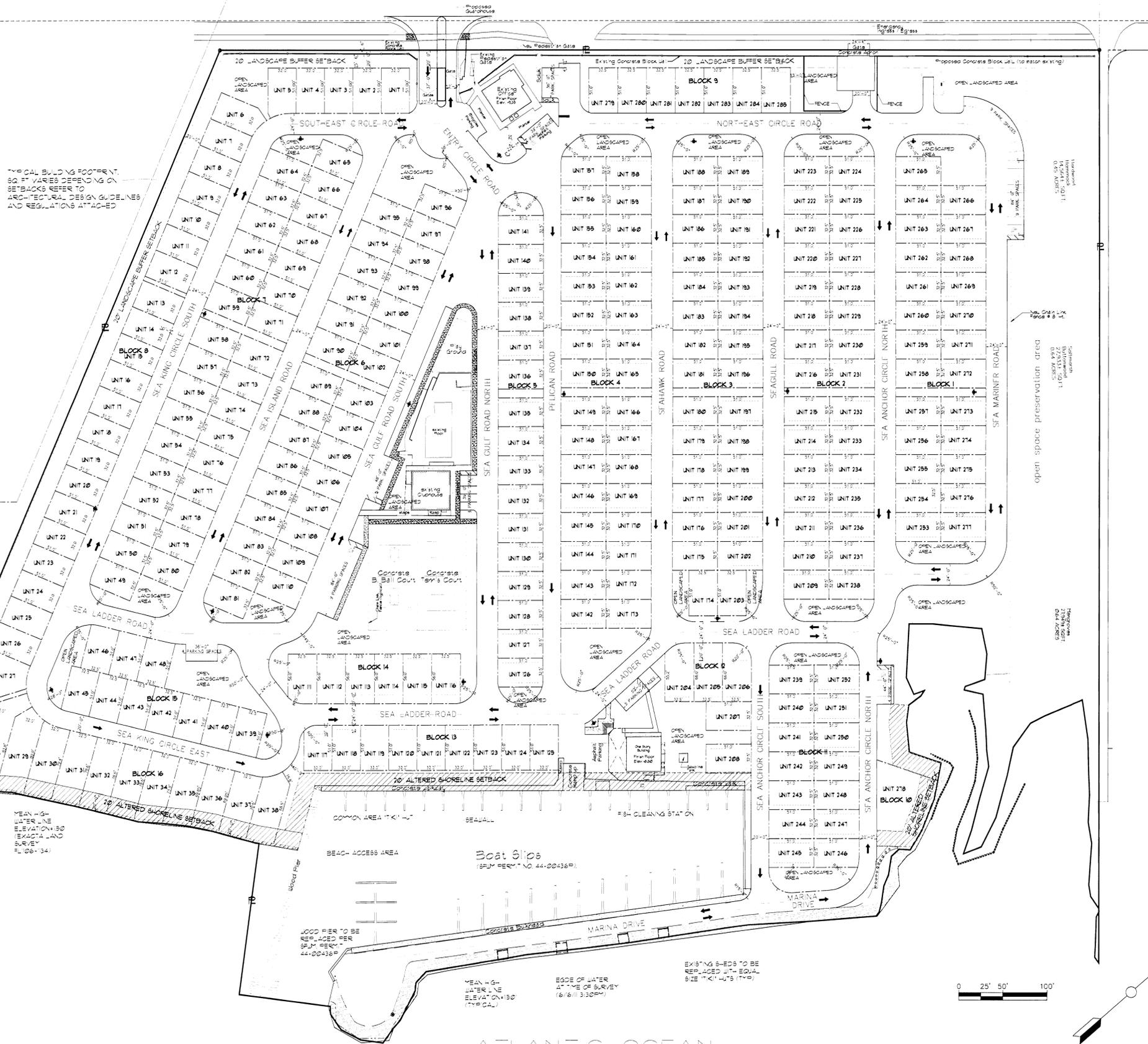
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Overseas Highway



TYPICAL BUILDING FOOTPRINT, SQ. FT. VARIES DEPENDING ON SETBACKS REFER TO ARCHITECTURAL DESIGN GUIDELINES AND REGULATIONS ATTACHED

MEAN HIGH WATER LINE ELEVATION +130 (EXACT) AND SURVEY ELEVATION +134

PROPOSED SITE PLAN
SCALE 1"=50'

ZONING DATA			
ZONING : URM	USE: SFR	UPLAND	SUBMERGED
GROSS PROJECT AREA	1,099,524 SQ.FT. = 25.2416 ACRES	23.2316 ACRES	2.01 ACRES
TOTAL NUMBER OF UNITS	285		
GROSS DENSITY	12.25 UNITS PER NET ACRE		
BUILDING HEIGHT	35'-0" MAXIMUM FROM ADJACENT COR		
OPEN LANDSCAPE AREA REQUIRED	102,000 SQUARE FEET		
OPEN LANDSCAPE AREA PROVIDED	140,835 SQUARE FEET		
PARKING SPACES PROVIDED PER UNIT (WITHIN THE BUILDING ENVELOPE)	2 SPACES PER UNIT		
ADDITIONAL PARKING SPACES PROVIDED	60 SPACES (7 HC 12'X18', 53 STD 9'X18')		
MINIMUM SETBACKS PROVIDED PER UNIT: (TO DRIP EDGE)			
FRONT: 5'-0"			
REAR: 5'-0"			
INTERIOR SIDE 5'-0"			
SIDE STREET 5'-0"			
OVERALL PROPERTY SETBACKS:			
OVERSEAS HIGHWAY LANDSCAPE BUFFER: 20'-0"			
WEST LANDSCAPE BUFFER: 20'-0"			
ALTERED SHORELINE SETBACK: 20'-0"			
INTERIOR NEI: 72'-0"			

DEVIATIONS FROM PREVIOUSLY APPROVED PLAN

1. THE TENNIS COURT/BASKETBALL COURT WILL REMAIN AT THEIR EXISTING LOCATION AND WILL NOT BE RELOCATED.
2. THE INDIVIDUAL UNITS HAVE BEEN RECONFIGURED TO BE NEARLY ALL THE SAME SIZE.
3. APPROVED ROADWAYS HAVE BEEN MODIFIED TO PROVIDE BETTER EMERGENCY ACCESS. THE MINIMUM ONE-WAY ROAD WIDTH IS NOW PROPOSED AT TWENTY FEET (20 FT) IN LIEU OF 18 FT PER THE APPROVED PLAN.
4. THE EXISTING GUARD-HOUSE WILL BE REPLACED BY A NEW GUARD-HOUSE IN THE SAME LOCATION.
5. THE EXISTING MAINTENANCE STRUCTURE HAS BEEN DEMOLISHED AND WILL BE REPLACED BY A NEW ONE IN THE SAME LOCATION.
6. THERE WILL BE ADDITIONAL COMMON AREA PARKING SCATTERED THROUGHOUT THE COMMUNITY.
7. THIS PROPOSED PLAN PROVIDES FOR INCREASED OPEN AREA AND GREEN SPACE OVER THE APPROVED PLAN. PLEASE REFER TO THE OPEN AREA CALCULATIONS AND THE LANDSCAPING PLAN.
8. THE DESIGN OF AND CONSTRUCTION OF THE INDIVIDUAL HOMES WILL BE REGULATED BY A SET OF ARCHITECTURAL DESIGN STANDARDS AND USE REGULATIONS THAT WILL BE ENFORCED THROUGH THE USE OF A MANDATORY ARCHITECTURAL REVIEW PROCESS AND APPROVAL PRIOR TO SUBMISSION FOR A BUILDING PERMIT. REFER TO THE ATTACHED ARCHITECTURAL DESIGN CRITERIA AND USE REGULATIONS FOR REVIEW PROCEDURES.

PHASING SCHEDULE

THE CIRCUIT COURT ENTERED ITS JUNE 22, 2010 ORDER MODIFYING THE PHASING IN THE DEVELOPMENT AGREEMENT TO REQUIRE DEMOLITION TO BE COMPLETED BY DECEMBER 31, 2010 AND TO NOT ALLOW REHABILITATION TO OCCUR UNTIL DEMOLITION OF ALL ILLEGAL STRUCTURES WAS COMPLETED. THE PHASING OF THE RECONSTRUCTION IS ELIMINATED UPON THE FINAL APPROVAL OF THE PROPOSED MAJOR DEVIATION. THE COUNTY AND THE APPLICANT WILL PREPARE A CONSTRUCTION SCHEDULE FOR REBUILDING OF ALL ILLEGAL STRUCTURES AND THE BRINGING OF ALL LOTS TO THE BOUNDARIES OF EACH PARCEL, SO THAT EACH PARCEL SHALL BE READY-TO-BUILD DETACHED SINGLE-FAMILY HOMES.

REQUEST FOR MODIFICATION OF CONDITIONS APPROVED PURSUANT TO PCR NO. P35-07

DUE TO THE CONTINUED HIGH DEMAND FOR ELECTRICAL POWER SINCE THE APPROVED CONDITIONS WERE APPROVED, REQUESTING MODIFICATION OF THE CONDITION 07(A) SECTION 2 BE AMENDED TO READ HIGH EFFICIENCY WATER HEATERS IN LIEU OF STANDARD SUPER EFFICIENT WATER HEATERS. IT HEREBY RESPECTFULLY REQUESTED THAT THIS MODIFICATION BE GRANTED IN THE PUBLIC INTEREST.

GENERAL NOTES

1. UTILITIES HAVE BEEN DESIGNED AND WILL BE LOCATED PER FCAA AND REC DESIGN CRITERIA.
2. THERE ARE NO NEW ENCROACHMENTS BY PRINCIPAL STRUCTURES ON THE SHORELINE SETBACK AREA EXCEPT FOR THE EXISTING MARINA GRILL/PUB BUILDING.

THIS SITE PLAN IS SUBJECT TO THE FOLLOWING CONDITIONS:

1. FINAL APPROVAL BY THE MONROE COUNTY FIRE DEPARTMENT WITH RESPECT TO THE ROAD WIDTHS AND FIRE EQUIPMENT TURNING RADIUS.
2. FINAL APPROVAL BY THE MONROE COUNTY PLANNING DEPARTMENT AND PLANNING COMMISSION.
3. COORDINATION WITH CIVIL ENGINEERING DESIGN AND DRAWINGS.
4. THIS SITE PLAN AND THE ATTACHED GUIDELINES AND USE REGULATIONS WERE APPROVED BY A MAJORITY OF SHAREHOLDERS ON SEPTEMBER 13, 2011 BY A VOTE OF 25 FOR 3 AGAINST.



KEY LARGO OCEAN RESORTS
94825 OVERSEAS HIGHWAY
KEY LARGO, FLORIDA

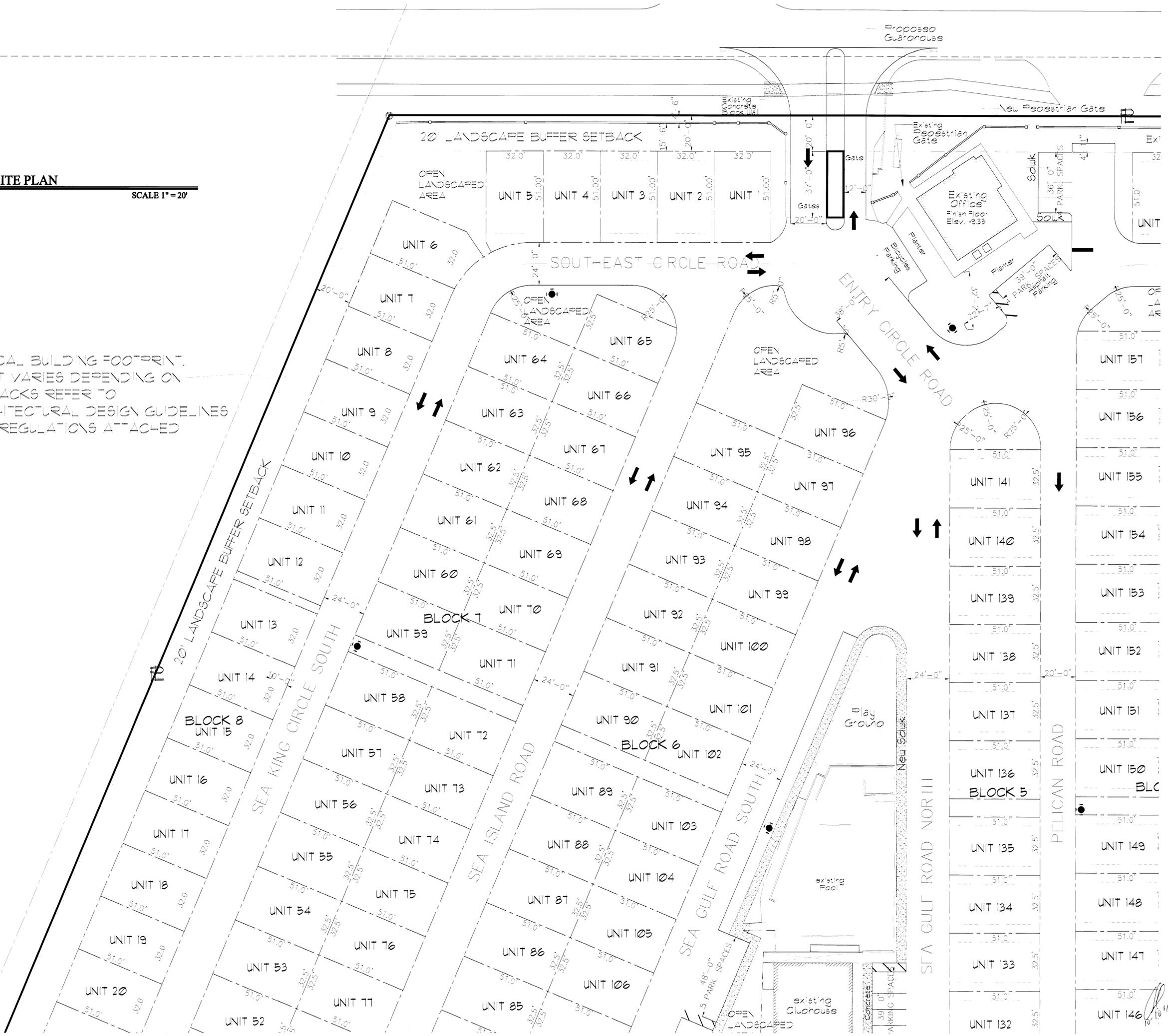
REVISIONS:
DATE: 08-15-2011
SCALE: 1"=50'
DRAWN: JMS
JOB NO.:

A-1
SHEET NO.:

SECTION 1 - SITE PLAN

SCALE 1" = 20'

TYPICAL BUILDING FOOTPRINT.
60,000 SQ. FT VARIES DEPENDING ON
SETBACKS REFER TO
ARCHITECTURAL DESIGN GUIDELINES
AND REGULATIONS ATTACHED





SECTION 2 - SITE PLAN

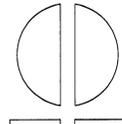
SCALE 1" = 20'

Hardwood
Hammock
14,564± SQ.FT.
0.45 ACRES

Saltmarsh
Buttwood
27,935± SQ.FT.
0.64 ACRES

open space preservation area

A-3



OLR
ARCHITECT

ORISTES LOPEZ-RECIO
AR000930

985 SW 32 ST

MIAMI, FLORIDA 33135
TELEPHONE (305) 360-2623

KEY LARGO OCEAN RESORTS
94825 OVERSEAS HIGHWAY
KEY LARGO, FLORIDA

OCT 11 2011
2:51:19 PM
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REVISIONS:

DATE: 09-9-10

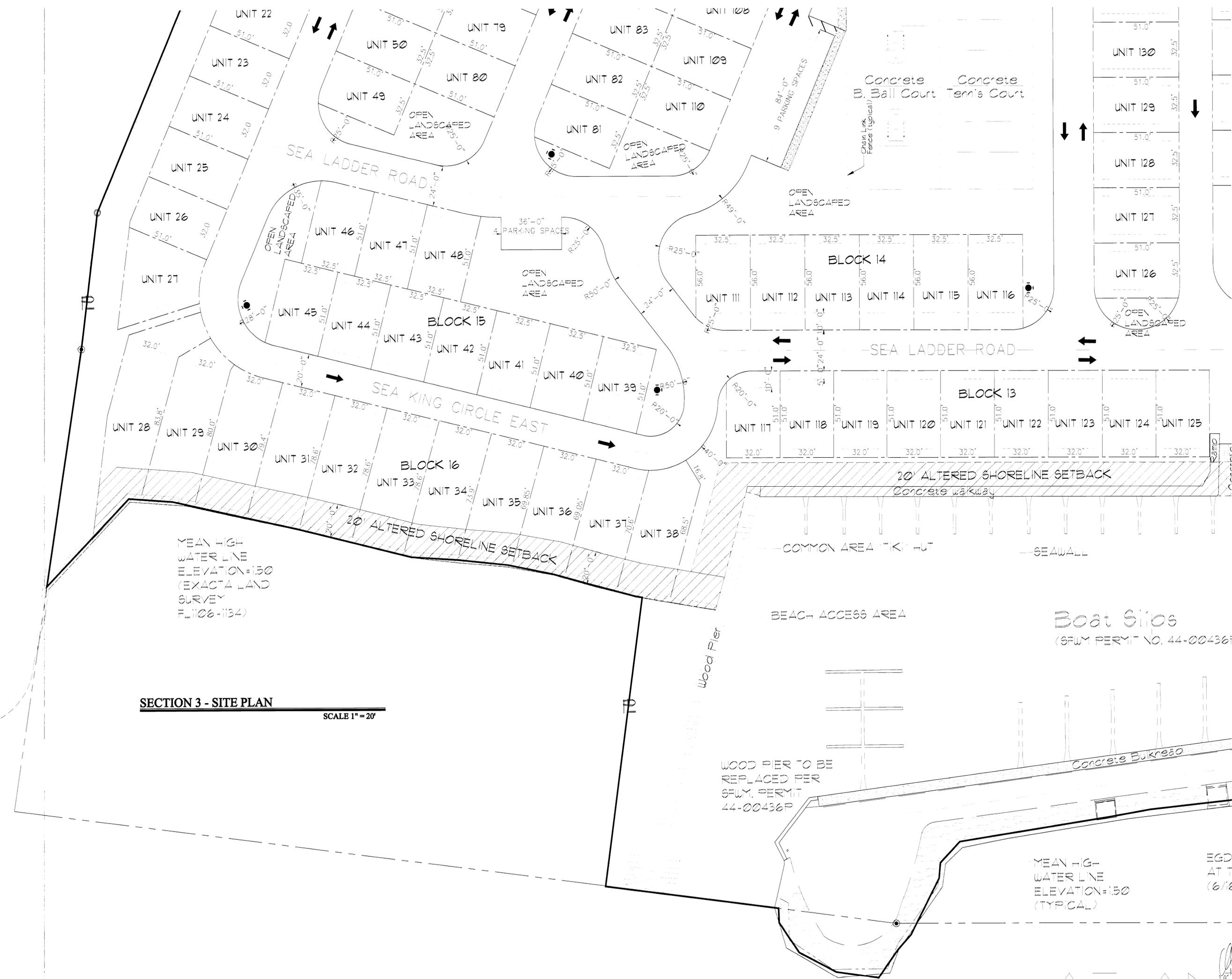
SCALE: 5/8"=1'-0"

DRAWN: es

JOB NO.:

A-4

SHEET NO.:



SECTION 3 - SITE PLAN
SCALE 1" = 20'

MEAN HIGH WATER LINE
ELEVATION = 130
(EXACT LAND SURVEY
FILE # 06-1134)

WOOD PIER TO BE
REPLACED PER
SEWM. PERMIT
44-00436P

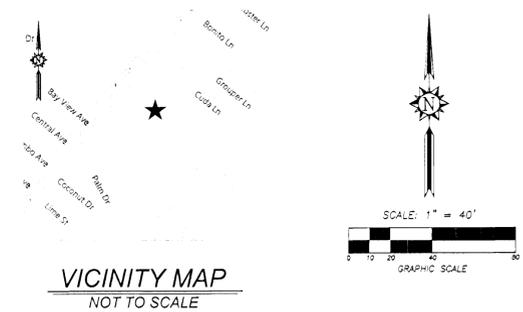
MEAN HIGH WATER LINE
ELEVATION = 130
(TYPICAL)

EGD
AT T
(6/16)

10-11

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

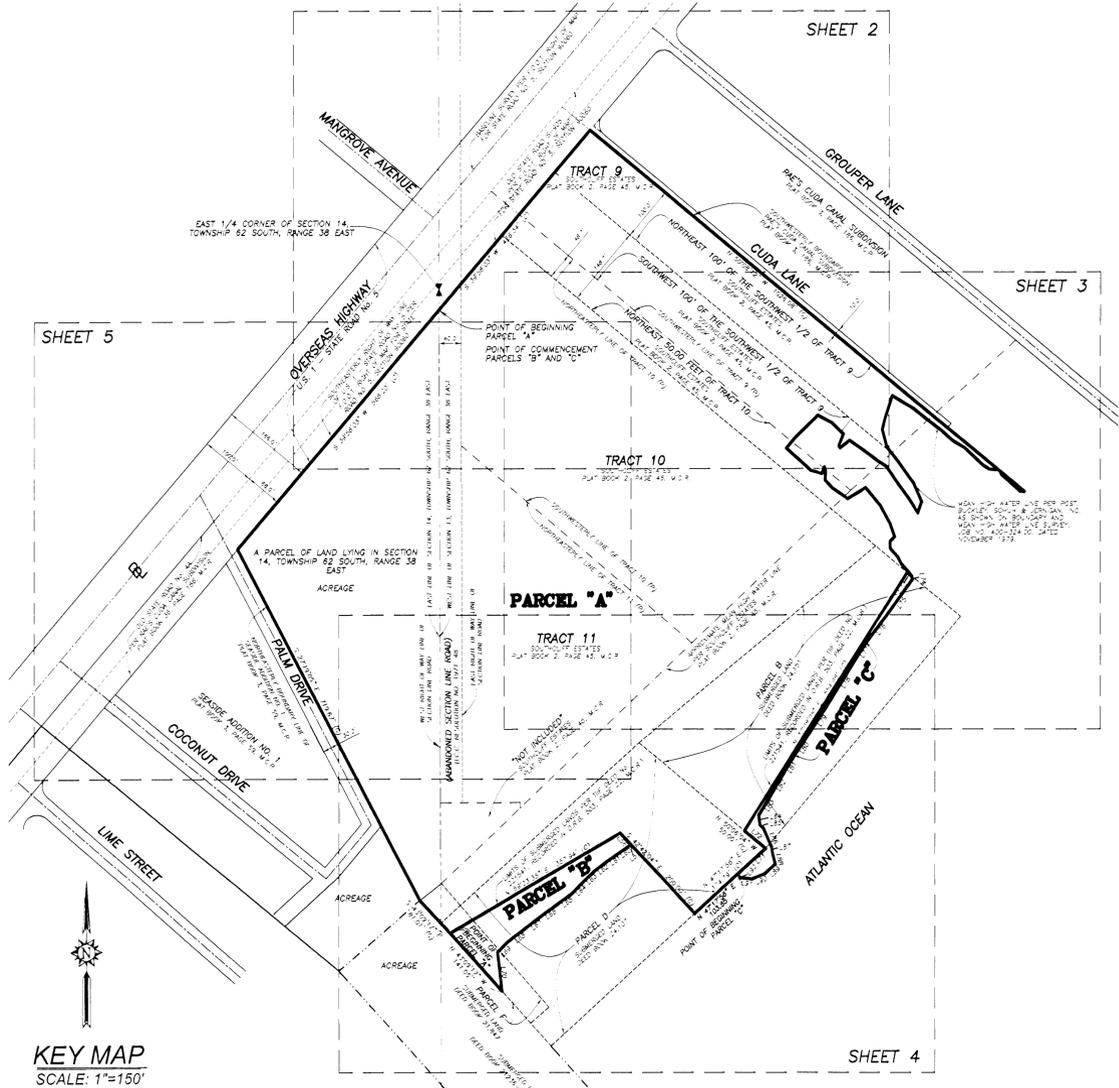
94825 OVERSEAS HWY, KEY LARGO, FL.



LEGAL DESCRIPTION PARCEL "A":
A PARCEL OF LAND IN SECTIONS 13 AND 14, TOWNSHIP 62 SOUTH, RANGE 38 EAST; ALSO BEING A PORTION OF SOUTHCREEK ESTATES, AS RECORDED IN PLAT BOOK 2, PAGE 45, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; ALSO BEING A PORTION OF PARCEL B, SUBMERGED LAND, RECORDED IN DEED NO. 24151; ALSO BEING A PORTION OF PARCEL D, SUBMERGED LAND, RECORDED IN DEED NO. 24107; ALSO BEING A PORTION OF PARCEL F, SUBMERGED LAND, RECORDED IN DEED NO. 21847, ALL PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIFF) OF THE STATE OF FLORIDA; ALSO BEING A PORTION OF AN ABANDONED 40' RIGHT OF WAY ROAD, FORMERLY KNOWN AS SECTION LINE ROAD, PER B.C.C. RESOLUTION NO. 1971-48; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE POINT OF INTERSECTION OF THE SOUTHEASTERLY RIGHT OF WAY LINE OF OVERSEAS HIGHWAY (U.S. HIGHWAY NO. 1 - STATE ROAD NO. 5) WITH THE EAST LINE OF SAID SECTION 14;
THENCE SOUTH 39°58'03" WEST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 568.20 FEET TO A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF SEASIDE ADDITION NO. 1, AS RECORDED IN PLAT BOOK 3, PAGE 59, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;
THENCE SOUTH 27°19'05" EAST, ALONG SAID NORTHEASTERLY BOUNDARY LINE, A DISTANCE OF 719.67 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL F;
THENCE SOUTH 43°09'17" EAST, ALONG SAID SOUTHWESTERLY LINE, A DISTANCE OF 81.01 FEET TO A POINT ON THE LIMITS OF SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIFF) OF THE STATE OF FLORIDA DEED NO. 221541, RECORDED IN OFFICIAL RECORDS BOOK 503, PAGE 2202 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;
THE FOLLOWING TWO (2) COURSES BEING COINCIDENT WITH SAID LIMITS OF SUBMERGED LANDS;
THENCE NORTH 59°23'35" EAST, A DISTANCE OF 357.94 FEET;
THENCE SOUTH 42°42'04" EAST, A DISTANCE OF 200.00 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID PARCEL D;
THENCE NORTH 47°17'56" EAST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 174.79 FEET;
THENCE NORTH 50°08'04" WEST, ALONG THE NORTHEASTERLY LINE OF SAID PARCEL D, A DISTANCE OF 50.00 FEET TO A POINT ON THE SAID LIMITS OF SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIFF) OF THE STATE OF FLORIDA;
THENCE NORTH 32°08'05" EAST, ALONG SAID LIMITS OF SUBMERGED LANDS, A DISTANCE OF 554.98 FEET TO A POINT ON THE NORTHEASTERLY LINE OF SAID PARCEL B;
THENCE SOUTH 50°08'12" EAST, ALONG SAID NORTHEASTERLY LINE OF PARCEL B, A DISTANCE OF 10.61 FEET TO A POINT ON SAID MEAN HIGH WATER LINE (ELEVATION 1.50' NGVD29);
THE FOLLOWING NINETEEN (19) COURSES BEING COINCIDENT WITH SAID MEAN HIGH WATER LINE;
THENCE SOUTH 13°19'22" EAST, A DISTANCE OF 5.63 FEET;
THENCE SOUTH 35°25'24" WEST, A DISTANCE OF 73.30 FEET;
THENCE SOUTH 36°42'02" WEST, A DISTANCE OF 72.12 FEET;
THENCE SOUTH 32°08'45" WEST, A DISTANCE OF 26.60 FEET;
THENCE SOUTH 31°10'40" WEST, A DISTANCE OF 107.50 FEET;
THENCE SOUTH 32°53'25" WEST, A DISTANCE OF 56.23 FEET;
THENCE SOUTH 33°33'31" WEST, A DISTANCE OF 63.07 FEET;
THENCE SOUTH 29°42'50" WEST, A DISTANCE OF 23.50 FEET;
THENCE SOUTH 45°03'36" EAST, A DISTANCE OF 49.43 FEET;
THENCE SOUTH 30°45'33" WEST, A DISTANCE OF 41.89 FEET;
THENCE SOUTH 08°59'12" EAST, A DISTANCE OF 17.08 FEET;
THENCE SOUTH 45°03'36" EAST, A DISTANCE OF 9.08 FEET;
THENCE SOUTH 23°14'34" EAST, A DISTANCE OF 37.09 FEET;
THENCE SOUTH 08°35'55" EAST, A DISTANCE OF 12.17 FEET;
THENCE SOUTH 45°00'51" EAST, A DISTANCE OF 19.77 FEET;
THENCE SOUTH 47°33'24" WEST, A DISTANCE OF 28.73 FEET;
THENCE SOUTH 87°20'34" WEST, A DISTANCE OF 24.85 FEET;
THENCE NORTH 84°10'07" WEST, A DISTANCE OF 21.24 FEET;
THENCE NORTH 51°56'13" WEST, A DISTANCE OF 8.52 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE WITHIN MONROE COUNTY, FLORIDA CONTAINING 0.1565 ACRES (6,816 SQUARE FEET), MORE OR LESS.

LEGAL DESCRIPTION PARCEL "B":
A PARCEL OF LAND IN SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST; ALSO BEING A PORTION OF PARCEL D, SUBMERGED LAND, RECORDED IN DEED NO. 21847; ALSO BEING A PORTION OF PARCEL F, SUBMERGED LAND, RECORDED IN DEED NO. 21847, BOTH DEEDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIFF) OF THE STATE OF FLORIDA; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE POINT OF INTERSECTION OF THE SOUTHEASTERLY RIGHT OF WAY LINE OF OVERSEAS HIGHWAY (U.S. HIGHWAY NO. 1 - STATE ROAD NO. 5) WITH THE WEST LINE OF SAID SECTION 13;
THENCE SOUTH 39°58'03" WEST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 568.20 FEET TO A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF SEASIDE ADDITION NO. 1, AS RECORDED IN PLAT BOOK 3, PAGE 59, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;
THENCE SOUTH 27°19'05" EAST, ALONG SAID NORTHEASTERLY BOUNDARY LINE AND ITS SOUTHEASTERLY EXTENSION, A DISTANCE OF 719.67 FEET TO THE NORTHWEST CORNER OF SAID PARCEL F;
THENCE SOUTH 43°09'17" EAST, ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL F, A DISTANCE OF 81.01 FEET TO THE POINT OF BEGINNING AND TO A POINT ON THE LIMITS OF SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIFF) OF THE STATE OF FLORIDA DEED NO. 221541, RECORDED IN OFFICIAL RECORDS BOOK 503, PAGE 22 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;
THE FOLLOWING TWO (2) COURSES BEING COINCIDENT WITH SAID LIMITS OF SUBMERGED LANDS;
THENCE NORTH 59°23'35" EAST, A DISTANCE OF 357.94 FEET;
THENCE SOUTH 42°42'04" EAST, A DISTANCE OF 28.55 FEET TO A POINT ON THE MEAN HIGH WATER LINE (ELEVATION 1.50' NGVD 29);
THE FOLLOWING ELEVEN (11) COURSES BEING COINCIDENT WITH SAID MEAN HIGH WATER LINE;
THENCE SOUTH 49°42'06" WEST, A DISTANCE OF 4.16 FEET;
THENCE SOUTH 54°40'57" WEST, A DISTANCE OF 24.84 FEET;
THENCE SOUTH 55°13'41" WEST, A DISTANCE OF 25.38 FEET;
THENCE SOUTH 51°32'20" WEST, A DISTANCE OF 28.07 FEET;
THENCE SOUTH 45°59'21" WEST, A DISTANCE OF 29.79 FEET;
THENCE SOUTH 43°43'15" WEST, A DISTANCE OF 27.20 FEET;
THENCE SOUTH 53°51'46" WEST, A DISTANCE OF 39.07 FEET;
THENCE SOUTH 53°39'20" WEST, A DISTANCE OF 32.67 FEET;
THENCE SOUTH 52°11'33" WEST, A DISTANCE OF 32.31 FEET;
THENCE SOUTH 52°27'42" WEST, A DISTANCE OF 43.34 FEET;
THENCE SOUTH 44°11'36" WEST, A DISTANCE OF 26.38 FEET;
THENCE SOUTH 06°32'03" EAST, A DISTANCE OF 70.91 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL F;
THENCE NORTH 43°09'17" WEST, ALONG SAID SOUTHWESTERLY LINE, A DISTANCE OF 141.05 FEET TO THE POINT OF BEGINNING;
SAID LANDS SITUATE WITHIN MONROE COUNTY, FLORIDA CONTAINING 0.4614 ACRES (20,099 SQUARE FEET), MORE OR LESS.



KEY MAP
SCALE: 1"=150'

LEGEND:

M.C.R.	MONROE COUNTY RECORDS
L.B.	LICENSED BUSINESS
P.B.	PLAT BOOK
POS.	PAGES
ID.	IDENTIFICATION
A/C	AIR CONDITIONER UNIT ON CONCRETE SLAB
A/K/A	ALSO KNOWN AS
-OHW-	OVERHEAD WIRES
(C)	CALCULATED
(DFT)	BEARING AND DISTANCE DERIVED FROM A FIELD TRAVERSE
(P)	PROPERTY CORNER MONUMENTS, BASED ON FIELD MEASUREMENTS FROM A RANDOM TRAVERSE.
(R)	DENOTES BEARING AND DISTANCE BASED ON PLATS OF RECORD
(R)	DENOTES BEARING AND/OR DISTANCE BASED ON RECORD INFORMATION.
ε	CENTERLINE
D.R.B.	OFFICIAL RECORDS BOOK
○	BASELINE
○	METAL LIGHT POLE
○	WOOD POLE
○	WOOD LIGHT POLE
○	CONCRETE LIGHT POLE
○	CONCRETE POWER POLE
○	WATER METER
○	WIRE PULL BOX
○	METAL PIPE
○	2'x2' WATER METAL VAULT
○	CATCH BASIN
○	STORM DRAINAGE MANHOLE
○	SANITARY SEWER MANHOLE
○	FIRE EXTINGUISHER IN POST
○	SURFACE ELEVATION
TIFF	TRUSTEES OF THE INTERNAL IMPROVEMENT FUND
F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
○	SET 5/8" IRON ROD & CAP, L.B. 7551
○	LINE NO. 1
○	ANTENNA
○	METAL BOLLARD
○	POOL EQUIPMENT
○	FLAG POLE

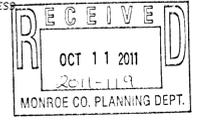
LEGAL DESCRIPTION PARCEL "C":
A PARCEL OF LAND IN SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST; ALSO BEING A PORTION OF PARCEL B, A PARCEL OF SUBMERGED LAND IN SAID SECTION 13, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 24151, TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIFF) OF THE STATE OF FLORIDA, RECORDED JANUARY 4, 1986; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE POINT OF INTERSECTION OF THE SOUTHEASTERLY RIGHT OF WAY LINE OF OVERSEAS HIGHWAY (U.S. HIGHWAY NO. 1 - STATE ROAD NO. 5) WITH THE WEST LINE OF SAID SECTION 13;
THENCE SOUTH 39°58'03" WEST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 568.20 FEET TO A POINT ON THE NORTHEASTERLY BOUNDARY LINE OF SEASIDE ADDITION NO. 1, AS RECORDED IN PLAT BOOK 3, PAGE 59, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;
THENCE SOUTH 27°19'05" EAST, ALONG SAID NORTHEASTERLY BOUNDARY LINE AND ITS SOUTHEASTERLY EXTENSION, A DISTANCE OF 719.67 FEET TO THE NORTHWEST CORNER OF PARCEL F, A PARCEL OF SUBMERGED LAND IN SECTIONS 13 AND 14, TOWNSHIP 62 SOUTH, RANGE 38 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 21847, TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA, DATED JULY 17th, 1958;
THENCE SOUTH 43°09'17" EAST, ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL F, A DISTANCE OF 81.01 FEET TO A POINT ON THE LIMITS OF SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIFF) OF THE STATE OF FLORIDA DEED NO. 221541, RECORDED IN OFFICIAL RECORDS BOOK 503, PAGE 220 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;
THE FOLLOWING TWO (2) COURSES BEING COINCIDENT WITH SAID LIMITS OF SUBMERGED LANDS;
THENCE NORTH 59°23'35" EAST, A DISTANCE OF 357.94 FEET;
THENCE SOUTH 42°42'04" EAST, A DISTANCE OF 200.00 FEET TO A POINT ON THE SOUTHERLY LIMITS OF PARCEL D, A PARCEL OF SUBMERGED LAND IN SECTION 13, TOWNSHIP 62 SOUTH, RANGE 38 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, PER DEED NO. 24107, TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA, DATED NOVEMBER 2nd, 1985;
THENCE NORTH 47°17'56" EAST, ALONG SAID SOUTHERLY LINE OF PARCEL D, A DISTANCE OF 103.85 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ALSO ON THE MEAN HIGH WATER LINE (ELEVATION 1.50' NGVD29);
THENCE CONTINUE NORTH 47°17'56" EAST, ALONG SAID SOUTHERLY LINE OF PARCEL D, A DISTANCE OF 70.94 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL B;
THENCE NORTH 50°08'04" WEST, ALONG SAID SOUTHWESTERLY LINE OF PARCEL B, A DISTANCE OF 50.00 FEET TO A POINT ON THE LIMITS OF SAID SUBMERGED LANDS PER TRUSTEES OF THE INTERNAL IMPROVEMENT FUND (TIFF) OF THE STATE OF FLORIDA DEED NO. 221541;
THENCE NORTH 32°08'05" EAST, ALONG SAID LIMITS OF SUBMERGED LANDS, A DISTANCE OF 554.98 FEET TO A POINT ON THE NORTHEASTERLY LINE OF SAID PARCEL B;
THENCE SOUTH 50°08'12" EAST, ALONG SAID NORTHEASTERLY LINE OF PARCEL B, A DISTANCE OF 10.61 FEET TO A POINT ON SAID MEAN HIGH WATER LINE (ELEVATION 1.50' NGVD29);
THE FOLLOWING NINETEEN (19) COURSES BEING COINCIDENT WITH SAID MEAN HIGH WATER LINE;
THENCE SOUTH 13°19'22" EAST, A DISTANCE OF 5.63 FEET;
THENCE SOUTH 35°25'24" WEST, A DISTANCE OF 73.30 FEET;
THENCE SOUTH 36°42'02" WEST, A DISTANCE OF 72.12 FEET;
THENCE SOUTH 32°08'45" WEST, A DISTANCE OF 26.60 FEET;
THENCE SOUTH 31°10'40" WEST, A DISTANCE OF 107.50 FEET;
THENCE SOUTH 32°53'25" WEST, A DISTANCE OF 56.23 FEET;
THENCE SOUTH 33°33'31" WEST, A DISTANCE OF 63.07 FEET;
THENCE SOUTH 29°42'50" WEST, A DISTANCE OF 23.50 FEET;
THENCE SOUTH 45°03'36" EAST, A DISTANCE OF 49.43 FEET;
THENCE SOUTH 30°45'33" WEST, A DISTANCE OF 41.89 FEET;
THENCE SOUTH 08°59'12" EAST, A DISTANCE OF 17.08 FEET;
THENCE SOUTH 45°03'36" EAST, A DISTANCE OF 9.08 FEET;
THENCE SOUTH 23°14'34" EAST, A DISTANCE OF 37.09 FEET;
THENCE SOUTH 08°35'55" EAST, A DISTANCE OF 12.17 FEET;
THENCE SOUTH 45°00'51" EAST, A DISTANCE OF 19.77 FEET;
THENCE SOUTH 47°33'24" WEST, A DISTANCE OF 28.73 FEET;
THENCE SOUTH 87°20'34" WEST, A DISTANCE OF 24.85 FEET;
THENCE NORTH 84°10'07" WEST, A DISTANCE OF 21.24 FEET;
THENCE NORTH 51°56'13" WEST, A DISTANCE OF 8.52 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE WITHIN MONROE COUNTY, FLORIDA CONTAINING 0.1565 ACRES (6,816 SQUARE FEET), MORE OR LESS.

SURVEY NOTES:

- THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED BY MINIMUM TECHNICAL STANDARDS FOR SURVEYING AND MAPPING, CHAPTER 171, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- THE BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF S.39°58'03"W., ALONG SOUTHEASTERLY RIGHT OF WAY LINE OF U.S. 1 - STATE ROAD NO. 5, AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF MAP FOR STATE ROAD NO. 5, SECTION 90060.
- SUBSURFACE UTILITIES, FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY EXACTA COMMERCIAL SURVEYORS, INC. EXACTA HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL, IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. EXACTA MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT EXACTA DIRECTLY FOR VERIFICATION OF ACCURACY.
- THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
- THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE VE, ELEVATION=15', AS SHOWN IN FLOOD INSURANCE RATE MAP NUMBER 12087C 0936 K, COMMUNITY NUMBER 125129, UNINCORPORATED AREAS, MONROE COUNTY FLORIDA, MAP REVISED: FEBRUARY 18, 2005.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
- TREES, HEDGES, IRRIGATION LINES AND SPRINKLERS HEADS (IF ANY), NOT LOCATED OR SHOWN HEREON.
- OWNERSHIP OF WALLS OR FENCES WAS NOT DETERMINED.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON A FLORIDA DEPARTMENT OF TRANSPORTATION PRIMARY NETWORK CONTROL BENCHMARK "PNC 94.7" STAMPED 90/08/94.7 AND REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29). ELEVATION=5.91'.
- THE PROPERTY SHOWN HEREON CONTAINS A TOTAL AREA OF 25.2416 ACRES (1,099,524 SQUARE FEET), MORE OR LESS.
PARCEL "A" = 24.6237 ACRES (1,072,809 SQUARE FEET), MORE OR LESS.
PARCEL "B" = 0.4614 ACRES (20,099 SQUARE FEET), MORE OR LESS.
PARCEL "C" = 0.1565 ACRES (6,816 SQUARE FEET), MORE OR LESS.

THIS SURVEY IS CERTIFIED TO:
KEY LARGO OCEAN RESORTS CO-OP, INC.



CERTIFICATE:
THIS IS TO CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Javier De la Rocha
JAVIER DE LA ROCHA
PROFESSIONAL SURVEYOR AND MAPPER NO. 6080
STATE OF FLORIDA
EXACTA COMMERCIAL SURVEYORS, INC. L.B. 7551

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770
EXACTA
COMMERCIAL SURVEYORS
L.L. 0501
3480 FAIRLANE FARMS ROAD, SUITE 7, WELLINGTON, FL 33414



SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY
PARCELS OF LAND LYING IN
SECTION 13 & 14, TOWNSHIP 62 S., RANGE 38 E.
MONROE COUNTY, FLORIDA
94825 OVERSEAS HWY, KEY LARGO, FL 33087

CLIENT: KEY LARGO OCEAN RESORTS CO-OP, INC.
DATE: 06/11/11
DRAWN BY: J.E.C.
CHKD BY: JDLR
LAST FILE DATE: 06/11/11

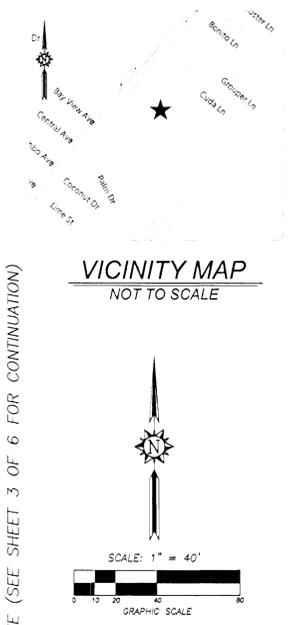
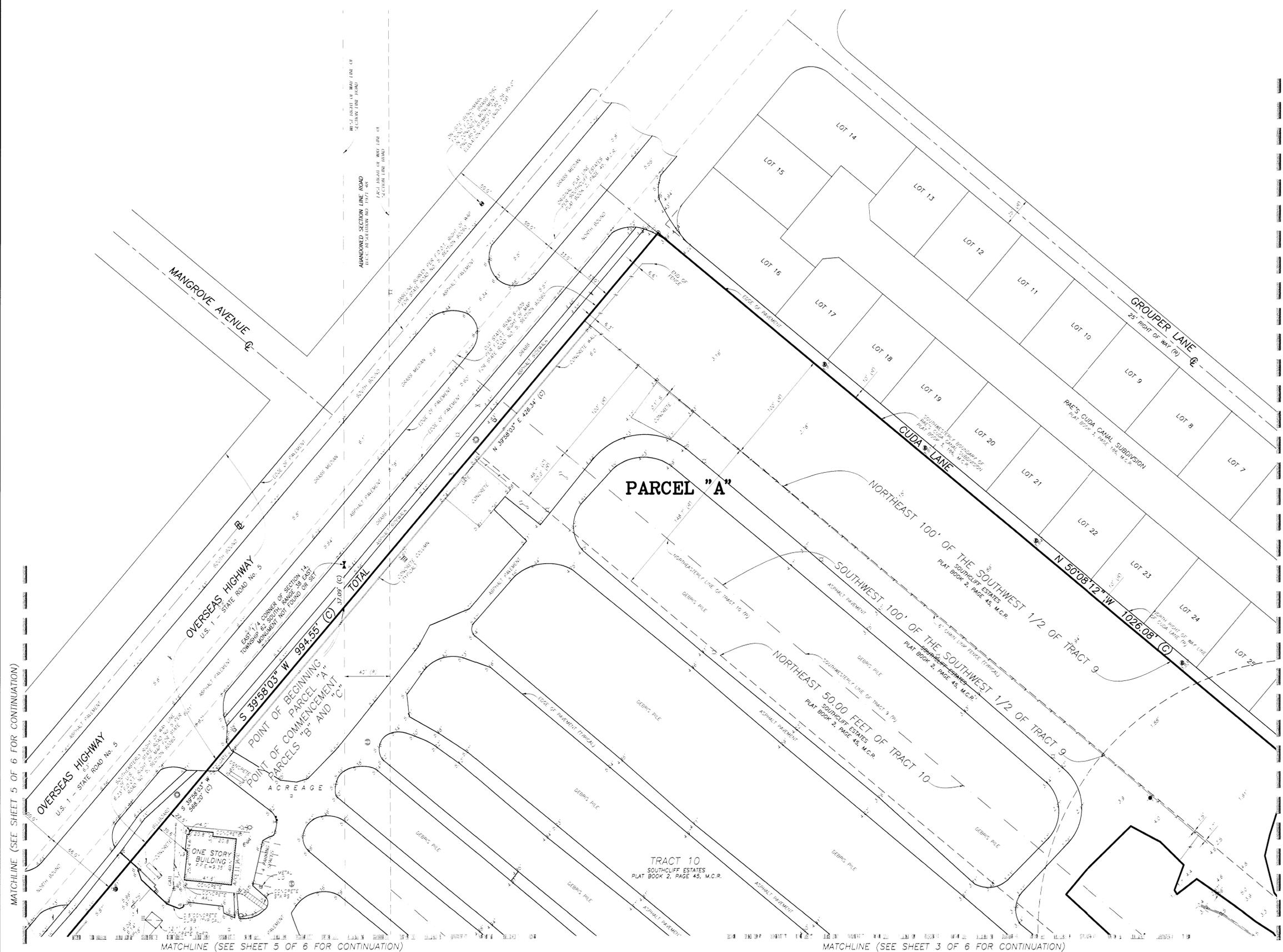
REVISIONS
1 UPDATE SURVEY 8/15/11
UPDATE LEGAL DESCRIPTION

JOB NO. **FL1109-1025**

SHEET NO. **01** OF **06**

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

94825 OVERSEAS HWY, KEY LARGO, FL.



TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770
EXACTIA
 COMMERCIAL LAND SURVEYORS
 3400 FAIRLANE, KEY LARGO, FL. 33414

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 SURVEYOR'S SEAL

SKETCH OF BOUNDARY
 & TOPOGRAPHIC SURVEY
 PARCELS OF LAND LYING IN
 SECTION 13 & 14, TOWNSHIP 62 S., RANGE 38 E
 MONROE COUNTY, FLORIDA
 94825 OVERSEAS HWY, KEY LARGO, FL. 33037

CLIENT: KEY LARGO OCEAN
 RESORTS CO., INC.
 DATE: 08/17/11
 DRAWN BY: J.E.C.
 CHECKED BY: JDLR
 LAST FIELD DATE: 08/17/11

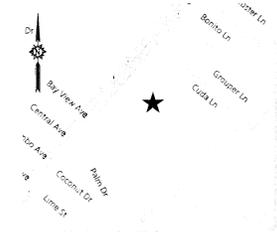
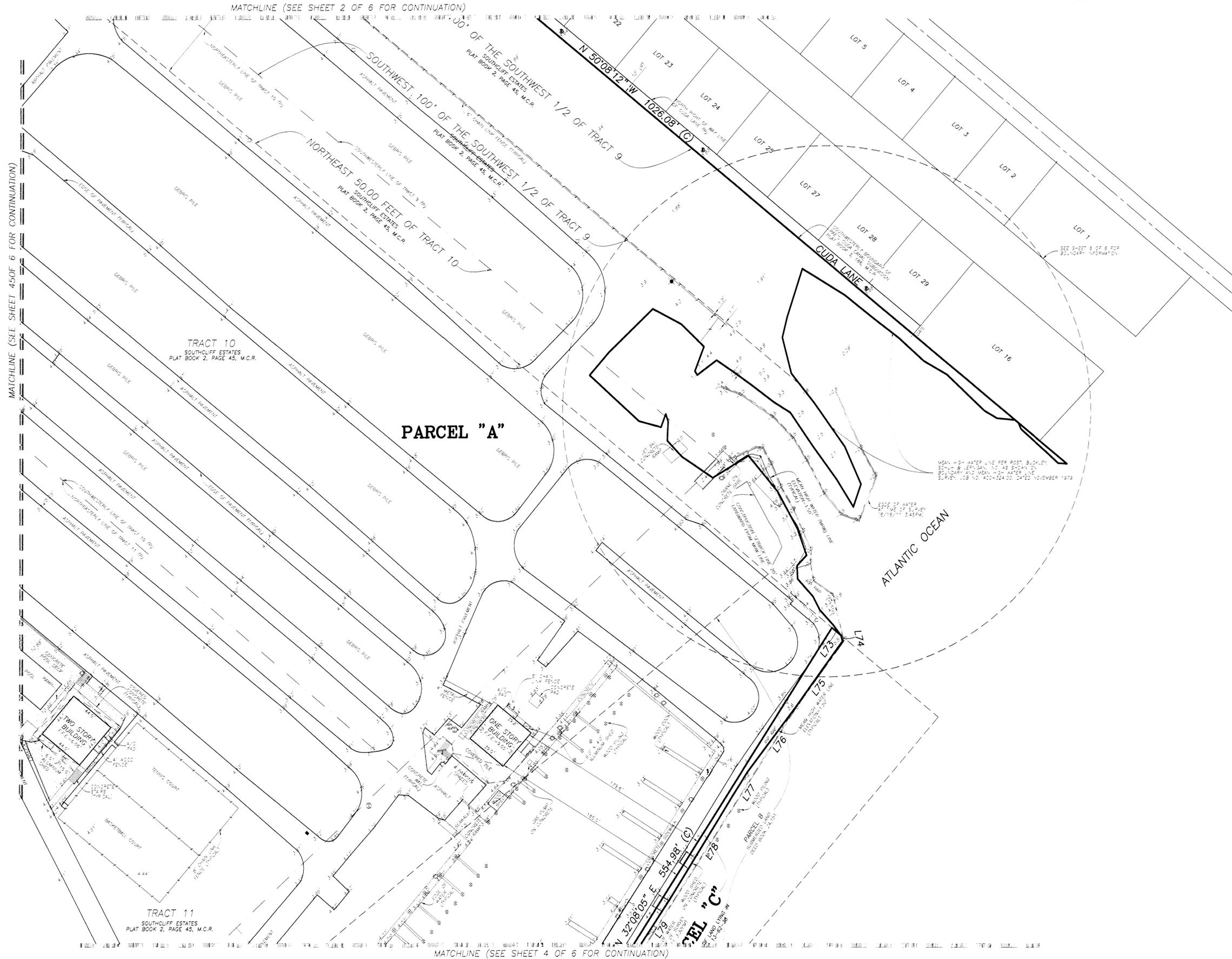
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 1 UPDATE SURVEY 9/15/11
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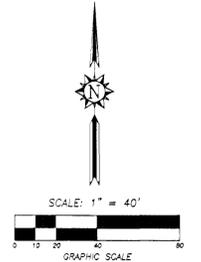
JOB NO.
FL1109-1025
 SHEET NO.
 02 OF
 06

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

94825 OVERSEAS HWY, KEY LARGO, FL.



VICINITY MAP
NOT TO SCALE



LINE TABLE

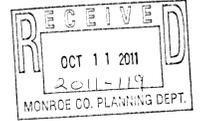
LINE	BEARING	DISTANCE
L71	N47°17'55\"E	70.24'
L72	N80°08'04\"W	50.00'
L73	S80°08'12\"E	10.61'
L74	S13°19'22\"E	5.63'
L75	S35°25'24\"W	73.30'
L76	S36°42'02\"W	72.12'
L77	S32°08'45\"W	26.60'
L78	S31°19'00\"W	107.50'
L79	S32°53'25\"W	55.23'
L80	S33°33'31\"W	63.07'
L81	S29°42'50\"W	23.50'
L82	S30°38'07\"W	49.43'
L83	S30°45'33\"W	41.89'
L84	S08°59'12\"E	17.05'
L85	S45°03'36\"E	9.08'
L86	S23°14'34\"E	37.09'
L87	S08°35'55\"E	12.17'
L88	S16°00'15\"E	19.77'
L89	S47°33'24\"W	25.73'
L90	S67°20'34\"W	24.85'
L91	N84°10'07\"W	21.24'
L92	N51°56'13\"W	8.52'

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770
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 L.L. 7501
 3400 FAIRLANE FARMS ROAD, SUITE 7, WELLINGTON, FL 33414

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SKETCH OF BOUNDARY
 & TOPOGRAPHIC SURVEY
 PARCELS OF LAND LYING IN
 SECTION 13 & 14, TOWNSHIP 62 S., RANGE 38 E
 MONROE COUNTY, FLORIDA
 94825 OVERSEAS HWY, KEY LARGO, FL 33037

CLIENT: KEY LARGO OCEAN
 RESORTS CO-OP, INC.
 DATE: 06/17/11
 DRAWN BY: J.E.C.
 CHECKED BY: JDLR
 LAST FIELD DATE: 06/17/11

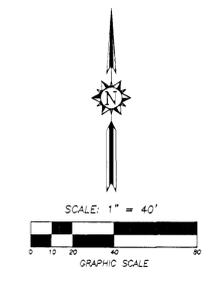
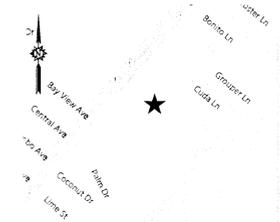
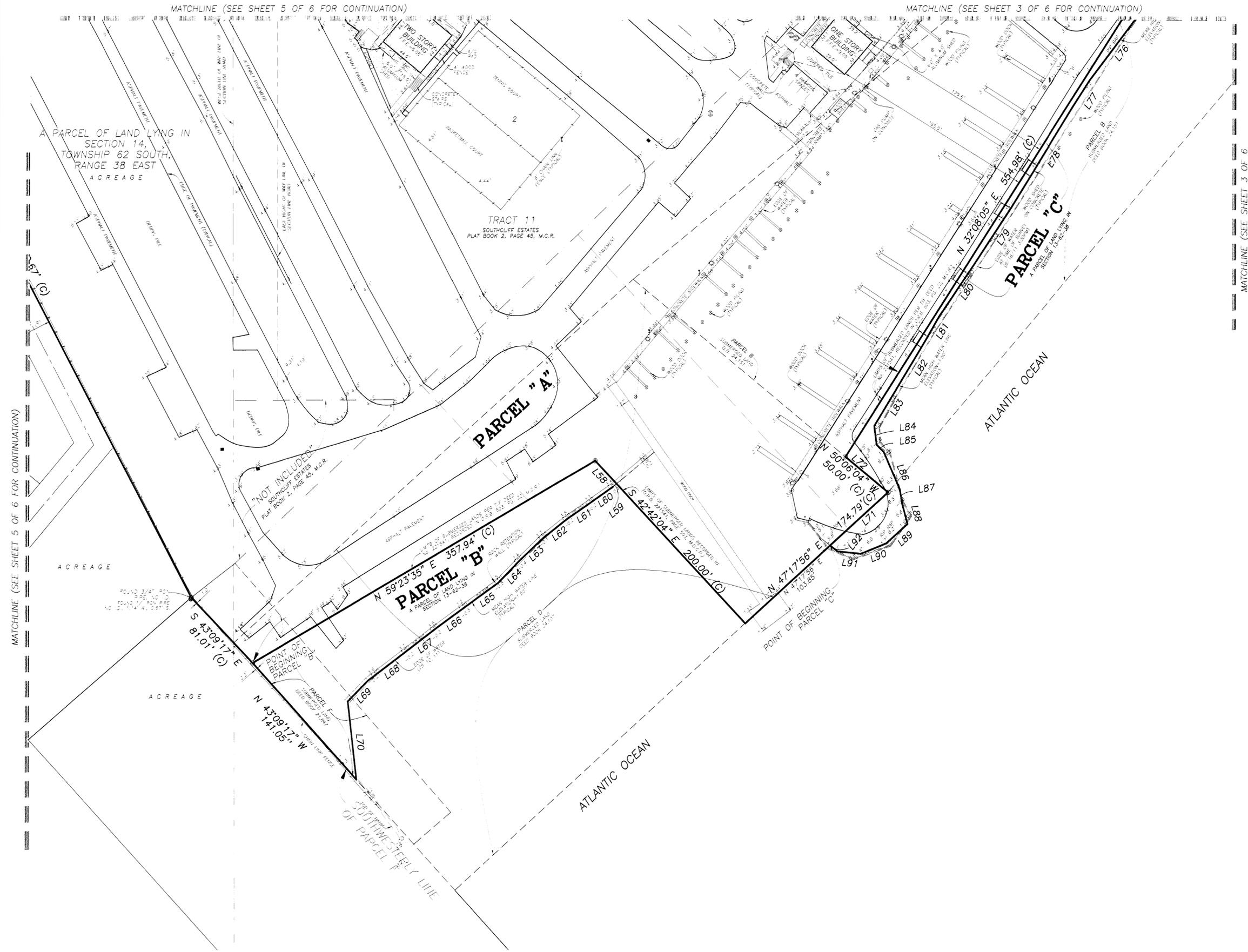


REVISIONS
 1 UPDATE SURVEY 8/19/11
 UPDATE LEGAL
 DESCRIPTION

JOB NO.
FL1109-1025
 SHEET NO.
 03 OF
 06

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

94825 OVERSEAS HWY, KEY LARGO, FL.



LINE TABLE

LINE	BEARING	DISTANCE
L58	S42°42'04"E	28.55'
L59	S49°42'06"W	4.16'
L60	S54°40'57"W	24.84'
L61	S55°13'44"W	25.38'
L62	S51°32'20"W	28.07'
L63	S45°59'21"W	29.79'
L64	S43°43'15"W	27.20'
L65	S53°51'46"W	38.07'
L66	S53°39'20"W	32.87'
L67	S52°11'33"W	32.31'
L68	S52°27'42"W	45.14'
L69	S44°11'36"W	26.38'
L70	S05°32'03"E	70.91'

LINE TABLE

LINE	BEARING	DISTANCE
L71	N47°17'56"E	70.94'
L72	N50°08'04"W	50.00'
L73	S50°08'12"E	10.61'
L74	S13°19'22"E	5.63'
L75	S35°25'24"W	73.30'
L76	S35°42'02"W	72.12'
L77	S32°08'45"W	28.60'
L78	S31°19'00"W	107.60'
L79	S32°53'25"W	53.23'
L80	S33°33'31"W	63.07'
L81	S29°42'50"W	23.50'
L82	S30°38'07"W	49.43'
L83	S30°45'33"W	41.89'
L84	S08°59'12"E	17.05'
L85	S45°03'36"E	9.09'
L86	S23°14'34"E	37.09'
L87	S08°35'55"E	12.17'
L88	S15°00'15"E	19.77'
L89	S47°33'24"W	25.73'
L90	S57°20'34"W	24.85'
L91	N84°10'07"W	21.24'
L92	N51°58'13"W	8.52'

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 L.S. 7561

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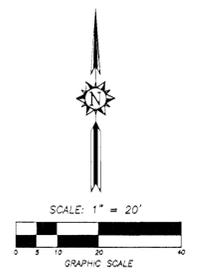
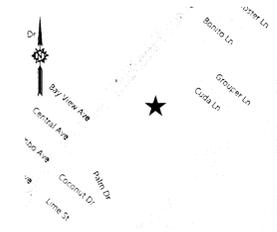
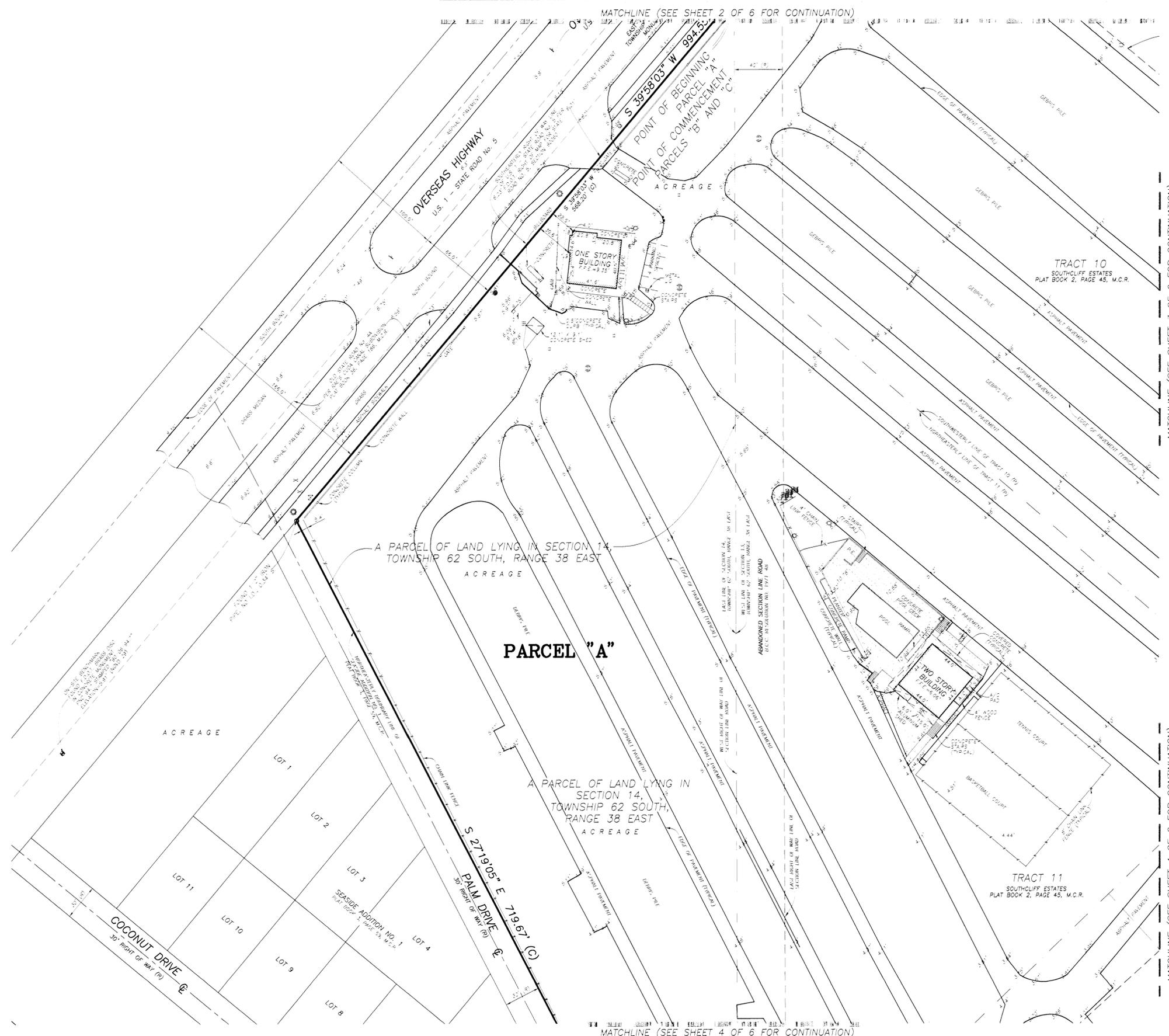
SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY
 PARCELS OF LAND LYING IN
 SECTION 13 & 14, TOWNSHIP 62 S., RANGE 38 E.
 MONROE COUNTY, FLORIDA
 94825 OVERSEAS HWY, KEY LARGO, FL 33037

CLIENT: KEY LARGO OCEAN RESORTS CO., INC.
 DATE: 06/17/11
 DRAWN BY: J.E.C.
 CHECKED BY: JDLR
 LAST FIELD DATE: 06/17/11

REVISED
 1 UPDATE SURVEY 9/15/11
 UPDATE LEGAL DESCRIPTION
 OCT 11 2011
 2011-119
 MONROE CO. PLANNING DEPT.

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FL1109-1025
 SHEET NO.
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SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: **94825 OVERSEAS HWY, KEY LARGO, FL.**



TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770
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 COMMERCIAL SURVEYORS
 L.L. 7861
 3460 FAIRLANE FARMS ROAD, SUITE 7, WELLINGTON, FL 33414

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SKETCH OF BOUNDARY
 & TOPOGRAPHIC SURVEY
 PARCELS OF LAND LYING IN
 SECTION 14 & 14, TOWNSHIP 62 S., RANGE 38 E.
 MONROE COUNTY, FLORIDA
 94825 OVERSEAS HWY, KEY LARGO, FL 33007

CLIENT: KEY LARGO OCEAN
 RESORTS CO-OP, INC.
 DATE: 06/17/11
 DRAWN BY: J.E.C.
 CHECKED BY: JDLR
 LAST FIELD DATE: 06/17/11

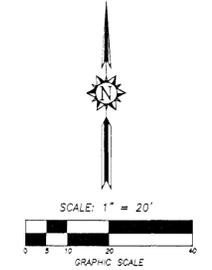
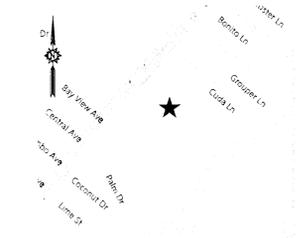
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REVISIONS
 1 UPDATE SURVEY 9/19/11
 UPDATE LEGAL
 DESCRIPTION

JOB NO.
FL1109-1025
 SHEET NO.
 05 OF 06

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: **94825 OVERSEAS HWY, KEY LARGO, FL.**

LINE	BEARING	DISTANCE
L1	S 80°08'12" E	10.04'
L2	N 37°00'31" W	11.39'
L3	N 42°12'50" W	18.03'
L4	N 27°04'07" W	13.85'
L5	N 41°28'15" W	20.90'
L6	N 02°08'51" W	11.94'
L7	N 43°04'21" E	12.55'
L8	N 19°17'44" W	25.13'
L9	N 28°15'41" W	38.04'
L10	N 39°23'32" W	41.45'
L11	S 88°26'39" W	37.94'
L12	N 35°52'28" W	33.43'
L13	N 42°32'37" W	19.84'
L14	N 02°30'49" E	17.21'
L15	N 7°29'39" W	7.04'
L16	S 20°04'36" W	12.52'
L17	N 74°42'33" W	20.84'
L18	N 47°19'47" W	50.56'
L19	N 39°59'04" E	27.43'
L20	N 45°41'47" E	18.84'
L21	N 45°18'34" E	36.28'
L22	S 81°52'22" E	29.19'
L23	S 45°30'58" E	28.73'
L24	S 20°13'09" W	23.50'
L25	S 33°42'05" E	4.10'
L26	N 52°26'56" E	21.78'
L27	S 55°18'44" E	17.98'
L28	S 54°31'37" E	22.18'
L29	S 52°44'43" E	24.02'
L30	S 57°28'46" E	17.88'
L31	S 33°59'39" E	36.52'
L32	S 35°47'41" E	36.81'
L33	S 31°33'02" E	28.69'
L34	N 18°30'26" E	21.50'
L35	N 23°31'22" W	36.82'
L36	N 35°13'09" W	18.94'
L37	N 34°56'37" W	29.60'
L38	N 38°09'59" W	20.39'
L39	N 38°09'39" W	12.67'
L40	N 14°13'04" W	33.29'
L41	N 13°15'26" E	18.95'
L42	N 17°26'34" E	45.45'
L43	S 58°21'37" E	45.05'
L44	S 51°17'59" E	33.48'
L45	S 52°12'05" E	28.74'
L46	S 47°31'15" E	30.60'
L47	S 59°37'58" E	24.09'
L48	S 46°07'06" E	25.72'
L49	S 46°14'41" E	21.25'
L50	S 59°18'04" E	12.93'
L51	S 84°59'25" E	16.32'
L52	S 50°08'05" E	4.14'
L53	S 22°34'18" E	8.07'
L54	S 48°00'10" E	14.95'
L55	S 48°19'52" E	16.58'
L56	S 47°00'31" E	14.06'
L57	S 85°55'31" E	7.92'



OCT 11 2011
2011-119
MONROE CO. PLANNING DEPT.

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770

EXACTIA
COMMERCIAL LAND SURVEYORS
L.B. 1991

SEAL
NOT VALID UNLESS SEALED HERE WITH AN EMBOSSED SURVEYOR'S SEAL

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY IN PARCELS OF LAND LYING IN SECTION 13 & 14, TOWNSHIP 62 S., RANGE 38 E. MONROE COUNTY, FLORIDA
94825 OVERSEAS HWY, KEY LARGO, FL. 33037

CLIENT: KEY LARGO OCEAN RESORTS CORP. INC.
DATE: 08/17/11

DRAWN BY: J.E.C.
CHECKED BY: JDLR
LAST FIELD DATE: 06/17/11

REVISED: 1
1 UPDATE SURVEY 9/19/11
UPDATE LEGAL DESCRIPTION

SHEET NO: FL 1109-1025
06 OF 06

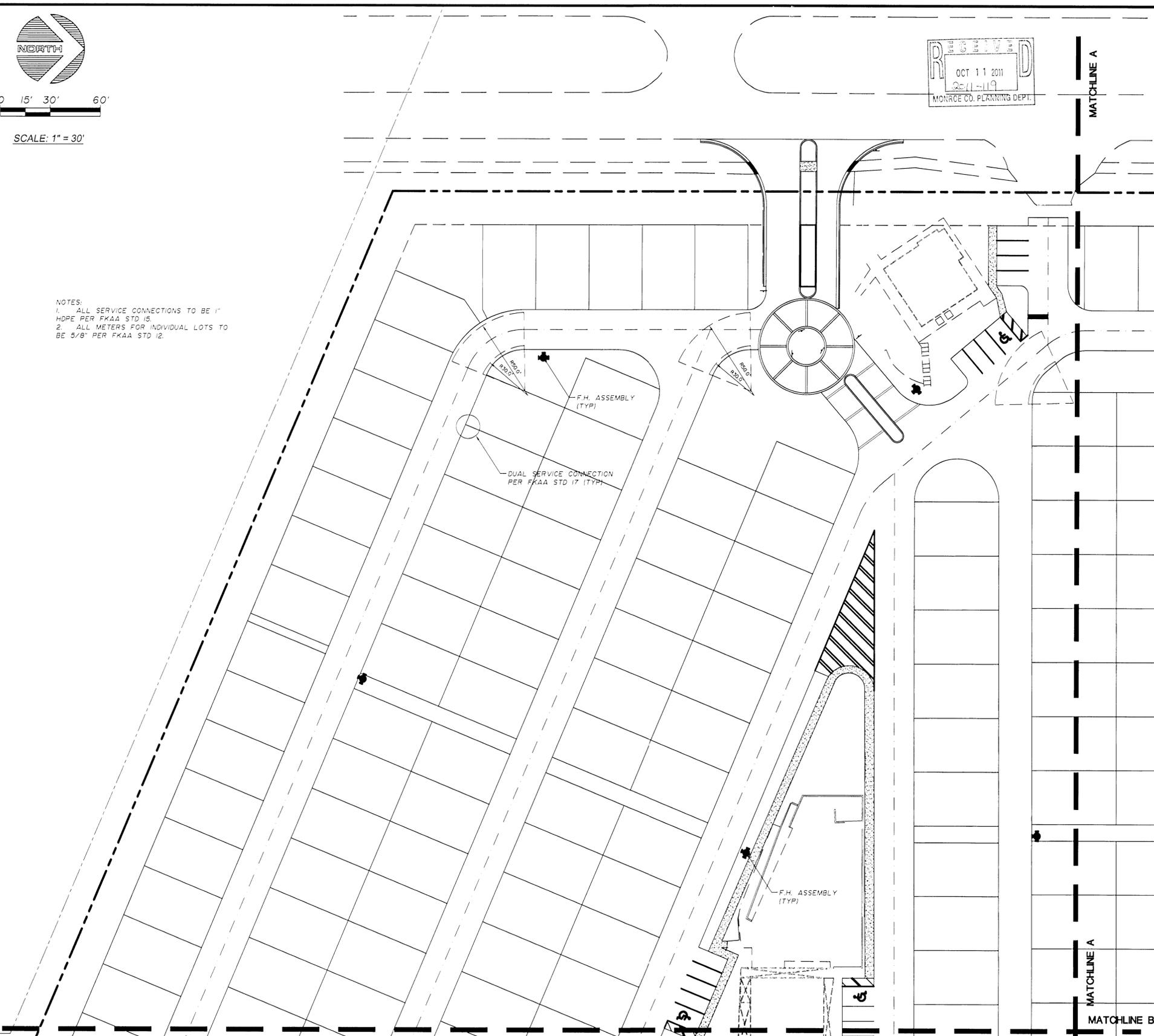


0 15' 30' 60'

SCALE: 1" = 30'

RECEIVED
OCT 11 2011
2011-119
MONROE CO. PLANNING DEPT.

NOTES:
1. ALL SERVICE CONNECTIONS TO BE 1" HDPE PER FKAA STD 15.
2. ALL METERS FOR INDIVIDUAL LOTS TO BE 5/8" PER FKAA STD 12.



MATCHLINE B

MATCHLINE A

MATCHLINE A

MATCHLINE B

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	9/21/11	A.H.	REVISED PER NEW SITE PLAN				

Designed by: A.P.H. Date: 06/10
 Drawn by: A.P.H. Date: 06/10
 Checked by: A.P.H. Date: 06/10



planning • engineering • transportation
 construction administration
 12855 SW 132 Street, Suite 206
 Miami, Florida 33186
 Phone: (305) 253-1970
 Fax: (305) 253-0897
 Authorization No. EB-26343

Engineer of Record: ALBERTO P. HERRERA
 Date: 10/11/11
 Registered Engineer Number: 59357
 State of Florida

FIRE ACCESS AND HYDRANT LOCATION
 CONCEPTUAL PLAN
KEY LARGO OCEAN RESORT
 KLOR

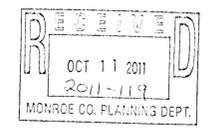
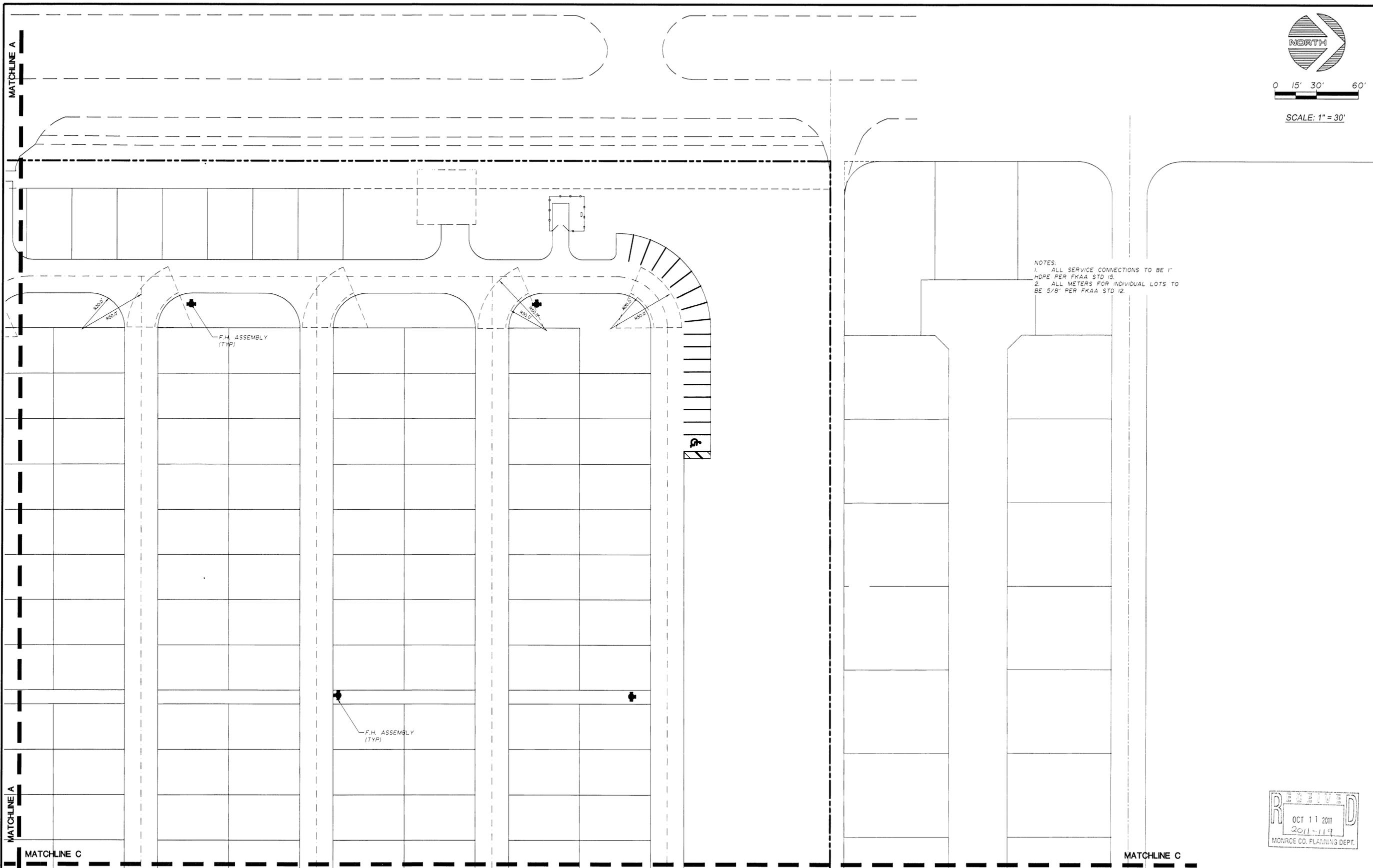
PROJECT NUMBER
 201016
 SHEET NUMBER
 FP1 OF 4



0 15' 30' 60'

SCALE: 1" = 30'

NOTES:
1. ALL SERVICE CONNECTIONS TO BE 1" HDPE PER FCAA STD 15.
2. ALL METERS FOR INDIVIDUAL LOTS TO BE 5/8" PER FCAA STD 12.



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	02/11	A.H.	REVISED PER NEW SITE PLAN				

Designed by: A.P.H. Date: 06/10
 Drawn by: A.P.H. Date: 06/10
 Checked by: A.P.H. Date: 06/10



planning • engineering • transportation
 construction administration
 12855 SW 132 Street, Suite 206
 Miami, Florida 33186
 Phone: (305) 253-1970
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 Authorization No. EB-26343

Engineer of Record: ALBERTO P. HERRERA
 Registered Engineer Number: 59357
 State of Florida
 Date: 10/11/11

FIRE ACCESS AND HYDRANT LOCATION
 CONCEPTUAL PLAN
KEY LARGO OCEAN RESORT
 KLOR

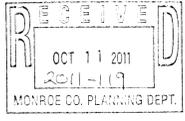
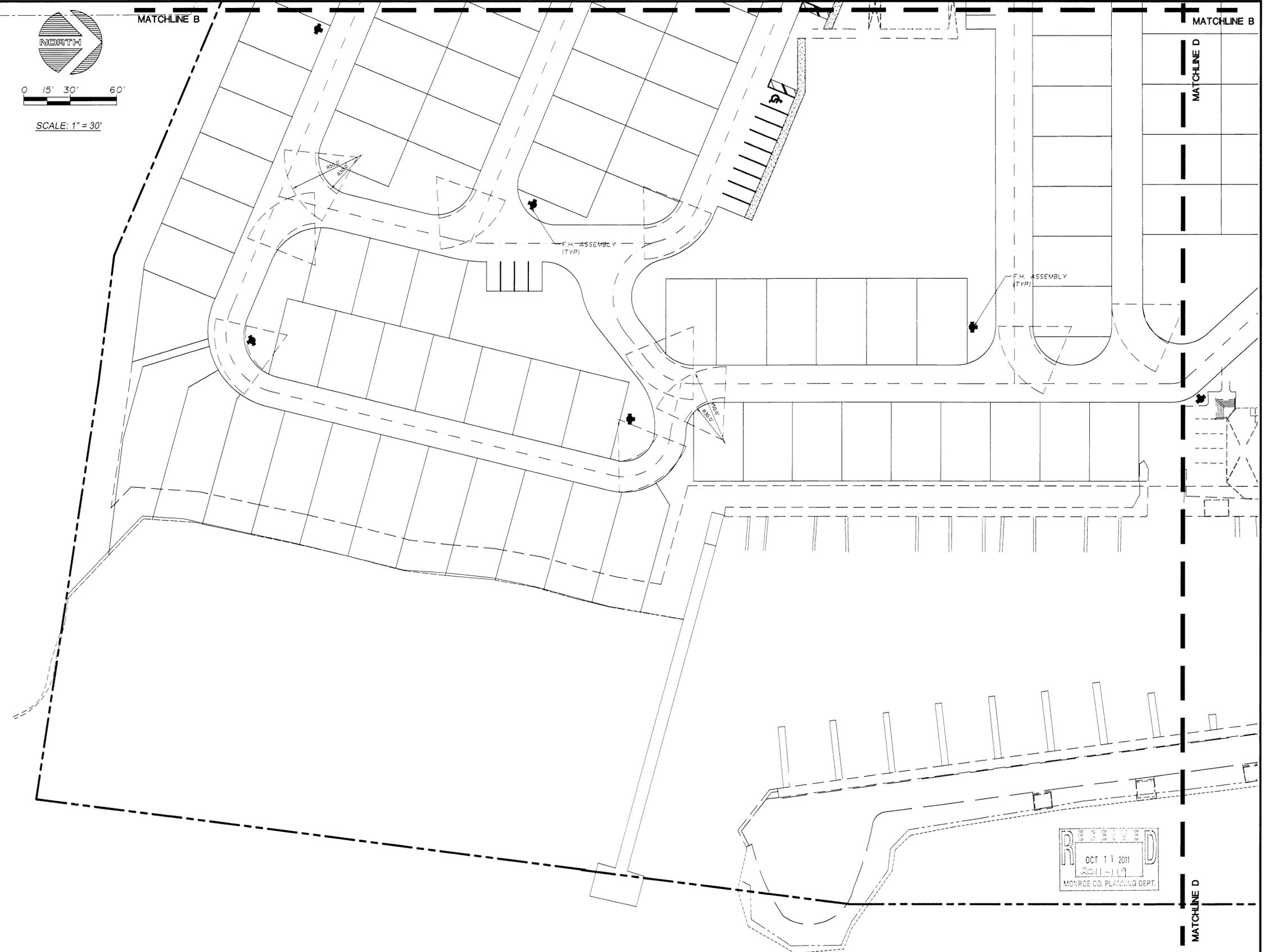
PROJECT NUMBER
201016
 SHEET NUMBER
FP2 OF 4



0 15' 30' 60'

SCALE: 1" = 30'

- NOTES:
1. ALL SERVICE CONNECTIONS TO BE 1" HDPE PER FKAA STD 15.
 2. ALL METERS FOR INDIVIDUAL LOTS TO BE 5/8" PER FKAA STD 12.
 3. CLASS I HOSE CABINETS TO BE INSTALLED AT DOCKS/PIERS TO COMPLY WITH FIRE CODE.

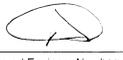


NO.	DATE	BY	REVISION

Designed by: A.P.H. Date: 06/10
 Drawn by: A.P.H. Date: 06/10
 Checked by: A.P.H. Date: 06/10

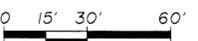
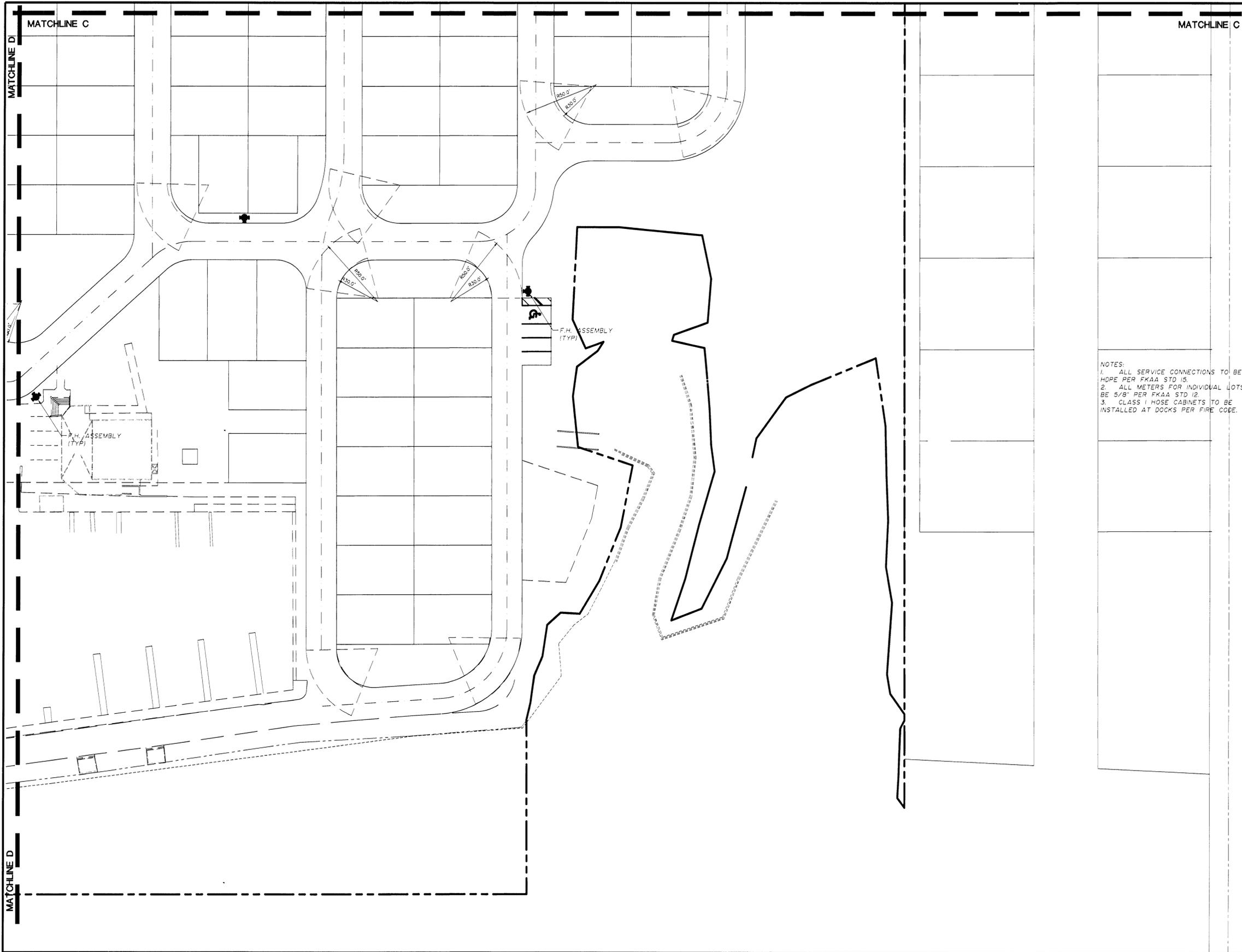


planning • engineering • transportation
 construction administration
 12855 SW 132 Street, Suite 206
 Miami, Florida 33186
 Phone: (305) 253-1970
 Fax: (305) 253-0897
 Authorization No. EB-26343

Engineer of Record: ALBERTO P. HERRERA

 Date: 10/11/11
 Registered Engineer Number: 59357
 State of Florida

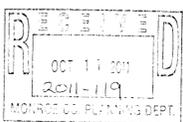
FIRE ACCESS AND HYDRANT LOCATION
 CONCEPTUAL PLAN
KEY LARGO OCEAN RESORT
 KLOR

PROJECT NUMBER
 201016
 SHEET NUMBER
 FP3 OF 4



SCALE: 1" = 30'

- NOTES:
1. ALL SERVICE CONNECTIONS TO BE HOPE PER FKAA STD 15.
 2. ALL METERS FOR INDIVIDUAL LOTS TO BE 5/8" PER FKAA STD 12.
 3. CLASS 1 HOSE CABINETS TO BE INSTALLED AT DOCKS PER FIRE CODE.



NO.	DATE	BY	REVISION
1	9/21/11	A.H.	REVISED PER NEW SITE PLAN

Designed by: A.P.H. Date: 06/10
 Drawn by: A.P.H. Date: 06/10
 Checked by: A.P.H. Date: 06/10



planning • engineering • transportation
 construction administration
 12855 SW 132 Street, Suite 206
 Miami, Florida 33186
 Phone: (305) 253-1970
 Fax: (305) 253-0897
 Authorization No. EB-26343

Engineer of Record: ALBERTO P. HERRERA
 Registered Engineer Number: 59357
 State of Florida
 Date: 10/11/11

FIRE ACCESS AND HYDRANT LOCATION
 CONCEPTUAL PLAN
KEY LARGO OCEAN RESORT
 KLOR

PROJECT NUMBER
201016
 SHEET NUMBER
FP4 OF 4

REVISIONS	
REVISED SITE PLAN - 7-24-10	M.
ADD PLANT LABELS - 11-09-10	M.



SITE KEY LANDSCAPE PLAN

SCALE: N.T.S.



PROPOSED SITE LANDSCAPE PLAN FOR:
KEY LARGO OCEAN RESORTS
 94825 OVERSEAS HIGHWAY
 KEY LARGO, FL 33051

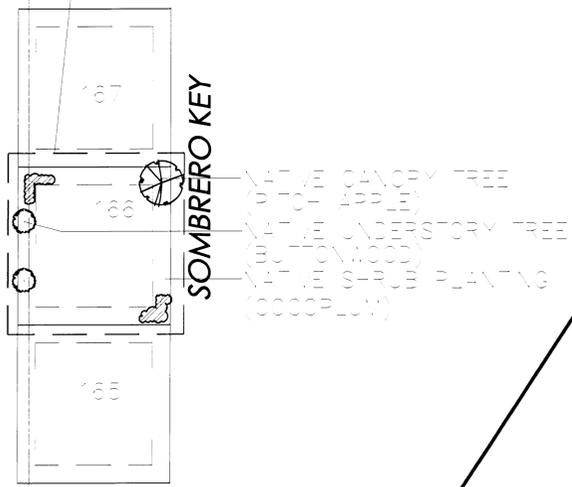
LAND FORM DESIGN GROUP, INC.
 5079 N. Dixie Highway No. 260
 Fort Lauderdale, FL 33334
 TEL 954-461-6191
 FAX 954-566-1161
 EMAIL malcolm@comcast.net

DRAWN	MM
CHECKED	TK
DATE	SEPTEMBER 14, 2011
SCALE	1" = 50'
JOB No.	10-0020
SHEET	L-01
7 OF 6 SHEETS	

PLANT SYMBOL LEGEND

-  NATIVE PALM TREE - SABAL PALM, PALM TREES PALM, FLORIDA ROYAL PALM
-  NATIVE CANOPY TREE - DUNE LAGOON, SEA GRAPE, MAHONIA
-  NATIVE UNDERSTORY TREE - BUTTWOOD, STOPPER, JELLY
-  NON-NATIVE PALM TREE - COCONUT PALM, ROYAL PALM, FORTA PALM
-  EXISTING TREE
-  NATIVE SHRUB - COORPLAN, BUTTWOOD, SEA GRAPE, OAK TREE, etc.

TYPICAL LANDSCAPE RESIDENTIAL LOT



PROJECT EASING = 10' W/ADJACENT PARCELS

EXISTING DRIVEWAY

PROJECT EASING = 10' FROM RESIDENTIAL MOBILE HOME

719.67'

CAPE BUFFER SETBACK

20' LANDSCAPE BUFFER SETBACK

20' LANDSCAPE BUFFER SETBACK

Right-of-Way Line

Right-of-Way Line

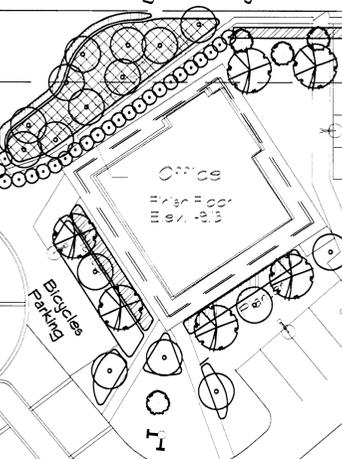
SOUTHEAST CIRCLE ROAD

SEA KING CIRCLE SOUTH

SEA ISLAND ROAD

SEA GULF ROAD SOUTH

SEA GULF ROAD NORTH



REVISIONS	BY
REVISED SITE PLAN - 9-24-10	M.M.



CONSULTANT
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 Fort Lauderdale, FL 33334
 TEL 954-461-6191
 FAX 954-566-1161
 EMAIL malcolm@comcast.net

PROPOSED SITE LANDSCAPE PLAN FOR:
KEY LARGO OCEAN RESORTS
 94825 OVERSIAS HIGHWAY
 KEY LARGO, FL 33057

OCT 11 2011
 SCALE 1" = 20'-0"
 MONROE CO PLANNING DEPT.

DRAWN MM
CHECKED TW
DATE SEPTEMBER 14, 2011
SCALE 1" = 20'-0"
JOB No. 10-0000
SHEET L-02
2 OF 4 SHEETS



PLANT SYMBOL LEGEND

- NATIVE PALM TREE - 1 - 10' - 12' - 15' - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
- NATIVE CANDY TREE - 1 - 10' - 12' - 15' - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
- NATIVE SEA GRAPE - 1 - 10' - 12' - 15' - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
- EXISTING TREE

REVISIONS	DATE
REVISED SITE PLAN - P-24-10	M.

THOMAS WHITE, P.L.A. (REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT)

CONSULTANT
LAND FORM DESIGN GROUP, INC.
 5079 N. Dixie Highway No. 260
 Fort Lauderdale, FL 33334
 TEL 954-461-6191
 FAX 954-566-1161
 EMAIL malcolm@comcast.net

PROPOSED SITE LANDSCAPE PLAN FOR:
KEY LARGO OCEAN RESORTS
 94825 OVERSEAS HIGHWAY
 KEY LARGO, FL 33057

DRAWN MM
CHECKED TK
DATE SEPTEMBER 14, 2011
SCALE 1" = 20'-0"
JOB No. 10-0020
SHEET L-03
9 OF 6 SHEETS

EXISTING VEGETATION TO BE REMOVED AND RELOCATED TO THE TRASH COLLECTION AREA FOR RELOCATED TREES

RAJ'S CUDRA CANAL SUB. PB 03 PG 186

RAJ'S CUDRA CANAL SUBDIVISION
 PB 3, PG 186



PLANT SYMBOL LEGEND

-  NATIVE PALM TREE - SABAL PALM, PALMETTO PALM, FLORIDA ROYAL PALM
-  NATIVE CANOPY TREE - SWEETGUM, SEA GRAPE, MAHOGANY
-  NATIVE UNDERSTORY TREE - BUTTONWOOD, STOPPER, CEDAR
-  NON-NATIVE PALM TREE - COCONUT PALM, ROYAL PALM, FOXTAIL PALM
-  EXISTING TREE
-  NATIVE SHRUB - COCOPALM, BUTTONWOOD, SEA GRAPE, DAY FREESIA

PROJECT ZONING = LRV
 RESIDENTIAL MEDIUM-DENSITY

REVISIONS	BY
REVISED SITE PLAN - 9-24-10	M.M.

CONSULTANT
 THOMAS WHITE PLANNING

LAND FORM DESIGN GROUP, INC.
 5079 N. Dixie Highway No. 260
 Fort Lauderdale, FL 33334
 TEL 954-461-6191
 FAX 954-566-1161
 EMAIL malcolmen@comcast.net

PROPOSED SITE LANDSCAPE PLAN FOR:
KEY LARGO OCEAN RESORTS
 91825 OVIKSIAS HIGHWAY
 KEY LARGO, FL 33057

OCT 11 2011
 2011-11-9
 HONOLULU PLANNING DEPT.

DRAWN	MM
CHECKED	TM
DATE	SEPTEMBER 14, 2011
SCALE	1" = 20'-0"
JOB No.	10-0000
SHEET	L-04
4 OF 4 SHEETS	

MONROE COUNTY LAND DEVELOPMENT REGULATIONS FOR REQUIRED LANDSCAPING

REQUIRED BUFFERYARDS

1. OVERSEES HIGHWAY (NORTH)
URM / IS DISTRICT BOUNDARY BUFFER
BUFFERYARD 'D' - 20' WIDE - 1,000.00 LINEAR FEET

2. WEST PROPERTY LINE
URM / IS DISTRICT BOUNDARY BUFFER
BUFFERYARD 'C' - 10' WIDE - 1094.75 LINEAR FEET

3. ATLANTIC OCEAN (SOUTH)
URM / IS DISTRICT BOUNDARY BUFFER

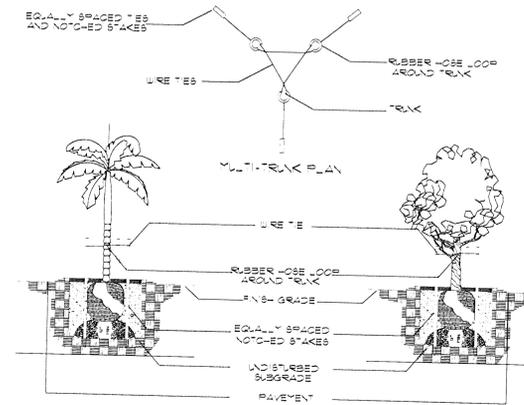
2. EAST PROPERTY LINE
URM / IS DISTRICT BOUNDARY BUFFER
BUFFERYARD 'C' - 20' WIDE - 1,000.00 LINEAR FEET

PLANT TYPE	STD/100 LF	LENGTH	TOTAL	TOTAL
CANOPY TREE	6.6	10.0	66.00	66
UNDERSTORY TREE	3.3	10.0	33.00	33
SHRUB	28	10.0	280.00	280

PLANT TYPE	STD/100 LF	LENGTH	TOTAL	TOTAL
CANOPY TREE	5.0	10.94	10.94	36
UNDERSTORY TREE	2.0	10.94	21.88	14
SHRUB	20	10.94	218.80	144

PLANT TYPE	STD/100 LF	LENGTH	TOTAL	TOTAL
CANOPY TREE	4.0	10.0	36.10	36
UNDERSTORY TREE	1.6	10.0	14.44	14
SHRUB	16	10.0	144.40	144

NOTE: STAGING TO BE USED ONLY WHEN STAKING OR BRACING IS NOT POSSIBLE AS FOR EXAMPLE WHEN PLANTING IS ADJACENT TO PAVEMENT.



NOTE: PALM TREES SHALL BE THREE (3) INCH CALIBER TRUNK OR LESS.

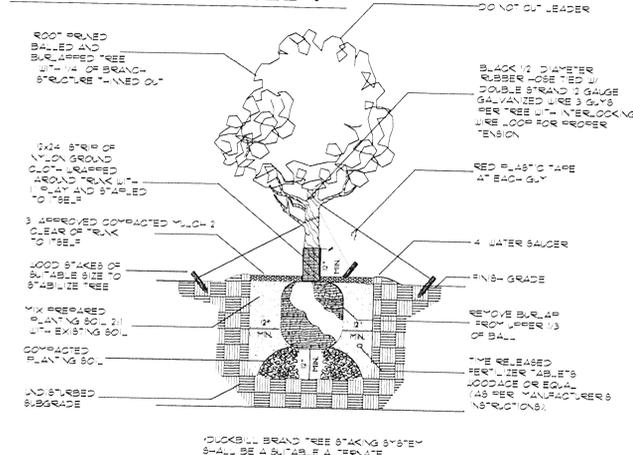
PALM AND TREE STAKING DETAIL N.T.S.
UP TO 10'-0" OVERALL HEIGHT

FINAL PLANT LIST TO BE DETERMINED PRIOR TO PERMITTING AND SUBMISSION OF CONSTRUCTION DRAWINGS
PLANT MATERIAL WILL BE A MINIMUM OF 70% FLORIDA KEYS NATIVE PLANTS

PLANTING NOTES & SPECIFICATIONS

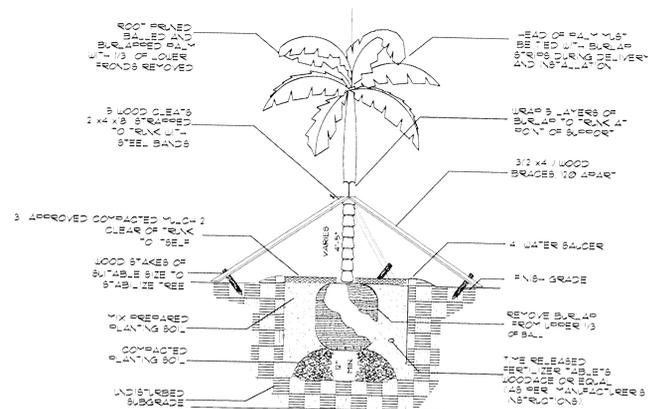
- Contractor shall verify all information prior to initiating planting installation. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans.
- Prior to construction the Contractor is responsible for locating all underground utilities and shall avoid damage to all utilities during construction. Should the Contractor cause damage to any utilities, he/she shall make necessary repairs as quickly as practicable.
- The Contractor is responsible for maintaining in full all planting areas (including watering, spraying, mowing, fertilizing, etc.) until the job is accepted in full by the Owner.
- All plants must be healthy, vigorous material, free of pests and diseases. All plant material shall be in full and strict accordance to Florida No. 1 grade according to the Grades and Standards for Nursery Plants published by the Florida Department of Agriculture and Consumer Services. Plant material shall in some instances exceed No. 1 grade in order to meet the minimum requirements of this project.
- Contractor shall be responsible for plants meeting specifications as noted prior to installation. Contractor shall immediately remove all plant material that does not conform to specifications.
- All container sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
- All rootballs shall conform to the size standards set forth in American Standards for Nursery Stock.
- Any substitutions in size and/or plant material must be approved by the Landscape Architect / Client.
- Contractor shall refer to the landscape planting details, plant list, general notes for complete landscape planting instructions.
- Guying / staking practices shall not permit nails, screws, wires, etc. to contact outer surface of tree or palm. Trees or palms rejected due to this practice shall be replaced with inspector on site.
- Build material wire cages, plastic straps, etc. must be cut and removed from top one (1) or (1/2) of root ball.
- Trees grown in grow bags or grow bag type material must have the grow bag REMOVED ENTIRELY prior to planting.
- All plant material shall be protected during transport and delivery to jobsite with shade cloth or other acceptable means of windburn prevention.
- All trees must be straight trunks, full heads, and meet all requirements specified.
- All trees must be guyed or staked as shown in the details.
- Installation: All plant material shall be installed in a sound workman-like manner and according to accepted good planting procedures. The quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
- Contractor shall mulch all plant material throughout and completely to a 3" depth with clean, leaf-free Grade A Eucalyptus mulch.
- Contractor shall assure drainage and percolation of all planting pits prior to installation of plant material. Contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions.
- Contractor to guarantee plant material for a period of 12 months after date of substantial completion.
- Contractor to replace rejected plant material within two (2) weeks of notice.
- Topdressing, annual and groundcover plantings are shown as mass planting areas. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center (C/C) are listed under specifications on the plant list.
- Landscaping shall be maintained in a good condition so as to present a healthy, neat, and orderly appearance at least equal to the original installation and shall be mowed or trimmed in a manner.
- Planting soil shall be 20% sand, 20% topsoil, and 60% peat.
- All existing native trees on site shall be relocated on site and/or removed upon approval and mitigation within the site per tree relocation and survivality.

PLANTING DETAILS :

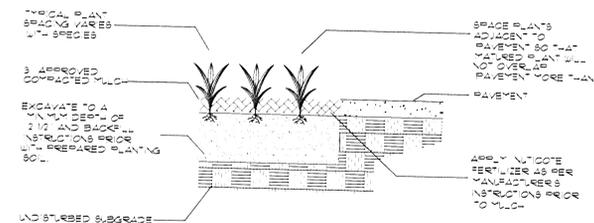
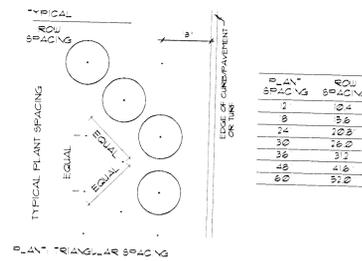


NOTE: TREES SHALL BE LESS THAN FOUR (4) INCH CALIBER TRUNK

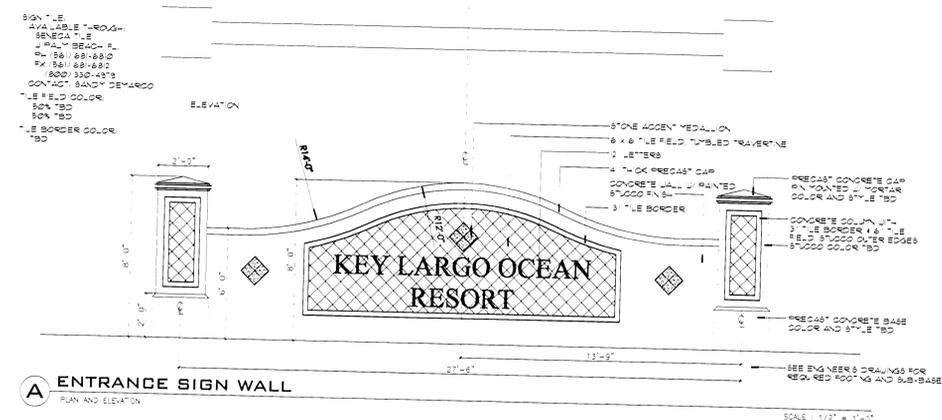
TREE PLANTING AND GUYING DETAIL N.T.S.
UP TO 12'-0" OVERALL HEIGHT



PALM OR LARGE TREE PLANTING AND BRACING DETAIL N.T.S.
ABOVE 10'-0" OVERALL HEIGHT



GROUND COVER PLANTING DETAILS N.T.S.



ENTRANCE SIGN WALL

SCALE: 1/2" = 1'-0"

REVISIONS	BY
REVISED SITE PLAN - P-24-10	M.M.

THOMAS WHITE, P.L.L.C.

CONSULTANT

LAND FORM DESIGN GROUP, INC.
5079 N. Dixie Highway No. 260
Fort Lauderdale, FL 33334
TEL 954-461-6191
FAX 954-566-1161
EMAIL: mlcolimem@comcast.net

PROPOSED SITE LANDSCAPE PLAN FOR:
KEY LARGO OCEAN RESORTS
51825 OLMSTAD HIGHWAY
KEY LARGO, FL 33037

OCT 11 2011
MONROE CO. PLANNING DEPT.

DRAWN	MM
CHECKED	TK
DATE	SEPTEMBER 14, 2011
SCALE	N.T.S.
JOB No.	10-0000
SHEET	
L-06	
6 OF 6 SHEETS	

**Item #3 Maritime Harbor-Text Amendment
Email from Susan Grimsley requesting that
this item be continued**

Creech-Gail

From: Grimsley-Susan
Sent: Wednesday, December 07, 2011 11:54 AM
To: Hurley-Christine; Santamaria-Mayte; Schwab-Townsley
Cc: Tim Koenig; Owen Trepanier; Creech-Gail; John Wolfe (wolfe@marathonlaw.com); Hutton-Suzanne
Subject: Text Amendment to comprehensive plan for Wisteria Island

This item has been noticed for December 21, 2011 for the Planning Commission. There will be only four members present. There is a risk of a tied vote, in which case the motion(s) fail. Pursuant to FS 163.3174 the Local Planning Agency must make a recommendation to the BOCC on a Plan amendment. We risk having to have a second hearing if there is a tied vote. Therefore this item should be continued from the December meeting. The applicant does not object to the continuance but feels that the matter should be continued indefinitely, pending resolution of ownership. If heard, I recommend that it be on the January 24, 2012 meeting, continued from December. I am working on a memo about whether anything to do with Wisteria should be heard at any level of hearing, given the controversy about ownership.

Susan Grimsley, Assistant County Attorney



MEMORANDUM

MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT
We strive to be caring, professional and fair

To: The Monroe County Planning Commission
Through: Townsley Schwab, Senior Director of Planning & Environmental Resources
From: Reynaldo Ortiz, Assoc. AIA, AICP, Planner 
Date: December 14, 2011
Subject: *Request for a Variance for Pirate Hat Marina, located at 199 Morris Lane, Cross Key, Real Estate No. 00572820.000000 (File #2011-095)*

Meeting: December 21, 2011

1
2 I REQUEST:
3

4 The applicant is requesting a variance to reduce the off-street parking requirements for a
5 proposed redevelopment. Specifically, the applicant is requesting that the amount of required
6 off-street parking be reduced from 36 parking spaces to 26 parking spaces- a reduction of 28
7 percent. In addition, the applicant is requesting that the 10 waived parking spaces include the
8 six required parking spaces for the boat ramp which are required to be 14' by 55' as opposed
9 8'6" x 18'. Variance approval would facilitate the approval of a proposed amendment to a
10 major conditional use permit to a reconfiguration of the existing marina by installing dry
11 boat racks to accommodate up to 80 vessels in total, modifying the existing off-street parking
12 areas, installing new landscaping and carrying out other associated site improvements.
13



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Subject Property (outlined) (2009)

Location:

Address: 199 Morris Lane, Cross Key, Mile Marker 112 (Atlantic Ocean side of US 1)

Legal Description: Lot 1, Monroe Park Subdivision (PB3-140)

Real Estate (RE) Number: 00572820.000000

Applicant:

Owner: Pirate Hat Marina, LLC

Agent: Joel Reed

II RELEVANT PRIOR COUNTY ACTIONS:

The site is currently being utilized as marina, with boat storage and retail sales. Building Permit #C-8717 was issued in 1980 for the construction of the existing dock. In addition a 380 SF bathhouse was permitted per Building Permit #C15519. Staff was unable to locate any other permits for non-residential floor area.

The property was being used as a marina, prior to the adoption of the current land development regulations in 1986. Therefore, the site is deemed to have a major conditional use permit. Any modifications to the site plan at minimum shall require a major deviation approval.

The applicant applied for an amendment to a major conditional use permit in order to redevelop the existing marina by installing dry boat racks to accommodate up to 80 vessels in total, modifying the existing off-street parking areas, installing new landscaping and carrying out other associated site improvements. On September 27, 2011, the application was reviewed by the Development Review Committee (DRC). At the meeting, staff requested that several conditions be applied to any approval. One condition was that the prior to the issuance of a resolution by the planning commission, the applicant must either revise the site plan or receive a variance in order to demonstrate compliance with off-street parking standards.

III BACKGROUND INFORMATION:

- A. Size of Site: 35,415 SF (0.81 acres)
- B. Land Use District: Suburban Commercial (SC)
- C. Future Land Use Map (FLUM) Designation: Mixed Use/Commercial (MC)
- D. Tier Designation: Tier 3
- E. Flood Zone: AE – EL 12
- F. Existing Use: Marina
- G. Existing Vegetation / Habitat: Scarified
- H. Community Character of Immediate Vicinity: Marina and Residential

1
2 **IV REVIEW OF APPLICATION:**
3

4 The redevelopment proposal involves altering of an existing site to reconfigure an existing
5 marina by installing dry boat racks to accommodate up to 80 vessels in total, modifying the
6 existing off-street parking areas, installing new landscaping and carrying out other associated
7 site improvements.
8

9 Pursuant to MCC §114-67, the redevelopment proposal would be subject to the following
10 off-street parking requirements:
11

12 **Required Parking**
13

Specific Use	Multiplier	Proposed	Required Spaces
Commercial Retail	3 spaces/1000 SF	380 SF	2
Marina (wet slips or berths)	1 space/ berth	16 berths	16
Marina (dry storage racks)	1 space/4 dry racks	54 dry racks	13.5
Marina (empty trailer racks)	1 space/4 dry racks	20 trailer racks	5
Boat Ramp	6 spaces/ramp	1 ramp	6 (14' by 55')
Total Required			42.5

14 The proposed parking configuration will include 26 vehicle off-street parking spaces
15 through-out the site. Currently, there is some parking on this site; however none of the
16 spaces are delineated or otherwise identified.
17

18
19 *Pursuant to MCC §102-186, a variance may only be granted if the applicant demonstrates*
20 *that all of the following standards are met:*
21

22 **A. The applicant demonstrates a showing of good and sufficient cause:**
23

24 The property is irregular in shape and surrounded by water on three sides. As a result,
25 required shoreline setbacks are imposed on a larger area of land than encountered on a
26 typical site.
27

28 The applicant asserts that the off-street parking requirements for boat storage at this site
29 would be excessive. Although no study specifically addressing the proposed
30 redevelopment was provided for review, staff has determined that the required off-street
31 parking for the proposed redevelopment would be greater than that necessary.
32

33 Note: The proposed redevelopment includes the installation of dry storage racks making
34 the requirement of six 14' by 55' parking spaces for the private ramp unnecessary.
35

36 **B. Failure to grant the variance would result in exceptional hardship to the applicant:**
37

38 Without a variance, the developer would have to either reduce the proposed amount of
39 nonresidential floor area and/or boat racks in order to meet the parking requirements.
40 Although a reduction does not constitute an exceptional hardship, staff has determined

1 that a full application of the off-street parking requirements would be excessive for this
2 particular redevelopment. Thus, failure to grant the Variance would result in exceptional
3 hardship to the property owner in that the redevelopment would have to be scaled back in
4 order to meet parking requirements that Staff has determined to be excessive for the
5 project as currently proposed.
6

- 7 C. *Granting the variance will not result in increased public expenses, create a threat to*
8 *public health and safety, create a public nuisance, or cause fraud or victimization of the*
9 *public:*

10 Assuming an adjacent property owner does not provide a valid objection to this
11 application, the variance would not result in increased public expenses, create a threat to
12 public health and safety, create a public nuisance, or cause fraud or victimization of the
13 public. Better vehicle maneuverability could reduce threat to public safety.
14

- 15
16 D. *The property has unique or peculiar circumstances, which apply to this property, but*
17 *which do not apply to other properties in the same zoning district:*

18 The location of the subject property on a peninsula leads to a majority of the property
19 being surrounded by open water. As a result of its peninsular location, the property has
20 unique and peculiar circumstances, which apply to the property, but which do not apply
21 to other properties in the same zoning district.
22

- 23
24 E. *Granting the variance will not give the applicant any special privilege denied other*
25 *properties in the immediate neighborhood in terms of the provisions of this chapter or*
26 *established development patterns:*

27 Granting the variances will not give the applicant any special privilege denied other
28 properties in the immediate neighborhood in terms of the provisions of the land
29 development regulations or established development patterns. Staff could not find any
30 record of any person in the immediate neighborhood requesting a similar or comparable
31 request.
32

- 33
34 F. *Granting the variance is not based on disabilities, handicaps or health of the applicant or*
35 *members of his family:*

36 Granting the variances would not be based on disabilities, handicaps or health of the
37 applicant or members of his family.
38

- 39
40 G. *Granting the variance is not based on the domestic difficulties of the applicant or his*
41 *family:*

42 Granting the variances would not be based on the domestic difficulties of the applicant or
43 his family.
44

- 45
46 H. *The variance is the minimum necessary to provide relief to the applicant:*

1
2 Staff has reviewed the site for viable options and found that the requested variance is the
3 minimum necessary to provide relief to the applicant.
4

5 **V RECOMMENDATION:**
6

7 Staff recommends approval of the variance application to the Planning Commission if all the
8 following conditions are met:
9

- 10 A. The proposed site plan shall be approved by a major conditional use permit. If the major
11 conditional use permit application is denied for any reason, this variance approval is null
12 and void.
13
14 B. This variance is based on the design of the development as shown on the site plan
15 submitted with the variance and major conditional use permit applications. Work not
16 specified or alterations to the site plan may not be carried out without additional Planning
17 & Environmental Resources Department approval.
18
19 C. This variance does not waive the required parking for any future structures or additions.
20

21 **VI PLANS REVIEWED:**
22

- 23 • Pirate Hat Marina, Site Plan (Sheet 1.0) by Keys Engineering Services dated July 29,
24 2011, revised November 3, 2011
25 • Pirate Hat Marina, Variance Site Plan (Sheet 2.0) by Keys Engineering Services dated
26 July 29, revised November 3, 2011
27 • Pirate Hat Marina, Storm Water Management Plan (Sheet 3.0) by Keys Engineering
28 Services dated July 29, 2011, revised November 3, 2011
29 • Pirate Hat Marina, Landscape Plan (Sheet 4.0) by Keys Engineering Services dated July
30 29, 2011, revised November 3, 2011
31 • Pirate Hat Marina, a Condominium Surveyor's Certificate (Sheets 1-4) by David Barrow
32 Surveying and Mapping, Inc. dated October 8, 2008.

File #: **2011-095**

Owner's Name: Pirate Hat Marina LLC

Applicant: Pirate Hat Marina LLC

Agent: Joel Reed

Type of Application: Variance - PC

Key: Key Largo

RE: 00572820-000000

Additional Information added to File 2011-095

County of Monroe
Growth Management Division

Office of the Director

2798 Overseas Highway
Suite #400
Marathon, FL 33050
Voice: (305) 289-2517
FAX: (305) 289-2854



Board of County Commissioners

Mayor Sylvia J. Murphy, Dist. 5
Mayor Pro Tem Heather Carruthers, Dist. 3
Kim Wigington, Dist. 1
George Neugent, Dist. 2
Mario Di Gennaro, Dist. 4

We strive to be caring, professional and fair

Date: 8.08.11
Time: _____

Dear Applicant:

This is to acknowledge submittal of your application for Variance - PC
Type of application

Pirate Hat Marina LLC to the Monroe County Planning Department.
Project / Name

Thank you.

Stail Creech

Planning Staff

End of Additional File 2011-095



Reed & Company
Land Use Planning & Consulting
Phone: 678.708.9247
Email: joel@rc3world.com

<u>Mailing Address</u>	<u>Physical Address</u>
411 Ridgewood Rd NE Atlanta, GA 30307	102901 Overseas Hwy Key Largo, FL 33037

July 29, 2011

Monroe County
Planning & Environmental Resources
Attn: Mr. Townsley Schwab, Senior Director
2798 Overseas Hwy.
Suite 400
Marathon, FL 33050



Mr. Schwab,

Please find the enclosed application for a Variance to the Planning Commission in reference to Pirate Hat Marina LLC an existing operating Marina located at 199 Morris Lane at approximately MM 113 (on the 18 Mile Stretch) in Key Largo. In addition please find the enclosed application fee in the amount of \$2,009.00. If you have any questions or concerns please do not hesitate to contact me at the above listed numbers.

Sincerely,

Joel C. Reed, AICP

Project Name & Location

Pirate Hat Marina
199 Morris Lane
Key Largo, FL 33037

Project Description

Variance to Planning Commission

Owner/Applicant

Pirate Hat Marina LLC

Date:

7/22/2011

Agent

	<p>Reed & Company Land Use Planning & Consulting Phone: 678.708.9247 Email: joel@rc3world.com</p>
<p><u>Mailing Address</u> 411 Ridgewood Rd NE Atlanta, GA 30307</p>	<p><u>Physical Address</u> 102901 Overseas Hwy Key Largo, FL 33037</p>

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4. Property Record Card
5. Location Map
6. Photographs of Site
7. Surrounding Property Owner
 - 7.1 Mailing Labels
 - 7.2 Map
8. Agent Authorization Letter
9. Parking Demand Study
 - 9.1 Affidavit forms

Attachments

Attachment 1 – Variance Plan

	Reed & Company Land Use Planning & Consulting Phone: 678.708.9247 Email: joel@rc3world.com	
	<table><tr><td><u>Mailing Address</u> 411 Ridgewood Rd NE Atlanta, GA 30307</td><td><u>Physical Address</u> 102901 Overseas Hwy Key Largo, FL 33037</td></tr></table>	<u>Mailing Address</u> 411 Ridgewood Rd NE Atlanta, GA 30307
<u>Mailing Address</u> 411 Ridgewood Rd NE Atlanta, GA 30307	<u>Physical Address</u> 102901 Overseas Hwy Key Largo, FL 33037	

TAB 1

APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



Variance Application to the Monroe County Planning Commission

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review

Planning Commission Variance Application Fee: \$1,608.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Date of Submittal: 07 / 29 / 2011
Month Day Year

Property Owner:

Pirate Hat Marina LLC (Bud Cornell)
Name

199 Morris Lane, Key Largo, FL 33037
Mailing Address (Street, City, State, Zip Code)

305.731.0060
Daytime Phone

centurykey@aol.com
Email Address

Agent (if applicable):

RC3WORLD, INC. (Joel C. Reed)
Name

411 Ridgewood Road NE, Atlanta, GA 30307
Mailing Address (Street, City, State, Zip Code)

305.393.5413
Daytime Phone

joel@rc3world.com
Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet)

<u>PB3-140 LOT 1 & PT MORRIS AVE</u>	<u>MONROE PARK</u>	<u>CROSS KEY</u>
<small>Block</small>	<small>Lot</small>	<small>Subdivision</small>
<small>Key</small>		
<u>00572820-000000</u>	<u>1709654</u>	
<small>Real Estate (RE) Number</small>	<small>Alternate Key Number</small>	
<u>199 Morris Lane, Key Largo FL 33037</u>	<u>~MM 112</u>	
<small>Street Address (Street, City, State, Zip Code)</small>	<small>Approximate Mile Marker</small>	

APPLICATION

Land Use District Designation(s): Suburban Commercial (SC)

Present Land Use of the Property: Marina

Total Land Area: .65 Acres

Please provide the standard required by the land development regulations: 25 foot front; 20 foot shoreline; 36 Parking Spaces (i.e. front yard setback of 25 feet, 100 off-street parking spaces, etc.)
Parking Required: 36; Provided: 27; Waterfront Westside: 20' required; Provided 8' to structure

Please provide that requested: Waterfront Setback Eastside: 20' Required; Provided 21' to structure, 6' to access drive (i.e. front yard setback of 10 feet, 70 off-street parking spaces, etc.)
26 Parking spaces provided

All of the following standards must be met in order to receive variance approval. Please describe how each standard shall be met.

1) The applicant shall demonstrate a showing of good and sufficient cause:

The site is unique in that it is a peninsula surrounded by water on three (3) sides with one front yard setback of 25'. The request for is to allow a variance on the west side of the property to allow an access drive on the site and a variance on the eastern side of the site to allow boat racks to encroach into the setbacks at three separate places. In addition we are requesting a variance to the required number of parking spaces due to actual demand and need for parking as shown in the attached documentation. The applicant has taken every effort to design a project in line with state and county codes in relation to height, parking, setbacks, and use balanced with the unique features of the site having water on three sides as well as the actual dimensions of the site being long and narrow. The proposed layout and variance accomplishes both the best design and compliance to the maximum extent practicable.

2) Failure to grant the variance would result in exceptional hardship to the applicant:

Yes, failure to grant the variance would result in exceptional hardship to the applicant. The site was designed in relation to the State and local codes and guidelines and a lot of effort has been put into complying with these requirements while not creating an undue hardship to the client. The current development has a 0' setback from the water. Strict compliance would force loss of use on the site that would result in an exceptional hardship for the client.

3) Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

Granting the variance will not result in increased expenses, nor create a threat to public health, nor safety, nor create a public nuisance nor cause fraud or victimization of the public.

4) Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district:

The site is unique in that it is surrounded by water on three sides and therefore requires three waterfront setback. Most waterfront lots would require one front yard setback of 25'; Sideyards of 10/15 and rear or waterside setback of 20'.

5) Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of this chapter or established development patterns:

Granting of the variance will no confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district. In fact most lots in the area have not undergone re-development and many will face similar issues in that they are currently developed within the setbacks. In the past planning has allowed "as of right" without the need for a variance for access drives to go through the setbacks which is what is requested as part of the variance on one of the sides

APPLICATION

- 6) **Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:**

Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family.

- 7) **Granting the variance is not based on the domestic difficulties of the applicant or his family:**

Granting the variance is not based on the domestic difficulties of the applicant or his family.

- 8) **The variance is the minimum necessary to provide relief to the applicant:**

Yes, the variance requested in the minimum necessary to provide relief to the applicant.

**All of the following must be submitted in order to have a complete application submittal:
(Please check as you attach each required item to the application)**

- TAB 1 **Complete variance application (unaltered and unbound);**
- TAB 2 **Correct fee (check or money order to Monroe County Planning & Environmental Resources);**
- TAB 3 **Proof of ownership (i.e. Warranty Deed);**
- TAB 4 **Current Property Record Card(s) from the Monroe County Property Appraiser;**
- TAB 5 **Location map;**
- TAB 6 **Photograph(s) of site from adjacent roadway(s);**
- ATTACH 1 **Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 16 sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat);**
- ATTACH 2 **Signed and Sealed Site Plans, prepared by a Florida registered architect, engineer or landscape architect– 16 sets (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following:**
- Date, north point and graphic scale;
 - Boundary lines of site, including all property lines and mean high-water lines;
 - Land use district of site and any adjacent land use districts;
 - Locations and dimensions of all existing and proposed structures and drives;
 - Type of ground cover (i.e. concrete, asphalt, grass, rock);
 - Adjacent roadways;
 - Setbacks as required by the land development regulations;
 - Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones;
- TAB 7 **Typed name and address mailing labels of all property owners within a 300 foot radius of the property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 300 foot radius, each unit owner must be included;**

APPLICATION

TAB 8

If applicable, the following must be submitted in order to have a complete application submittal:

- Notarized Agent Authorization Letter** (note: authorization is needed from all owner(s) of the subject property)

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

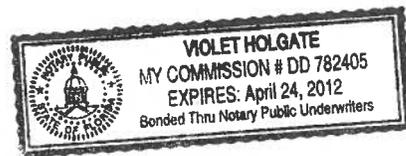
Signature of Applicant: *[Handwritten Signature]* Date: 22 JUNE 2011

Sworn before me this 22 day of June 2011

[Handwritten Signature]
 Notary Public

My Commission Expires
 4/24/2012

Please send the complete application package to the Monroe County Planning & Environmental Resources Department, Marathon Government Center, 2798 Overseas Highway, Suite 400, Marathon, FL 33050.



TAB 2

	Reed & Company Land Use Planning & Consulting Phone: 678.708.9247 Email: joel@rc3world.com					
	<table border="0"><tr><td><u>Mailing Address</u></td><td><u>Physical Address</u></td></tr><tr><td>411 Ridgewood Rd NE</td><td>102901 Overseas Hwy</td></tr><tr><td>Atlanta, GA 30307</td><td>Key Largo, FL 33037</td></tr></table>	<u>Mailing Address</u>	<u>Physical Address</u>	411 Ridgewood Rd NE	102901 Overseas Hwy	Atlanta, GA 30307
<u>Mailing Address</u>	<u>Physical Address</u>					
411 Ridgewood Rd NE	102901 Overseas Hwy					
Atlanta, GA 30307	Key Largo, FL 33037					

July 29, 2011

Monroe County Planning & Environmental Resources
Attn: Gail Creech
2798 Overseas Hwy., Suite 400
Marathon, FL 33050

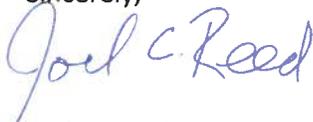
Ms. Creech,

Please find the enclosed check in the amount of \$2,009.00 regarding the Variance to the Planning Commission Application that was submitted for Pirate Hat Marina LLC electronically to your offices.

Application Fee:	\$ 1,608.00	
Surrounding Property Owner Notices:	\$ 156.00	(52 X \$3/each)
Advertising Cost:	\$ 245.00	
<hr/>		
TOTAL	\$ 2,009.00	

If you have any questions or concerns please do not hesitate to contact me at the above listed numbers.

Sincerely,


Joel C. Reed, AICP

TAB 3

Doc# 1588049 06/19/2006 2:20PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

10.00
14630.00

This Document Prepared By and Return to:
Pamela Setchell, an employee of
Joe Mikias, P.A.
P.O. Box 366
Islamorada, FL 33036

06/19/2006 2:28PM
DEED DOC STAMP CL: RHONDA \$14,630.00

Doc# 1588049
Bk# 2217 Pg# 1289

Parcel ID Number: 00572820-000000

Warranty Deed

This Indenture, Made this 16th day of June, 2006 A.D., Between
William Stroemel, Jr. and Jennie M. Stroemel, husband and wife

of the County of Seminole, State of Florida, grantors, and
Pirate Hat Marina, LLC, a Florida limited liability company

whose address is: 199 Morris Lane, Key Largo, FL 33037

of the County of Monroe, State of Florida, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of

TEN DOLLARS (\$10) DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Monroe, State of Florida to wit:

Lot 1, MONROE PARK SUBDIVISION, according to the Plat thereof, as recorded in Plat
Book 3, at Page 140, of the Public Records of Monroe County, Florida.

Subject to restrictions, reservations and easements of record, if any, and taxes
subsequent to 2005.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Jack Thorley
Printed Name: JACK THORLEY
Witness

William Stroemel, Jr. (Seal)
William Stroemel, Jr.
P.O. Address: 1576 Sultan Circle, Chuluota, FL 32766

Pamela Setchell
Pamela Setchell
Witness

Jennie M. Stroemel (Seal)
Jennie M. Stroemel
P.O. Address: 1576 Sultan Circle, Chuluota, FL 32766

STATE OF Florida
COUNTY OF Monroe

MONROE COUNTY
OFFICIAL PUBLIC RECORD

The foregoing instrument was acknowledged before me this 16 day of June, 2006 by
William Stroemel, Jr. and Jennie M. Stroemel

who are personally known to me or who have produced their Florida driver's license as identification.



Pamela Setchell
Pamela Setchell
Notary Public
My Commission Expires: 09/14/07

2010 LIMITED LIABILITY COMPANY REINSTATEMENT

**FILED
Nov 15, 2010
Secretary of State**

DOCUMENT# L06000060065

Entity Name: PIRATE HAT MARINA, LLC

Current Principal Place of Business:

199 MORRIS AVE.
KEY LARGO, FL 33037

New Principal Place of Business:

Current Mailing Address:

199 MORRIS AVE.
KEY LARGO, FL 33037

New Mailing Address:

FEI Number: 20-5038146

FEI Number Applied For ()

FEI Number Not Applicable ()

Certificate of Status Desired ()

Name and Address of Current Registered Agent:

MIKLAS, JOE
88765 OVERSEAS HWY.
TAVERNIER, FL 33070 US

Name and Address of New Registered Agent:

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: JOE MIKLAS

Electronic Signature of Registered Agent

Date

MANAGING MEMBERS/MANAGERS:

Title: MGRM
Name: CORNELL, CLIFFORD
Address: 199 MORRIS AVE.
City-St-Zip: KEY LARGO, FL 33037

Title: MGRM
Name: WIESE, SUZAN
Address: 299 MORRIS AVE.
City-St-Zip: KEY LARGO, FL 33037

I hereby certify that the information indicated on this report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 608, Florida Statutes.

SIGNATURE: SUZAN WIESE

MGRM

11/15/2010

Electronic Signature of Signing Managing Member, Manager, or Authorized Representative / Date

TAB 4

Ervin A. Higgs, CFA
Property Appraiser
Monroe County, Florida

office (305) 292-3420
fax (305) 292-3501

MONDAY - DECEMBER 20, 2010 The Marathon & Plantation
MONDAY - DECEMBER 20, 2010 The Key West office will be

Property Record View

Alternate Key: 1709654 Parcel ID: 00572820-000000

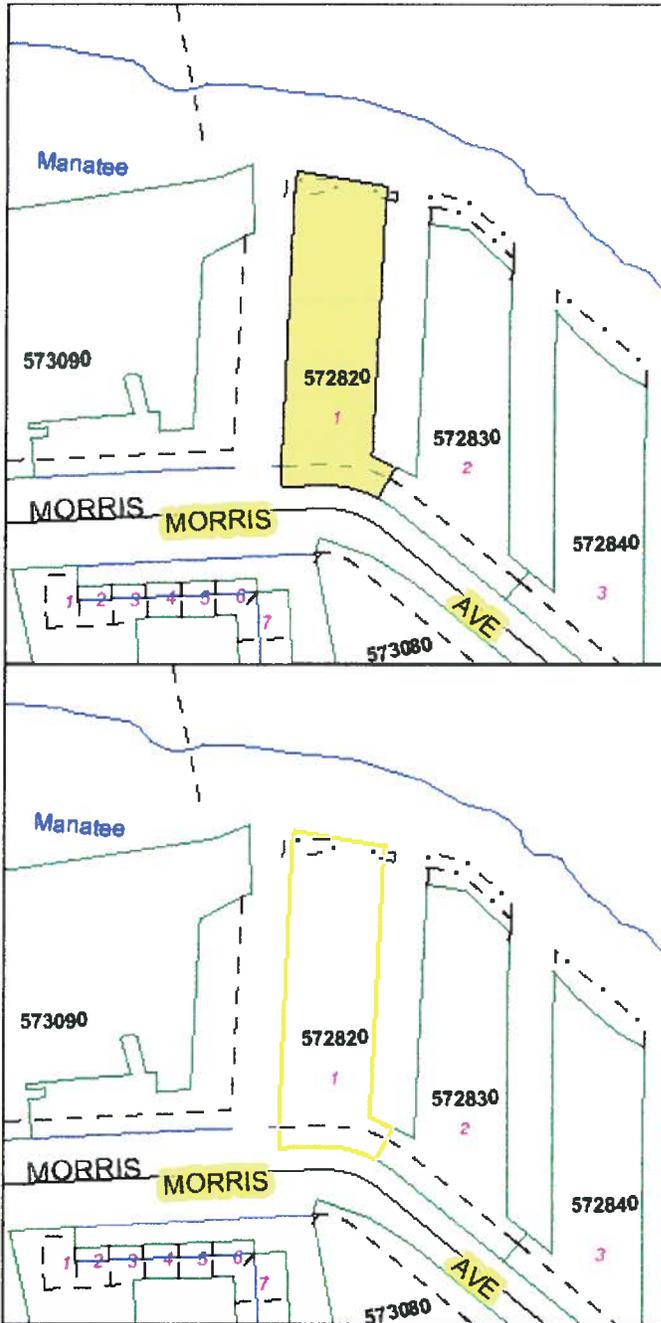
Ownership Details

Mailing Address:
PIRATE HAT MARINA LLC
199 MORRIS LN
KEY LARGO, FL 33037

Property Details

PC Code: 20 - AIRPORTS, MARINAS, BUS TERM
Millage Group: 500K
Affordable Housing: No
Section-Township-Range: 04-60-39
Property Location: 199 MORRIS AVE KEY LARGO
Subdivision: MONROE PARK
Legal Description: MONROE PARK PB3-140 CROSS KEY LOT 1 & PT MORRIS AVE (II LEASE #40003565) OR1133-1943/48 OR1343-2444/51 OR531-464 OR897-1704Q/C OR934-2383C/Q/C OR1768-1995/2028(RES NO 025-2002) OR1867-755/758(RES NO 587-2002) OR2217-1299 OR2217-1300Q/C OR2284-514/523(LEASE)

Parcel Map



Land Details

Land Use Code	Frontage	Depth	Land Area
100C - COMMERCIAL CANAL	0	0	0.83 AC

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1

Total Living Area: 224
Year Built: 1985

Building 1 Details

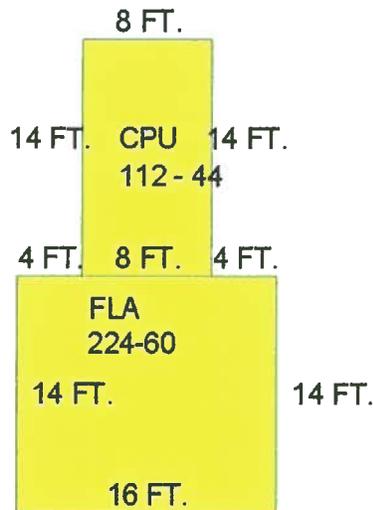
Building Type	Condition A	Quality Grade 250
Effective Age 24	Perimeter 60	Depreciation % 30
Year Built 1985	Special Arch 0	Grnd Floor Area 224
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 22	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	CPU		1	1995					112
1	FLA		1	1995					224

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	14715	CAMP BLDG	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
5093	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	PT3:PATIO	260 SF	0	0	2003	2007	2	50
0	WD2:WOOD DECK	25 SF	5	5	2003	2007	1	40
0	DK2:CON DKS/CONPIL	3,915 SF	0	0	2000	2007	3	60

Appraiser Notes

PIRATES HAT MARINA 18 BOAT SLIPS 3 RV UNITS
PIRATES HAT MARINA 20 BOAT SLIPS 1 RV UNIT, 7 DRY LOT SLIPS.

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	28,694	114,451	518,750	768,273	768,273	0	768,273
2009	30,333	117,145	622,500	1,406,854	1,406,854	0	1,406,854
2008	30,333	118,514	778,125	1,758,567	1,758,567	0	1,758,567
2007	25,223	121,206	778,125	1,758,567	1,758,567	0	1,758,567
2006	17,920	40,929	186,750	245,599	245,599	0	245,599
2005	17,920	42,352	186,750	247,022	247,022	0	247,022
2004	17,917	43,775	186,750	248,442	248,442	0	248,442
2003	17,917	44,524	171,000	233,441	233,441	0	233,441
2002	20,476	45,947	165,525	231,948	231,948	0	231,948
2001	20,476	47,371	132,240	200,087	200,087	0	200,087
2000	20,476	31,492	132,240	184,208	184,208	0	184,208
1999	20,476	32,425	132,240	185,141	185,141	0	185,141
1998	14,966	33,358	132,240	180,564	180,564	0	180,564
1997	14,966	33,850	132,240	181,056	181,056	0	181,056
1996	13,605	34,783	132,240	180,628	180,628	0	180,628
1995	0	19,392	132,240	151,632	151,632	0	151,632
1994	0	19,682	132,240	151,922	151,922	0	151,922
1993	0	20,183	132,240	152,423	152,423	0	152,423

1992	0	20,684	132,240	152,924	152,924	0	152,924
1991	0	20,974	132,240	153,214	153,214	0	153,214
1990	0	21,475	132,240	153,715	153,715	0	153,715
1989	0	21,975	132,240	154,215	154,215	0	154,215
1988	0	17,307	132,240	149,547	149,547	0	149,547
1987	0	17,696	132,240	149,936	149,936	0	149,936
1986	0	18,085	132,240	150,325	150,325	0	150,325
1985	0	15,020	132,240	147,260	147,260	0	147,260
1984	0	15,343	132,240	147,583	147,583	0	147,583
1983	0	15,666	74,861	90,527	90,527	0	90,527
1982	0	15,827	74,861	90,688	90,688	0	90,688

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
6/16/2006	2217 / 1299	2,090,000	WD	Q
2/1/1973	531 / 464	5,000	00	Q

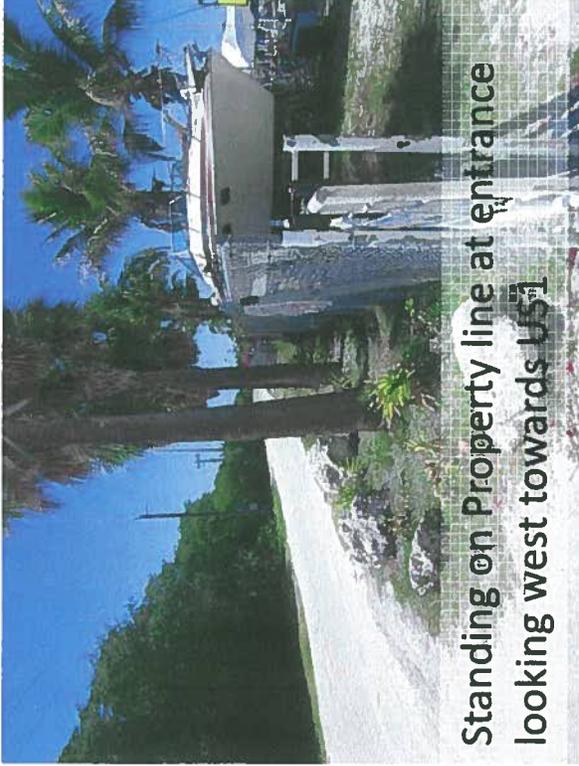
This page has been visited 20,988 times.

Monroe County Property Appraiser
 Ervin A. Higgs, CFA
 P.O. Box 1176
 Key West, FL 33041-1176

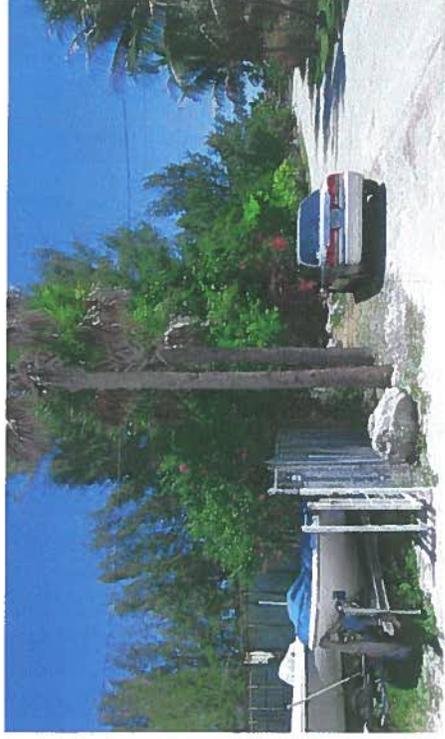
TAB 5

TAB 6

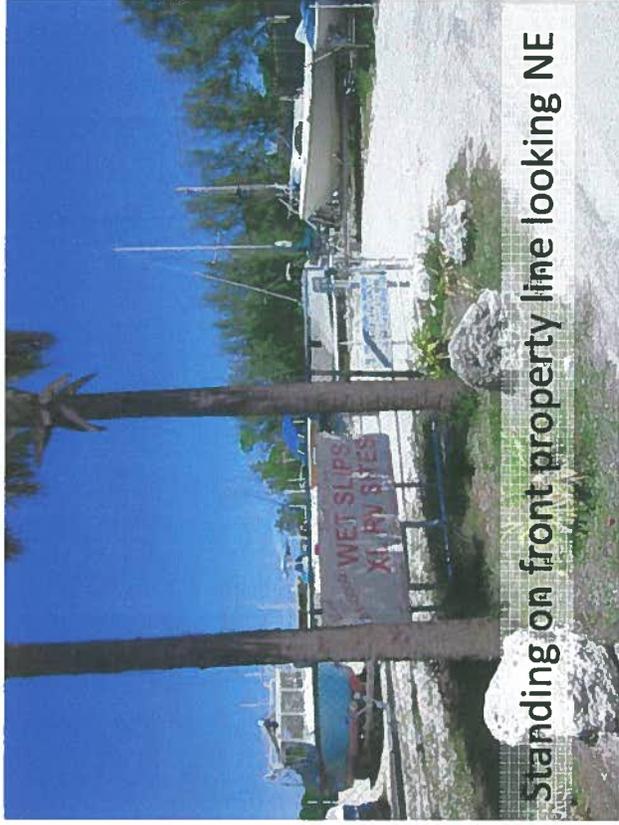
Pirate Hat Marina



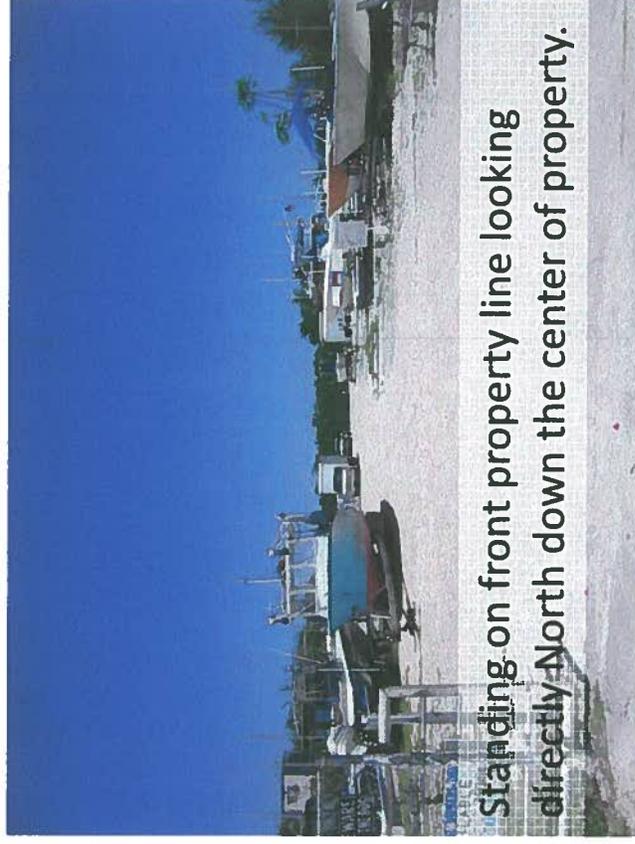
Standing on Property line at entrance looking west towards US1



Standing at entrance of property looking east

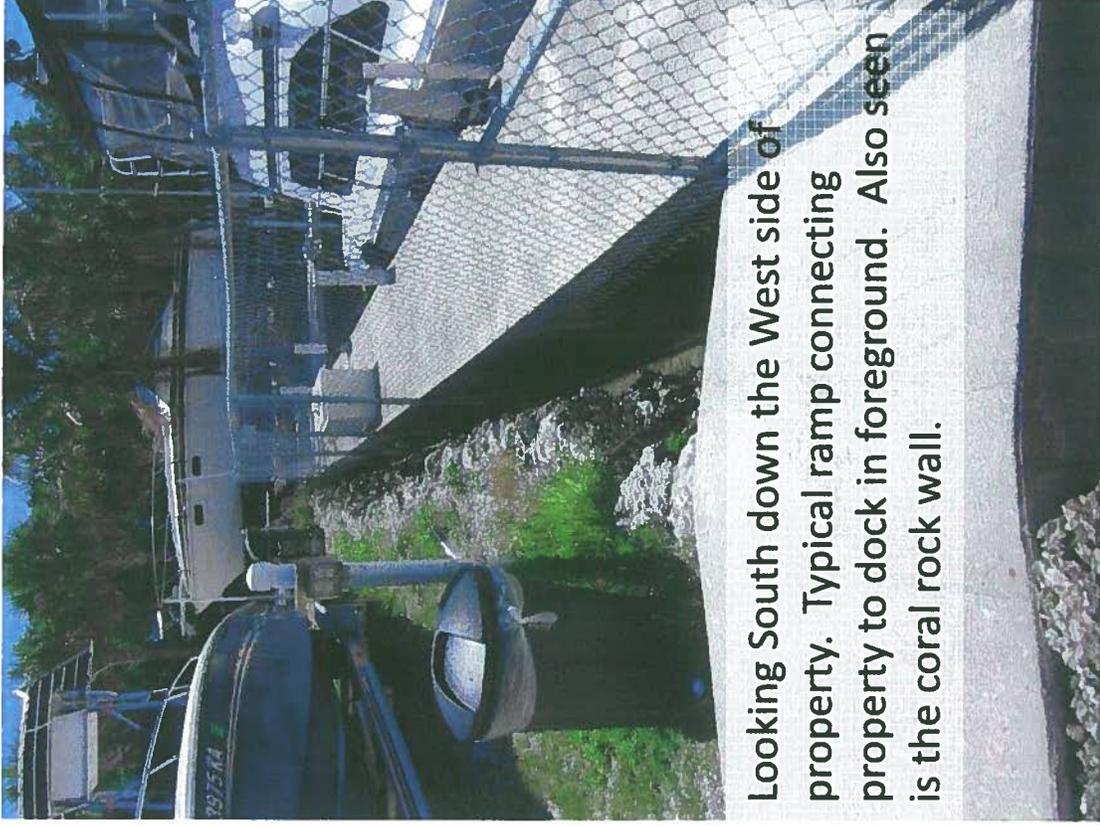


Standing on front property line looking NE

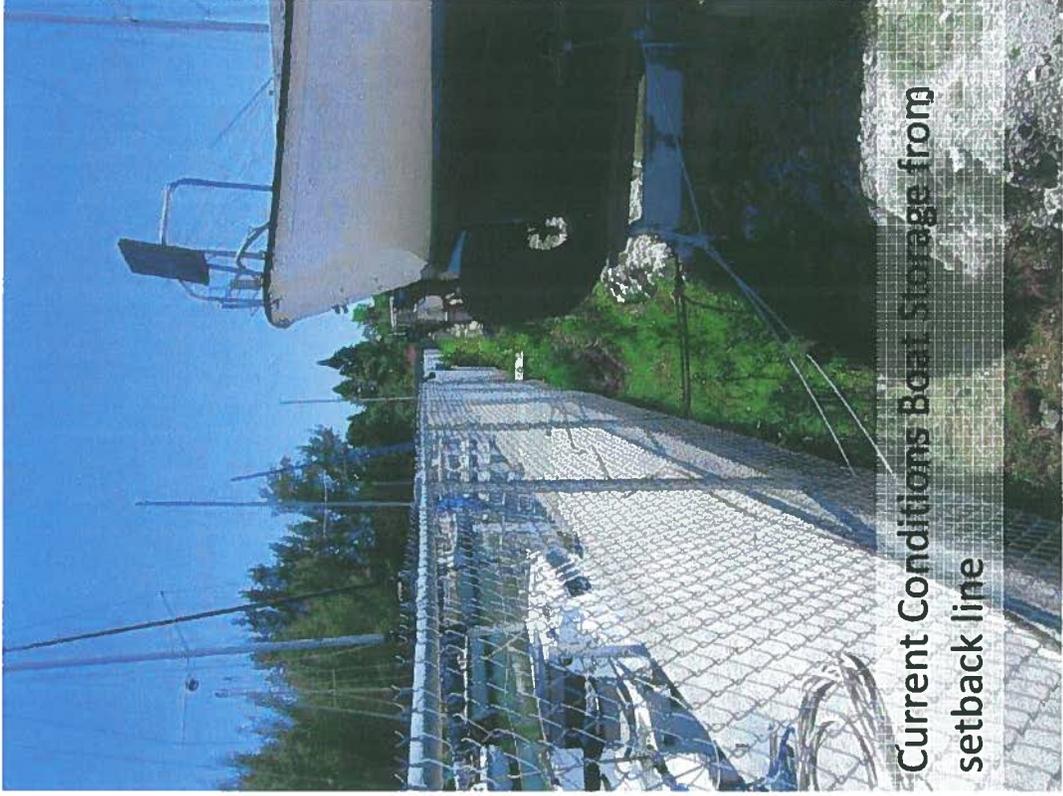


Standing on front property line looking directly North down the center of property.

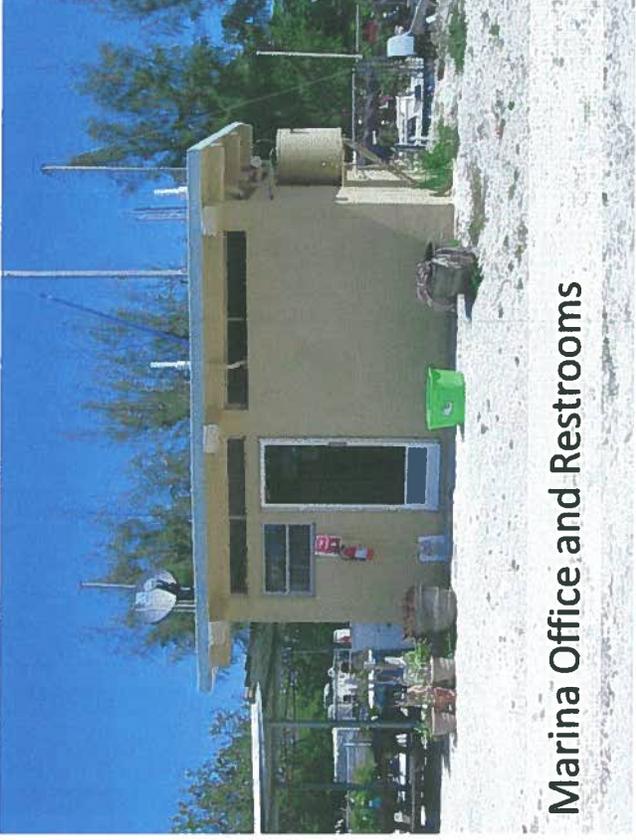
Pirate Hat Marina



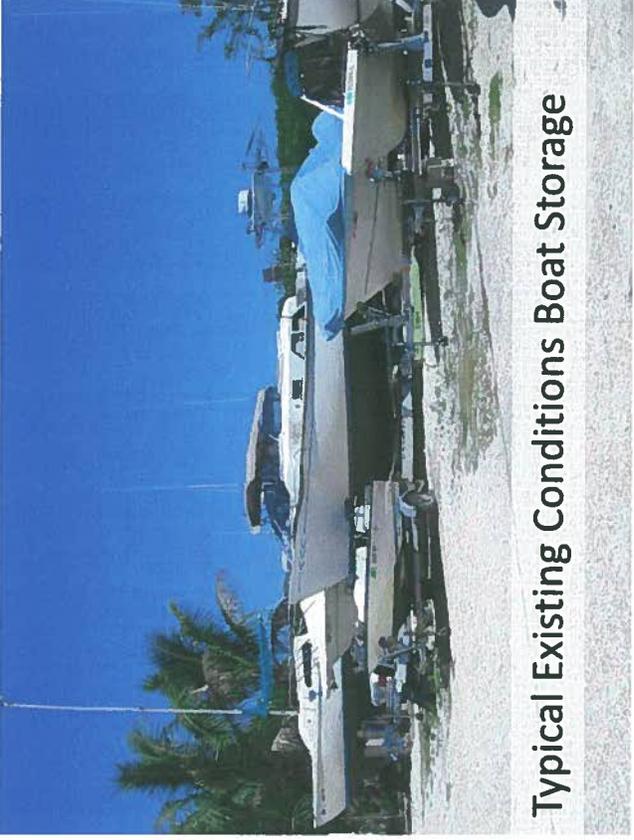
Pirate Hat Marina



Current Conditions Boat Storage from setback line



Marina Office and Restrooms



Typical Existing Conditions Boat Storage

TAB 7

Buffer Map Pirate

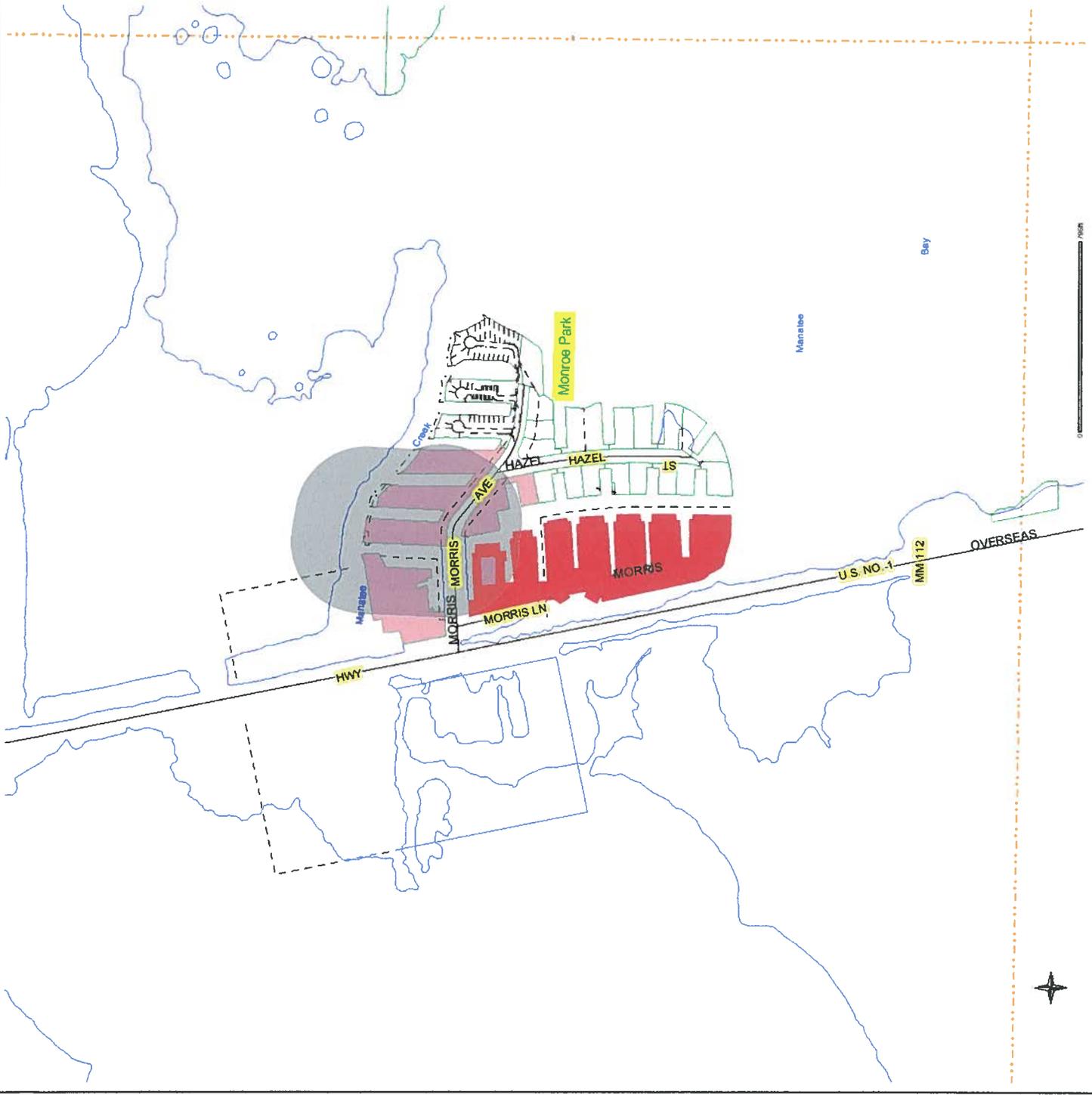
- Legend**
- theBuffer
 - theBufferTarget
 - Hooks/Leads
 - Lot Lines
 - Easements
 - Road Centerlines
 - Water Names
 - Parcels
 - Shoreline
 - Section Lines

PALMIS

Monroe County Property Appraiser
500 Whitehead Street
Key West, FL

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for *ad valorem tax purposes* only and should not be relied on for any other purpose.

Date Created: December 17, 2010 10:40 AM



BALTINGLAS INC
PO BOX 498
OXFORD, FL 34484-0498

BECKMAN RICHARD L AND DIANE
300 MORRIS AVE
KEY LARGO, FL 33037-3117

BULLER MARC D AND CATHERINE PEAK
1960 SW 32ND PL
MIAMI, FL 33145

CHAPMAN FRED AND JULIE
2 BARRISTER DR
WESTFORD, MA 1886

CHO DANA K
6720 NORTH AUGUSTA DR
HIALEAH, FL 33015

COX GARY LEE REVOCABLE TRUST
889 ANNS CT
ASHEBORO, NC 27205-7729

CROSS KEY MARINA LLC
PO BOX 120277
FORT LAUDERDALE, FL 33312

CULTRA PAUL Q AND JUDITH C
832 E COUNTY RD 40
ONARGA, IL 60955

DAVIE ET BEDFORD JR TR
PO BOX 656
WHITESTONE, VA 22578

DODD DAVID S JR
1115 RICARDO AVE
LADY LAKE, FL 32159

ESPINOSA FAMILY REV TRUST
2332 FIDDLERS LN
ATLANTIC BEACH, FL 32233

ESPINOSA RICHARD AND TINA
13822 PORT HARBOR CT
JACKSONVILLE, FL 32224-6878

FARRETTA DENNIS P AND JODI L
1501 SE 15TH ST
UNIT 1-1
FORT LAUDERDALE, FL 33316

FIGUEREDO ROLANDO
13442 SW 136TH ST
MIAMI, FL 33186

GENERALES MARK AND DEBRA
7 SALT MARSH COVE
BEAUFORT, SC 29907

GLADNEY RICHARD S & ARON L
11531 NW 68TH TER
DORAL, FL 33178

GROZIER ALICIA
1516 PINE LN
DELRAY BEACH, FL 33444

HATTEN JANET ARMSTRONG
107 W HIGH ST
ELDON, MO 65026

HAZARD ANTHONY AND MARIA
CRESPO-HAZARD
3029 N ROOSEVELT BLVD APT 9
KEY WEST, FL 33040-4089

HIRSHSON KARL A AND GIULIANA
1729 SW 5 ST
FORT LAUDERDALE, FL 33312

JACOBS JAMES AND MARTA
1599 PASSION VINE CIR
WESTON, FL 33326

KENNETT GUY AND JANETTE
595 COCONUT CIR
WESTON, FL 33326-3322

KEYS SEASIDE PROPERTIES LLC
7024 CHARLESTON SHORES BLVD
LAKE WORTH, FL 33467

KILLIMORA INC
PO BOX 498
OXFORD, FL 34484

KRH TRUST
P O BOX 20287
ST PETERSBURG, FL 33742

LEWINGER RICARDO
5300 W HILLSBORO BLVD
UNIT 104
COCONUT CREEK, FL 33073

MALLIARYS DEMETRIOS AND SUSAN
COMER (H/W)
3569 PERIWINKLE WAY
NAPLES, FL 34114

MEARS CARM & PATRICIA
145 GRISSOM RD
MANCHESTER, CT 6040

MILLER EDWARD C AND MARGARET A
1332 WASHINGTON ST
HOLLYWOOD, FL 33019

MONTEAVARO MARIA A REV TR DTD
12/22/05
5720 SW 89 AVE
MIAMI, FL 33173

MORI JOSE L AND LUZ M H/W
20207 SW 54 PL
PEMBROKE PINES, FL 33332

MUELLER DAVID P
1607 G ST SE
WASHINGTON, DC 20003-3132

NANNINI STEPHEN F
167 VALOIS BLVD
KEY LARGO, FL 33037

PEIRO VICTOR
8514 SW 144 CT
MIAMI, FL 33183

PELICAN CAY HARBOR LLC
299 MORRIS AVE
KEY LARGO, FL 33037

PIRATE HAT MARINA LLC
199 MORRIS LN
KEY LARGO, FL 33037

POGORELIS YAKOV
8770 SW 57TH ST
FT LAUDERDALE, FL 33328

RICHARDSON WILLIAM L JR AND LINDA
SUE H/W
6094 FULTON RD
NEW BERLIN, IL 62670

RILEY MARINE FLORIDA LLC
PO BOX 86
BOOTHBAY HARBOR, ME 04538-0086

ROBERTSON PAUL
6505 NW 164TH ST
ALACHUA, FL 32615

SEAPORT DEVELOPMENT LLC
99611 OVERSEAS HWY
UNIT 250
KEY LARGO, FL 33037

UCB SOLUTIONS LLC
1150 S MIAMI AVE
MIAMI, FL 33130-4111

UPDYKE CARL AND MERCEDES
2634 HWY 98 EAST
CARRABELLE, FL 32322

VICKY ROBERTA LLC
18080 MONTELAGO CT
FT MYERS, FL 33913

VILABOY JOSE ARMANDO
10740 SW 88TH ST
UNIT L21
MIAMI, FL 33176

WALKER STEPHEN ALLEN AND KAREN A
P O BOX 56
JULIA, NC 27283

WEICK MATTHEW A AND KIMBERLY J
4083 E SILVERADO CIR
HOLLYWOOD, FL 33024-8381

WESTPHAL DAVID DEC TRUST 11/2/2007
C/O WESTPHAL DAVID TRUSTEE
99 MORRIS LANE
KEY LARGO, FL 33037

WEXLER STEVEN AND PATRICIA L
11232 NW 44TH ST
CORAL SPRINGS, FL 33065

WIDE MARCUS A
C/O GROSSMAN GREGORY S ESQ
701 BRICKELL AVE
STE 1650
MIAMI, FL 33131

WILLIAMS EDWARD AND DEBRA
WARNER H/W
2161 BIRCH POINT RD
TOWER, MN 55790

WITT ROBERT L AND KIMBERLYN O H/W
520 S OAK AVE
SANFORD, FL 32771

TAB 8

March 9, 2011
(Date)

I hereby authorize Joel C. Reed be listed as authorized agent
(Name of Agent)

for Bud Cornell, MGMR for the purpose of conducting all business necessary to
(Name of Owner(s) / Applicant)

process and obtain approval in regard to Pirate Hat Marina LLC for Planning and Permitting Applications
(Project Name) (Application Type)

for Real Estate No(s): 00572820-000000 from
the Planning Department as well as other Local State and Federal permitting agencies

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated.

The undersigned understands the liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named, related to the acquisition of permits for the aforementioned applicant.

Note: Authorization is needed from each owner of the subject property. Therefore, one or more authorization forms must be submitted with the application if there are multiple owners.

[Handwritten Signature]
Owner(s) / Applicant Signature

Bud Cornell
Printed Name of Owner(s) / Applicant

NOTARY:
STATE OF Florida
COUNTY OF Monroe

The foregoing instrument was acknowledged before me this 23 day of June, 2011.

_____ is personally known _____ produced identification

(_____ Type of Identification), did / did not take an oath.

[Handwritten Signature]
Notary



TAB 9

PARKING VARIANCE

With regards to parking please find the enclosed affidavits including Mr. Bud Cornell as to the actual demand of parking required at Marinas that have both wet and dry slip boat storage. The parking as required in the code is substantially higher then what is experienced by operators on a daily basis. Using shared parking and classifying the boat storage area as an industrial use lowers the required spaces from 36 to 33 but is still not in line with actual demand. Please see the attached affidavits.

Section 114- 159 to 163 - Required Off Street Parking				
Proposed Uses	SF or Units	Requirement	Multiplier	TOTAL
Marina Slips	16	1 / Unit	1	16.00
Boat Ramp	1	5/Unit	5	5.00
Dry Storage	60	.25/Unit sf	0.25	15.00
Total Spaces Required				36.00
Spaces Provided				26.00

Shared Parking Requirement

	<i>Nighttime</i>	<i>Weekday</i>	<i>Weekday 6pm- 12am</i>	<i>Weekend 9am-4pm</i>	<i>Weekend 6pm- 12am</i>
Use:	12-6 am	9am-4pm			
Marina:	Min Spaces-	21			
Multiplier:	0.05	0.7	0.1	1	0.2
	1.05	14.7	2.1	21	4.2
Residential	Min Spaces-	6			
Multiplier:	1	0.6	0.9	0.8	0.9
	6	3.6	5.4	4.8	5.4
Office/Industrial	Min Spaces-	15			
Multiplier:	0.05	1	0.1	0.1	0.05
	0.75	15	1.5	1.5	0.75
Totals:	7.8	33.3	9	27.3	10.35

PARKING DEMAND AFFIDAVIT

I _____ am the owner, operator, general manager or other _____
(circle one, if other please fill in) as it relates to _____ (facility
name). This facility contains approximately _____ (amount) dry rack spaces and
approximately _____ (amount) wet slips. In addition we have approximately
_____ (Number) parking spaces on the property. Based on my knowledge of the facility the
parking for the facility is adequate/inadequate (please circle one). All parking spaces are
contained onsite/offsite/or a combination (Select one if a combination please estimate how
many onsite: _____ how many offsite: _____) The busiest days of the week is/are
_____ and the busiest time(s) of the day is/are
_____.

Owner(s) / Applicant Signature

Printed Name of Owner(s) / Applicant

**NOTARY:
STATE OF FLORIDA
COUNTY OF MONROE**

The foregoing instrument was acknowledged before me this _____ day of _____,

20____. _____ is ___ personally known ___ produced

identification (_____ Type of Identification), did / did not take
an oath.

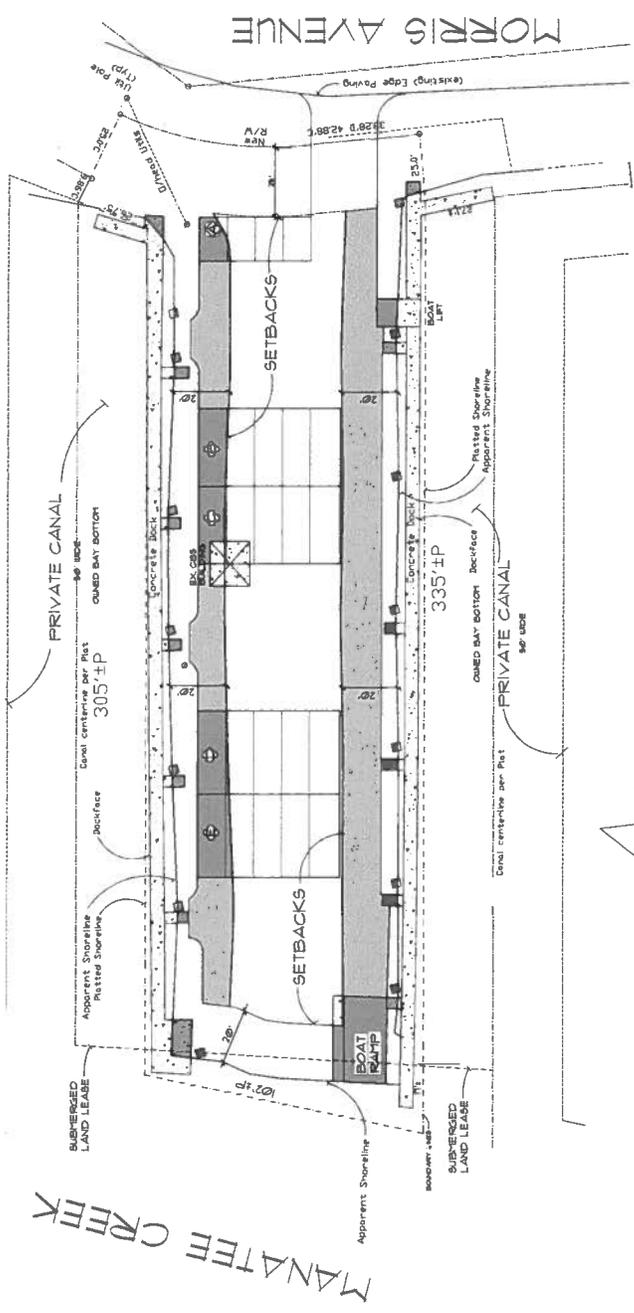
Notary

ATTACHMENT 1

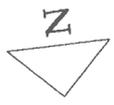
DATE:	
SCALE:	AS NOTED
REVISIONS:	

PIRATE HAT MARINA

2.0

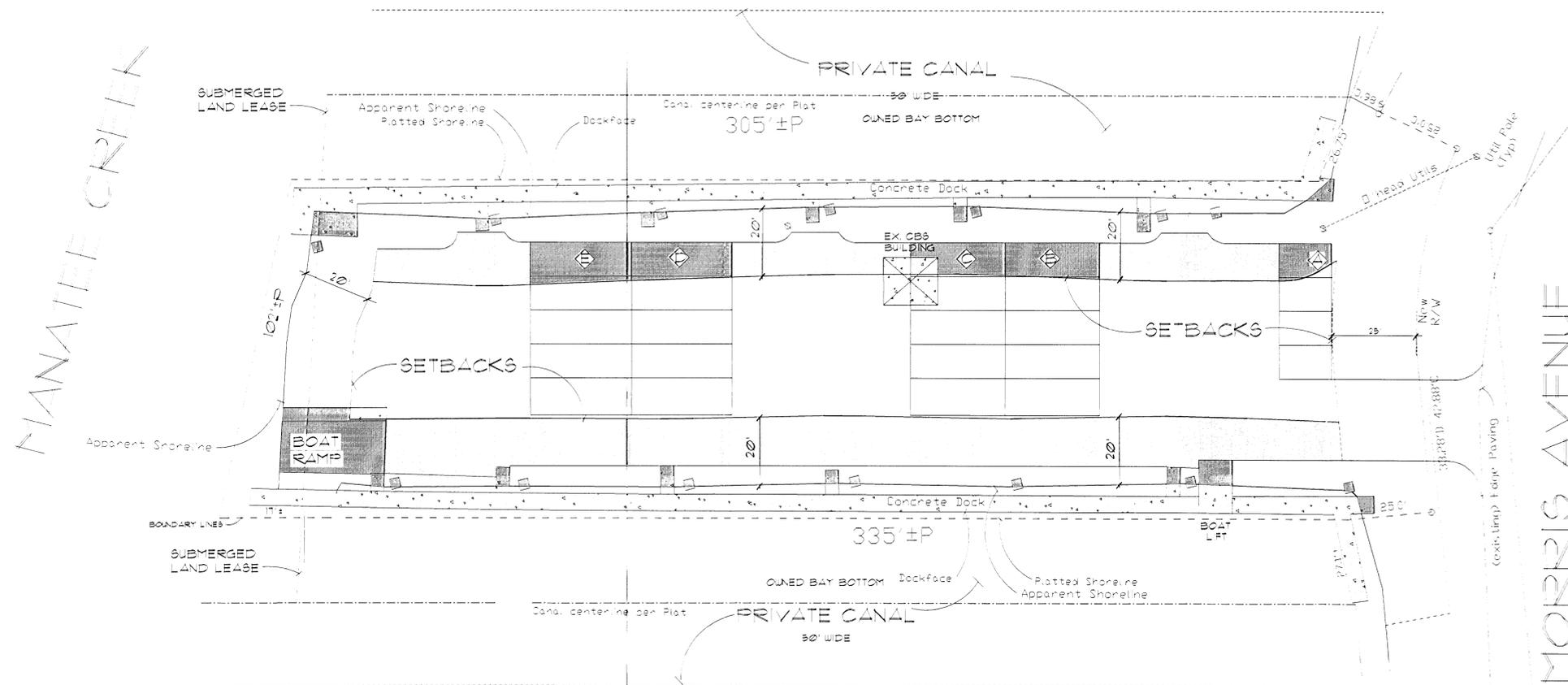


VARIANCE SITE PLAN SCALE: 1" = 20'



- AREA WITHIN SETBACKS
- ▬ GRAVEL DRIVE & PARKING 5,181 SQ.FT.
 - ▬ STRUCTURES 2,485 SQ.FT.
 - (IMPERVIOUS & SEMI-IMPERVIOUS)

MANATEE CREEK



VARIANCE SITE PLAN SCALE: 1" = 20'

AREA WITHIN SETBACKS

□	GRAVEL DRIVE & PARKING	5,781 SQ.FT.
■	STRUCTURES (IMPERVIOUS & SEMI-IMPERVIOUS)	2,485 SQ.FT.

Keys Engineering Services
 Daryle L. Osborn, P.E.
 No. 27428
 86801 Overseas Highway
 Islamorada, Florida 33036
 (305) 852-0262

DATE: 25JUL11
 SCALE: AS NOTED
 DRAWN BY: TJB
 REVISIONS

PIRATE HAT MARINA

SHEET
 2.0

AUG - 8 2011
 2011-095



MEMORANDUM

MONROE COUNTY PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

We strive to be caring, professional and fair

To: The Monroe County Planning Commission
Through: Townsley Schwab, Sr. Director of Planning & Environmental Resources
From: Reynaldo Ortiz, Assoc. AIA, AICP, Planner 
Michael Roberts, CEP, PWS, Senior Administrator of Environmental Resources
Date: December 14, 2011
Subject: *Request for an Amendment to a Major Conditional Use Permit for Pirate Hat Marina, located at 199 Morris Lane, Cross Key, Real Estate #00572820.000000 (File #2011-096)*

Meeting: December 21, 2011

1
2 I REQUEST:
3

4 The applicant is requesting approval to amendment to a deemed existing major conditional
5 use permit in order to redevelop the existing marina by installing boat racks (dry slips) to
6 accommodate up to 74 vessels in total, modifying the existing off-street parking areas,
7 installing new landscaping and carrying out other associated site improvements. In addition,
8 as part of the amendment, the applicant is requesting special approval to allow water-
9 dependent marina uses within the shoreline setback.



1 Location:

2 Address: 199 Morris Lane, Cross Key, Mile Marker 112 (Atlantic Ocean side of US 1)

3 Legal Description: Lot 1, Monroe Park Subdivision (PB3-140)

4 Real Estate (RE) Number: 00572820.000000 (Note: Staff inadvertently advertised RE
5 Number 00152810.000000 which is unrelated to the application)

6
7
8
9 Applicant:

10 Owner: Pirate Hat Marina, LLC

11 Agent: Joel Reed

12
13
14
15
16 II RELEVANT PRIOR COUNTY ACTIONS:

17
18 The site is currently being utilized as marina, storage, and for retail sales. Building Permit
19 #C-8717 was issued in 1980 for the construction of the existing dock. In addition a 380 SF
20 bathhouse was permitted per Building Permit #C-15519. Staff was unable to locate any other
21 permits for non-residential floor area.

22
23 The property was being used as a marina, prior to the adoption of the current land
24 development regulations in 1986. Therefore, the site is deemed to have a major conditional
25 use permit. Any modifications to the site plan at minimum shall require an approval.

26
27 The application was reviewed by the Development Review Committee on September 27,
28 2011.

29
30 III BACKGROUND INFORMATION:

31
32 A. Size of Site: 35,415 SF (0.81 acres)

33 B. Land Use District: Suburban Commercial (SC)

34 C. Future Land Use Map (FLUM) Designation: Mixed Use/Commercial (MC)

35 D. Tier Designation: Tier 3

36 E. Flood Zone: AE – EL 12

37 F. Existing Use: Marina

38 G. Existing Vegetation / Habitat: Scarified

39 H. Community Character of Immediate Vicinity: Marina and Residential

40
41 IV REVIEW OF APPLICATION:

42
43 MCC §110-67 provides the standards which are applicable to all conditional uses. When
44 considering applications for a major conditional use permit, staff and the Planning
45 Commission shall consider the extent to which:

46
47 A. *The conditional use is consistent with the purposes, goals, objectives and standards of the*
48 *comprehensive plan and the land development regulations:*

1 The proposed redevelopment is consistent with the purposes, goals, objectives and
2 standards of the MC future land use category.

3
4 Policies from the Monroe County Year 2010 Comprehensive Plan that directly pertain to
5 the proposed redevelopment include:
6

7 Policy 101.4.5: The principal purpose of the MC land use category is to provide
8 for the establishment of commercial zoning districts where various types of
9 commercial retail and office may be permitted at intensities which are consistent
10 with the community character and the natural environment. Employee housing
11 and commercial apartments are also permitted. This land use category is also
12 intended to allow for the establishment of mixed use development patterns, where
13 appropriate. Various types of residential and non-residential uses may be
14 permitted; however, heavy industrial uses and similarly incompatible uses shall be
15 prohibited. In order to protect environmentally sensitive lands, the following
16 development controls shall apply to all hammocks, pinelands, and disturbed
17 wetlands within this land use category: 1) only low intensity commercial uses
18 shall be allowed; 2) a maximum floor area ratio of 0.10 shall apply; and 3)
19 maximum net residential density shall be zero.
20

21 Policy 101.5.3: In order to encourage a compact form of non-residential growth,
22 the Permit Allocation System shall limit and direct new non-residential
23 development primarily to areas designated as Tier III under Goal 105 not located
24 within a designated Special Protection Area and provide incentives for
25 redevelopment of existing developed and vacant infill sites.
26

27 Policy 202.5.2: By January 4, 1997, Monroe County shall adopt revisions to the
28 Land development Regulations requiring existing marinas making application for
29 site improvements to provide a plan for retrofitting existing facilities to include an
30 on-site pump-out station and sewage treatment. This requirement shall apply to all
31 marinas having ten (10) or more slips (wet or dry), or at which a live-aboard
32 vessel is docked. Implementation of this plan shall be a condition of permit
33 issuance for site improvements at existing marinas. The plan shall be fully
34 implemented within one year of permit issuance.
35

36 *B. The conditional use is consistent with the community character of the immediate vicinity:*
37

38 An approved marina and other complimentary uses, including a boat ramp, and boat slips,
39 have existed on the property since as early as 1986. Additional marina related
40 development previously existed on the property. Regarding all of the uses on-site and on
41 neighboring properties, the continuation of a mixed-use marina would be compatible with
42 neighboring properties, an area which is composed of a mixture of marina, commercial
43 retail, and residential uses. Therefore, the proposed development would be consistent
44 with the community character of the immediate vicinity.
45

1 C. *The design of the proposed development minimizes adverse effects, including visual*
2 *impacts, on adjacent properties:*
3

4 As part of the redevelopment, it shall be required that additional trees and landscaping
5 elements be introduced to the site. Therefore, the proposed redevelopment minimizes
6 adverse effects, including visual impacts, on adjacent properties.
7

8 D. *The proposed use will have an adverse impact on the value of surrounding properties:*
9

10 Staff has no evidence to support or disprove that the proposed redevelopment will have
11 an adverse impact on the value of the surrounding properties.
12

13 E. *The adequacy of public facilities and services:*
14

15 1. Roads:
16

17 *Localized Impacts & Access Management:* Access to and from the development shall
18 be approved by the county's traffic consultant and the Florida Department of
19 Transportation (FDOT) (See section I-22).
20

21 *Level of Service (LOS):* A traffic evaluation study shall be approved by the county's
22 traffic consultant (See section I-22).
23

24 2. Stormwater: The site plan submitted indicates that the proposed improvements
25 include coming into compliance with the County's stormwater requirements.
26

27 3. Sewer: The applicant shall coordinate with the Florida Department of Health, Florida
28 Department of Environmental Protection (FDEP) and/or Florida Aqueduct Authority
29 (FKAA) to determine compliance with all applicable regulations (See section I-10).
30

31 4. Emergency Management: The applicant shall coordinate with the Office of the Fire
32 Marshal to determine compliance with the Florida Fire Prevention Code. A letter of
33 coordination has not been provided as of the date of this report.
34

35 F. *The applicant has the financial and technical capacity to complete the development as*
36 *proposed:*
37

38 Staff has no evidence to support or disprove the applicant's financial and technical
39 capacity.
40

41 G. *The development will adversely affect a known archaeological, historical or cultural*
42 *resource:*
43

44 The proposed redevelopment will not adversely affect a known archaeological, historical
45 or cultural resource.
46

1 H. *Public access to public beaches and other waterfront areas is preserved as part of the*
2 *proposed development:*
3

4 Public access means the ability of the public to physically reach, enter or use beaches and
5 shores. The property has access to canals and waterways via a private boat ramp. In
6 addition, the site has dockage; however, the property and the docks are and shall remain
7 under private ownership. The public will continue to have limited access to the
8 waterfront area as customers of the marina, commercial retail and other water-related
9 business. Therefore, the proposed development will not have an adverse impact on
10 public access to a waterfront area.
11

12 I. *The project complies with all additional standards imposed on it by the Land*
13 *Development Regulations:*
14

- 15 1. Residential Rate of Growth Ordinance (ROGO) (§138-19 – §138-28): *Not applicable.*
16

17 There are no existing or proposed residential dwelling units.
18

- 19 2. Non-Residential Rate of Growth Ordinance (NROGO) (§138-47 – §138-56): *In*
20 *compliance.*
21

22 The NROGO shall not apply to the redevelopment, rehabilitation or replacement of
23 any lawfully-established non-residential floor area which does not increase the
24 amount of non-residential floor area greater than that which existed on the site prior to the
25 redevelopment, rehabilitation or replacement.
26

27 Staff has determined that 380 SF of non-residential floor area was lawfully-
28 established and therefore exempt from the NROGO permit allocation system. No
29 expansion or reduction in the existing amount of non-residential floor area is
30 proposed as part of this application.
31

- 32 3. Purpose of the SC District (§130-43): *In compliance.*
33

34 The purpose is to establish areas for commercial uses designed and intended primarily
35 to serve the needs of the immediate planning area in which they are located.
36

- 37 4. Permitted Uses (§130-93): *In compliance following the receipt of required major*
38 *conditional use permit.*
39

40 In the SC district, marinas may only be permitted with a major conditional use permit
41 and provided that a) the parcel proposed for development has access to water at least
42 four feet below mean sea level at mean low tide; b) the sale of goods and services is
43 limited to fuel, food, boating, diving and sport fishing products; c) all outside storage
44 areas are screened from adjacent uses by a fence, wall or hedge of at least six feet in
45 height; d) any commercial fishing activities are limited to the landing of catch,
46 mooring and docking of boats and storage of traps and other fishing equipment; and

1 e) each non waterside perimeter setback of the parcel proposed for development must
2 have a class C buffer-yard within a minimum side yard setback of 10'.
3

4 5. Residential Density and Maximum Floor Area Ratio (§130-157, §130-162 & §130-
5 164): *In compliance.*
6

7 6. Required Open Space (§118-9, §118-12, §130-157, §130-162 & §130-164): *In*
8 *compliance.*
9

10 In the SC district, there is a required open space ratio of 0.20 or 20%. The site plan
11 indicates that there 28,408 SF of total upland area. Therefore, at least 5,681 SF of the
12 total land area must remain open space. According to the stormwater management
13 plan, the site will provide 9,888 SF of pervious area and 12,778 SF of gravel area.
14 Although some of this area will be utilized by parking, the 20% minimum
15 requirement of open will be met.
16

17 7. Minimum Yards (§118-12 & §130-186): *Compliance to be determined.*
18

19 The required non-shoreline setbacks are as follows: Front yard – 25'; Rear yard – 10';
20 and Side yard – 10'/15' (where 10' is required for one side and 15' is the minimum
21 combined total of both sides).
22

23 There is a 25' front yard setback along Morris Lane. All development will meet this
24 setback requirement. There are no other non-shoreline setbacks as the rest of the site
25 is surrounded by water.
26

27 There is shoreline setback requirement of 20' for principal structures along the
28 shorelines. Certain accessory structures may be located in the shoreline setback.
29

30 On the site plan, part of the proposed boat racks and trailer storage racks are located
31 within the 20' shoreline setback along the eastern property line.
32

33 On the site plan, part of the proposed parking lot is located within the 20' shoreline
34 setback along the eastern property line. The parking spaces beneath the proposed
35 boat racks and trailer storage are at least 10' into the shoreline setback (spaces 1,5,13,
36 and 18).
37

38 On the site plan, the part of the exiting bathhouse building is located within the 20'
39 shoreline setback. Staff has determined that this building was lawfully-established
40 and legally nonconforming to the current shoreline setback regulations. It may
41 remain in its current nonconforming footprint as long as the nonconformity is not
42 expanded or the building substantially improved. The applicant provided no
43 information indicating whether or not the proposed improvements would constitute
44 substantial improvement.
45

1 Note: The applicant had requested variances for a reduction to the required amount
2 of off-street parking spaces and for a reduction to the required minimum widths of the
3 required shoreline setbacks. Pursuant to MCC §102-187, the planning commission is
4 not authorized to grant variances for shoreline setbacks. Variances may only be
5 granted to reduce non-shoreline setbacks. However, pursuant to MCC §118-12
6 (o)(1), for structures serving commercial uses, the planning commission may approve
7 a special approval to a shoreline set back as part of a special approval of a conditional
8 use permit. The amendment to the major conditional use was amended to include a
9 special approval to the shoreline setbacks as shown on the submitted site plan. Since
10 the special approval and the amendment to a major conditional uses may be processed
11 under the same application, a new application was not required.

12
13 In accordance with MCC §118-12(o), for structures serving commercial uses, the
14 Director of Planning & Environmental Resources or the Planning Commission may
15 approve deviations from the requirements as part of a minor or major conditional use
16 permit. Such approval may include additional structures or uses, provided that such
17 approval is consistent with any permitted uses, densities, and intensities of the land
18 use district, furthers the purposes of this section, is consistent with the general
19 standards applicable to all uses, and the proposed structures are located in a disturbed
20 area of an altered shoreline. Such additional uses are limited to waterfront dining
21 areas, pedestrian walkways, public monuments or statues, informational kiosks, fuel
22 or septic facilities, and water-dependent marina uses. Any such development shall
23 make adequate provision for a water quality monitoring program for a period of five
24 years after the completion of the development.

- 25
26 8. Maximum Height (§130-187): *Full compliance to be determined upon submittal to*
27 *Building Department.*

28
29 No structure or building shall be development that exceeds a maximum height of 35'.
30 No building additions are being proposed to the existing buildings.

31
32 As shown on elevations, the new boat racks are approximately 30' in height.
33 However, this does not include the height of boats stored on the top tier. The
34 elevations indicate that typical boats located on the top rack would result in the
35 overall height of being 35'.

- 36
37 9. Surface Water Management Criteria (§114-3): *Full compliance to be determined*
38 *upon submittal to Building Department.*

39
40 The site plans received November 9, 2011 indicate that the proposed stormwater
41 management facilities provide a total retention volume of 6,267.5 cubic feet, which
42 exceeds the required volume of 5,965 cubic feet.

- 43
44 10. Wastewater Treatment Criteria (§114-5): *Compliance to be determined by Florida*
45 *Department of Health, FDEP and/or FCAA prior to the issuance of a building permit.*
46

1 The Florida Department of Health has provided a letter of coordination, dated June
2 24, 2011 indicating a complete plan review is required to determine compliance with
3 the Florida Administrative Code and Florida Statutes.
4

- 5 11. Fencing (§114-20): *Compliance to be determined upon submittal to Building*
6 *Department.*
7

8 All proposed and existing fencing is six (6) foot in height and constructed of chain
9 link.
10

- 11 12. Floodplain Management (§122-1 – §122-6): *Compliance to be determined upon*
12 *submittal to Building Department.*
13

14 The site is designated within an AE – EL 12 flood zone on the Federal Emergency
15 Management Agency (FEMA)'s flood insurance rate maps. All new structures must
16 be built to floodplain management standards that meet or exceed those for flood
17 protection.
18

- 19 13. Energy Conservation Standards (§114-45): *Full compliance to be determined upon*
20 *submittal to Building Department.*
21

- 22 14. Potable Water Conservation Standards (§114-46): *Compliance to be determined*
23 *upon submittal to Building Department.*
24

25 A letter of coordination from FKAA, dated June 23, 2011, was provided.
26

- 27 15. Environmental Design Criteria and Mitigation Standards (§118-6, §118-7 & §118-8):
28 *In Compliance.*
29

30 Based on the information submitted by the applicant and confirmed by staff, the site
31 does not support native plant communities and consists entirely of developed and/or
32 scarified land. The applicant proposes to plant mangroves along the shoreline and
33 additional native upland vegetation is included in the required landscaping design.
34

- 35 16. Required Parking (§9.5-114-67): *Compliance to be determined upon decision on*
36 *concurrent off-street parking variance application.*
37

Specific Use	Multiplier	Proposed	Required Spaces
Commercial Retail	3 spaces/1000 SF	380 SF	2
Marina (wet slips or berths)	1 space/ berth	16 berths	16
Marina (dry storage racks)	1 space/4 dry racks	54 dry racks	13.5
Marina (empty trailer racks)	1 space/4 dry racks	20 trailer racks	5
Boat Ramp	6 spaces/ramp	1 ramp	6
Total Required			42.5

38 The applicant has indicated that the required parking for the site should be 26 spaces.
39 This total is incorrect. After a review of all the uses on the property, staff had
40

1 identified a total of 380 SF commercial retail floor area, 16 wet berths, 74 boat racks
2 and 1 boat ramp.

3
4 According to the site plan, 26 off-street parking spaces would be provided.

5
6 The applicant has applied for an off-street parking variance to reduce the above
7 requirements. The variance application is being processed concurrently. Staff shall
8 not comment on whether or not the variance application meets the required standards
9 for such a request in this report.

10
11 All regular parking spaces, with the exception of parallel, must be at least 8'6" in
12 width by 18' in length and all handicap-accessible parking spaces must be at least 12'
13 in width with an access aisle of 5' in width.

14
15 *Handicap Parking:* According to the site plan, 2 of the off-street parking spaces
16 provided would be handicap-accessible only. This is compliant with the 2004 Florida
17 Accessibility Code for Building Construction, which states that if 2 to 49 spaces are
18 provided, 2 spaces are required to be handicap-accessible parking only.

19
20 *Boat Ramp:* Boat ramps have a parking requirement of 6 spaces per ramp. All
21 spaces shall be a minimum of 14' by 55' to accommodate trailer and oversized
22 vehicles. The site plans submitted does not show any spaces of these dimensions.
23 The applicant has applied for an off-street parking variance to reduce the above
24 requirements.

25
26 17. Required Loading and Unloading Spaces (§114-69): *In compliance.*

27
28 18. Required Landscaping (§114-99 – §114-105): *In compliance.*

29
30 19. Required Buffer-yards (§114-124 – §114-130): *In compliance.*

31
32 20. Outdoor Lighting (§114-159 – §114-163): *Compliance to be determined upon*
33 *submittal to Building Department.*

34
35 Outdoor lighting is not being reviewed as part of this application. It shall be reviewed
36 independently for compliance as an accessory use under a building permit
37 application.

38
39 21. Signs (§142-1 – §142-7): *Compliance to be determined upon submittal to Building*
40 *Department.*

41
42 Any signage shall be reviewed independently for compliance as an accessory
43 structure under a building permit application.

44
45 22. Access Standards (§114-195 – §114-201): *Compliance to be determined.*
46

1 23. Chapter 533, Florida Statutes: *Full compliance to be determined upon submittal to*
2 *Building Department.*

3
4 All standards and requirements of the Americans with Disabilities Act (ADA) must
5 be met. Two compliant parking spaces, with a shared access aisle, are shown on the
6 site plan. Building requirements will be reviewed upon submittal of building permit
7 applications for the structures.
8

9 Other Issues:

- 10
11 1. The site has an existing covered area north of the bathhouse. It is unclear at this time
12 if this area is to be demolished. The applicant must indicate on the site plan whether
13 or not this structure shall remain.
14
15 2. A boat rack appears to be occupying the ADA compliant parking space in parking
16 space number 10. The site plan must be revised to show a compliant ADA accessible
17 parking space.
18
19 3. Site improvements to include a plan for retrofitting existing facilities to include an
20 on-site pump-out station and sewage treatment as required by the Comprehensive
21 Plan. However, this station is not shown on the site plan. The site plan must be
22 revised to show the location of the required pump out station for the marina.
23

24 V RECOMMENDATION

25
26 Staff recommends APPROVAL with the following conditions:

- 27
28 A. Prior to the issuance of a resolution for approval by the Planning Commission, a) the
29 applicant shall receive a variance to the off street parking requirements or b) the
30 applicant shall submit a revised site plan and landscape plan showing that all off
31 street parking regulations shall be met.
32
33 B. Prior to the issuance of a resolution for approval by the Planning Commission, the
34 applicant shall submit a revised site plan addressing concerns outlined in this staff
35 report.
36
37 C. Prior to the issuance of a building permit(s), the proposed development and structures
38 shall be found in compliance by the Monroe County Building Department, Floodplain
39 Administrator, Office of the Fire Marshal and Project Management Department.
40
41 D. Vessels placed on top racks may not exceed 35' maximum height requirement,
42 measured from grade to the highest point of the vessel.
43
44 E. Dry storage racks "B", "C", "D", and "E" will only be utilized by vessels. Dry
45 storage rack "A" will only be utilized by unoccupied boat trailers.
46

1 F. All impervious surface parking spaces shall be clearly marked by striping or other
2 markings acceptable to the Planning & Environmental Resources Department. All
3 pervious and impervious surface parking spaces shall have a wheel stop, bumper
4 blocks or similar barriers to designate each parking space.
5

6 G. Prior to the issuance of any building permit application for development within the
7 shoreline setback that is allowed only per §118-12(o) of the Monroe County Code,
8 the applicant shall submit a water quality monitoring plan. This plan shall be
9 reviewed and approved by the County Biologist.
10

11 H. Parking area (aka the first or bottom “tier” of the storage rack”) is protected by an
12 automatic sprinkler system installed in accordance with NFPA 13 and/or a listed fire
13 barrier assembly, with a fire rating of not less than one hour is provided above the
14 automobile parking area, separating the cars from the boats above.
15

16 **VI PLANS REVIEWED:**
17

- 18 • Pirate Hat Marina, Site Plan (Sheet 1.0) by Keys Engineering Services dated July 29,
19 2011, revised November 3, 2011.
- 20 • Pirate Hat Marina, Variance Site Plan (Sheet 2.0) by Keys Engineering Services dated
21 July 29, revised November 3, 2011.
- 22 • Pirate Hat Marina, Storm Water Management Plan (Sheet 3.0) by Keys Engineering
23 Services dated July 29, 2011, revised November 3, 2011
- 24 • Pirate Hat Marina, Landscape Plan (Sheet 4.0) by Keys Engineering Services dated July
25 29, 2011, revised November 3, 2011
- 26 • Pirate Hat Marina, a Condominium Surveyor’s Certificate (Sheets 1-4) by David Barrow
27 Surveying and Mapping, Inc. dated October 8, 2008.

File #: **2011-096**

Owner's Name: Pirate Hat Marina, LLC

Applicant: Pirate Hat Marina, LLC

Agent: Joel Reed

Type of Application: Major - Amendment

Key: Key Largo

RE: 00572820-000000

Additional Information added to File 2011-096

	Reed & Company Land Use Planning & Consulting Phone: 678.708.9247 Email: joel@rc3world.com	
	<u>Mailing Address</u> 411 Ridgewood Rd NE Atlanta, GA 30307	<u>Physical Address</u> 102901 Overseas Hwy Key Largo, FL 33037

November 8, 2011

Monroe County
Planning & Environmental Resources
Attn: Mr. Joseph Haberman, AICP
2798 Overseas Hwy.
Suite 400
Marathon, FL 33050



Mr. Haberman,

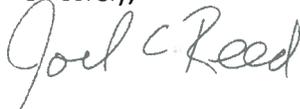
Please find enclosed revisions to the Pirate Hat Marina LLC application for an amendment to a conditional use permit which was submitted to your offices and heard at the regularly scheduled Development Review Committee Meeting on September 27, 2011 in Marathon, FL. At such meeting we had agreed to make some modifications to the application documents and re-submit to your office prior to requesting the item be heard at the Planning Commission hearing scheduled for **December 1, 2011**.

Enclosed is the following:

- 1) List of revisions to Conditional use application and explanations.
- 2) Parking Affidavit Analysis
- 3) Site; Variance; Stormwater Management and Landscape Plan Revised – Also we are attaching 10 full size sets of these plans as well including three (3) signed and sealed and seven (7) copies.
- 4) Draft Water Quality Monitoring Plan
- 5) Drainage Calculations

If you have any questions or concerns please do not hesitate to contact me at the above listed number.

Sincerely,



Joel C. Reed, AICP

**Revisions to Amendment to Conditional Use Application – Pirate Hat Marina LLC
Per September 27, 2011 Development Review Committee (DRC)**

Sheet Description

- 1.0 **Site Plan** - Boat racks above building removed, reducing dry storage to 54. ADA hard surface parking moved next to building w/ hard surface access to building. Swales reduced in width relative to parking issue, retention capacity increased by making them deeper. Fire hydrant added near entrance to property. Loading zone added to site.
- 2.0 **Variance Plan** - request decreased in area of rack C where racks have been removed.
- 3.0 **Drainage Plan** - Swales decreased in width relative to parking issue, increased in depth. Swale A modified to include french drain element in order to provide sufficient total retention. Total required may decrease as pervious, gravel, semi-pervious, and impervious areas have all been modified: swales are now all counted as pervious area, decreasing semi-pervious from previous plan; impervious area increased (ADA parking and dumpster pad added). Revised storm calculations. Added boat pump out.
- 4.0 **Landscape Plan** - No real change to landscaping per se, other than showing ADA hard surface, etc., for consistency with other sheets.
- N/A **Water Quality Monitoring Program**. Attached is a draft of a water quality monitoring program which was requested as part of this project by the Biologist. The document attached is a revision to a standard DEP form that is being proposed to serve as the water quality monitoring program. If accepted all forms will be filled out and on file prior to issuance of a certificate of occupancy.

Summary of Parking Affidavit Data

The following is an analysis of the Parking affidavits to be used as the basis of the request for a reduction to the required parking spaces at the site.

Summary of Data from Affidavits

Marina Name	# Wet	# Dry	# Parking	Adequate Parking	Parking Onsite	Busiest Day	Busiest Time
Cross Key Marina	30	0	15	Yes	Yes	Holiday/Weekends	11:00 am - 6 PM
Pirate Hat Marina	16	20	15	Yes	Yes	Sat/ Sunday	8-10am and 4-6 pm
Anchorage Resort and Yacht Club	30	0	5		Yes	Sundays	4-6pm
Pelican Cay Harbor	22	0	10	Yes	Yes	Sat/ Sunday	10-11/3-5
Plantation Yacht Harbor	83	0	40	Yes	Yes	Fri/Sat	8am/6 pm
Manatee Bay Marina	50	70	30		Yes	Mon/Fri	10:00 AM

Wet Slip Demand

based on Affidavit Analysis

Use	Parking Wet	Parking Dry	Parking Wet/Dry
Cross Key Marina	0.50	N/A	N/A
Pirate Hat Marina	Unk	Unk	0.42
Anchorage Resort and Yacht Club	0.17	N/A	N/A
Pelican Cay Harbor	0.45	N/A	N/A
Plantation Yacht Harbor	0.48	N/A	N/A
Manatee Bay Marina	Unk.	Unk.	0.25

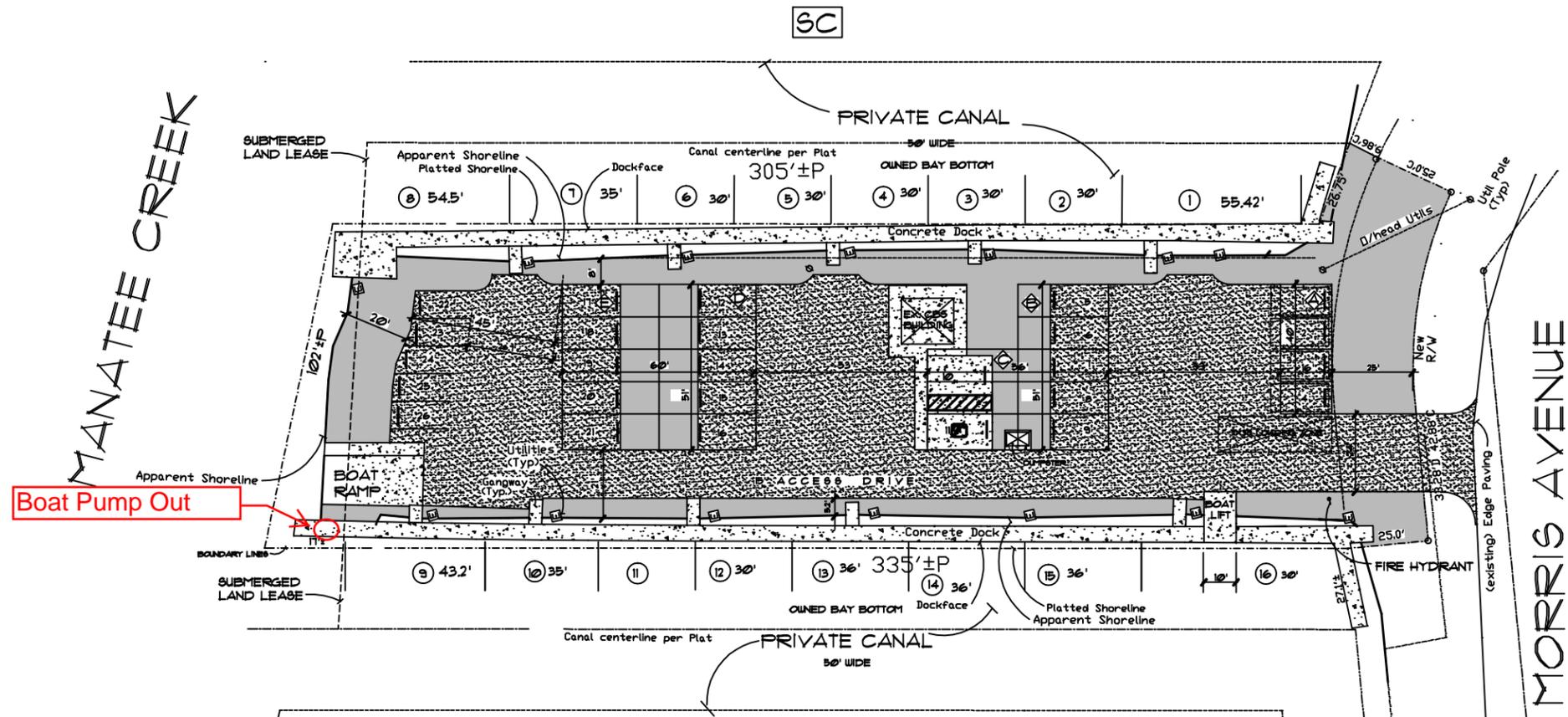
Average Spaces Needed	0.401	N/A	N/A
------------------------------	--------------	-----	-----

- 1) Parking Wet is based on total # of wet slips divided by
- 2) Where Wet/Dry slips existed they were not used in calculations since those dedicated to each use could not be determined
- 3) Manatee Bay was not included since this is a condo project and unit owners have parking at units.

PARKING CALCULATION

based on .4 Per Wet Slip

Use	Parking
Pirate Hat	8
54 Dry @ 1 per 4	13.5
16 Wet @ .4 per Slip	6.4
Boat Ramp 5 Per Ramp	5
Required	24.9
Provided	26



Boat Pump Out

SITE DATA	
LOT SIZE*	.65 ACRES
TIER	III
ZONING	SC
FLUM	MC
DEVELOPED	YES
DEVELOPMENT TYPE	MARINE

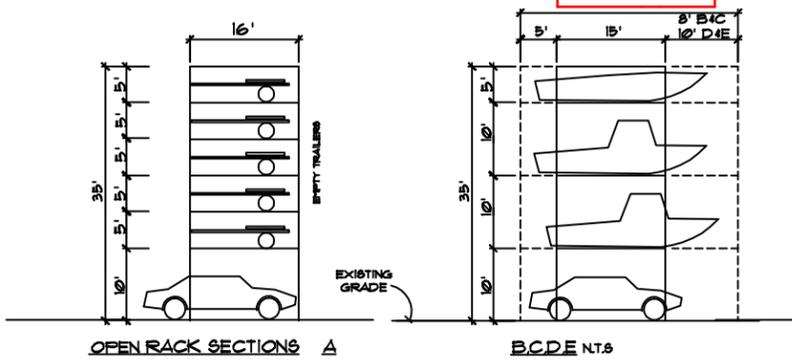
* AREA UPLAND OF APPARENT SHORELINE

N **SITE PLAN** SCALE: 1" = 20'

Description:
 Lot 1, Monroe Park, according to the plat thereof recorded in Plat Book 3 at Page 140 of the public records of Monroe County, Florida.

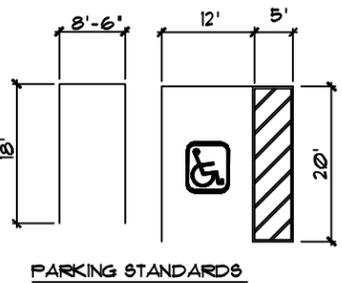
- GRAVEL
- VEGETATION/LANDSCAPING
- IMPERVIOUS SURFACE (CONCRETE, WOOD, ETC.)

24 - B & C
 30 - D & E



PARKING REQUIREMENTS

54 DRY STORAGE @ 1 PER 4 = 13.5 SPACES
 16 WET SLIPS @ 1 PER SLIP = 16 SPACES
 BOAT RAMP = 5 SPACES
 TOTAL REQUIRED = 34.5 SPACES
 TOTAL PROVIDED = 26 SPACES
 INCL. 2- HDCP



SHEET INDEX	
1.0	SITE PLAN
2.0	VARIANCE SITE PLAN
3.0	STORMWATER MANAGEMENT PLAN
4.0	LANDSCAPE PLAN

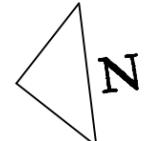
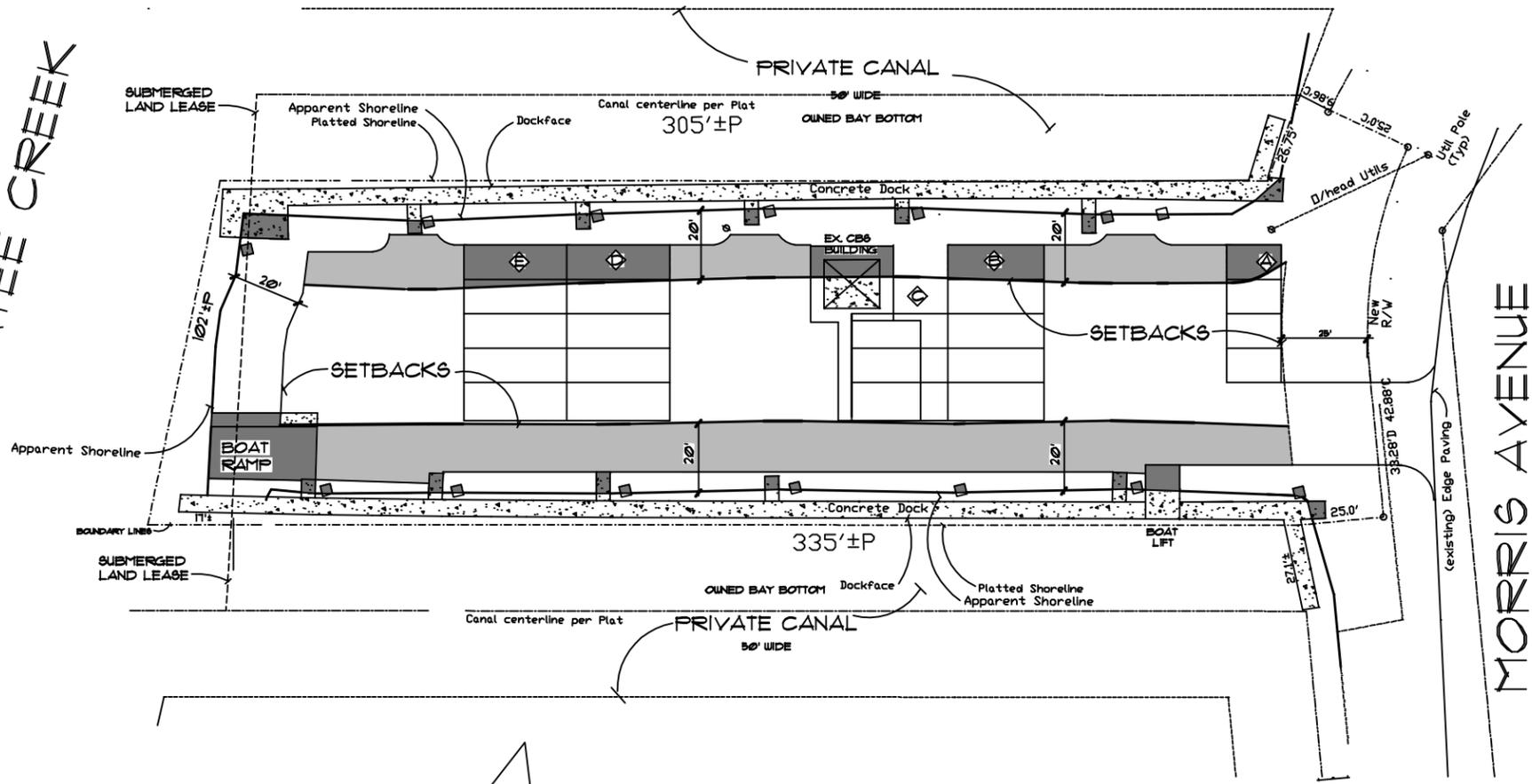
Keys Engineering Services
 Daryle L. Osborn, P.E.
 No. 27428
 88801 Overseas Highway
 Islamorada, Florida 33036
 (305) 852-0282

DATE	SCALE	REVISED	BY	REVISIONS

PIRATE HAT MARINA

SHEET 10

MANATEE CREEK



VARIANCE SITE PLAN SCALE: 1" = 20'

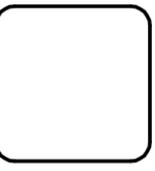
- AREA WITHIN SETBACKS
- GRAVEL DRIVE & PARKING 5,124 SQ.FT.
 - STRUCTURES 2,387 SQ.FT.
(IMPERVIOUS & SEMI-IMPERVIOUS)

Keys Engineering Services
 Daryle L. Osborn, P.E.
 No. 27428
 88801 Overseas Highway
 Islamorada, Florida 33036
 (305) 852-0282

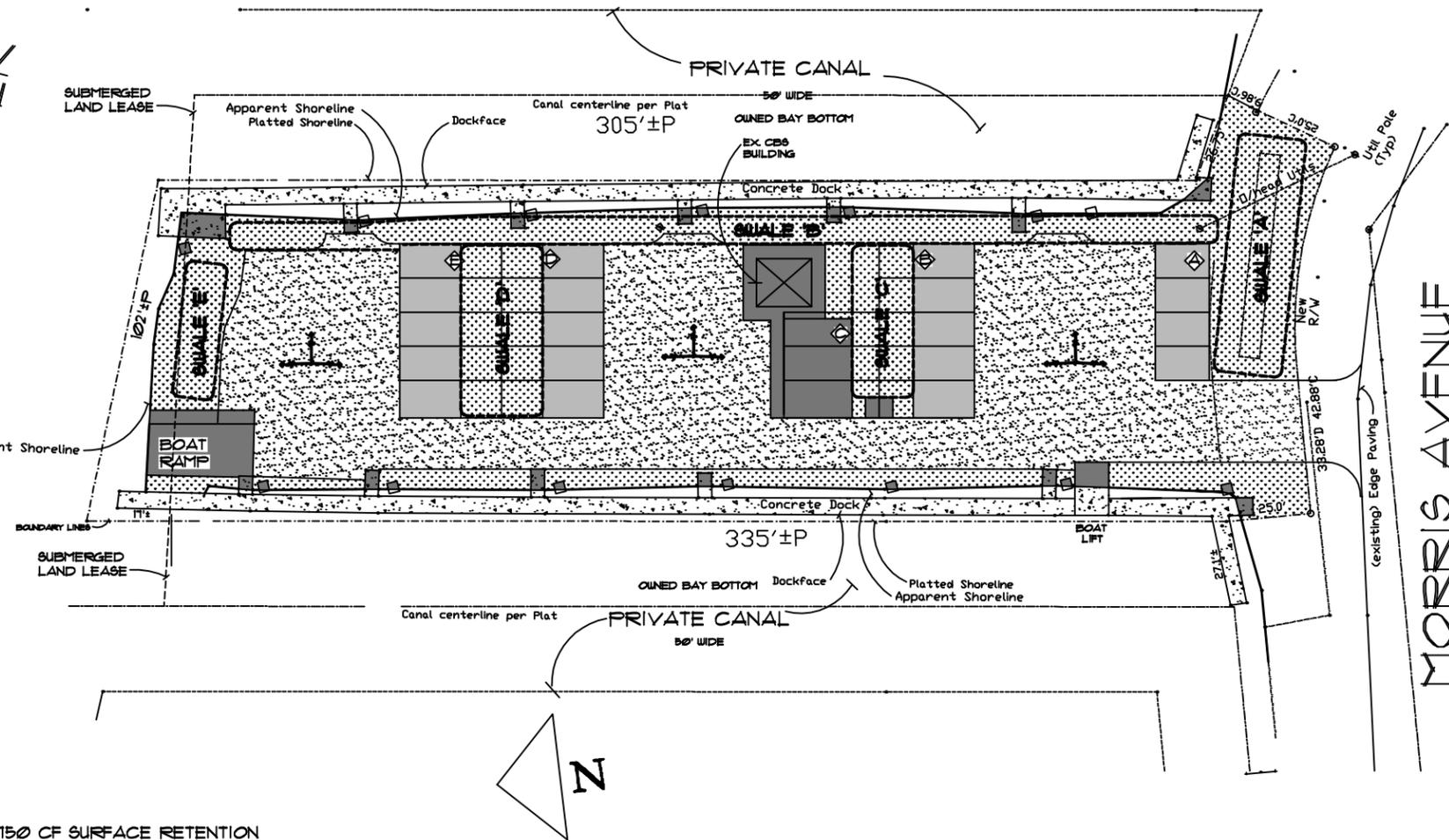
DATE	SCALE	REVISIONS
28 JUL 11	AS SHOWN	1

PIRATE HAT MARINA

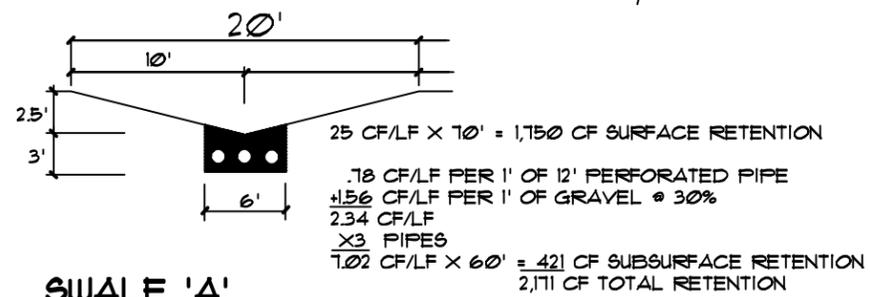
SHEET
 2.0



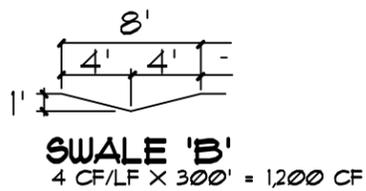
MANATEE CREEK



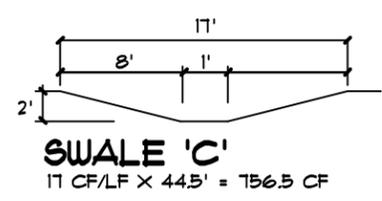
MORRIS AVENUE



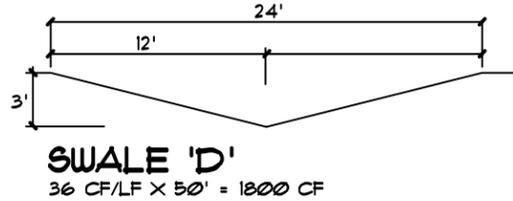
SWALE 'A'



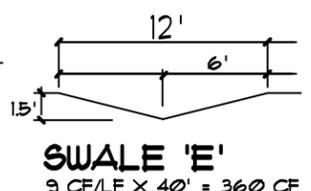
SWALE 'B'



SWALE 'C'



SWALE 'D'



SWALE 'E'

STORMWATER MANAGEMENT PLAN SCALE: 1" = 20'

TOTAL UPLAND AREA 28,408 SQ.FT.

PERVIOUS AREA	9,888 SQ.FT.	34.8%
GRAVEL AREA	12,778 SQ.FT.	45%
SEMI-IMPERVIOUS AREA	3,392 SQ.FT.	12%
IMPERVIOUS AREA	2,350 SQ.FT.	8.2%

SWALE SECTIONS N.T.S
 TOTAL RETENTION AREA REQUIRED = 5,965 CF
 TOTAL RETENTION AREA PROVIDED = 6,267.5 CF

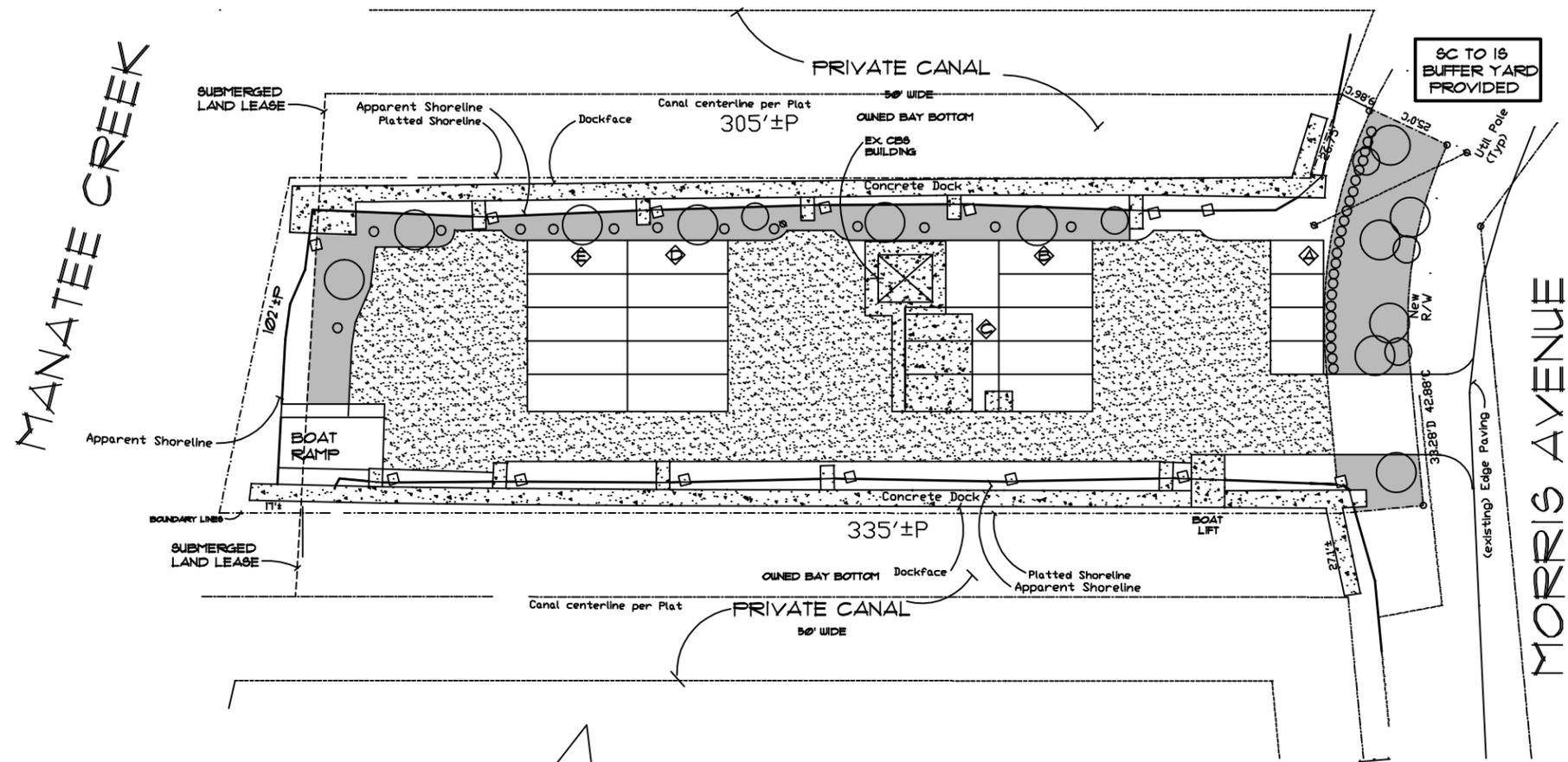
Keys Engineering Services
 Daryle L. Osborn, P.E.
 No. 27428
 88801 Overseas Highway
 Islamorada, Florida 33036
 (305) 852-0282

DATE	28 JUL 11
SCALE	AS SHOWN
DESIGNED BY	TJE
CHECKED BY	TJE
REVISIONS	

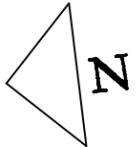
PIRATE HAT MARINA

SHEET 3.0

MANATEE CREEK



50 TO 15 BUFFER YARD PROVIDED



LANDSCAPE PLAN SCALE: 1" = 20'
 TOTAL UPLAND AREA 28,408 SQ.FT.

Sec 14-26 - PARKING LOT LANDSCAPING

	AREA (sf)	#SPACES	CANOPY	UNDERSTORY	SHRUBS
REQUIRED GENERAL	1500	24	5	1	12
REQUIRED SITE SPECIFIC	1625	26	5,520	1,083	13
PROVIDED	1,920	26	6	2	13
AREA A (50x8-20x8)	360				
AREA B (75x8)	600				
AREA C (70x8)	560				
AREA D (40x5)	200				

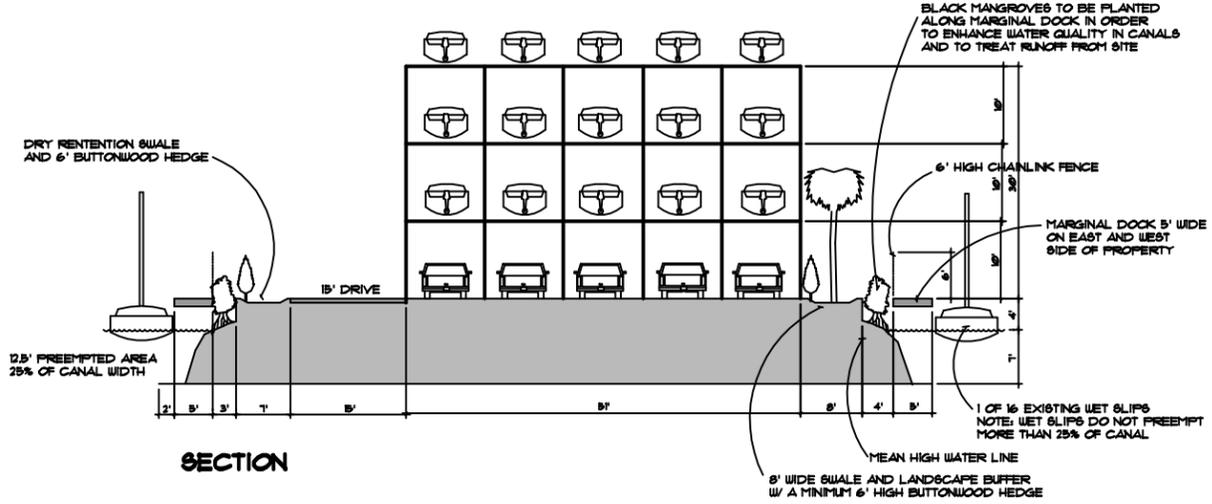
BUFFERYARDS 14-26 - DISTRICT BOUNDARY REQUIREMENTS
 SC TO 15 (FRONT OF PROPERTY) | CLASS D

PLANT MATERIAL REQUIRED PER 100' (ACTUAL BUFFER LENGTH IS 100')	CANOPY	UNDERSTORY	SHRUB
WIDTH OF BUFFER			
20 FOOT	6.6	3.3	28
25 FOOT	6	3	24
PROVIDED	6	3	24

PLANTING MATERIAL

CANOPY (C)	SABAL PALM
UNDERSTORY (U)	GEIGER
SHRUB (S)	SILVER BUTTWOOD

- KEY**
- CANOPY
12' HIGH MIN, 3" DBH
 - UNDERSTORY
8' HIGH MIN.
 - SHRUB
3' MIN, 6" SPECIFIED



SECTION

Keys Engineering Services
 Daryle L. Osborn, P.E.
 No. 27428
 88801 Overseas Highway
 Islamorada, Florida 33036
 (305) 852-0282

DATE	SCALE	NOTED	BY	REVISIONS
28 JUL 11	AS SHOWN			

PIRATE HAT MARINA

SHEET 40

D-F 5 H9 ' < 5 H'A 5 F -B5

.....K 5 H9 F 'EI 5 @HMACB+HCF -B; 'DFC; F5 A'

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1. Pollution Prevention Team

Each plan shall provide facility information and identify a specific individual or individuals within the facility organization as members of a stormwater Pollution Prevention Team who are responsible for developing the stormwater pollution prevention plan and assisting the facility or plant manager in its implementation, maintenance, and revision. The plan shall clearly identify the responsibilities of each team member.

See the following pages, Template 1a, Facility Information, and Template- 1b, Pollution Prevention Team, to provide information about your facility and members of your team.

1a FACILITY INFORMATION

FACILITY INFORMATION		
Name of Facility		
Facility Operator		
Contact and Telephone Numbers		
Facility Owner		
North American Industry Classification System NAICS code or Standard Industrial Classification Code (SIC)	NAICS will eventually replace the SIC system, however, at this time most facilities still use their SIC code. We would recommend adding Standard Industrial Classification (SIC) code to this row.	
Receiving Waters		

1b – POLLUTION PREVENTION TEAM

<p>_____ POLLUTION PREVENTION TEAM _____</p> <p>MEMBER ROSTER</p>	<p>Worksheet #2</p> <p>Date:</p>
<p>Leader: Title: Office Phone:</p> <p>Responsibilities:</p>	
<p>Member: Title: Office Phone:</p> <p>Responsibilities:</p>	
<p>Member: Title: Office Phone:</p> <p>Responsibilities:</p>	
<p>Member: Title: Office Phone:</p> <p>Responsibilities:</p>	

2. Description of Potential Pollutant Sources

2a. Site Map of Drainage

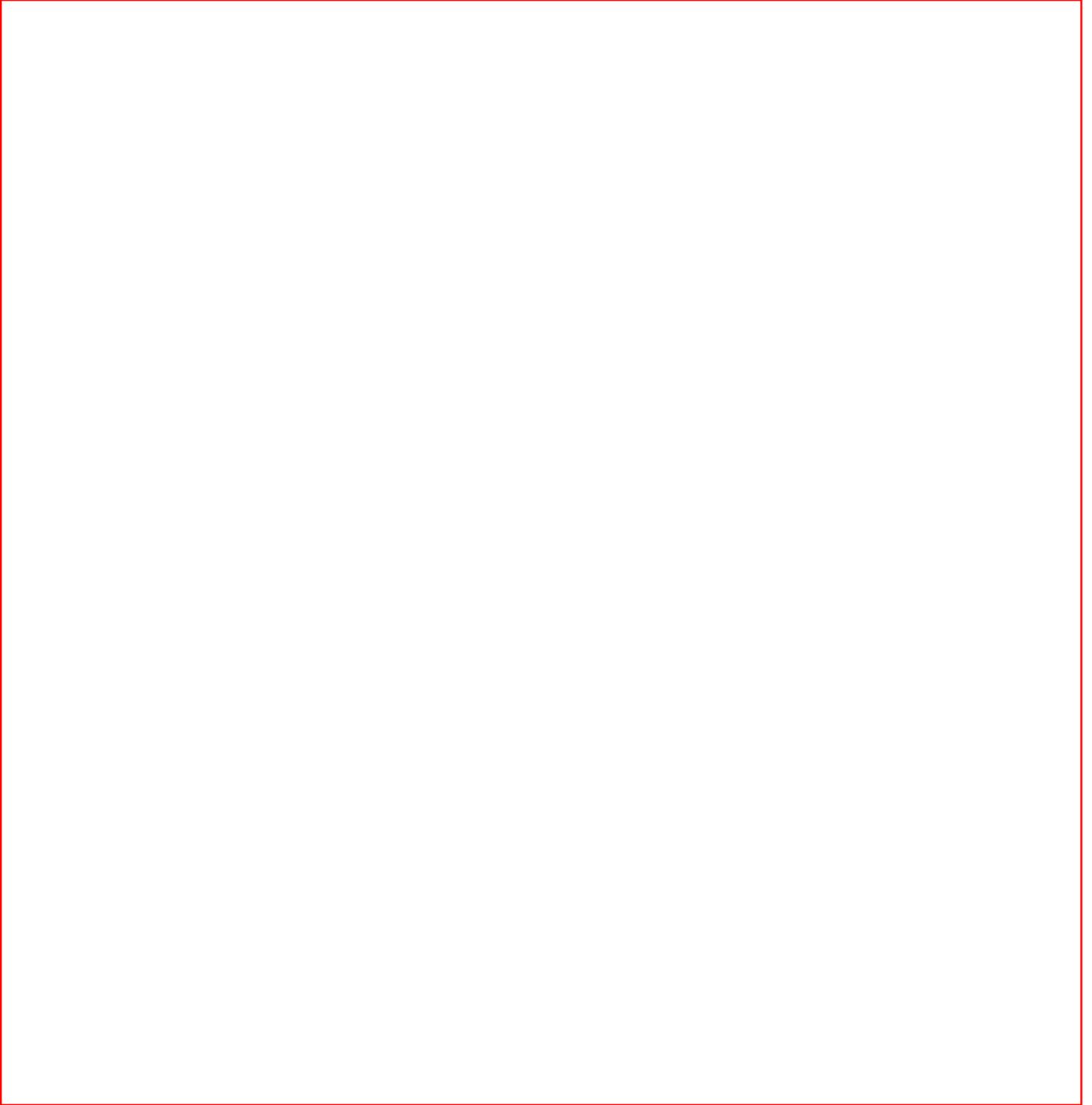
A site map indicating the location of the outfalls and the types of discharges contained in the drainage areas of the outfalls, an outline of the portions of the drainage area of each storm water outfall that are within the facility boundaries, each existing structural control measure to reduce pollutants in storm water runoff, surface water bodies, locations where significant materials are exposed to precipitation, locations where major spills or leaks identified under Spills and Leaks of this section have occurred, and the locations of the following activities where such activities are exposed to precipitation: fueling, engine maintenance and repair, vessel maintenance and repair, pressure washing, painting, sanding, blasting, welding, metal fabrication, loading/unloading areas, locations used for the treatment, storage or disposal of wastes; liquid storage tanks, liquid storage areas (paint, solvent, resins, and material storage areas).

The site map should include all structures on the site as well as a prediction of the direction of flow of potential pollutant sources. Figure 1 is a sample of a computer-generated map. You may submit either a computer-generated map or hand drawn map.

See the next page, Figure 2a – Sample Site Map for an example. Provide a computer-generated or hand-drawn map showing structures and predicted direction of all flows.

Figure 2a: Should include additional “potential outfall or sheeting” discharge points at the Secondary Containment Area, the Sloped Pressure Wash pad, and the Stormwater Retention Pond. (These areas should also be marked with a star because they have the “potential” to discharge to surface waters.)

FIGURE 2a - SAMPLE SITE MAP OF DRAINAGE INCLUDING PREDICTION OF THE DIRECTION OF FLOW



Trees, shrubs



Boat
Launch



Storm Drains



Parking



Potential Outfall
or Sheeting

2b. Inventory of Exposed Materials

An inventory of the types of materials handled at the site that potentially may be exposed to precipitation. Such inventory shall include a narrative description of significant materials that have been handled, treated, stored or disposed of in a manner to allow exposure to storm water between the time of 3 years prior to the date of the submission of a Notice of Intent (NOI) to be covered under this permit and the present; method and location of onsite storage or disposal; materials management practices employed to minimize contact of materials with stormwater runoff between the time of 3 years prior to the date of the submission of a Notice of Intent (NOI) to be covered in this permit and the present; the location and a description of existing structural and nonstructural control measures to reduce pollutants in storm water runoff; and a description of any treatment the stormwater receives.

See the next page, Template 2b – Inventory of Exposed Materials, and provide a complete listing of all materials.

Significant materials are of particular concern and are defined as follows:

Significant Materials: Raw materials; fuels; materials such as solvents, detergents, and plastic pellets; finished materials such as metallic products; raw materials used in food processing or production; hazardous substances designated under section 101(14) of CERCLA; any chemical the facility is required to report pursuant to EPCRA, Section 313; fertilizers; pesticides; and waste products such as ashes, slag, and sludge that have the potential to be released with storm water discharges [40 CFR 122.26(b)(12)].

2c. Spills and Leaks

A list of significant spills and significant leaks of toxic or hazardous pollutants that occurred at areas that are exposed to precipitation or that otherwise drain to a stormwater conveyance at the facility after the date of 3 years prior to the date of the submission of a Notice of Intent (NOI) to be covered under this permit. Such list shall be updated as appropriate during the term of the permit.

See the next page, Template 2c- Spills & Leaks, and provide a complete listing of all spills and leaks that have occurred.

“Significant spills” includes releases in excess of reportable quantities, defined as follows: Reportable Quantity (RQ) Discharge: An RQ release occurs when a quantity of a hazardous substance or oil is spilled or released within a 24-hour period of time and exceeds the RQ level assigned to that substance under CERCLA or the Clean Water Act. These levels or quantities are defined in terms of gallons or pounds. Regulations listing these quantities are contained at 40 CFR 302.4, 40 CFR 117.21 and 40 CFR 110.

2e. Risk Identification and Summary of Potential Pollutants

A narrative description of the potential pollutant sources from the following activities if applicable: loading and unloading operations; outdoor storage activities; outdoor manufacturing or processing activities (i.e., welding, metal fabricating); significant dust or particulate generating processes (i.e., abrasive blasting, sanding, painting); loading/unloading areas; and onsite waste disposal practices. The description shall specifically list any significant potential source of pollutants at the site and for each potential source, any pollutant or pollutant parameter (i.e., biochemical oxygen demand, etc.) or concern shall be identified.

Example:

1) *Vessel Hauling - Potential Pollutant Source:*

Vessel's bilges may contain petroleum sheen, metal shavings, total suspended solids (TSS) and paint chips. Prior to pulling the plug on smaller, outboard type vessels, remove any holding bilge water into 55-gallon drums for storage until a licensed waste hauler can remove the waste.

On larger vessels with through hull discharge, check the bilge area prior to haul-out to ensure that the bilges are dry and free of industrial gray water, or petroleum sheens. Should a vessel have engine or hydraulic leaks into the bilge area, automatic bilge switches should be disconnected to ensure that there is no accidental discharge into surface waters. If the spill is too large to contain with absorbent pads, contact a license industrial bilge or tank cleaner to remove any water from the bilge area.

2) *Vessel Pressure Washing - Potential Pollutant Source:*

Pressure washing of vessel hauled from the water or removed from transport has the potential to enter organic debris, total suspended solids (TSS), Biochemical Oxygen Demand, and heavy metals into surface waters.

Ensure that all pressure washing is performed over the appropriated designated pressure washing area, which is designed to contain all pressure washing wastewater and debris sludge. Do not pressure wash any vessel over open water. After pressure washing procedures, sweep the pressure wash pad area and then rinse pad with recycled water, which will re-enter the recycling system. Do not allow pressure wash water to sheet or discharge into surface waters.

3) *Waste Dumpsters and Trash Cans - Potential Pollutant Source:*

Solid waste pollutants can mix with storm water and discharge into the ground or flow into the storm drain system. Solid waste pollutants include raw materials, total suspended solids (TSS) and/or Biochemical Oxygen Demand (BOD), trash and heavy metals.

Waste dumpsters should remain cover from inclement weather when not in use. If the dumpster becomes rusted or corroded, have the waste

management company replace the dumpster to keep storm water from discharging to the ground or storm water drainage.

4) Vessel Engine Repair and Maintenance - Potential Pollutant Source:

Outboard engine repair and maintenance can produce hydrocarbon discharge, metal shavings and possibly paint chips from removal processes. Any engine repair or maintenance should be performed indoors when possible, but should be performed outdoors by the proper placement of tarps or fuel/oil absorbent pads located in the work area. Should an unexpected leak occur, clean up of the discharge should be performed by using additional absorbent pads or a spill dry absorbent clay to remove any residue from the ground.

5) Vessel Sanding and Painting - Potential Pollutant Source:

The removal of dried paint from vessel's hull bottoms can produce sanding dust and paint chip debris. Bottom painting can produce paint spills, which contain heavy metals and other potential solvents, if exposed to rain water prior to clean up. Bottom sanding should be performed over an impervious surface and with dustless sanders to contain as much of the sanding debris as possible. Sweep or vacuum the area after sanding to remove all sanding debris. Bottom painting should be performed on days where inclement weather is not forecasted. Painting should be performed over an impervious surface. Any spills should be cleaned up immediately with a spill dry or other absorbent clay material.

See the next page, Template 2e - Risk Identification and the Summary of Potential Pollutant Sources, and provide the risk information.

2e – RISK IDENTIFICATION AND SUMMARY

Risk Identification and the Summary of Potential Pollutant Sources must be reviewed annually.

Potential Pollutant Sources	Annual Review of Sources	Name	Date
Vessel Hauling			
Vessel Washing			
Vessel Engine Repair & Maintenance			
Vessel Sanding & Painting			
Waste Dumpster & Trash Cans			
Material Storage Areas			

3. Measures and Controls

Each facility covered by this permit shall develop a description of stormwater management controls appropriate for the facility, and implement such controls. The appropriateness and priorities of controls in a plan shall reflect identified potential sources of pollutants at the facility. The description of stormwater management controls shall address the following minimum components, including a schedule for implementing such controls:

3a. Good Housekeeping

Good housekeeping requires the maintenance of areas, which may contribute pollutants to stormwater discharges in a clean, orderly manner.

All stored and containerized materials (fuels, paints, solvents, waste oil, antifreeze, batteries) must be stored in a protected, secure location away from drains and plainly labeled. The plan must describe measure that prevent or minimize contamination of the stormwater runoff from such storage areas. The facility must consider implementing an inventory control plan to prevent excess purchasing, storage, and handling of potentially hazardous materials.

The following pages provide examples that you will find useful for your facility. Many of the best management practices are applicable and should be used. Following the examples are blank example templates for you to provide and complete information specific to your marine facility.

Template 3a(1) - Potential Pollutant Sources – Measures & Controls

- i. Pressure Washing Area
- ii. Blasting and Painting
- iii. Material Storage Areas
- iv. Engine Maintenance and Repair
- v. Material Handling Areas
- vi. Drydock Activities
- vii. General Yard Area

Template 3a(2) – Material Storage Areas

Template 3a(3) – Material Handling Areas

Template 3a(4) – Drydock Activities

Template 3a(5) – General Yard Area

Template 3a(1) – POTENTIAL POLLUTION SOURCE

Potential Pollutant Sources – Measures & Controls	
Potential Pollutant Source	Measure & Control
(i) Pressure Washing	Pressure wash pad should be swept to remove any of the organic and paint chip debris routinely throughout the day and immediately after use. Replace pad to keep stormwater from entering the recycling system.
(ii) Blasting and Painting	Bottom paint sanding debris should be swept up throughout the job process. Use dustless sanding to keep the amount of dust to a minimum. Should you perform sand blasting work on hull bottoms, skirt off the bottom of the vessel to keep the sand and blasting debris contained. Dispose of blasting debris in accordance with waste management instructions.
(iii) Material Storage Areas	See Template 3a(1)iii
(iv) Engine Maintenance & Repair Areas	Engine work should be performed indoors or over an impervious surface. Use tarps, vixqueen or petroleum absorbent pads to catch any leaks which might occur during service.
(v) Material Handling Areas	See Template 3a(1)v
(vi) Drydock Activities	See Template 3a(1)vi
(vii) General Yard Area	See Template 3a(1)vii

Template 3a(2)– MATERIAL STORAGE AREAS

MATERIAL STORAGE AREAS		
Type Material	Where Stored	Measures to Contain
Used Oil	Secondary Containment SW corner of facility near lift well.	Used oil is housed in secondary containment with a roof and at least 110% containment capacity.
Used Antifreeze	Secondary Containment SW corner of facility near lift well.	Used antifreeze is housed in secondary containment with a roof and at least 110% containment capacity.
Used Oil Filter & Soaked Oil absorbent pads	Secondary Containment SW corner of facility near lift well.	Used oil is housed in secondary containment with a roof and at least 110% containment capacity.
Industrial Waste Water	Secondary Containment SW corner of facility near lift well.	Industrial waste water is housed in secondary containment with a roof and at least 110% containment capacity.
Used Batteries	Stored under cover in main repair building	Temporary storage. Batteries are recycled routinely.
Bottom Paint	Stored under cover in main building in flame proof lockers	Empty bottom paint cans should be allowed to fully dry before disposal in dumpster.
Paint waste & solvents	Stored under cover in main building in a contained, licensed waste haulers supplied drum	Facility uses very little paint or paint solvents, however, should any be used, dispose of the waste in the Safety Kleen supplied hazardous waste container. Make sure to obtain manifest upon pickup.

Template 3a(3) – MATERIAL HANDLING AREAS

Material Handling Areas	
Type Material	Best Management Practices
Oil, Hydraulic Fluid	55-gallon drum caps and lids on 5-gallon pails should remain in place prior to the handling of any petroleum products. Bulk storage should be undercover and away from any storm drains. When transferring petroleum products into secondary containment of 5-gallon pails, use absorbent pads to catch any accidental spills.
Antifreeze	55-gallon drum caps and lids on 5-gallon pails should remain in place prior to the handling of any antifreeze products. Bulk storage should be undercover and away from any storm drains. When transferring antifreeze into secondary containment of 5-gallon pails, use absorbent pads to catch any accidental spills.
Used Oil Filter & Soaked Oil absorbent pads	Used oil and fuel filters should be completely drained prior to recycling by a licensed waste hauler. Transport from the work site in 5-gallon pails. Use absorbent pads to catch any accidental spillage during service processes.
Used Batteries	Used batteries should be removed from the work site and stored under cover when removed from the vessel's service. Use battery pans to contain any battery which shows evidence of leakage.
Bottom Paint	Handle all paints with the lid securely attached. During painting processes, keep the lid on the can after pouring sufficient amounts into the paint can. At job's end, pour as much of the unused paint back into the can, using the paintbrush to wipe as much of the paint off the pan as practical. Place the paint pan undercover in an isolated area to allow complete drying prior to disposal in an approved disposal container. Should an accidental spill occur, use spill dry or other absorbent material to collect any residual paint. Store bottom paint cans in flameproof locker at days end.
Paint waste & Solvents	Solvents should be handled away from any storm drains. Should a spill occur, wipe up the solvent using rags and then place rags in the appropriate solvent rag container.
Machinery Maintenance	Repair or replacement of any leaking connections, valves, pipes, and hoses shall be performed undercover in the main repair building. Use the appropriate oil and fuel absorbent pads while performing routine maintenance to catch any accidental spills.
Vessel Wastewater	Pumping wastewater into appropriate containers shall be performed on any removal of industrial wastewater from vessels. A licensed waste hauler will dispose of industrial wastewater.
Storage Containers	Clearly label all drums or containers.

Template 3a(4) – DRYDOCK ACTIVITIES

Drydock Areas	
Location & Usage	Best Management Practices
Boat Maintenance Area	Perform as much boat repair and maintenance work as possible inside work buildings.
Boat Maintenance Area Abrasive Sanding and Blasting	Perform as much abrasive blasting and sanding in a contained area as possible. If performing abrasive blasting on bottom hulls, skirt off the vessel to contain sanding dust and debris. Schedule work on calm days to help ensure that debris and pollutants are not carried to other areas of the property.
Boat Maintenance Area	Use vacuum sanders both to remove paint from hulls and to collect paint dust and chips.
Boat Maintenance Area	Clean hull maintenance areas immediately after any maintenance to remove debris, and dispose of collected material properly.
Boat Maintenance Area	Capture and filter pollutants out of runoff water with permeable tarps, screens, and filter cloths.
Storm Drains	Install oil/grit separators to capture petroleum spills and coarse sediment. Sweep routinely around storm drains to keep debris out.

Template 3a(5) – GENERAL YARD AREA

General Yard Area	
Location	Best Management Practices
Boat Maintenance Area	Perform as much boat repair and maintenance work as possible inside work buildings. After vessel launching, area should be swept or vacuumed of work debris. Blocks should be stacked in neat order and stored in one convenient location.
Routine Yard Maintenance	Trash should be picked up throughout the day. Trash cans should be emptied nightly into main facility trash dumpster or when cans are full throughout the day.
Routine Yard Maintenance	Sweep work areas and parking lots daily to keep sanding dust and trash from accumulating.
Routine Yard Maintenance	Zincs, stainless steel, aluminum, brass, bronze and other metals should be contained and recycled.
Routine Yard Maintenance	Trees, shrubs and other vegetation should be trimmed routinely to keep leaves, twigs, branches and other organic debris from entering and clogging storm drains.
Storm Drains	Install oil/grit separators to capture petroleum spills and coarse sediment. Sweep routinely around storm drains to keep debris out.

3b. Preventive Maintenance

A preventive maintenance program shall involve timely inspection and maintenance of stormwater management devices (e.g., cleaning oil/water separators, sediment traps to ensure that spent abrasives, paint chips, and solids will be intercepted and retained prior to entering the storm drainage system) as well as inspecting and testing facility equipment and systems to uncover conditions that could cause breakdowns or failures resulting in discharges of pollutants to surface waters, and ensuring appropriate maintenance of such equipment and systems.

See the following page, Template 3b- Preventive Maintenance Schedule, and provide preventative maintenance information.

3c. Spill Prevention and Response Procedures

Areas where potential spills can occur, which can contribute pollutants to storm water discharges and their accompanying drainage points shall be identified clearly in the stormwater pollution prevention plan. Where appropriate, specifying material handling procedures, storage requirements, and use of equipment such as diversion valves in the plan should be considered. Procedures for cleaning up spills shall be identified in the plan and made available to the appropriate personnel. The necessary equipment to implement a clean up should be available to personnel.

See the following pages and complete each of the forms as listed below:

Template 3c(1) - Spill Prevention and Response Procedures

Template 3c(2) - If spill occurs

Template 3c(3) - Important Phone Numbers

Template 3c(1) – SPILL PREVENTION AND RESPONSE PROCEDURES

Spill Prevention and Response Procedures	
Location	Best Management Practices
Equipment & Vessel Fueling	
Material Handling	
Bulk Liquid Storage and Containment	
Containerize Material Storage	
Facility Maintenance	

Template 3c(2)– IF SPILL OCCURS

Hazardous Material Spill	
Non-Hazardous Material Spill	

3c(3) – IMPORTANT PHONE NUMBERS (SAMPLE AND GUIDE ONLY)

IMPORTANT PHONE NUMBERS

EMERGENCY 911

STATE OF FLORIDA WARNING POINT 24-7 EMERGENCY PHONE NUMBER
800-320-0519 - 850-413-9911

EMERGENCY SERVICES

American Red Cross	287-2002
Emergency Information	287-1652
Salvation Army	288-1471

SPECIAL NEEDS

Council On Aging	283-2242
Transportation - Community Coach	283-1814
Martin Memorial Hospital North	287-5200
Martin Emergency Room North	223-5995
Martin Memorial Hospital South	223-2300
Martin Emergency Room South	223-5721
Martin TDD Services For The Deaf	223-5708
Health & Rehabilitative Services	221-4030

SOCIAL SERVICES

American Red Cross	287-2002
Crisis Line	286-1121 *
Bus. Office	286-1126
New Horizons	221-4088
Salvation Army	288-1471
United Way	283-4800

UTILITIES

Florida Power & Light	561)287-5400
Southern Bell Repair	611
Indiantown Water	597-2121
Southern States (Leilani)	1-800-432-4501
Fisherman's Cove Water	287-5406
Miles Grant Water & Sewer	286-7287
Sailfish Point Utilities	225-1615
Gas	Consult Your Local Phone Book
Martin County Utilities	221-1434
City Of Stuart	288-5317
South Martin Regional Utilities	546-2511

ANIMALS

Humane Society / Animal Rescue Lg.	287-5753
Florida Fish & Game (Emergency)	1-800-432-2046
Martin County Animal Control	287-1656

TELEVISION

WPTV Channel 5	930-9788
WPEC Channel 12	881-0737
WPBF Channel 25	692-4403 * 694-2525
WFLX Channel 29	845-2929 W.P.B.

RADIO

WAVV (101.7 FM)	461-1055 Fort Pierce
WPSL (1590 AM)	340-1590
WQCS (88.9 FM)	930-8936 Fort Pierce
WZZR (92.7 FM)	335-9300 Port St. Lucie
WCNO (89.9 FM)	221-1100
WSTU (1450 AM)	220-9788

NEWSPAPER

Palm Beach Post	223-3550
Stuart News	287-1550

CITY OF STUART

Building Dept.	288-5326
Emergency Medical/Fire Services	911
Fire Dept.	288-5360
Police Dept.	287-1122
Public Works	288-5300
Sanitation - Trash	288-5337
Streets Dept.	288-5341

MARTIN COUNTY

Army Corps of Engineers	
- St. Lucie Lock & Dam	287-2665
Fire Rescue	288-5710
Fire Marshal	288-5633
Land Fill	288-5772
Building Dept.	288-5916
Public Health	221-4090 OR 221-4000
Road Maintenance	288-5657
Social Services - Welfare	288-5642
Hazardous Waste	288-5700
Martin Co. Administration Info.	288-5400

Univ. of FL - Martin Co. Cooperative Extension Service:	
Agriculture	288-5654
Home Economics	288-5656
M. C. Sheriff's Office	911 OR 220-700
Environmental Services	221-1442
M. C. Internet website:	www.martin.fl.us

STORM TRACKING

National Hurricane Center 305-229-4470

INSURANCE

Florida Dept. of Insurance 1-800-342-2762
Storm Help Line 1-800-227-8676
Consumer Help Line 1-800-342-2762

FLORIDA

Florida Highway Patrol 561-287-2015
National Response Center Oil
& Toxic, or Terrorist
Threat Chemical Spills 1-800-424-8802
Poison Info Center 1-800-282-3171
Dept. Ag./Consumer Serv. 1-800-435-7352
Florida Fish & Game 1-800-432-2046
Marine Patrol 561-624-6935
After 5:00 PM 1-800-342-5367
Insurance Commissioner 1-800-342-2762

UNITED STATES

Bureau Of Alcohol, Tobacco & Firearms 561-468-3927
Coast Guard 561-464-6100
Federal Bureau Investigation 561-461-6142
Nat. Flood Insurance Program 1-800-638-6620

3d. Inspections

Qualified facility personnel shall be identified to inspect facility twice a year ~~on a monthly basis~~. The following areas shall be included in all inspections: pressure washing area; blasting, sanding, and painting areas; material storage areas; engine maintenance and repair areas; material handling areas; drydock area; and general yard area. A set of tracking or follow-up procedures shall be used to ensure that appropriate actions are taken in response to the inspections. Records of inspections shall be maintained.

See the following pages, Template 3d – Inspections, and complete as needed as a record of inspections performed.

3d - INSPECTIONS

Inspection Year 2012

Twice a Year - January 1 and July 1

Inspections – After inspection, record the findings and any corrections to the area. Inspector, please initial							
	Pressure Wash Area	Blasting, Sanding & Painting Areas	Material Storage Areas	Engine Maintenance & Repair	Material Handling Area	Waste Containment Area	General Yard Area
January							
February							
March							
April							
May							
June							
July							
August							
September							
October							
November							
December							

3e. Employee Training

Employee training programs shall inform personnel responsible for implementing activities identified in the storm water pollution prevention plan or otherwise responsible for stormwater management at all levels of responsibility, of the components and goals of the stormwater pollution prevention plan. The pollution prevention plan shall identify how often training will take place, but in all cases training must be held at least annually (once per calendar year). Employee training must, at a minimum, address the following areas when applicable to a facility: used oil management; spent solvent management; proper disposal of spent abrasives; proper disposal of vessel wastewaters; spill prevention and control; fueling procedures; general good housekeeping practices; proper painting and blasting procedures; and used battery management. Employees, independent contractors, and customers must be informed about Best Management Practices (BMP's) and be required to perform in accordance with these practices.

See the following page, Template 3e – Employee Training, and provide information.

3f. Record Keeping and Internal Reporting Procedures

A description of incidents (such as spills, or other discharges), along with other information describing the quality and quantity of stormwater discharges, shall be included in the plan required under this part. Inspections and maintenance activities shall be documented and records of such activities shall be incorporated into the plan.

See the following page, Template 3f – Record Keeping and Internal Reporting Procedures, and provide information.

3h. Sediment and Erosion Control

The plan shall identify areas which, due to topography, activities, or other factors, have a high potential for significant soil erosion, and identify structural, vegetative, and/or stabilization measures to be used to limit erosion.

Example:

- *This facility could have a potential erosion problem near the Palm City bridge and the walkway underneath. Keep grass or sod directly on the path used by pedestrians to maintain a buffer from storm water.*

Any site where soils are exposed to water or wind can have soil erosion and sedimentation problems. Using measure to control erosion and sedimentation is an important part of stormwater management. Selecting the best set of sediment and erosion prevention measures for the marine industry depends upon the nature of the activities at this site.

There are seven ways to limit and control sediment and erosion at this site:

- 1) Leave as much vegetation (plants) onsite as possible;*
- 2) Minimize the time that soil is exposed;*
- 3) Prevent runoff from flowing across disturbed areas (divert the flow to vegetated areas);*
- 4) Stabilizing the disturbed soils as soon as possible;*
- 5) Slow down runoff flowing across the site;*
- 6) Provide drainage ways for the increased runoff (use grassy swales rather than concrete drains);*
- 7) Remove sediment from storm water runoff before it leaves the site.*

See the following page, Template 3h – Sediment and Erosion Control, and provide the information requested.

3i. Management of Runoff

The plan shall contain a narrative consideration of the appropriateness of traditional stormwater management practices (practices other than those which control the generation or source(s) of pollutants) used to divert, infiltrate, reuse, or otherwise manage stormwater runoff in a manner that reduces pollutants in stormwater discharges from the site. The plan shall provide the measures that the permittee determines to be reasonable and appropriate and shall be implemented and maintained. The potential of various sources at the facility to contribute pollutants to stormwater discharges associated with industrial activity shall be considered when determining reasonable and appropriate measures. Appropriate measures or other equivalent measures may include: vegetative swales and practices, reuse of collected stormwater (such as for a process or as an irrigation source) inlet controls (such as oil/water separators), wet detention/retention ponds.

Example:

- *Stormwater at this facility is discharged to a municipal sewer system in accordance with the Martin County Utilities permission and is under the original construction permit.*
- *Overflow, during very heavy rainfall, is diverted to a retention pond at the northwest area of the property.*
- *Stormwater at this facility is also contained through vegetative berms which direct the flow of water to the appropriate storm drainage area.*
- *Stormwater pollution prevention is maintained by following the Clean Marina Program's "Best Management Practices".*
- *Oil/Water separators are installed in those drains which are exposed to potential stormwater pollutants.*

Under this section, provide a narrative as shown in the above example that describes measures at your facility.

4. Comprehensive Site Compliance Evaluation

Qualified personnel shall conduct site compliance evaluations at appropriate intervals specified in the plan, but in no case less than one year. Such evaluations shall provide:

- Areas contributing to a stormwater discharge associated with industrial activity including, but not limited to, pressure washing areas, blasting and sanding areas, painting areas, material storage areas, engine maintenance and repair areas, material handling areas, and drydock areas, shall be visually inspected for evidence of, or the potential for, pollutants entering the drainage system. Measures to reduce pollutant loadings shall be evaluated to determine whether they are adequate and properly implemented in accordance with the terms of the permit or whether additional control measures are needed. Structural stormwater management measures, sediment and erosion control measures, and other structural pollution prevention measures identified in the plan shall be observed to ensure that they are operating correctly. A visual inspection of equipment needed to implement the plan, such as spill response equipment, shall be made.
- Based on the results of the evaluation, the description of potential pollutant sources identified in the plan and pollution prevention measures and controls identified in the plan, shall be revised as appropriate within 2 weeks of such evaluation and shall

provide for implementation in any changes to the plan in a timely manner, but in no case more than 12 weeks after the evaluation.

- A report summarizing the scope of the evaluation, personnel making the evaluation, the date(s) of the evaluation, major observations relating to the implementation of the storm water pollution prevention plan, and actions taken. Records of these reports shall be maintained for a minimum of 3 years from the date of the evaluation. The report shall identify any incidents of noncompliance. Where a report does not identify any incidents of noncompliance, the report shall contain a certification that the facility is in compliance with the stormwater pollution prevention plan and this permit.

Qualified personnel must conduct site compliance at appropriate intervals as specified but at least once per year:

- Inspect stormwater drainage areas for evidence of pollutants entering the drainage system.
- Evaluate the effectiveness of measures to reduce pollutant loadings and whether additional measures are needed.
- Observe structural measures, sediment controls, and other storm water BMP's to ensure proper operation.
- Inspect any equipment needed to implement the plan, such as spill response equipment.
- Revise the plan as needed within two weeks of inspection (potential pollutant source description and description of measures and controls).
- Implement any necessary changes in a timely manner, but at least within 12 weeks of the inspection.
- Prepare a report summarizing inspection results and follow up actions; the date of inspection and personnel who conducted the inspection; identify any incidents of noncompliance or certify that the facility is in compliance with the plan.
- All incidents of noncompliance must be documented in the inspection report. Where there are no incidents of noncompliance, the inspection report must contain a certification that the facility is in compliance with the plan.
- Sign the report and keep it with the plan.

See the following page, Template 4 – Annual Comprehensive Site Evaluation Report, and complete.

Annual Comprehensive Site Compliance Evaluation Report				
Inspected by:			Title:	Inspection Date:
Inspection Items	YES	NO	Major Observations/Comments	Modifications to Measures + Controls
Are the members on the Pollution Prevention Team still current?				
Is the Site Plan drawing still accurate?				
Is your inventory of exposed materials still accurate?				
Were there any spills or leaks during the past year?				
Did your facility conduct quarterly visual comprehensive site compliance valuations?				
Is there evidence of pollutants entering the drainage system?				
Are the existing measures and controls to reduce pollutant loadings effective?				
Are the structural BMPs (retention ponds, swales, berms, etc.) maintained and operating properly?				
Are spill prevention and Response procedures being followed?				
Does your facility maintain good housekeeping?				
Did facility personnel conduct/document monthly visual inspections?				
Has annual pollution prevention training been completed and documented at least one time this year?				
Does your facility keep adequate records of inspections, spills, and maintenance activities?				

See the following page. Template 4 – Comprehensive Site Evaluation, and complete.

4 – COMPREHENSIVE SITE EVALUATIONS

Inspection Results and Follow-up Action		
Date	Site Personnel Performing Inspection	Incidents of Noncompliance

Certification

I, _____ certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designated to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

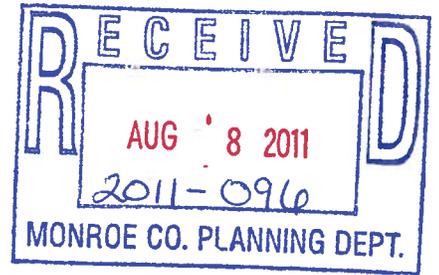
Name: _____

Title: _____

Signature: _____

Date: _____

Keys Engineering Services, Inc
86801 Overseas Highway
Islamorada, FL 33036
Daryle L. Osborn, P.E. 27428



**Storm Water Management Plan
For
Pirate's Hat Marina**

Project Description: A new outdoor boat storage area and associated gravel access ways.

Project Location: Pirate's Hat Marina is located in Key Largo, Florida at approximately Mile Marker 112.

Existing Site Conditions:

Vegetation: The entire site has been disturbed.

Soils: The area is crushed rock over pervious oolite rock. The water table was encountered at 4'0" below existing grade.

**Flood Plan &
Elevations:**

The proposed construction is in Flood Zone "AE10". The overall site elevation is between 3'-5' MSL.

Handwritten signature and date: [Signature] 2/20/11

Storm Water Management Plan

Site Data:

Net Area = 28,408 square feet

Impervious Areas

Existing Concrete Docks = 3,350sf
Gravel Access Ways = 13,044sf
Existing Structures = 1,307sf

Total = 17,701sf

Percent Pervious = 37.7 %

Pre / Post Development Runoff:

1. Compute Predevelopment Runoff

- Depth to Groundwater = 4.0'
- Soils Storage (C-111-3) = 8.18 inches
- P = 8.5 inches

$$Q = (P - .2S)^2 / (P + .8S)$$

$$P = 8.5$$

$$S = 8.18$$

$$Q = 3.13 \text{ inches}$$

2. Compute Post-development Runoff

- Soils Storage (C-111-3) = 8.18 inches
- P = 8.5 inches
- Percent Pervious = 37.7%

$$Q = (P - .2S)^2 / (P + .8S)$$

$$P = 8.5$$

$$S = .377 \times 8.18 = 3.08$$

$$Q = 5.65 \text{ inches}$$

3. Limit Post to Pre development Runoff
Storage Required:

$$5.65 - 3.13 = 2.52 \text{ inches}$$

$$2.52 \times 28,408 / 12 = 5,965 \text{ cubic feet to retain}$$

Volume of Water to be Treated:

The storm water runoff will be maintained on site by dry retention methods. Refer to the site drainage plan for location and sizes of the swale areas.

Swale Area A – 320 cf

Swale Area B & C – 1,840 cf

Swale Area D & E – 1,840 cf

Swale Area F – 320 cf

Swale Area G – 1,200 cf

Swale Area H – 1,250 cf

The total volume of retention is 6,640 cubic feet. This exceeds the required 5,965 cubic feet.

Water Quality:

The volume of water to be treated and controlled is ½ inch initial runoff:

$$0.5 \times 28,408 / 12 = 1,184 \text{ cubic feet}$$

The existing site condition is crushed gravel with fines which filters the surface water runoff.

25 Year Storm:

A 25 year storm over a 24 hour period in South Florida will average 1.05 inches of rainfall per hour. The initial wash calculations used a rate of 2.52 inches per hour. The initial wash calculations are worst case and will govern.

$$1.05 \times 28,408 / 12 = 2,486 \text{ cubic feet}$$

County of Monroe
Growth Management Division

Office of the Director

2798 Overseas Highway
Suite #400
Marathon, FL 33050
Voice: (305) 289-2517
FAX: (305) 289-2854



Board of County Commissioners

Mayor Sylvia J. Murphy, Dist. 5
Mayor Pro Tem Heather Carruthers, Dist. 3
Kim Wigington, Dist. 1
George Neugent, Dist. 2
Mario Di Gennaro, Dist. 4

We strive to be caring, professional and fair

Date: 8.8.11
Time: AM

Dear Applicant:

This is to acknowledge submittal of your application for Major Conditional
Type of application

Pirate Hat Marina LLC to the Monroe County Planning Department.
Project / Name

Thank you.

Ann Huxley

Planning Staff

End of Additional File 2011-096

	Reed & Company Land Use Planning & Consulting Phone: 678.708.9247 Email: joel@rc3world.com					
	<table border="0"><tr><td><u>Mailing Address</u></td><td><u>Physical Address</u></td></tr><tr><td>411 Ridgewood Rd NE</td><td>102901 Overseas Hwy</td></tr><tr><td>Atlanta, GA 30307</td><td>Key Largo, FL 33037</td></tr></table>	<u>Mailing Address</u>	<u>Physical Address</u>	411 Ridgewood Rd NE	102901 Overseas Hwy	Atlanta, GA 30307
<u>Mailing Address</u>	<u>Physical Address</u>					
411 Ridgewood Rd NE	102901 Overseas Hwy					
Atlanta, GA 30307	Key Largo, FL 33037					

Jul 29, 2011

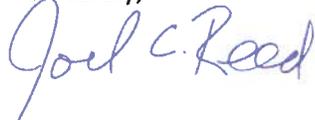
Monroe County
Planning & Environmental Resources
Attn: Mr. Townsley Schwab, Senior Director
2798 Overseas Hwy.
Suite 400
Marathon, FL 33050



Mr. Schwab,

Please find the enclosed application for an Amendment to a conditional use permit in reference to Pirate Hat Marina LLC an existing operating Marina located at 199 Morris Lane at approximately MM 113 (on the 18 Mile Stretch) in Key Largo. In addition please find the enclosed application fee in the amount of \$10,435.00. If you have any questions or concerns please do not hesitate to contact me at the above listed number.

Sincerely,


Joel C. Reed, AICP

Project Name & Location

Pirate Hat Marina
199 Morris Lane
Key Largo, FL 33037

Project Description

Amendment to Major Conditional Use

Owner/Applicant

Pirate Hat Marina LLC

Date:

7/21/2011

Agent

	Reed & Company Land Use Planning & Consulting Phone: 678.708.9247 Email: joel@rc3world.com
<u>Mailing Address</u> 411 Ridgewood Rd NE Atlanta, GA 30307	<u>Physical Address</u> 102901 Overseas Hwy Key Largo, FL 33037

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 - 3.2 Corporate Annual Report
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8. Environmental Designation Survey & Community Impact Statement
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 - 14.6 Occupational License(s)- Marina Storage and Retail Sales
 - 14.7 Habitat Map

Attachments

- Attachment 1 Survey – (3 Originals)
Attachment 2 Site Plan & Elevations, Landscape Plan, Conceptual Drainage
Attachment 3 Landscape Plan & Conceptual Drainage

	Reed & Company Land Use Planning & Consulting Phone: 678.708.9247 Email: joel@rc3world.com			
	<table><tr><td><u>Mailing Address</u></td><td><u>Physical Address</u></td></tr><tr><td>411 Ridgewood Rd NE Atlanta, GA 30307</td><td>102901 Overseas Hwy Key Largo, FL 33037</td></tr></table>	<u>Mailing Address</u>	<u>Physical Address</u>	411 Ridgewood Rd NE Atlanta, GA 30307
<u>Mailing Address</u>	<u>Physical Address</u>			
411 Ridgewood Rd NE Atlanta, GA 30307	102901 Overseas Hwy Key Largo, FL 33037			

TAB 1

APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



Request for a Major Conditional Use Permit / Amendment to a Major Conditional Use Permit

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review

Major Conditional Use Permit Application Fee: \$10,014.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Technology Fee: \$20.00

Date of Submittal: 07 / 29 / 2011
Month Day Year

Property Owner:

Pirate Hat Marina LLC (Bud Cornell)
Name

199 Morris Lane, Key Largo, FL 33037
Mailing Address (Street, City, State, Zip Code)

305.731.0060
Daytime Phone

centurykey@aol.com
Email Address

Agent (if applicable):

RC3WORLD, Inc. (Joel C. Reed)
Name

411 Ridgewood Road NE, Atlanta, GA 30307
Mailing Address (Street, City, State, Zip Code)

305.393.5413
Daytime Phone

joel@rc3world.com
Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet)

<u>PB3-140</u>	<u>LOT 1 & PT MORRIS AVE</u>	<u>MONROE PARK</u>	<u>CROSS KEY</u>
<small>Block</small>	<small>Lot</small>	<small>Subdivision</small>	<small>Key</small>
<u>00572820-000000</u>		<u>1709654</u>	
<small>Real Estate (RE) Number</small>		<small>Alternate Key Number</small>	
<u>199 Morris Lane, Key Largo FL 33037</u>		<u>~MM 112</u>	
<small>Street Address (Street, City, State, Zip Code)</small>		<small>Approximate Mile Marker</small>	

APPLICATION

Land Use District Designation(s): Suburban Commercial (SC)

Present Land Use of the Property: Marina

Proposed Land Use of the Property: Marina

Total Land Area: 65.88 Acres

If non-residential or commercial floor area is proposed, please provide:

1 Total number of non-residential buildings
224 SF, Bath House/Office; 3 Boat Storage Rack Footprints w/ boats: ~60 X 51; ~56 X 51; and ~40 X 16
Total non-residential floor area in square feet

If residential dwelling units are proposed, please provide:

0 Total number of residential buildings
0 Total number of permanent, market-rate units
0 Total number of permanent, affordable / employee housing units
0 Total number of transient units (hotel rooms, recreational vehicle / campground spaces)

Has a previous application been submitted for this site within the past two years? Yes ___ No ___

All of the following must be submitted in order to have a complete application submittal:
(Please check as you attach each required item to the application)

- TAB 1 [X] Complete major conditional use permit application (unaltered and unbound);
TAB 2 [X] Correct fee (check or money order to Monroe County Planning & Environmental Resources);
TAB 3 [X] Proof of ownership (i.e. Warranty Deed);
TAB 4 [X] Current Property Record Card(s) from the Monroe County Property Appraiser;
TAB 5 [X] Location map;
TAB 6 [X] Photograph(s) of site from adjacent roadway(s);
Attach 1 [X] Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor - 16 sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat);
TAB 7 [X] Written description of project;
TAB 8 [X] Environmental Designation Survey (prepared in accordance with Monroe County Code);
TAB 9 [X] Community Impact Statement (prepared in accordance with Monroe County Code);
Attach 2 [X] Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect- 16 sets (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following:
[X] Date, north point and graphic scale;

APPLICATION

- Boundary lines of site, including all property lines and mean high-water lines;
- Land use district of site and any adjacent land use districts;
- Flood zones pursuant to the Flood Insurance Rate Map(s);
- Locations and dimensions of all existing and proposed structures and drives;
- Type of ground cover (i.e. concrete, asphalt, grass, rock);
- Adjacent roadways;
- Setbacks as required by the land development regulations;
- Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones;
- Calculations for open space ratios, floor area ratios, residential density and parking;
- Location and type of outdoor lighting;
- Extent and area of wetlands, open space areas and landscape areas;
- Location of solid waste storage;
- Location of sewage treatment facilities;
- Location of existing and proposed fire hydrants or fire wells;

N **Floor Plans for all proposed structures and for any existing structures to be redeveloped – 16 sets** (drawn at an appropriate standard architectural scale and including handicap accessibility features);

Attach 2 **Elevations for all proposed structures and for any existing structures to be modified – 16 sets** (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure);

Attach 2 **Landscape Plan by a Florida registered landscape architect – 16 sets** (may be shown on the site plan; however, if a separate plan, must drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the landscaping plan should include the following:

- Date, north point and graphic scale;
- Boundary lines of site, including all property lines and mean high-water lines;
- Locations and dimensions of all existing and proposed structures and drives;
- Open space preservation areas;
- Existing natural features;
- Size and type of buffer yards including the species, size and number of plants;
- Parking lot landscaping including the species, size and number of plants;
- Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced;
- Transplantation plan (if required);

Attach 2 **Conceptual Drainage Plan – 16 sets** (with drainage calculations; existing and proposed topography; all drainage structures; retention areas; drainage swales; and existing and proposed permeable and impermeable areas);

TAB 10 **Traffic Study, prepared by a licensed traffic engineer;**

TAB 11 **Construction Management Plan**, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging);

TAB 12 **Typed name and address mailing labels of all property owners within a 300 foot radius of the property.** This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 300 foot radius, each unit owner must be included;

TAB 13 **Letters of Coordination are required from the following:**

- Florida Keys Aqueduct Authority (FKAA);
- Florida Keys Electric Cooperative (FKEC) or Keys Energy Services;
- Monroe County Office of the Fire Marshal;

APPLICATION

- Monroe County Health Department;
- Monroe County Solid Waste Management;
- Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day;

If applicable, the following must be submitted in order to have a complete application submittal:

- TAB 14 **Notarized Agent Authorization Letter** (note: authorization is needed from all owner(s) of the subject property)
- N/A **Vegetation Survey or Habitat Evaluation Index** (please contact Monroe County Environmental Resources prior to application submittal to determine if this documentation is necessary)
- N/A **Construction Phasing Plan**
- TAB 13 **Additional Letters of Coordination** may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:
 - Key Largo Wastewater Treatment District (KLWTD)
 - N/A South Florida Water Management District (SFWMD)
 - N/A Florida Department of Transportation (FDOT)
 - Florida Department of Environmental Protection (FDEP)
 - Florida Department of State, Division of Historic Resources
 - N/A Florida Game and Freshwater Fish Commission (FGFFC)
 - N/A U.S. Army Corps of Engineers (ACOE)
 - U.S. Fish and Wildlife Service (USFW)

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

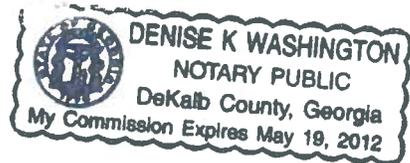
I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Signature] Date: 6/10/11

Sworn before me this 10th day of June 2011

[Signature]
Notary Public
My Commission Expires
May 19, 2012

Please send the complete application package to the Monroe County Planning & Environmental Resources Department, Marathon Government Center, 2798 Overseas Highway, Suite 400, Marathon, FL 33050.



TAB 2

	Reed & Company Land Use Planning & Consulting Phone: 678.708.9247 Email: joel@rc3world.com	
	<u>Mailing Address</u> 411 Ridgewood Rd NE Atlanta, GA 30307	<u>Physical Address</u> 102901 Overseas Hwy Key Largo, FL 33037

July 29, 2011

Monroe County Planning & Environmental Resources
 Attn: Gail Creech
 2798 Overseas Hwy., Suite 400
 Marathon, FL 33050

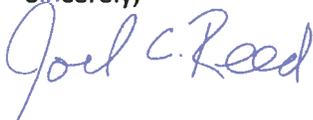
Ms. Creech,

Please find the enclosed check in the amount of \$10,435.00 regarding the Amendment to the major conditional use application that was submitted for Pirate Hat Marina LLC electronically to your offices.

Application Fee:	\$10,014.00	
Surrounding Property Owner Notices:	\$ 156.00	(52 X \$3/each)
Advertising Cost:	\$ 245.00	
Technology Fee:	\$ 20.00	
TOTAL	\$10,435.00	

If you have any questions or concerns please do not hesitate to contact me at the above listed numbers.

Sincerely,


 Joel C. Reed, AICP

TAB 3

Doc# 1588049 06/19/2006 2:20PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

10.00
14630.00

This Document Prepared By and Return to:
Pamela Setchell, an employee of Joe Mikdas, P.A.
P.O. Box 366
Islamorada, FL 33036
06/19/2006 2:28PM
DEED DOC STAMP CL: RHONDA \$14,630.00

Doc# 1588049
Bk# 2217 Pg# 1289

Parcel ID Number: 00572820-000000

Warranty Deed

This Indenture, Made this 16th day of June, 2006 A.D., Between
William Stroemel, Jr. and Jennie M. Stroemel, husband and wife

of the County of Seminola, State of Florida, grantors, and
Pirate Hat Marina, LLC, a Florida limited liability company

whose address is: 199 Morris Lane, Key Largo, FL 33037

of the County of Monroe, State of Florida, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of

TEN DOLLARS (\$10) DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Monroe, State of Florida to wit:

Lot 1, MONROE PARK SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 3, at Page 140, of the Public Records of Monroe County, Florida.

Subject to restrictions, reservations and easements of record, if any, and taxes subsequent to 2005.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Jack Thorley
Printed Name: JACK THORLEY
Witness

William Stroemel, Jr. (Seal)
William Stroemel, Jr.
P.O. Address: 1576 Saitan Circle, Chuluota, FL 32766

Pamela Setchell
Pamela Setchell
Witness

Jennie M. Stroemel (Seal)
Jennie M. Stroemel
P.O. Address: 1576 Saitan Circle, Chuluota, FL 32766

STATE OF Florida
COUNTY OF Monroe

MONROE COUNTY
OFFICIAL PUBLIC RECORD

The foregoing instrument was acknowledged before me this 16 day of June, 2006 by
William Stroemel, Jr. and Jennie M. Stroemel

who are personally known to me or who have produced their Florida driver's license as identification.



Pamela Setchell
Pamela Setchell
Notary Public
My Commission Expires: 09/14/07

2010 LIMITED LIABILITY COMPANY REINSTATEMENT

FILED
Nov 15, 2010
Secretary of State

DOCUMENT# L06000060065

Entity Name: PIRATE HAT MARINA, LLC

Current Principal Place of Business:

199 MORRIS AVE.
KEY LARGO, FL 33037

New Principal Place of Business:

Current Mailing Address:

199 MORRIS AVE.
KEY LARGO, FL 33037

New Mailing Address:

FEI Number: 20-5038146

FEI Number Applied For ()

FEI Number Not Applicable ()

Certificate of Status Desired ()

Name and Address of Current Registered Agent:

MIKLAS, JOE
88765 OVERSEAS HWY.
TAVERNIER, FL 33070 US

Name and Address of New Registered Agent:

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: JOE MIKLAS

Electronic Signature of Registered Agent

Date

MANAGING MEMBERS/MANAGERS:

Title: MGRM
Name: CORNELL, CLIFFORD
Address: 199 MORRIS AVE.
City-St-Zip: KEY LARGO, FL 33037

Title: MGRM
Name: WIESE, SUZAN
Address: 299 MORRIS AVE.
City-St-Zip: KEY LARGO, FL 33037

I hereby certify that the information indicated on this report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 608, Florida Statutes.

SIGNATURE: SUZAN WIESE

MGRM

11/15/2010

Electronic Signature of Signing Managing Member, Manager, or Authorized Representative / Date

TAB 4

Ervin A. Higgs, CFA
Property Appraiser
Monroe County, Florida

office (305) 292-3420
fax (305) 292-3501

MONDAY - DECEMBER 20, 2010 The Marathon & Plantation
MONDAY - DECEMBER 20, 2010 The Key West office will be

Property Record View

Alternate Key: 1709654 Parcel ID: 00572820-000000

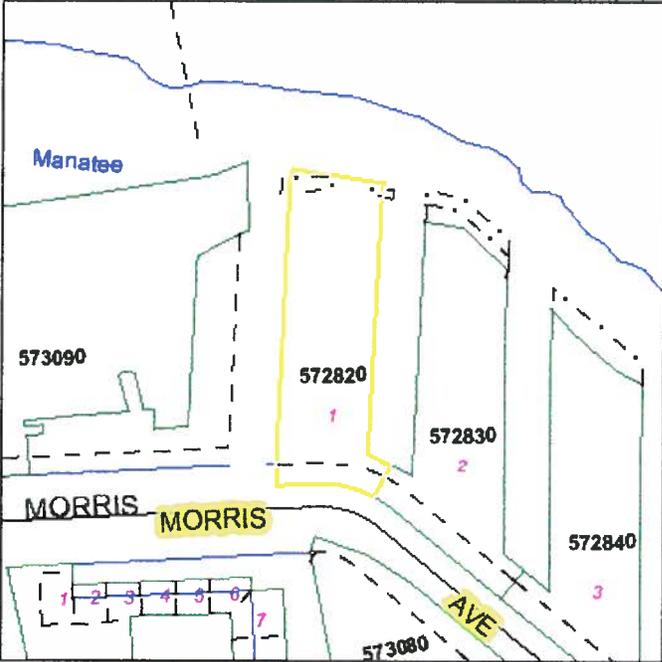
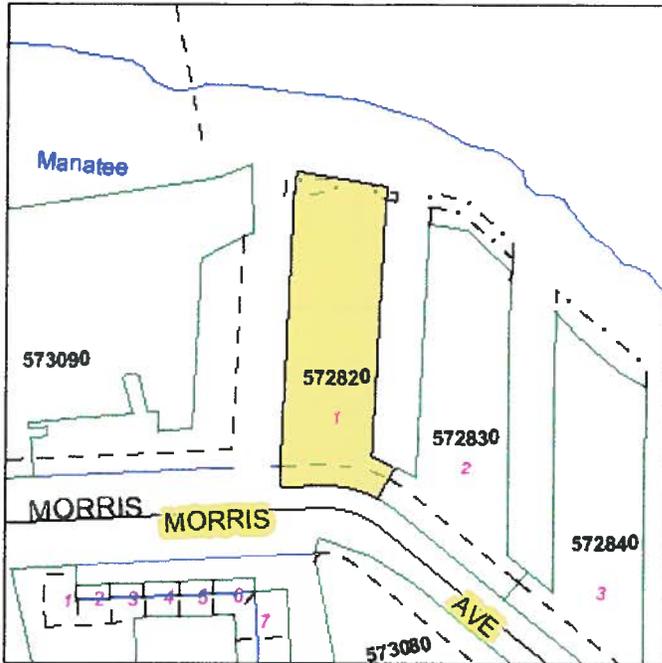
Ownership Details

Mailing Address:
PIRATE HAT MARINA LLC
199 MORRIS LN
KEY LARGO, FL 33037

Property Details

PC Code: 20 - AIRPORTS, MARINAS, BUS TERM
Millage Group: 500K
Affordable Housing: No
Section-Township-Range: 04-60-39
Property Location: 199 MORRIS AVE KEY LARGO
Subdivision: MONROE PARK
Legal Description: MONROE PARK PB3-140 CROSS KEY LOT 1 & PT MORRIS AVE (II LEASE #40003565) OR1133-1943/48 OR1343-2444/51 OR531-464 OR897-1704Q/C OR934-2383C/Q/C OR1768-1995/2028(RES NO 025-2002) OR1867-755/758(RES NO 587-2002) OR2217-1299 OR2217-1300Q/C OR2284-514/523(LEASE)

Parcel Map



Land Details

Land Use Code	Frontage	Depth	Land Area
100C - COMMERCIAL CANAL	0	0	0.83 AC

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1

Total Living Area: 224
Year Built: 1985

Building 1 Details

Building Type
Effective Age 24
Year Built 1985
Functional Obs 0

Condition A
Perimeter 60
Special Arch 0
Economic Obs 0

Quality Grade 250
Depreciation % 30
Grnd Floor Area 224

Inclusions:

Roof Type
Heat 1
Heat Src 1

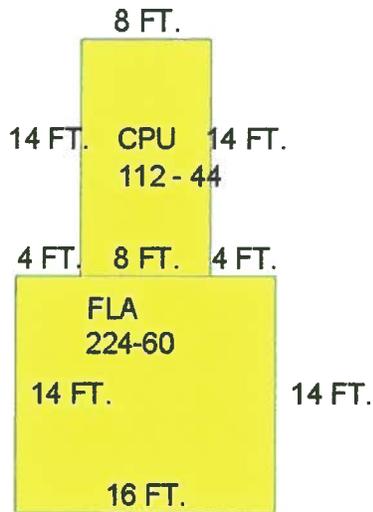
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 22

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	CPU		1	1995					112
1	FLA		1	1995					224

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	14715	CAMP BLDG	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
5093	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	PT3:PATIO	260 SF	0	0	2003	2007	2	50
0	WD2:WOOD DECK	25 SF	5	5	2003	2007	1	40
0	DK2:CON DKS/CONPIL	3,915 SF	0	0	2000	2007	3	60

Appraiser Notes

PIRATES HAT MARINA 18 BOAT SLIPS 3 RV UNITS
PIRATES HAT MARINA 20 BOAT SLIPS 1 RV UNIT, 7 DRY LOT SLIPS.

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	28,694	114,451	518,750	768,273	768,273	0	768,273
2009	30,333	117,145	622,500	1,406,854	1,406,854	0	1,406,854
2008	30,333	118,514	778,125	1,758,567	1,758,567	0	1,758,567
2007	25,223	121,206	778,125	1,758,567	1,758,567	0	1,758,567
2006	17,920	40,929	186,750	245,599	245,599	0	245,599
2005	17,920	42,352	186,750	247,022	247,022	0	247,022
2004	17,917	43,775	186,750	248,442	248,442	0	248,442
2003	17,917	44,524	171,000	233,441	233,441	0	233,441
2002	20,476	45,947	165,525	231,948	231,948	0	231,948
2001	20,476	47,371	132,240	200,087	200,087	0	200,087
2000	20,476	31,492	132,240	184,208	184,208	0	184,208
1999	20,476	32,425	132,240	185,141	185,141	0	185,141
1998	14,966	33,358	132,240	180,564	180,564	0	180,564
1997	14,966	33,850	132,240	181,056	181,056	0	181,056
1996	13,605	34,783	132,240	180,628	180,628	0	180,628
1995	0	19,392	132,240	151,632	151,632	0	151,632
1994	0	19,682	132,240	151,922	151,922	0	151,922
1993	0	20,183	132,240	152,423	152,423	0	152,423

1992	0	20,684	132,240	152,924	152,924	0	152,924
1991	0	20,974	132,240	153,214	153,214	0	153,214
1990	0	21,475	132,240	153,715	153,715	0	153,715
1989	0	21,975	132,240	154,215	154,215	0	154,215
1988	0	17,307	132,240	149,547	149,547	0	149,547
1987	0	17,696	132,240	149,936	149,936	0	149,936
1986	0	18,085	132,240	150,325	150,325	0	150,325
1985	0	15,020	132,240	147,260	147,260	0	147,260
1984	0	15,343	132,240	147,583	147,583	0	147,583
1983	0	15,666	74,861	90,527	90,527	0	90,527
1982	0	15,827	74,861	90,688	90,688	0	90,688

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

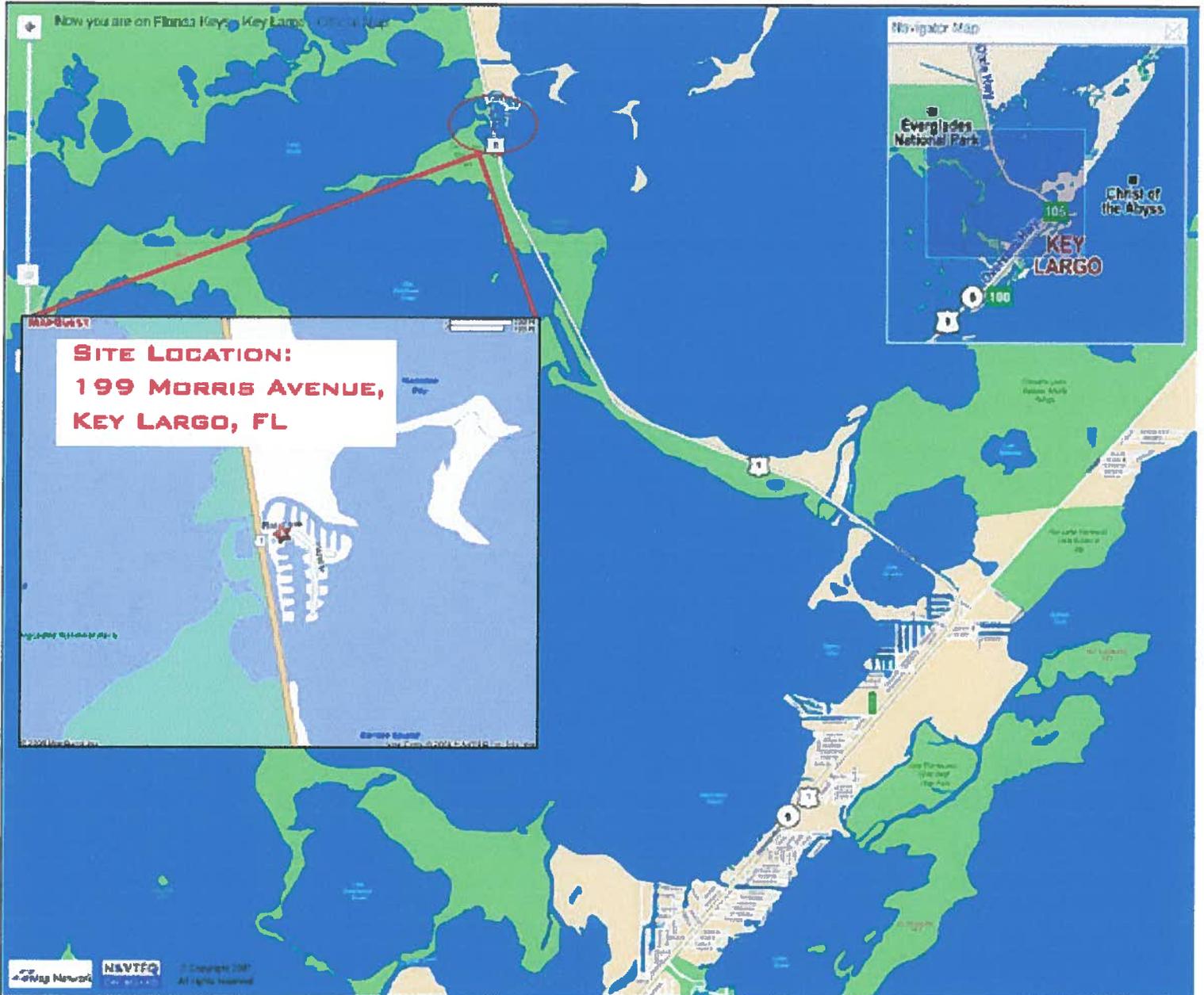
Sale Date	Official Records Book/Page	Price	Instrument	Qualification
6/16/2006	2217 / 1299	2,090,000	WD	Q
2/1/1973	531 / 464	5,000	00	Q

This page has been visited 20,988 times.

Monroe County Property Appraiser
 Ervin A. Higgs, CFA
 P.O. Box 1176
 Key West, FL 33041-1176

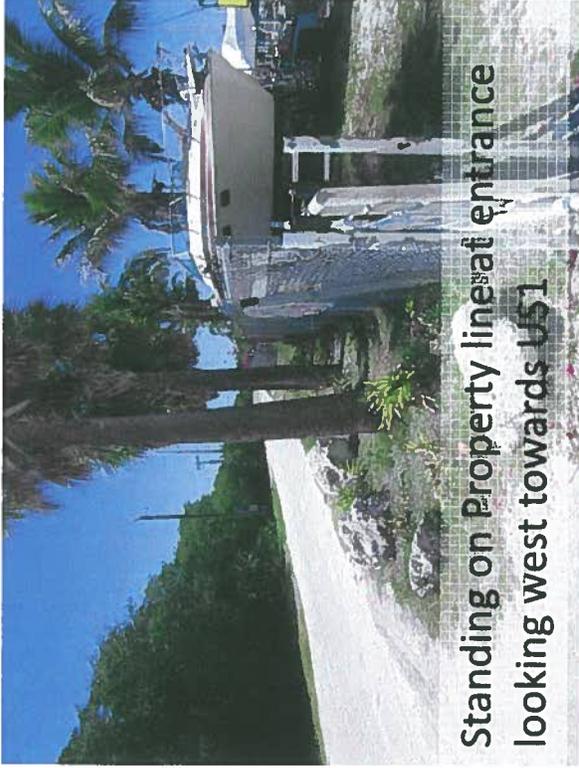
TAB 5

LOCATION MAP



TAB 6

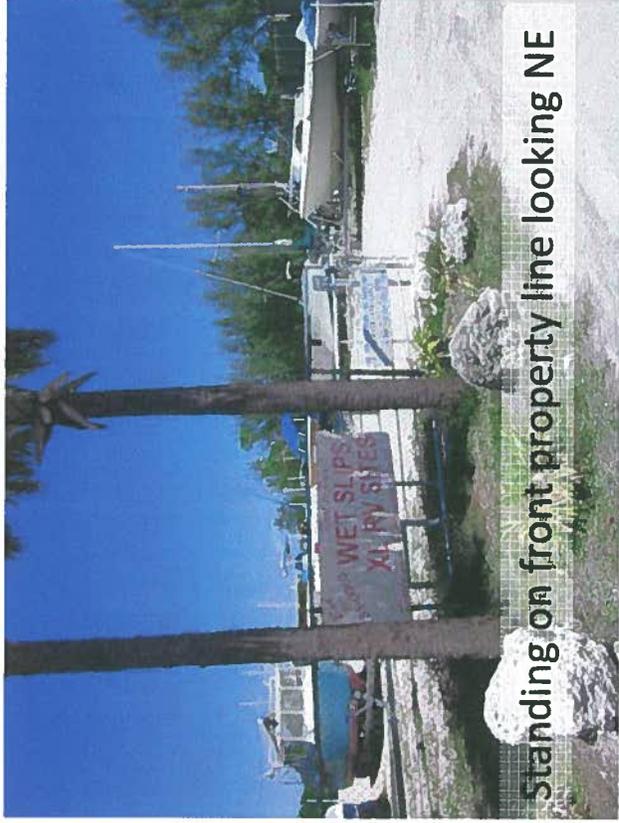
Pirate Hat Marina



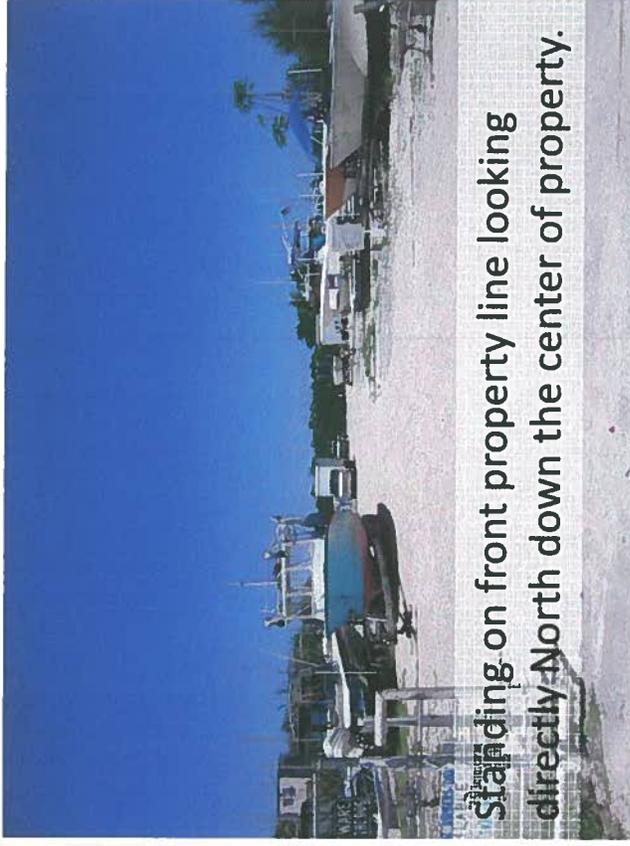
Standing on Property line at entrance looking west towards US1



Standing at entrance of property looking east

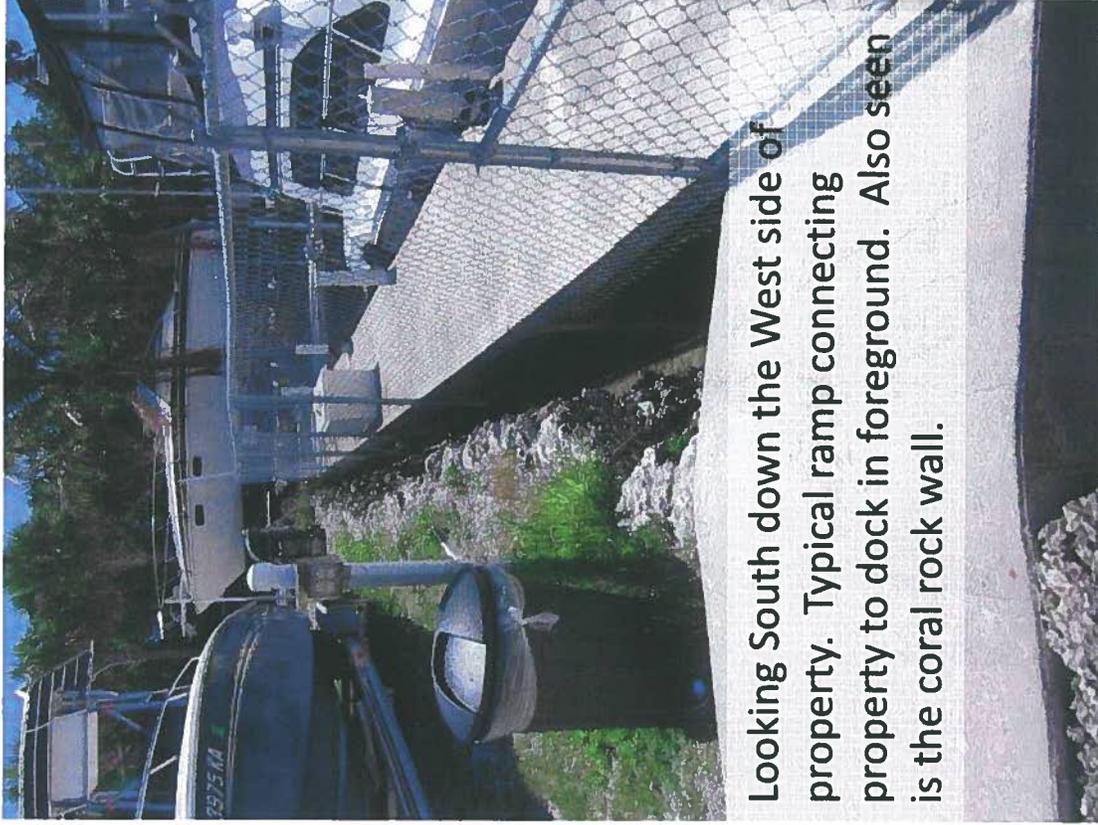


Standing on front property line looking NE

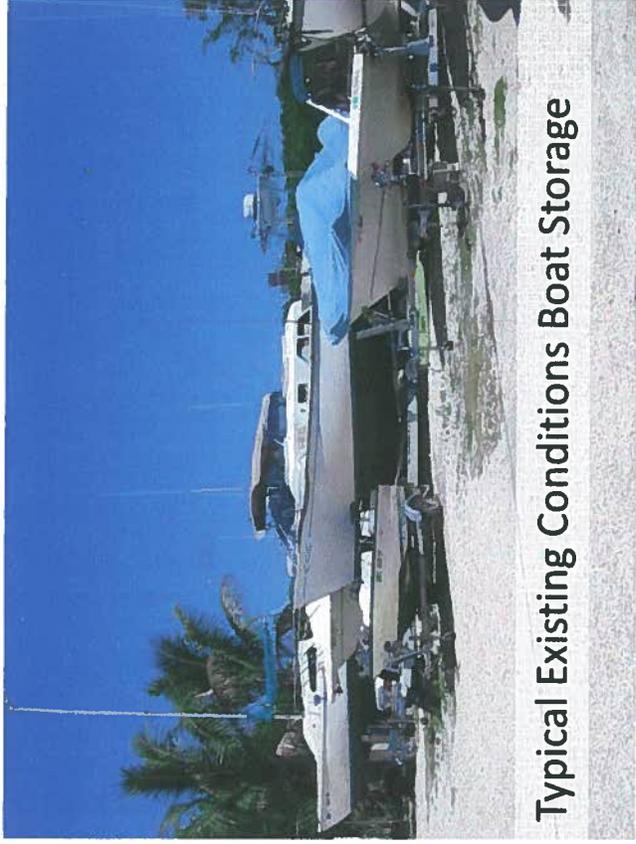
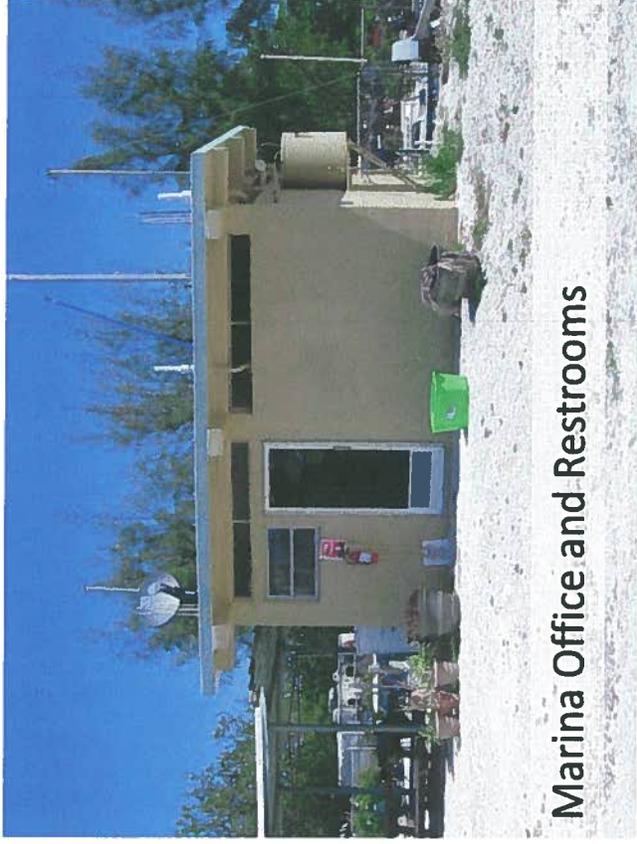
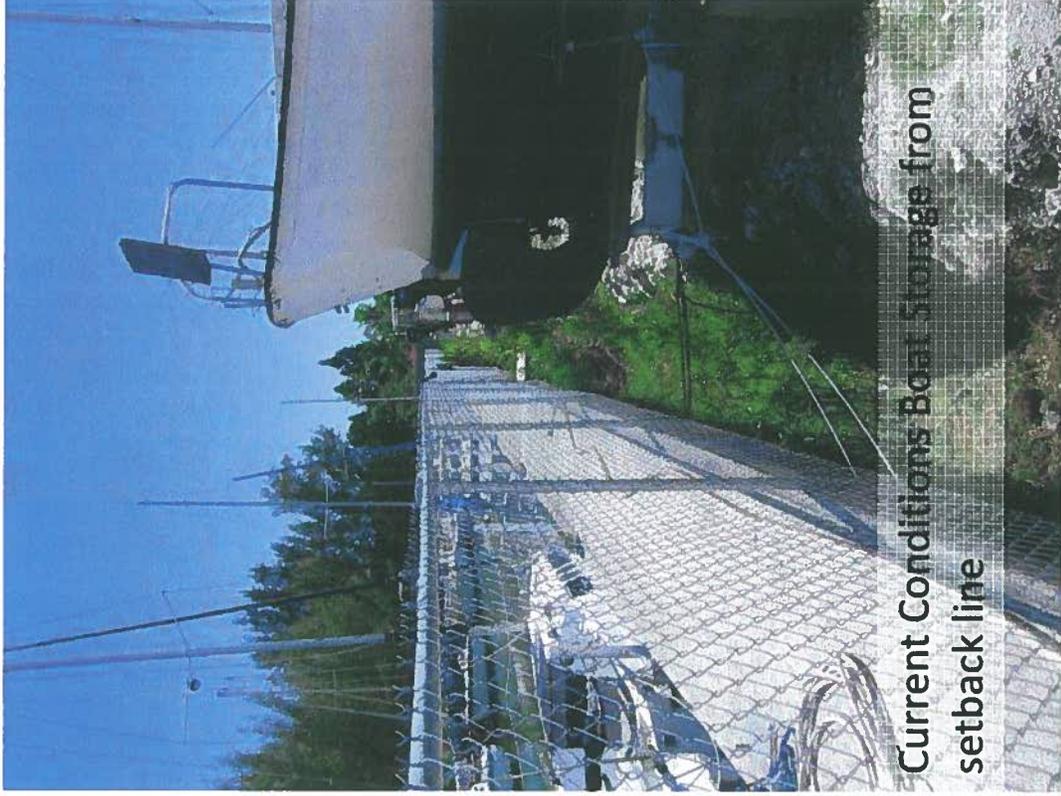


Standing on front property line looking directly North down the center of property.

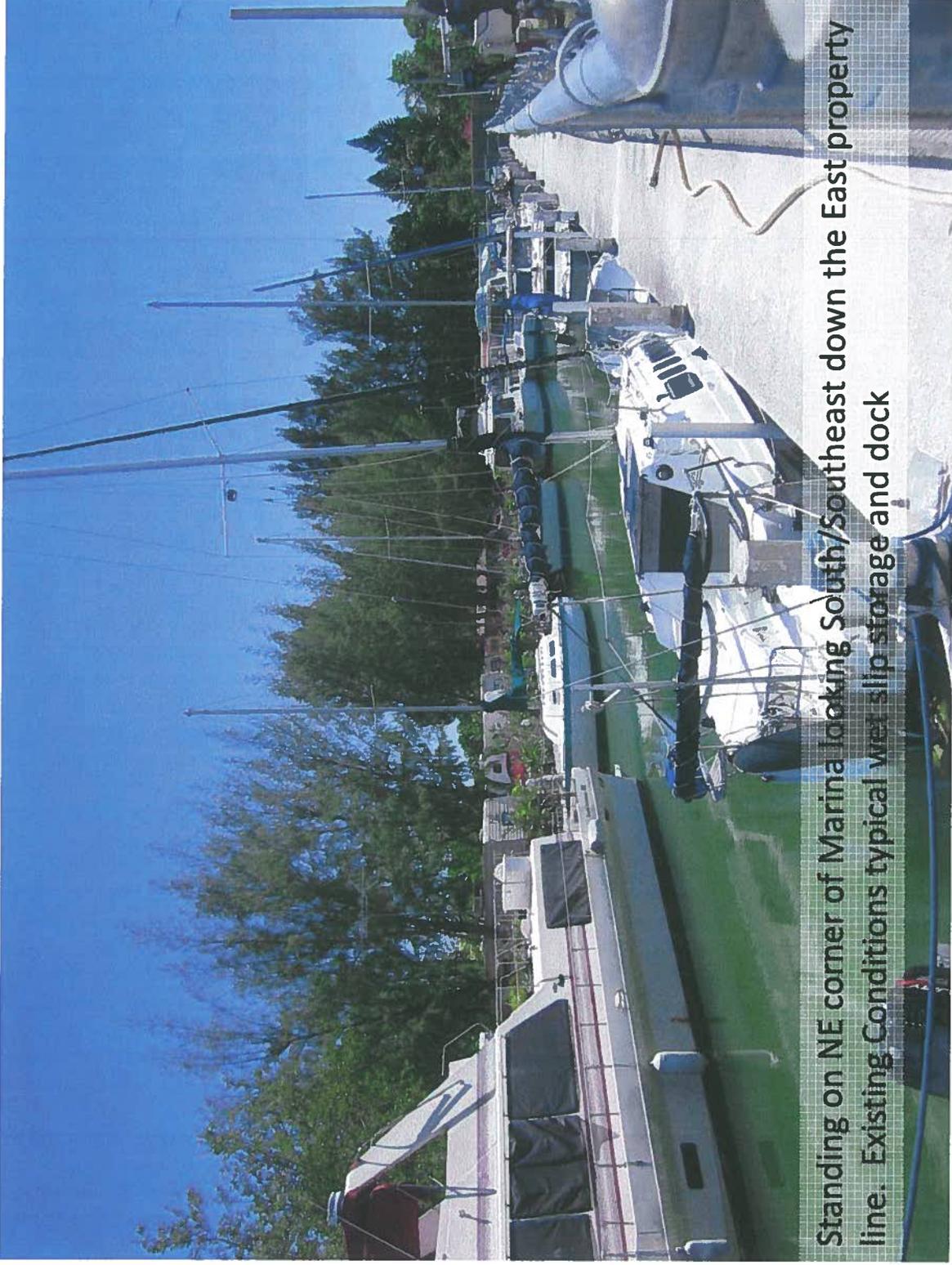
Pirate Hat Marina



Pirate Hat Marina

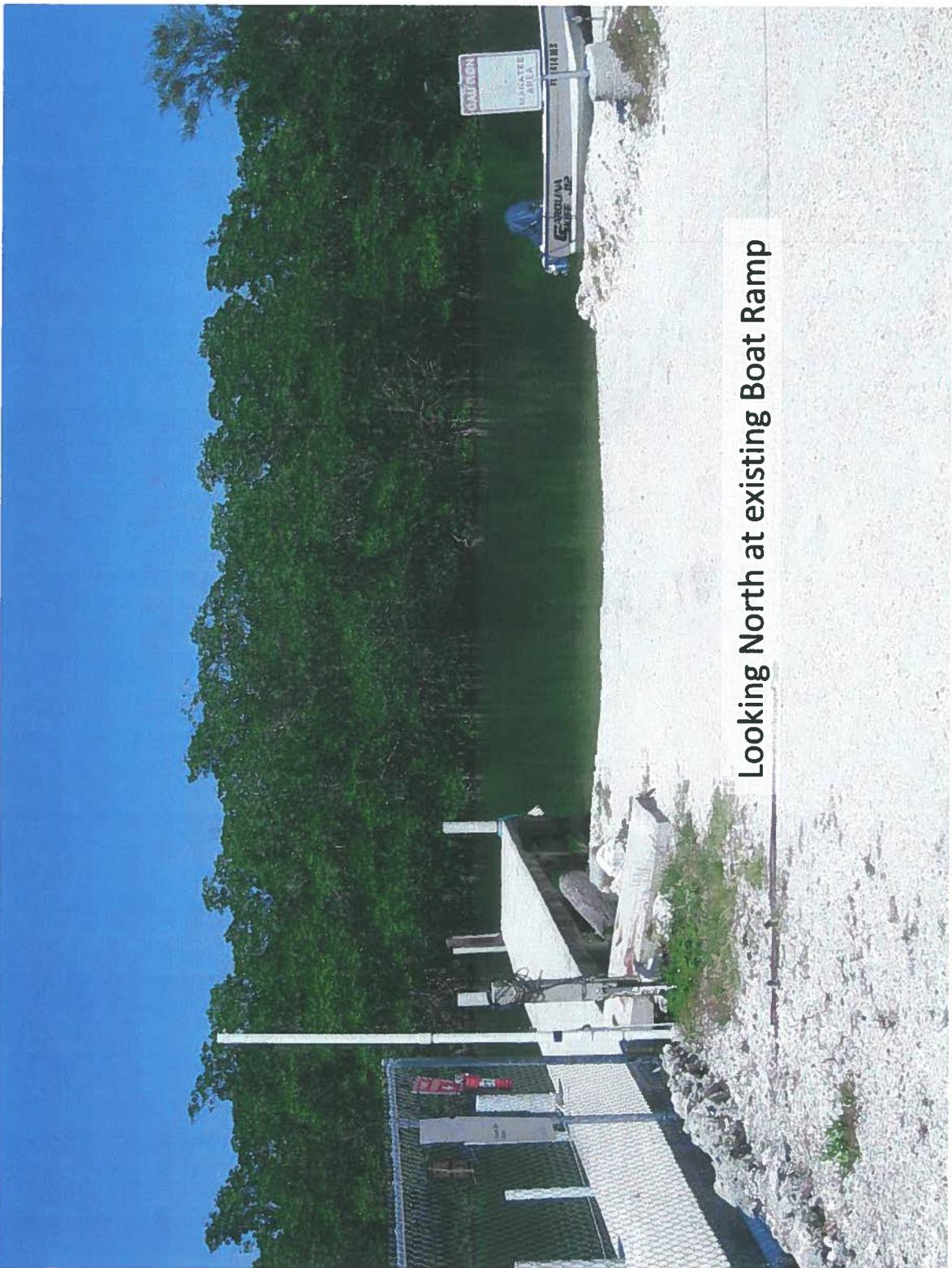


Pirate Hat Marina



Standing on NE corner of Marina looking South/Southeast down the East property line. Existing Conditions typical wet slip storage and dock

Pirate Hat Marina



Looking North at existing Boat Ramp

TAB 7

DESCRIPTION OF PROJECT

Client proposes redevelopment of Pirate Hat Marina located on Cross Key. Historically the site has been used as a Marina with wet slips, liveaboards, RV units and dry storage of boats. Pirate Hat Marina would like to add additional dray rack storage to the site and at the same time bring the site into compliance to the maximum extent practicable with Monroe County Land Development Regulations.

Description of the Property:

The site is legally described as Monroe Park PD3-140 Cross Key Lot 1 and Part Morris Ave (II Lease #40003565). Section 04, Township 60, Range 39, Key Largo, Monroe County Florida.

Real Estate Number:

00572820-000000

AK Number:

1709654

Owner of Record:

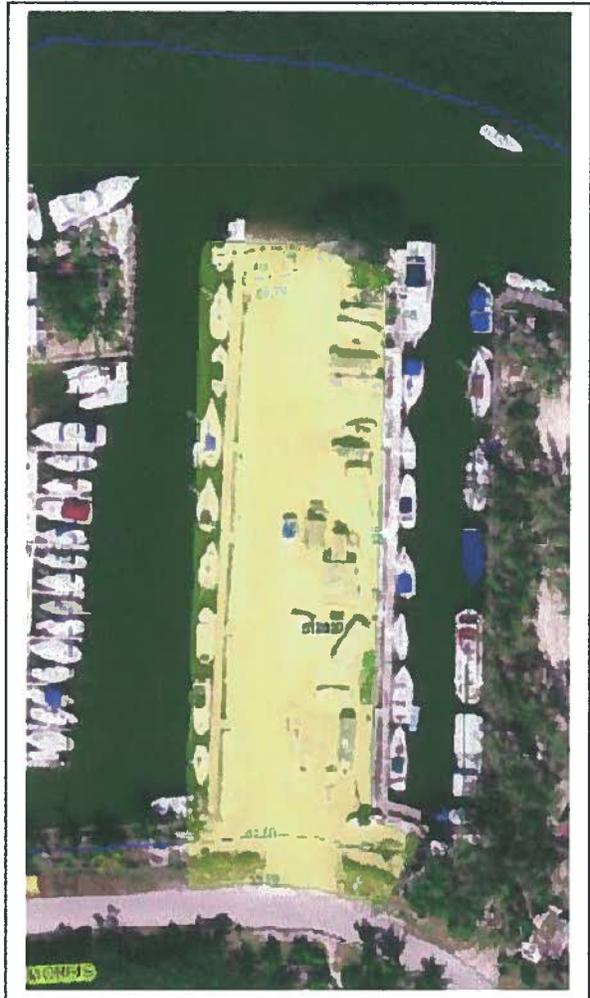
Pirate Hat Marina LLC
199 Morris Lane
Key Largo, FL, 33037

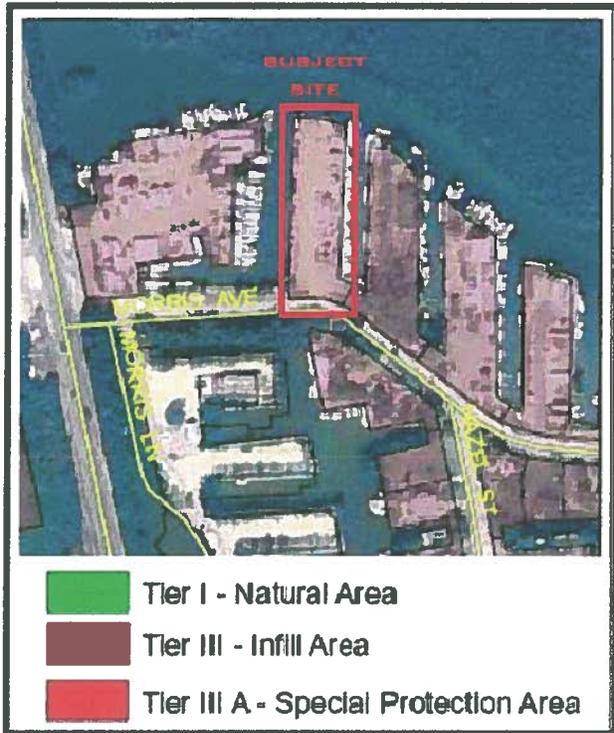
Physical Location:

199 Morris Ave., Key Largo, FL 33037
Approximate MM 112

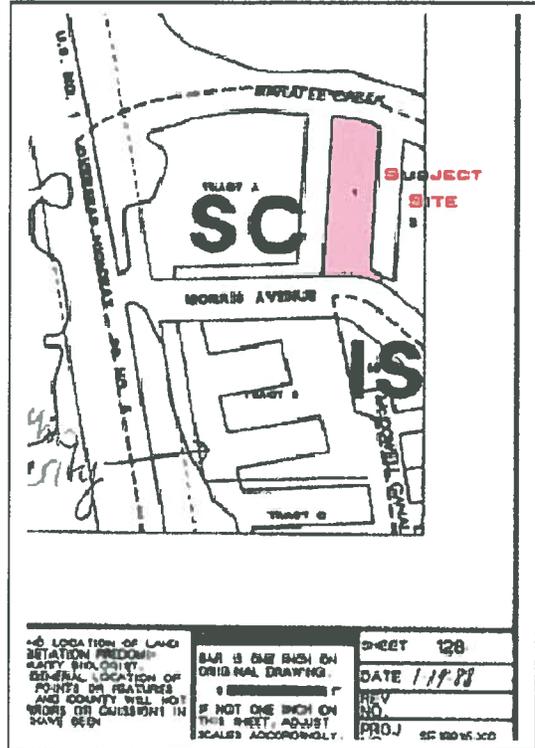
Site Size:

+/- .83 Acres (Per Property Record Card)
Note. boundary survey should be updated with upland acreage and submerged land





TIER DESIGNATION – TIER III



Zoning – Suburban Commercial (SC)

History of Site

Per the property record card the site was developed with docks back to 1979. A utility building was placed on the site on August 7, 1984 per permit C15519. The 1993 Marine Management Survey showed 18 wet slips on the site and a boat ramp. The 2005 Property Record card make mention to the site having 18 Boat slips and 3 RV Units.

Current Use

Based upon the verbal record that has been provided and the research and document review that has been completed it appears the sites current use is for mooring of boats along with approximately 20 dry storage spaces (on ground), and three (3) RV units.

Proposed Use

- Dry Storage: Add approximately 40 additional dry rack storage spaces, to the 20 existing, for a total of 60 dry rack storage spaces.
- Wet Slips: Maintain existing 16 Wet Slips
- Top of Racks with Boats: Not to Exceed 35' from existing grade or crown of nearest adjacent Road

- Variance to Setback and required parking: The project will request a variance for: access drive, racks, and number or required parking spaces, Please see Variance application.
- RV Units : Existing RV units believed to be Lawfully Established to be processed under separate application
- Density/Intensity: Boat Rack system will not exceed 50% of the sites net area and will therefore not be considered NROGO floor area, meaning an allocation will not be required , and it will not count towards intensity calculations. Based on net acres we calculate that up to 14, 462 square feet of floor area can be used for the boat racks without triggering the requirement for NROGO.
- Setbacks: 25’ Front along Morris Lane, 20’ waterfront setback on three sides. We will be requesting and a Variance during the conditional use process to the shoreline setback and potentially the Front Yard setback as well.

Purpose of Suburban Commercial (SC) District

The purpose of the SC district is to establish areas for commercial uses designed and intended primarily to serve the needs of the immediate planning area in which they are located. This district should be established at locations convenient and accessible to residential areas without use of U.S. 1.

Site Utility Calculations

The following table shows that the site meets requirements for total site utility which is a combination of all the proposed uses juxtaposed with total allowed intensity for a single use times the percentage of that use on the site. More importantly the code allows boat racks with three or fewer sides not associated with retail sales of boats which do not exceed 50% of the net buildable area of the lot/parcel to not be considered nonresidential floor area. The net buildable area of the site is 22,726 square feet and 50% of this would be 11,363 square feet. The boat racks only represent 6,432 square feet and are therefore compliant with this requirement.

<i>Planning Density and Open Space Requirements</i>				
			ACRES	SQUARE FEET
Planning Open Space 130-157		%	0.65	28,408
Open Space Planning Required 130-157		20%	0.13	5,682
Remaining Buildable Area		80%	0.52	22,726
Proposed Developed Area		73%	0.48	20,783
Portion of Buildable Area with Boat Racks*		28%	0.15	6,432
Proposed Open Space Remaining		27%	0.18	7,625
Environmental Open Space 130-83**				
			N/A	N/A
Allocated Density for SC Zoning (Sec. 130-157)				
	Units/ Lot		Percent of Site used by Development	Units or Square

				Footage
Light Industry		0.3	100.00%	8522.4
Non-Floor Area Exclusion*		0.5	100.00%	11363.2
Medium Intensity Commercial Retail	Com	0.25	100.00%	7102
Office	Off	0.4	100.00%	11363.2
PROPOSED DEVELOPMENT		Units/ acre	Percent of Site used by Development	Units or Square Footage
Racks*		N/A	N/A	6432
COMMERCIAL				
Medium Intensity Commercial Retail		0.25	3%	224
Marina Slips		16	N/A	N/A
Total Commercial			3%	224
TOTAL SITE UTILITY			3%	
NOTES:				
*Boat racks with three or fewer sides not associated with retail sales of boats which do not exceed 50% (or 11,363 sf) of the net buildable area (22,726 square feet) of the lot/parcel are not considered nonresidential floor area. Boat racks as proposed only represent 28% of buildable area.				
** Racks only represent 6,432 square feet and are therefore excluded from nonresidential floor area				

Parking

A variance to the required parking standards is being requested. Please see the variance request packet for more discussion on parking.

Section 114- 159 to 163 - Required Off Street Parking				
Proposed Uses	SF or Units	Requirement	Multiplier	TOTAL
Marina Slips	16	1 / Unit	1	16.00
Boat Ramp	1	5/Unit	5	5.00
Dry Storage	60	.25/Unit sf	0.25	15.00
Total Spaces Required				36.00
Spaces Provided				26.00

Landscaping

Please reference landscape plan for details regarding meeting of landscaping requirements including bufferyards.

TAB 8

COMMUNITY IMPACT STATEMENT

PIRATE HAT MARINA LLC, ~MM112

The following is intended to meet the requirements of Section 110-70 of the Monroe County code which requires a Environmental Designation Survey and Community Impact Statement for Major Conditional Use development applications. With regards to the Pirate Hat Marina LLC site the requirements of the Environmental Designation Survey are contained within: Project Description; Landscape Plan; Site Plan; Conceptual Drainage Plan and Calculations.

Sec. 110-70. Major Conditional Uses.

- (a) Applications for major conditional uses. An application for a major conditional use permit shall be submitted to the planning department in a form provided by the director of planning.
- (1) If approval of a plat is required for the proposed development, an application for plat approval shall be submitted in conjunction with the application for a conditional use permit. However, a major conditional use shall not become effective until the plat has been approved by the board of county commissioners.

RESPONSE: Approval of a plat is not required for this project.

- (2) As a part of the application for major conditional use, an applicant shall be required to submit the following, except for those inappropriate to the proposed development due to the limited size or scale of the development as determined by the planning director:
- a. An environmental designation survey consisting of:
1. A plan drawn to a scale of one inch equals 20 feet or less, except where impractical and the planning director authorizes a smaller scale, and showing the following:
 - (i) Location of property;
 - (ii) Date, approximate north point and graphic scale;
 - (iii) Acreage within the property;
 - (iv) Boundary lines of the property and their bearings and distances;
 - (v) Topography and typical ground cover;
 - (vi) General surface characteristics, water areas and drainage patterns;
 - (vii) Contours at an interval of not greater than one foot or at lesser intervals if deemed necessary for review purposes;
 - (viii) 100-year flood-prone areas by flood zone;
 - (ix) Presently developed and/or already altered areas; and
 - (x) Location of mean high-water line.

RESPONSE: Requirements of the Environmental Designation Survey are contained within the site plan and survey.

2. A natural vegetation map and/or a map of unique environmental features such as:
 - (i) Climax tropical hardwood hammocks;
 - (ii) Endangered species habitats;
 - (iii) Major wildlife intensive use areas.

Response: Please reference Habitat Map which is Tab 14.7

3. Aerial photographs of the property and surrounding area.

Response: Please reference Tab 14.3 “Aerial Photograph of Property”

4. A review of historical and archeological sites by the Florida Division of Archives, History and Records Management.

Response: A request for review was sent to their office on 5/31/2011. The response letter from their office indicated that there are no historic resources on the site. In addition the 2003 Monroe County Historic Archeological Survey (GAI) indicates there are no significant or historical resources recorded within the project area.

5. A review of unique environmental features such as:
 - i. Climax tropical hardwood hammocks;
 - ii. Endangered species habitats;
 - iii. Major wildlife intensive use areas.

Response: The site itself is completely scarified with no upland habitat. However, the Florida Keys are mapped as critical habitat for the following threatened or endangered species. Coral, Elkhorn (*Acropora palmata*); Coral, Staghorn (*Acropora cervicornis*); Crocodile, American (*Crocodylus acutus*); Kite, Everglade Snail (*Rostrhamus sociabilis plumbeus*); Manatee, West Indian (*Trichechus manatus*); Plover, Piping (*Charadrius melodus*); Rice rat (*Oryzomys palustris natator*). The immediate vicinity of the site is mapped as habitat for the American Crocodile and the West Indian Manatee.

In addition Federal Court has placed an injunction on the issuance of flood insurance on any new residential or commercial developments in suitable habitats of federally listed species in Monroe County. The Fish and Wildlife Service and Federal Emergency Management Agency are working together to address the concerns identified by the Court and plan to submit a revised biological opinion on the National Flood Insurance Program to the Court in the near future, but do not know when the Court will lift the injunction. The FEMA Federal Injunction list was

checked to see if the Real Estate Numbers appear on this list, which it does.

6. Actual acreage of specific vegetation species or other environmental characteristics.

Response: The site is completely scarified with some fringing mangroves along the edges.

7. General information relating to the property in regard to the potential impact which development of the site could have on the area's natural environment and ecology.

Response: Based on the site being scarified and upon review of the species and habitat map there is no potential impact on the area's natural environmental and ecology which has not already been contemplated by current rules and regulations. Educational and Informational signage can be placed at the site to inform users of the American crocodile and West Indian Manatee and safe boating practices that can be followed in order to minimize or avoid further impact to the species. In addition there is currently no storm water management plan for the site. Development on the site will put in proper swales to handle storm water and there will be replanting of a mangrove fringe between the property and the dock to further remove and clean any runoff from the site. In addition the new plantings will filter and enhance water quality in the canals.

8. Environmental resources:

- (i) If shoreline zones were identified, describe in detail any proposed site alterations in the areas, including vegetation removal, dredging, canals or channels; identify measures which have been taken to protect the natural, biological functions of vegetation within this area such as shoreline stabilization, wildlife and marine habitat, marine productivity and water quality maintenance.

Response: Please see response to 7 above.

- (ii) If tropical hammock communities or other protected vegetative communities were identified, describe proposed site alteration in those areas and indicate measures which were taken to protect intact areas prior to, during and after construction.

Response: N/A

- (iii) Describe plans for vegetation and landscaping of cleared sites including a completion schedule for such work.

Response: Please see the Landscape Plan for the property which outlines bufferyard and parking lot landscaping in compliance with Monroe County Code. In addition the landscape plan will implement xeriscaping by means of native vegetation.

9. Environmental resources-wildlife. Describe the wildlife species which nest, feed or reside on or adjacent to the proposed site. Specifically identify those species considered to be threatened or endangered. Indicate measures which will be taken to protect wildlife and their habitats.

Response: Please see response to item 5 and 7 above.

10. Environmental resources-water quality:

- (i) Identify any waste water disposal areas, including stormwater runoff, septic tank drain-fields, impervious surfaces and construction-related runoff; describe anticipated volume and characteristics. Indicate measures taken to minimize the adverse impacts of these potential pollution sources upon the quality of the receiving waters prior to, during, and after construction; identify the nearshore water quality; and identify how this development will not adversely impact the nearshore water quality.

Response: We have included conceptual drainage plans and calculations. All storm water will be contained on site through swales which will capture all runoff. Therefore there will be no impact to near shore water quality. The DOH indicated that the addition of the boat rack spaces would be treated similar to a warehouse use and would have minimal impact to the existing wastewater system and that it appeared that the present system could handle any additional flow.

- (ii) Indicate the degree to which any natural drainage patterns have been incorporated into the drainage system of the project.

Response: The natural drainage pattern pre-development is fairly evenly dispersed due to consistent elevations over the entire site. The drainage patterns following development will move drainage towards a dry retention swales on the site.

- b. A community impact statement, including:

1. General description of proposed development:

- (i) Provide a general written description of the proposed development; include in this description the proposed phases of development or operation and facility utilization, target dates for each of these, and date of completion; in addition, indicate the site size, developing staging and appropriate descriptive measures such

as quantity and type of residential units, commercial floor area, tourist accommodation units, seating and parking capacities; for residential development, indicate the anticipated unit-per-acre density of the completed project;

Response: Applicant is requesting to redevelop the existing marina with 60 dry slips along with the current 16 wet slips that are on the site. Applicant anticipates beginning construction during the 1st quarter of 2012 and finish within 3 months.

- (ii) Identify aspects of the project design, such as a clustering, which were incorporated to reduce public facilities costs and improve the scenic quality of the development; describe building and siting specifications which were utilized to reduce hurricane and fire damage potential to comply with federal flood insurance regulations and the comprehensive land use plan.

Response: Clustering was used in order to minimize the impact on the site. In addition placement of structures in addition to landscaping and bufferyards were taken into consideration in order to better screen the project from adjacent properties. Parking was designed to be located under the racks to maximize space. Open racks are not viewed in the same way as enclosed structures by FEMA. All structures will be designed to meet or exceed 150 mph.

2. Impact assessment on public facilities and water supply:

- (i) Identify projected daily potable water demands at the end of each development phase and specify any consumption rates which have been assumed for the projection;

Response: This project will be designed and meet Monroe County comprehensive plan Objective 701.1 and policy 701.1.2 which involves meeting the following projected potable water consumption levels of .35 gal./sq.ft./day for Commercial Consumption.

The 2007 Actual water usage for Monroe County was 5,846,000,000 gallons which includes both residential and non-residential consumption. Divided by the 2000 functional population of 153,083 this results in 104.62 gallons/per capita/per day including residential and nonresidential. Non-residential consumption accounts for 29 gallons of the 104.62 gallons of residential consumption in Monroe County.

We will combat the standard practices and consumption behavior in Monroe County by implementing the following in the project. First as we mentioned earlier, xerascaping landscaping will be used which will make water use for outdoor landscaping almost non-existent. Second, low flow toilets will be used which will cut water use by about ½ of the use that pre-1994 toilets

would use. Lighting will incorporate either compact fluorescents or LED lighting to greatly reduce lighting energy demand.

- (ii) Provide proof of coordination with the Florida Keys Aqueduct Authority; assess the present and projected capacity of the water supply system and the ability of such system to provide adequate water for the proposed development;

Response: We have received a letter of Coordination from the FKAA dated 6/10/2011 which states they have sufficient water supply to service the project.

- (iii) Describe measures to ensure that water pressure and flow will be adequate for fire protection for the type of construction proposed.

Response: FKAA has fill only hydrants throughout Monroe County.

3. Public facilities--Wastewater management:

- (i) Provide proof of coordination with the Florida Department of Health and Rehabilitative Services;

Response: We received a letter of coordination from DOH dated June 24, 2011. Also a telephone conversation of 6/13 with Dustin McCabe, Environmental Specialist 1 stated that the use would be treated as a boat rack with each additional boat representing 1 additional gallon of flow per unit per day. Based on 40 additional boats he estimated that 40 additional gallons would be generated per day and that most likely the existing system would be able to handle the additional capacity. Mr. Bud Cornell, owner of the property stated there is a 1200 gallon septic tank on the property.

- (ii) Provide projection of the average flows of wastewater generated by the development at the end of each development phase; describe proposed treatment system, method and degree of treatment, quality of effluent, and location of effluent and sludge disposal areas; identify method and responsibilities for operation and maintenance of facilities;

Response: The following assumption for Flow were derived from: STATE OF FLORIDA, DEPARTMENT OF HEALTH, CHAPTER 64E-6, FLORIDA ADMINISTRATIVE CODE, STANDARDS FOR ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS EFFECTIVE APRIL 28, 2010.

TABLE I (For System Design) -ESTIMATED SEWAGE FLOWS

RV – 75 gallons per day per unit X 3	= 225
Wet Slips, estimate 6 as overnight at 75 gallons per/unit/day	= 450
Warehouse/Dry Rack – 1 gallon per unit X 60 Units	= 60

Stores per bathroom (office) is 200 = 200

TOTAL = 935/gallons

- (iii) If public facilities are to be utilized, provide proof of coordination with the Monroe County Waste Collection and Disposal District; assess the present and projected capacity of the treatment and transmission facilities and the ability of such facilities to provide adequate service to the proposed development;

Response: A letter of Coordination from Monroe county Solid waste dated June 1, 2011 indicated that there was adequate capacity to serve our facility.

- (iv) If applicable, provide a description of the volume and characteristics of any industrial or other effluents.

Response: N/A

4. Public facilities--Solid waste:

- (i) Identify projected average daily volumes of solid waste generated by the development at the end of each phase; indicate proposed methods of treatment and disposal;

Response: Waste will be expected upon receiving certificates of occupancy for the project which is anticipated to be in the 1st quarter of 2012.

- (ii) Provide proof of coordination with Monroe County Municipal Services District; assess the present and projected capacity of the solid waste treatment and disposal system and the ability of such facilities to provide adequate services to the proposed development;

Response: As of June 2006, Waste Management Inc., reports a reserve capacity of approximately 26 million cubic yards at their Central Sanitary Landfill in Broward County, a volume sufficient to serve their clients for another seven (7) years. Monroe County has a contract with WMI authorizing use of in-state facilities through September 30, 2016, thereby providing the County with approximately ten years of guaranteed capacity. Ongoing modifications at the Central Sanitary Landfill are creating additional air space and years of life. In addition to this contract, the 90,000 cubic yard reserve at the County landfill on Cudjoe Key would be sufficient to handle the County's waste stream for an additional three years (at current tonnage levels). The combination of the existing haul-out contract and the space available at the Cudjoe Key landfill provides the County with sufficient capacity to accommodate all existing and approved development for up to thirteen years. (Source PFCA 2006)

WASTE PROCESSING - GENERAL WEIGHTS & MEASURES

- 1 cubic yard (i.e., of dumpster space) is composed of 46,656 cubic inches.
- 1 gallon equals 231 cubic inches of capacity
- 1 cubic yd (of dumpster space) equals 202 gallons of capacity. (46,656 / by 231)

LOOSE, NON-COMPACTED WASTE

An average of approximately 200 gallons of trash (i.e. the equivalent of 4 of the 50-gallon bags of loose, non-compacted waste) will fit into each cubic yard of dumpster space. Since an 8-yard dumpster is the equivalent of approximately 1,616 gallons of capacity (i.e. 202 x 8) this means that, if full, an 8-yard dumpster would hold roughly 30 of the 50 gallon bags (or 50 of the 30 gallon bags etc) of loose, non-compacted waste. (i.e. 1,616 divided by 50 gal).

(Source: 2007 WasteCare Corporation)

Dumpster sizes

3 yard	6 ft, 8 inch	4 ft, 1 inch	4 ft, 6 inch
4 yard	6 ft, 8 inch	4 ft, 9 inch	5 ft, 4 inch
6 yard	6 ft, 8 inch	6 ft, 6 inch	5 ft, 4 inch
8 yard	6 ft, 8 inch	7 ft, 6 inch	6 ft, 3 inch

Assume 30 lbs. per 50 gallon bag

	Site/Week (lbs)	Yds needed based on 142 lbs/cu yd	Yds. Based on 2X/Week Pickup
TOTAL	240	2	1
Solid Waste (84%)	201.6	2	1
Recycling (6%)	14.4	0.1	0.05
Yard Waste (10%)	24	0.16	0.08

96 gallon bins would be sufficient to handle waste flow for the site or a very small dumpster.

(iii) Comply with the requirements of section 114-200 of this chapter concerning any applicable traffic study.

Response: Yes, please see Level I Traffic Study prepared by Keys Traffic Studies, LLC

5. Public facilities--Transportation:

(i) Provide a projection of the expected vehicle trip generation at the completion of each development phase; describe in terms of external trip generation and average daily and peak hour traffic;

Response: Yes, please see Level I Traffic Study prepared by Keys Traffic Studies, LLC

(ii) If the project site is adjacent to U.S. 1, describe the measures, such as setbacks and access limitations, which have been incorporated into the project design to reduce impacts upon U.S. 1.

Response: N/A

6. Housing:

(i) If the project includes residential development, provide breakdown of the proposed residential units by price range or rental range and type of unit such as single-family, duplex, townhouse, etc.;

Response: N/A

(ii) If lots are to be sold without constructed dwelling units, indicate the number and percentage of such lots and the extent of improvements to be made prior to sale;

Response: N/A

(iii) Assess the potential of the proposed development to meet local or regional housing needs; in particular, indicate any measures taken to provide low-and moderate-income housing.

Response: N/A

7. Special considerations:

(i) Describe the relationship of the proposed development to the comprehensive land use plan objectives and policies; also indicate relationships [between] existing or proposed public facilities plans; identify any conflicts;

TAB 9

KEYS TRAFFIC STUDIES, LLC

SERVING THE KEYS SINCE 1988
725 PLANTATION DRIVE
TITUSVILLE, FLORIDA 32780
Phone: (305) 322-6556 Fax: (866) 821-1762
rpe@keystraffic.com

June 10, 2011

EMAIL ONLY

Mr. Bud Cornell
Pirate Hat Marina
199 Morris Avenue
Key Largo, FL 33037

**RE: Proposed Pirate Hat Marina Redevelopment – Key Largo
Level I Traffic Engineering Report**

Dear Mr. Cornell:

Per your request, Keys Traffic Studies, LLC (KTS) has estimated the traffic volume to be generated by the proposed redevelopment of the Pirate Hat Marina. The Marina is situated near US 1 Mile Marker 112.0 in Key Largo, Florida. The estimated quantity of daily trips to be generated by the proposed development warrants a level 1 traffic analysis according to the Monroe County Traffic Reporting Guidelines. It is understood that the existing marina has 16 wet slips and about 20 dry rack boat slips. It is understood that you are planning to add 40 new dry rack boat slips leaving the remainder of the existing marina as it is today. The proposed site will have 60 dry rack boat slips and 16 wet slips.

Software that supports the Institute of Transportation Engineers (ITE) 8th edition of the *Trip Generation Report* was used to estimate daily and peak hour trips for ITE land use code 420 (marina). The existing and proposed daily and PM peak hour volume is estimated as follows:

Land use	ITE Code	Weighted			
		Daily Trips	In	Out	Total
Proposed development:					
16 wet slips	420	56	2	2	4
60 dry dock slips	420	<u>52</u>	<u>2</u>	<u>2</u>	<u>4</u>
	Subtotal	108	4	4	8
Existing development:					
16 wet slips	420	-56	-2	-2	-4
20 dry dock slips	420	<u>-17</u>	<u>-1</u>	<u>-1</u>	<u>-2</u>
	Subtotal	-73	-3	-3	-6
Proposed new trips:		35	1	1	2

Per agreement with Monroe County's traffic engineer, dry rack rates are estimated to generate 25% of the wet slip rate as reported by ITE trip generation rates. Therefore, the volume shown above includes the trip rate reduction for dry rack boat slips.

Mr. Bud Cornell

June 10, 2011

Page two

According to the *2010 US 1 Arterial Travel Time and Delay Study for Monroe County Florida*, the site is located in Segment 24, which has 7,187 daily reserve trips. The north/south distribution of trips is estimated at about 80% north (towards the mainland). Approximately 28 new daily trips will reduce the reserve volume along US 1 in Segment 24 to 7,159 daily trips. The estimated two (2) new peak hour trips will generate on average about one new trip every 30 minutes over a one (1) hour period and not likely noticed by area residents.

Access to the site is from US 1 via one two-way drive. Clear zone sight triangles at the driveway's connection with US 1 will be depicted on the final site plan to be distributed with the developer's application to county staff. Any work in the Florida Department of Transportation's ROW must be coordinated with that agency.

All documentation for the trip generation plus copies of a general location map, an aerial of the area, the ITE trip generation and the 2010 Level of Service and Reserve Capacity table/information is attached for your perusal.

Please present this information as part of your application process to Monroe County staff. If additional information is needed, please contact me at your convenience.

Sincerely,

Keys Traffic Studies, LLC



Richard P. Eichinger, Principal

Traffic Engineering Manager

Enclosures

RPE/1156

cc: Joel Reed



GENERAL LOCATION MAP

Data use subject to license.

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www.delorme.com



Scale 1 : 50,000



1" = 4,166.7 ft Data Zoom 12-0

Summary of Trip Generation Calculation
 For 16 Berths of Marina
 June 07, 2011

	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	2.96	2.26	1.00	47
7-9 AM Peak Hour Enter	0.03	0.00	1.00	0
7-9 AM Peak Hour Exit	0.05	0.00	1.00	1
7-9 AM Peak Hour Total	0.08	0.00	1.00	1
4-6 PM Peak Hour Enter	0.11	0.00	1.00	2
4-6 PM Peak Hour Exit	0.08	0.00	1.00	1
4-6 PM Peak Hour Total	0.19	0.00	1.00	3
AM Pk Hr, Generator, Enter	0.11	0.00	1.00	2
AM Pk Hr, Generator, Exit	0.06	0.00	1.00	1
AM Pk Hr, Generator, Total	0.17	0.00	1.00	3
PM Pk Hr, Generator, Enter	0.11	0.00	1.00	2
PM Pk Hr, Generator, Exit	0.10	0.00	1.00	2
PM Pk Hr, Generator, Total	0.21	0.46	1.00	3
Saturday 2-Way Volume	3.22	2.64	1.00	52
Saturday Peak Hour Enter	0.12	0.00	1.00	2
Saturday Peak Hour Exit	0.15	0.00	1.00	2
Saturday Peak Hour Total	0.27	0.53	1.00	4
Sunday 2-Way Volume	6.40	5.75	1.00	102
Sunday Peak Hour Enter	0.21	0.00	1.00	3
Sunday Peak Hour Exit	0.10	0.00	1.00	2
Sunday Peak Hour Total	0.31	0.00	1.00	5

Note: A zero indicates no data available.
 Source: Institute of Transportation Engineers
 Trip Generation, 8th Edition, 2008

TRIP GENERATION BY MICROTRANS

Weighted trip generation = $((47*5)+52+102)/7 = 55.57$ (56 rounded)

Summary of Trip Generation Calculation
 For 20 Berths of Marina
 June 09, 2011

	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	2.96	2.26	1.00	59
7-9 AM Peak Hour Enter	0.03	0.00	1.00	1
7-9 AM Peak Hour Exit	0.05	0.00	1.00	1
7-9 AM Peak Hour Total	0.08	0.00	1.00	2
4-6 PM Peak Hour Enter	0.11	0.00	1.00	2
4-6 PM Peak Hour Exit	0.08	0.00	1.00	2
4-6 PM Peak Hour Total	0.19	0.00	1.00	4
AM Pk Hr, Generator, Enter	0.11	0.00	1.00	2
AM Pk Hr, Generator, Exit	0.06	0.00	1.00	1
AM Pk Hr, Generator, Total	0.17	0.00	1.00	3
PM Pk Hr, Generator, Enter	0.11	0.00	1.00	2
PM Pk Hr, Generator, Exit	0.10	0.00	1.00	2
PM Pk Hr, Generator, Total	0.21	0.46	1.00	4
Saturday 2-Way Volume	3.22	2.64	1.00	64
Saturday Peak Hour Enter	0.12	0.00	1.00	2
Saturday Peak Hour Exit	0.15	0.00	1.00	3
Saturday Peak Hour Total	0.27	0.53	1.00	5
Sunday 2-Way Volume	6.40	5.75	1.00	128
Sunday Peak Hour Enter	0.21	0.00	1.00	4
Sunday Peak Hour Exit	0.10	0.00	1.00	2
Sunday Peak Hour Total	0.31	0.00	1.00	6

Note: A zero indicates no data available.
 Source: Institute of Transportation Engineers
 Trip Generation, 8th Edition, 2008.

TRIP GENERATION BY MICROTRANS

Weighted daily trip generation: $((59*5)+64+128)/7=69.57*(0.25)=17.39(17 \text{ rounded})$

Summary of Trip Generation Calculation
 For 60 Berths of Marina
 June 07, 2011

	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	2.96	2.26	1.00	178
7-9 AM Peak Hour Enter	0.03	0.00	1.00	2
7-9 AM Peak Hour Exit	0.05	0.00	1.00	3
7-9 AM Peak Hour Total	0.08	0.00	1.00	5
4-6 PM Peak Hour Enter	0.11	0.00	1.00	7
4-6 PM Peak Hour Exit	0.08	0.00	1.00	5
4-6 PM Peak Hour Total	0.19	0.00	1.00	11
AM Pk Hr, Generator, Enter	0.11	0.00	1.00	7
AM Pk Hr, Generator, Exit	0.06	0.00	1.00	4
AM Pk Hr, Generator, Total	0.17	0.00	1.00	10
PM Pk Hr, Generator, Enter	0.11	0.00	1.00	7
PM Pk Hr, Generator, Exit	0.10	0.00	1.00	6
PM Pk Hr, Generator, Total	0.21	0.46	1.00	13
Saturday 2-Way Volume	3.22	2.64	1.00	193
Saturday Peak Hour Enter	0.12	0.00	1.00	7
Saturday Peak Hour Exit	0.15	0.00	1.00	9
Saturday Peak Hour Total	0.27	0.53	1.00	16
Sunday 2-Way Volume	6.40	5.75	1.00	384
Sunday Peak Hour Enter	0.21	0.00	1.00	13
Sunday Peak Hour Exit	0.10	0.00	1.00	6
Sunday Peak Hour Total	0.31	0.00	1.00	19

Note: A zero indicates no data available.
 Source: Institute of Transportation Engineers
 Trip Generation, 8th Edition, 2008.

TRIP GENERATION BY MICROTRANS

Dry rack trip rates are calculated at 25% of wet slip rates.

$$\text{Weighted trip rate} = ((178*5)+193+384)/7 = 209.57(0.25) = 52.39 \text{ (52 rounded)}$$

PIRATE HAT ARTERIAL TRIP ASSIGNMENT SUMMARY

Project: Pirate Hat Marina
 Location: Key Largo ITE
 Approx. US-1 MM: 112.0
 Development Type: Marina OTHER See Report
 Project Size: See report
 Daily Trip Ends - Weekday:
 Saturday:
 Sunday:
 Average Trip Length: Trip Distribution:
 15 miles N / E 80 % N / E
 10 miles S / W 20 % S / W
 Weighted Daily:

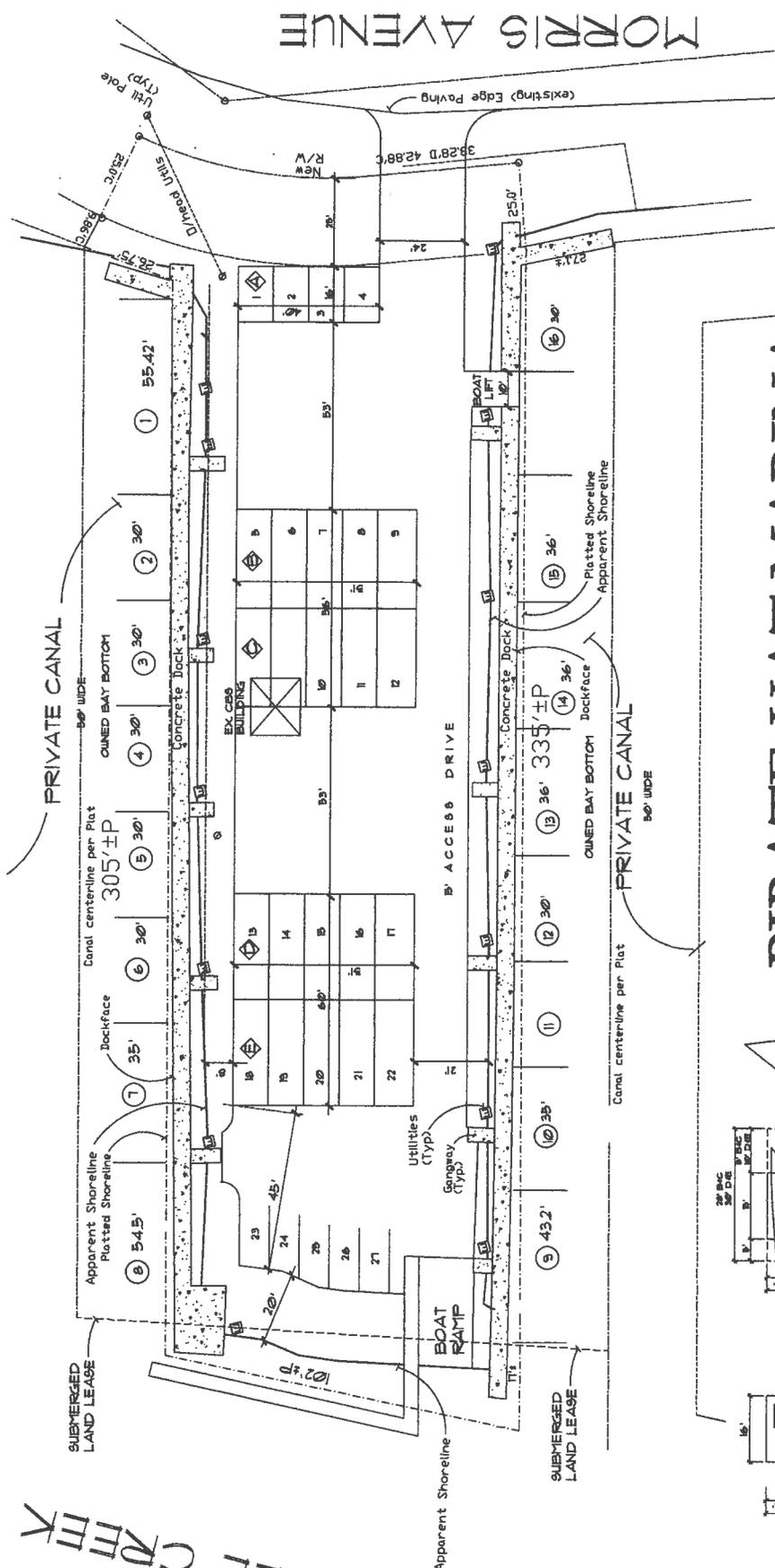
Trip Generation Source:
 ITE
 OTHER See Report

Total Daily Trips	Percent Pass-By Trips	Percent Primary Trips	(1) Primary Trips		US-1 Segment Number	US-1 Segment Limits		(2) Percent Directional Split	(3) % Impact Based on Trip Length	Project Generated Trips	Year 2009 Reserve Capacity	Less Estimated Site Volume	2010 Remaining Reserve Capacity
			Trips	Trips		Begin MM	End MM						
35	0	100	35	35	#1	4.0	5.0	20	0	(35 * 0.2 * 0.00) = 0	9,539	1	9,538
					#2	5.0	9.0	20	0	(35 * 0.2 * 0.00) = 0	9,121	4	9,117
					#3	9.0	10.5	20	0	(35 * 0.2 * 0.00) = 0	7,187	28	7,159
					#4	10.5	16.5	20	0	(35 * 0.2 * 0.00) = 0			
					#5	16.5	20.5	20	0	(35 * 0.2 * 0.00) = 0			
					#6	20.5	23.0	20	0	(35 * 0.2 * 0.00) = 0			
					#7	23.0	24.0	20	0	(35 * 0.2 * 0.00) = 0			
					#8	24.0	27.5	20	0	(35 * 0.2 * 0.00) = 0			
					#9	27.5	29.5	20	0	(35 * 0.2 * 0.00) = 0			
					#10	29.5	33.0	20	0	(35 * 0.2 * 0.00) = 0			
					#11	33.0	40.0	20	0	(35 * 0.2 * 0.00) = 0			
					#12	40.0	47.0	20	0	(35 * 0.2 * 0.00) = 0			
					#13	47.0	54.0	20	0	(35 * 0.2 * 0.00) = 0			
					#14	54.0	60.5	20	0	(35 * 0.2 * 0.00) = 0			
					#15	60.5	63.0	20	0	(35 * 0.2 * 0.00) = 0			
					#16	63.0	73.0	20	0	(35 * 0.2 * 0.00) = 0			
					#17	73.0	77.5	20	0	(35 * 0.2 * 0.00) = 0			
					#18	77.5	79.5	20	0	(35 * 0.2 * 0.00) = 0			
					#19	79.5	84.0	20	0	(35 * 0.2 * 0.00) = 0			
					#20	84.0	86.0	20	0	(35 * 0.2 * 0.00) = 0			
					#21	86.0	91.5	20	0	(35 * 0.2 * 0.00) = 0			
					#22	91.5	99.5	20	18	(35 * 0.2 * 0.18) = 1	9,539	1	9,538
					#23	99.5	106.0	20	54	(35 * 0.2 * 0.54) = 4	9,121	4	9,117
					#24	106.0	112.5	80	100	(35 * 0.8 * 1.00) = 28	7,187	28	7,159

Project Segment ----->

2010 LEVEL OF SERVICE AND RESERVE CAPACITY

SEGMENT	LENGTH (miles)	FACILITY TYPE	POSTED SPEED		ADJ. FOR SIGNAL (mph)	ADJUSTED LOS C CRITERIA (mph)	MEDIAN TRAVEL SPEED (mph)	LOS	RESERVE SPEED (mph)	2010		2009	
			Limits (mph)	Average (mph)						MAXIMUM RESERVE VOLUME (trips)	5% ALLOCATION BELOW LOS C (trips)	MAXIMUM RESERVE VOLUME (trips)	5% ALLOCATION BELOW LOS C (trips)
1 Stock Island (4.0 - 5.0)	1.1	4-L/D	30/35/45	38.3	N/A	22.0	34.0	B	12.0	2,186	N/A	2,222	N/A
2 Boca Chica (5.0- 9.0)	3.9	4-L/D	55/45	54.1	N/A	49.6	57.3	A	7.7	4,973	N/A	4,585	N/A
3 Big Coppitt (9.0- 10.5)	1.5	2-L/U	45/55	48.3	N/A	43.8	43.8	D	0.0	0	549	0	0
4 Saddlebunch (10.5- 16.5)	5.8	2-L/U	45/55	54.1	N/A	49.6	52.3	C	2.7	2,593	N/A	2,689	N/A
5 Sugarloaf (16.5- 20.5)	4.0	2-L/U	45/55	52.1	N/A	47.6	48.0	C	0.4	265	N/A	0	1023
6 Cudjoe (20.5- 23.0)	2.5	2-L/U	45/55	45.5	N/A	41.0	47.1	A	6.1	2,525	N/A	2,484	N/A
7 Summerland (23.0- 25.0)	2.2	2-L/U	45	45.0	N/A	40.5	45.9	B	5.4	1,967	N/A	1,530	N/A
8 Ramrod (25.0- 27.5)	2.3	2-L/U	45	45.0	N/A	40.5	45.4	B	4.9	1,866	N/A	2,704	N/A
9 Torch (27.5- 29.5)	2.1	2-L/U	45	45.0	N/A	40.5	46.5	A	6.0	2,087	N/A	2,573	N/A
10 Big Pine (29.5- 33.0)	3.4	2-L/U	45	45.0	3.5	37.0	39.7	C	2.7	1,520	N/A	338	N/A
11 Bahia Honda (33.0- 40.0)	7.0	2-L/U (70%) 4-L/D (30%)	45/50/55	52.1	N/A	47.6	53.8	A	6.2	7,187	N/A	4,753	N/A
12 7-Mile Bridge (40.0-47.0)	6.8	2-L/U	55	55.0	N/A	50.5	53.8	B	3.3	3,716	N/A	5,518	N/A
13 Marathon (47.0- 54.0)	7.3	2-L/U (13%) 4-L/D (87%)	35/45	42.2	N/A	22	36.7	A	14.7	17,771	N/A	19,584	N/A
14 Grassy (54.0- 60.5)	6.4	2-L/U	45/55	54.4	N/A	49.9	47.2	D	-2.7	0	0	424	N/A
15 Duck (60.5- 63.0)	2.7	2-L/U	55	55.0	N/A	50.5	54.0	B	3.5	1,565	N/A	358	N/A
16 Long (63.0- 73.0)	9.9	2-L/U	55/45	53.5	N/A	49	53.1	B	4.1	6,722	N/A	3,771	N/A
17 L Matecumbe (73.0- 77.5)	4.5	2-L/U	55	55.0	N/A	50.5	49.2	D	-1.3	0	940	671	N/A
18 Tea Table (77.5- 79.5)	2.2	2-L/U	55/45	54.6	N/A	50.1	49.6	D	-0.5	0	727	0	322
19 U Matecumbe (79.5- 84.0)	4.1	2-L/U	45	45.0	N/A	40.5	41.4	C	0.9	611	N/A	204	N/A
20 Windley (84.0- 86.0)	1.9	2-L/U	45	45.0	9.1	31.4	45.6	A	14.2	4,468	N/A	2,958	N/A
21 Plantation (86.0- 91.5)	5.8	2-L/U	45	45.0	2.2	38.3	41.3	B	3.0	2,881	N/A	1,057	N/A
22 Tavernier (91.5- 99.5)	8.0	4-L/D	45/50	47.1	2.1	40.5	47.7	A	7.2	9,539	N/A	10,201	N/A
23 Key Largo (99.5- 106.0)	6.8	4-L/D	35/45	44.4	2.2	37.7	45.8	A	8.1	9,121	N/A	9,459	N/A
24 Cross (106.0- 112.5)	6.2	2-L/U	35/45/55	48.2	N/A	43.7	50.7	A	7.0	7,187	N/A	8,624	N/A
Overall	108.4					45.0	46.9	C	1.9				



MANATEE CANAL

MONROE AVENUE

PIRATE HAT MARINA

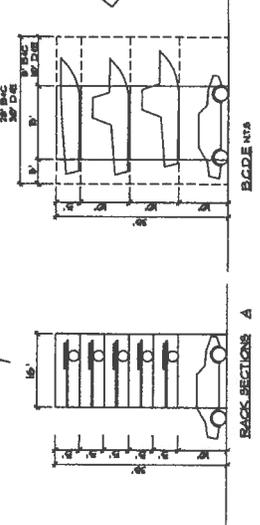
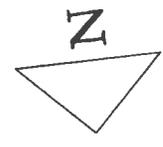
Description:

Lot 1, Monroe Park, according to the plat thereof recorded in Plat Book 3 at Page 140 of the public records of Monroe County, Florida.

PARKING REQUIREMENTS

- 60 DRY STORAGE • 1 PER 4 • 15 SPACES
- 15 WET SLIPS • 1 PER SLIP • 15 SPACES
- BOAT HOLES • 1 PER 3 • 9 SPACES
- TOTAL REQUIRED • 39 SPACES
- TOTAL PROVIDED • 27 SPACES

SCALE: 1" = 30'



SUBMERGED LAND LEASE

SUBMERGED LAND LEASE

PRIVATE CANAL

PRIVATE CANAL

BOAT ACCESS DRIVE

Apparent Shoreline

Platted Shoreline

Apparent Shoreline

Apparent Shoreline

Platted Shoreline

305-451-5906

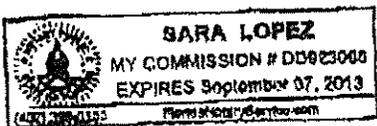
PARKING DEMAND AFFIDAVIT

I Loretta Westphal am the owner, operator, general manager or other _____
(circle one, if other please fill in) as it relates to MANATEE BAY MARINA (facility
name). This facility contains approximately 70 (amount) dry rack spaces and
approximately 50 (amount) wet slips. In addition we have approximately
30 (Number) parking spaces on the property. Based on my knowledge of the facility the
parking for the facility is adequate/inadequate (please circle one). All parking spaces are
contained onsite/offsite/or a combination (Select one if a combination please estimate how
many onsite: _____ how many offsite: _____) The busiest days of the week is/are
Monday & Fridays and the busiest time(s) of the day is/are
10am

X Loretta Westphal
Owner(s) / Applicant Signature
X Loretta Westphal
Printed Name of Owner(s) / Applicant

NOTARY:
STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this _____ day of _____,
20____ is _____ personally known produced
identification (FL D/W231-212-55-960-0 Type of Identification), did / did not take
an oath.



Sara Lopez

PLANTATION YACHT HARBOR

PARKING DEMAND AFFIDAVIT

I Tim Morrissey am the owner, operator, general manager or other _____

(circle one, if other please fill in) as it relates to Plantation Yacht Harbor (facility name).

This facility contains approximately 0 (amount) dry rack spaces and

approximately 83 (amount) wet slips. In addition we have approximately

40 (Number) parking spaces on the property. Based on my knowledge of the facility the

parking for the facility is adequate (please circle one). All parking spaces are

contained onsite / offsite / or a combination (Select one if a combination please estimate how

many onsite: 40 how many offsite: _____) The busiest days of the week is/are

Friday & Saturday and the busiest time(s) of the day is/are

8 AM & 6 PM.

Owner(s) / Applicant Signature

Capt Timothy Morrissey

Printed Name of Owner(s) / Applicant

1 for 4 on 5 on Average

NOTARY:
STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this _____ day of _____,

20____ is _____ personally known produced

identification (FL DL M620-813-60-323-0 Type of Identification), did / did not take

an oath.



Sara Lopez



Islamorada, Village of Islands

CAPT. TIM MORRISSEY
PLANTATION YACHT HARBOR
MARINA MANAGER

Founders Park
87000 Overseas Highway
Islamorada, Florida 33036

(305) 852-2381 Office
(305) 481-7391 Cell
(305) 852-5817 Fax
tim.morrissey@islamorada.fl.us
<http://www.islamorada.fl.us>

Pirate Hat Marina mm 112.5
199 MORRIS AVE.

PARKING DEMAND AFFIDAVIT

I Clifford Cornell am the owner, operator, general manager or other _____

(circle one, if other please fill in) as it relates to Pirate Hat Marina (facility

name). This facility contains approximately 20 (amount) dry rack spaces and

approximately 16 (amount) wet slips. In addition we have approximately

15 (Number) parking spaces on the property. Based on my knowledge of the facility the

parking for the facility is adequate (please circle one). All parking spaces are

contained onsite / offsite / or a combination (Select one if a combination please estimate how

many onsite: _____ how many offsite: _____) The busiest days of the week is are

Sat & Sunday and the busiest time(s) of the day is are

8-10 am 4-6 pm We never have more than 4 wet

slip - renters bring their cars or trucks in at a time. Never more than 3 or 4 cars per dry racks.

Owner(s) / Applicant Signature
Clifford Cornell

Printed Name of Owner(s) / Applicant
Clifford Cornell

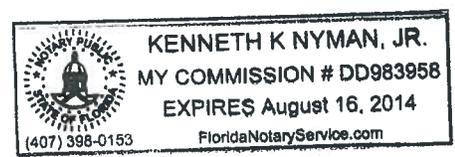
NOTARY:
STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 5 day of AUG,

2011. CLIFFORD CORNELL is personally known produced

identification (_____ Type of Identification), did / did not take
an oath.

[Signature]
Notary



CROSS KEY MARINA IS LOCATED A 599 MORRIS AVE
KEY LARGO. IT IS 2 MARINAS EAST OF PIRATE HAT
MARINA.

PARKING DEMAND AFFIDAVIT

I Doug Hurst am the owner/operator, general manager or other _____

(circle one, if other please fill in) as it relates to CROSS KEY MARINA (facility

name). This facility contains approximately _____ (amount) dry rack spaces and

approximately 30 (amount) wet slips. In addition we have approximately

15 (Number) parking spaces on the property. Based on my knowledge of the facility the

parking for the facility is adequate/inadequate (please circle one). All parking spaces are

contained onsite/offsite/or a combination (Select one if a combination please estimate how

many onsite: _____ how many offsite: _____) The busiest days of the week is/are

HOLIDAYS & WEEKENDS and the busiest time(s) of the day is/are

11:00AM - 6:00PM. WE HAVE 6 UNITS ON THE PROPERTY
AS WELL AND OUR PARKING LOT IS NEVER FULL. 1 PARKING SPOT
FOR EVERY 2 OR 3 WET SLIPS IS ADEQUATE.

Owner(s) / Applicant Signature

Doug Hurst MANAGING MEMBER OF CROSS KEY MARINA

Printed Name of Owner(s) / Applicant DL # H623-17766367C

NOTARY:
STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this _____ day of _____,

20____. _____ is _____ personally known produced

identification (FL. DL. Type of Identification), did / did not take

an oath.



Sara Lopez

PELICAN CAY HARBOR IS THE EASTERN NEIGHBOR ADJACENT TO PIRATE HAT MARINA.

PARKING DEMAND AFFIDAVIT

I SUZAN WIESE am the owner, operator, general manager or other 299 MORRIS AVE KEY LARGO

(circle one, if other please fill in) as it relates to PELICAN CAY HARBOR (facility name).

This facility contains approximately 10 (amount) RVSites dry rack spaces and

approximately 22 (amount) wet slips. In addition we have approximately

10 (Number) parking spaces on the property. Based on my knowledge of the facility the

parking for the facility is adequate (please circle one). All parking spaces are

contained onsite / offsite / or a combination (Select one if a combination please estimate how

many onsite: _____ how many offsite: _____) The busiest days of the week is / are

weekends Sat/Sun and the busiest time(s) of the day is / are

10-11 AM / 3-5 pm. NORMALLY 4 OF THE WETSLIPS OR 1 PARKING SPOT FOR 5 WETSLIPS AND 2 PARKING SPACES PER 10 DRY RACKS.

Owner(s) / Applicant Signature

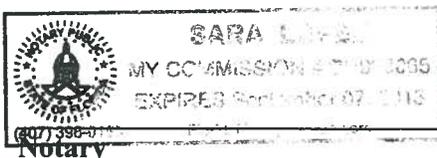
SUZAN WIESE MANAGING MEMBER
Printed Name of Owner(s) / Applicant DL#

NOTARY:
STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 29 day of July,

20 11 is personally known _____ produced

identification (_____ Type of Identification), did / did not take an oath.



Sara Lopez

mm 107 OVERSEAS Hwy, KEY LARGO, FL. 33037
ANCHORAGE RESORT & YACHT CLUB A 30 SLIP MARINA
WITH NO DRY STORAGE. AT MAX 5 CARS MAY OCCUPY OUR
PARKING LOT FROM OUR WET SLIPS. MOST ARE TRANSIT BOATERS
WITH NO CARS

PARKING DEMAND AFFIDAVIT

I Robert Cummings am the owner, operator, general manager or other _____

(circle one, if other please fill in) as it relates to ANCHORAGE RESORT & YACHT CLUB (facility name).

This facility contains approximately 0 (amount) dry rack spaces and

approximately 30 (amount) wet slips. In addition we have approximately

35 (Number) parking spaces on the property. Based on my knowledge of the facility the

parking for the facility is adequate/inadequate (please circle one). All parking spaces are

contained onsite / offsite / or a combination (Select one if a combination please estimate how

many onsite: _____ how many offsite: _____) The busiest days of the week is/are

Sundays is check in and the busiest time(s) of the day is/are

4:00 pm - 6:00 pm.

[Signature]

Owner(s) / Applicant Signature

ROBERT CUMMINGS CONDO PRESIDENT & GEN. MGR.

Printed Name of Owner(s) / Applicant DL#

NOTARY:

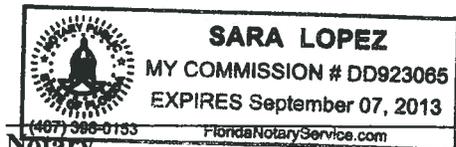
STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 28 day of July,

2011. _____ is personally known _____ produced

identification (_____ Type of Identification), did / did not take

an oath.



Notary

Sara Lopez

TAB 10

CONSTRUCTION MANAGEMENT AND PHASING PLAN

This project was designed to be built at one time and therefore there is no phasing plan being submitted. The project will begin with the clearing of any debris on the site followed by rough grading of the overall site. Trenching and any placement of underground utilities as needed will take place and may include: sewer, water, electrical transmission, phone and cable. Actual Rack structures will then be placed followed by final grading and landscaping. Best management practices for stormwater management will be used at time of construction in order to protect near shore waters and to prevent stormwater runoff.

TAB 11

Buffer Map Pirate

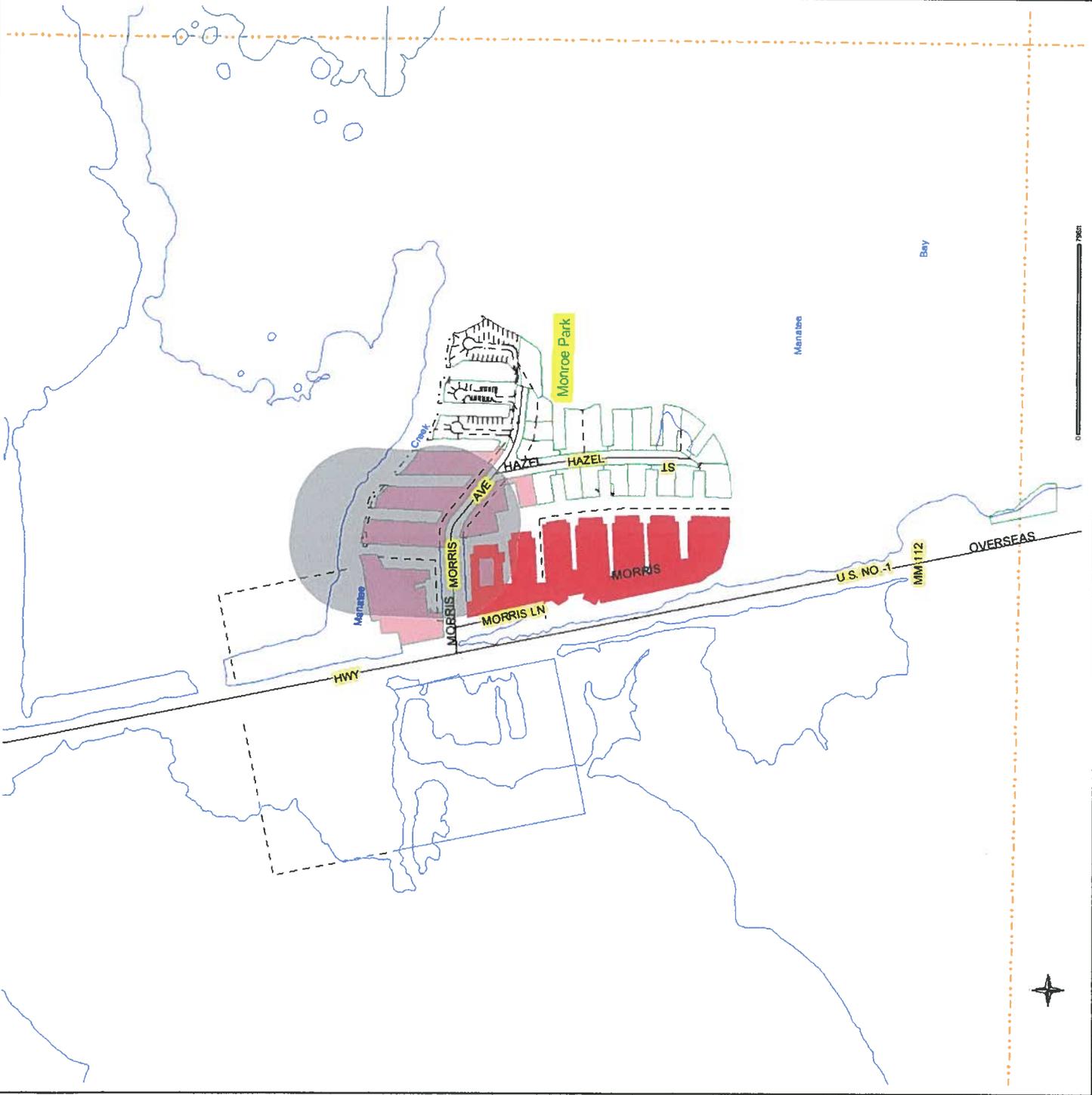
- Legend**
- theBuffer
 - theBufferTarget
 - Hooks/Leads
 - Lot Lines
 - Easements
 - Road Centerlines
 - Water Names
 - Parcels
 - Shoreline
 - Section Lines

PALMIS

Monroe County Property Appraiser
500 Whitehead Street
Key West, FL

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for *ad valorem tax purposes* only and should not be relied on for any other purpose.

Date Created: December 17, 2010 10:40 AM



BALTINGLAS INC
PO BOX 498
OXFORD, FL 34484-0498

BECKMAN RICHARD L AND DIANE
300 MORRIS AVE
KEY LARGO, FL 33037-3117

BULLER MARC D AND CATHERINE PEAK
1960 SW 32ND PL
MIAMI, FL 33145

CHAPMAN FRED AND JULIE
2 BARRISTER DR
WESTFORD, MA 1886

CHO DANA K
6720 NORTH AUGUSTA DR
HIALEAH, FL 33015

COX GARY LEE REVOCABLE TRUST
889 ANNS CT
ASHEBORO, NC 27205-7729

CROSS KEY MARINA LLC
PO BOX 120277
FORT LAUDERDALE, FL 33312

CULTRA PAUL Q AND JUDITH C
832 E COUNTY RD 40
ONARGA, IL 60955

DAVIE ET BEDFORD JR TR
PO BOX 656
WHITESTONE, VA 22578

DODD DAVID S JR
1115 RICARDO AVE
LADY LAKE, FL 32159

ESPINOSA FAMILY REV TRUST
2332 FIDDLERS LN
ATLANTIC BEACH, FL 32233

ESPINOSA RICHARD AND TINA
13822 PORT HARBOR CT
JACKSONVILLE, FL 32224-6878

FARRETTA DENNIS P AND JODI L
1501 SE 15TH ST
UNIT 1-1
FORT LAUDERDALE, FL 33316

FIGUEREDO ROLANDO
13442 SW 136TH ST
MIAMI, FL 33186

GENERALES MARK AND DEBRA
7 SALT MARSH COVE
BEAUFORT, SC 29907

GLADNEY RICHARD S & ARON L
11531 NW 68TH TER
DORAL, FL 33178

GROZIER ALICIA
1516 PINE LN
DELRAY BEACH, FL 33444

HATTEN JANET ARMSTRONG
107 W HIGH ST
ELDON, MO 65026

HAZARD ANTHONY AND MARIA
CRESPO-HAZARD
3029 N ROOSEVELT BLVD APT 9
KEY WEST, FL 33040-4089

HIRSHSON KARL A AND GIULIANA
1729 SW 5 ST
FORT LAUDERDALE, FL 33312

JACOBS JAMES AND MARTA
1599 PASSION VINE CIR
WESTON, FL 33326

KENNETT GUY AND JANETTE
595 COCONUT CIR
WESTON, FL 33326-3322

KEYS SEASIDE PROPERTIES LLC
7024 CHARLESTON SHORES BLVD
LAKE WORTH, FL 33467

KILLIMORA INC
PO BOX 498
OXFORD, FL 34484

KRH TRUST
P O BOX 20287
ST PETERSBURG, FL 33742

LEWINGER RICARDO
5300 W HILLSBORO BLVD
UNIT 104
COCONUT CREEK, FL 33073

MALLIARYS DEMETRIOS AND SUSAN
COMER (H/W)
3569 PERIWINKLE WAY
NAPLES, FL 34114

MEARS CARM & PATRICIA
145 GRISSOM RD
MANCHESTER, CT 6040

MILLER EDWARD C AND MARGARET A
1332 WASHINGTON ST
HOLLYWOOD, FL 33019

MONTEAVARO MARIA A REV TR DTD
12/22/05
5720 SW 89 AVE
MIAMI, FL 33173

MORI JOSE L AND LUZ M H/W
20207 SW 54 PL
PEMBROKE PINES, FL 33332

MUELLER DAVID P
1607 G ST SE
WASHINGTON, DC 20003-3132

NANNINI STEPHEN F
167 VALOIS BLVD
KEY LARGO, FL 33037

PEIRO VICTOR
8514 SW 144 CT
MIAMI, FL 33183

PELICAN CAY HARBOR LLC
299 MORRIS AVE
KEY LARGO, FL 33037

PIRATE HAT MARINA LLC
199 MORRIS LN
KEY LARGO, FL 33037

POGORELIS YAKOV
8770 SW 57TH ST
FT LAUDERDALE, FL 33328

RICHARDSON WILLIAM L JR AND LINDA
SUE H/W
6094 FULTON RD
NEW BERLIN, IL 62670

RILEY MARINE FLORIDA LLC
PO BOX 86
BOOTHBAY HARBOR, ME 04538-0086

ROBERTSON PAUL
6505 NW 164TH ST
ALACHUA, FL 32615

SEAPORT DEVELOPMENT LLC
99611 OVERSEAS HWY
UNIT 250
KEY LARGO, FL 33037

UCB SOLUTIONS LLC
1150 S MIAMI AVE
MIAMI, FL 33130-4111

UPDYKE CARL AND MERCEDES
2634 HWY 98 EAST
CARRABELLE, FL 32322

VICKY ROBERTA LLC
18080 MONTELAGO CT
FT MYERS, FL 33913

VILABOY JOSE ARMANDO
10740 SW 88TH ST
UNIT L21
MIAMI, FL 33176

WALKER STEPHEN ALLEN AND KAREN A
P O BOX 56
JULIA, NC 27283

WEICK MATTHEW A AND KIMBERLY J
4083 E SILVERADO CIR
HOLLYWOOD, FL 33024-8381

WESTPHAL DAVID DEC TRUST 11/2/2007
C/O WESTPHAL DAVID TRUSTEE
99 MORRIS LANE
KEY LARGO, FL 33037

WEXLER STEVEN AND PATRICIA L
11232 NW 44TH ST
CORAL SPRINGS, FL 33065

WIDE MARCUS A
C/O GROSSMAN GREGORY S ESQ
701 BRICKELL AVE
STE 1650
MIAMI, FL 33131

WILLIAMS EDWARD AND DEBRA
WARNER H/W
2161 BIRCH POINT RD
TOWER, MN 55790

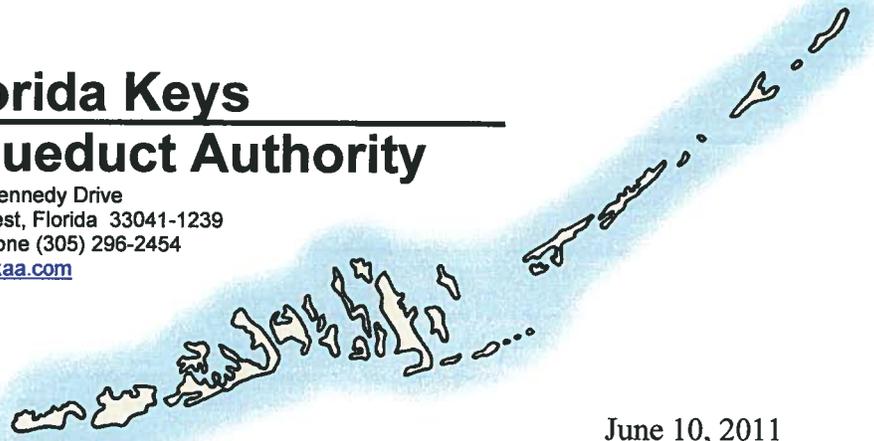
WITT ROBERT L AND KIMBERLYN O H/W
520 S OAK AVE
SANFORD, FL 32771

TAB 12



Florida Keys Aqueduct Authority

1100 Kennedy Drive
Key West, Florida 33041-1239
Telephone (305) 296-2454
www.fkaa.com



June 10, 2011

David C. Ritz
Chairman
Key Largo

Elena Z. George
Vice-Chairman
Rockland Key

Rose M. Dell
Secretary/Treasurer
Big Pine Key

J. Robert Dean
Key West

Antoinette M. Appe
Marathon

James C. Reynolds
Executive Director

Mr. Joel Reed
Reed & Company
411 Ridgewood Road, NE
Atlanta, GA 30307

RE: FCAA Account # 5010-028657
199 Morris Avenue- Key Largo, Florida-Proposed additional dry rack storage
RE# 0057280-000000

Dear Mr. Reed-

This letter will serve as proof of preliminary coordination of the above referenced project with the Florida Keys Aqueduct Authority.

There is a 4" water main located on Morris Avenue in front of the proposed site which appears adequate to serve this project. A complete set of Civil and Architectural plans will be required to determine meter requirements and system development charges.

The current water main and master meter is not feasible for fire protection. Should there be a required fire hydrant the water main and master meter will have to be upgraded at the customer's expense.

Should you have any questions or require any further information please feel free to call me.

Sincerely Yours,
Florida Keys Aqueduct Authority

Marnie L. Walterson
Distribution Design Specialist

CC Sue Reich, Customer Service Manager Tavernier
Dori Anderson, Customer Service Manager Marathon

**KEY LARGO WASTEWATER TREATMENT DISTRICT
98880 OVERSEAS HWY, KEY LARGO, FL 33037
POST OFFICE BOX 491; KEY LARGO, FLORIDA 33037
PHONE (305) 451-4019 FAX (305) 453-5807**



WWW.KLWTD.COM

March 30, 2011

RE: Wastewater Service at Manatee Bay/Cross Key

Dear Property Owner:

The Key Largo Wastewater Treatment District Board of Commissioners held a public hearing regarding Manatee Bay/Cross Key on March 15, 2011. The purpose of the hearing was to learn the sentiment of the property owners regarding provision of wastewater services to that area. The area is not designated as a "hot spot" in the Monroe County Wastewater Master Plan, and the District is not required by law to provide central wastewater service there.

Based on information received at the public hearing, it appears that District central wastewater service would be very costly. The apparent consensus of the property owners appearing at the public hearing is that the District lacks sufficient information to make a good decision about service to the area, and that the property owners are not currently in favor of the District taking any action to serve the area at this time. On that basis, the Board adopted a motion to take no action at this time.

Nevertheless, the District and the property owners recognize that District assistance to the area may be a desirable option in the future. Therefore, the District has not foreclosed any future assistance that the property owners may desire. We are available to support any collective action that the property owners' desire and that is in the best interest of the District.

Sincerely,

Charles F. Fishburn, General Manager
Key Largo Wastewater Treatment District



**FLORIDA KEYS ELECTRIC COOPERATIVE
ASSOCIATION, INC. – FKEC**

91630 OVERSEAS HIGHWAY, P.O. BOX 377, TAVERNIER, FL 33070-0377 PHONE (305) 852-2431 FAX: (305) 852-4794

June 23, 2011

Reed & Company
Land Use Planning & Consulting
Attn: Joel Reed
411 Ridgewood Rd NE
Atlanta, GA 30307

**Re: Letter of Coordination – Pirate Hat Marina
199 Morris Lane Key Largo, FL 33037
Adding additional dry rack storage to the site for a
total of 60 dry slips**

Dear Joel,

The facilities and operations of Florida Keys Electric Cooperative Association, Inc. (FKEC) are designed to accommodate normal electrical load growth, providing sufficient energy is available from our mainland supplier. FKEC anticipates no significant problems in providing power to the property referenced above.

Easements may be required.

When preliminary electrical and site plans are available, please arrange to meet with FKEC Engineering staff to review and plan the project.

Sincerely,

A handwritten signature in blue ink, appearing to read "Keith Kropf".

Keith Kropf, PE
Director of Engineering



Rick Scott
Governor

June 24, 2011

Joel Reed
Reed & Company
411 Ridgewood Rd NE
Atlanta, Georgia 30307

Re: Pirate Hat Marina dry rack storage addition
Letter of Coordination

Dear Mr. Reed,

This letter will acknowledge receipt of your recent request for a letter of coordination for the proposed project to add additional dry rack storage to the property located at 199 Morris Lane, Key Largo, Florida (00572820-000000).

The Monroe County Health Department is the permitting authority for new establishments that produce domestic wastewater flows less than or equal to 10,000 gallons per day, and new establishments producing commercial wastewater sewage flows of less than or equal to 5,000 gallons per day. Establishments that exceed these estimated flows are regulated by the Florida Department of Environmental Protection.

A complete Plan Review to determine compliance with the provisions of chapter 64E-6 of the Florida Administrative Code, and Chapter 381 of the Florida Statutes is required when a completed application with all required documents is submitted to this department. The proposed onsite sewage treatment and disposal system must comply with the minimum requirements that are in effect at the time the application is submitted.

If you have any questions concerning this matter, please contact this office at any time. Your cooperation with the public health program of Monroe County and the State of Florida is greatly appreciated.

Respectfully,

A handwritten signature in black ink, appearing to read "Dustin McCabe".

Dustin McCabe
Environmental Specialist I

CC: Monroe County / Planning Department



BOARD OF COUNTY COMMISSIONERS

Mayor Heather Carruthers, District 3
Mayor Pro Tem David Rice, District 4
Tim Wigington, District 1
George Neugent, District 2
Lyvia J. Murphy, District 5



OFFICE of
the FIRE MARSHAL
490 63rd Street
Marathon, FL 33050
PHONE: (305) 289-6010
FAX: (305) 289-6013

Joel Reed
Reed and Company
102901 Overseas Highway
Key Largo, Fl 33037

June 13, 2011

RE: Letter of Coordination

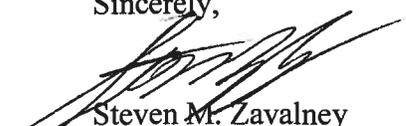
Dear Joel,

Pursuant to the requirements of the Monroe County Planning Department Development Permit Application, this shall serve as the letter of coordination between the Monroe County Fire Marshal's Office and the agent and/or property owner for the Pirate Hat marina, located at MM112 (199 Morris Lane).

1. The Fire Marshal's Office enforces the Florida Fire Prevention Code(2007) , The Florida Building Code(2007), National Fire Protection Code (NFPA 1), Life Safety Code (NFPA 101) and related NFPA standards as applicable.
2. Approved fire hydrants shall be provided to meet necessary fire flow requirements as determined by the Fire Official, per NFPA 303 and approved by the Florida Keys Aqueduct Authority (FKAA).
3. Fire Department access shall comply with NFPA 1, Ch.18.

It is understood that after conceptual review of the project has been granted, preliminary fire protection plans shall be included with improvements to water supply via fire hydrant and shall be submitted to Fire Marshal's Office prior to final plan review for issuance of a building permit. The Key Largo Fire Department provides fire suppression service to the proposed project location.

Sincerely,


Steven M. Zavalney
Captain, Fire Prevention



BOARD OF COUNTY COMMISSIONERS

Mayor Heather Carruthers, District 3
Mayor Pro Tem David Rice, District 4
Kim Wigington, District 1
George Neugent, District 2
Sylvia J. Murphy, District 5



June 1, 2011

Reed & Company
Land Use Planning & Consulting

Subj: Pirate Hat Marina Project

Dear Mr. Fletcher,

We are in receipt of the documents you submitted for our review.

After reviewing your project, it appears that adequate considerations have been made to dispose of any solid waste generated. However, I suggest that you also include an area where recycling bins can be placed for employees and customers.

If you have any questions feel free to contact me at (305) 292-4432.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Rosa Washington'.

Rosa Washington
Senior Administrator – Solid Waste/Recycling

Historic Gato Building, 1100 Simonton Street, #231, Key West, Fl. 33040
Office: (305) 292-4550
Fax: (305) 292-4558



FLORIDA DEPARTMENT OF STATE
Kurt S. Browning
Secretary of State
DIVISION OF HISTORICAL RESOURCES

Mr. Joel C. Reed
Reed & Company
411 Ridgewood Rd NE
Atlanta, GA 30307

June 16, 2011

Re: DHR Project #: 2011-2309/ Received by DHR: May 30, 2011
Pirate Hat Marina- Add Dry Rack Storage to Existing Marina for a total of 60 Dry Slips
199 Morris Lane
Real Estate/Tax ID: 00572820-000000
Key Largo, Monroe County

Dear Mr. Reed:

In accordance with the procedures contained in the Monroe County requirements, we reviewed the referenced parcel for possible impact to cultural resources (any prehistoric or historic district, site, building, structure, or object) listed, or eligible for listing, in the *National Register of Historic Places*, or otherwise of historical, archaeological, or architectural value.

Our review of the Florida Master Site File indicates that no archaeological or historical resources are recorded within the project area. Furthermore, because of the location and/or nature of the project it is unlikely that any such site will be affected.

For any questions concerning our comments, please contact Katherine Peterson, Historic Preservationist, by electronic mail at kdpeterson@dos.state.fl.us, or by phone at 850.245.6333.

Sincerely,

Laura A. Kammerer
Historic Preservationist Supervisor
Compliance Review Section
Bureau of Historic Preservation

500 S. Bronough Street • Tallahassee, FL 32399-0250 • <http://www.flheritage.com>

Director's Office
850.245.6300 • FAX: 245.6436

Archaeological Research
850.245.6444 • FAX: 245.6452

Historic Preservation
850.245.6333 • FAX: 245.6437

Joel Reed

From: Winston_Hobgood@fws.gov
Sent: Tuesday, May 31, 2011 10:02 AM
To: Joel Reed
Subject: Re: Request for a Letter of Coordination
Attachments: 09 Letter of Coordination Requested FWS.pdf

Hi Joel,

Won't this project require a Corps permit? If so, the Service will review the project in consultation with the Corps.

Best regards,

Winston Hobgood
US Fish and Wildlife Service
1339 20th Street
Vero Beach, Florida 32960

▼ "Joel Reed" <joel@rc3world.com>

"Joel Reed"
<joel@rc3world.com> To <Winston_Hobgood@fws.gov>
05/30/2011 11:16 AM cc
Subject Request for a Letter of Coordination

Please see the attached request. Thank you

Sincerely,


Joel C. Reed, AICP

	Reed & Company Land Use Planning & Consulting Phone: 305.393.5413 Email: joel@rc3world.com
Mailing Address 411 Ridgewood Rd NE Atlanta, GA 30307	Physical Address 102901 Overseas Hwy Key Largo, FL 33037

(See attached file: 09 Letter of Coordination Requested FWS.pdf)

TAB 13

March 9, 2011
(Date)

I hereby authorize Joel C. Reed be listed as authorized agent
(Name of Agent)

for Bud Cornell, MGMR for the purpose of conducting all business necessary to
(Name of Owner(s) / Applicant)

process and obtain approval in regard to Pirate Hat Marina LLC for Planning and Permitting Applications
(Project Name) (Application Type)

for Real Estate No(s): 00572820-000000 from
the Planning Department as well as other Local State and Federal permitting agencies

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated.

The undersigned understands the liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named, related to the acquisition of permits for the aforementioned applicant.

Note: Authorization is needed from each owner of the subject property. Therefore, one or more authorization forms must be submitted with the application if there are multiple owners.

[Signature]
Owner(s) / Applicant Signature
Bud Cornell
Printed Name of Owner(s) / Applicant

NOTARY:
STATE OF Florida
COUNTY OF Monroe

The foregoing instrument was acknowledged before me this 23 day of June, 2011.

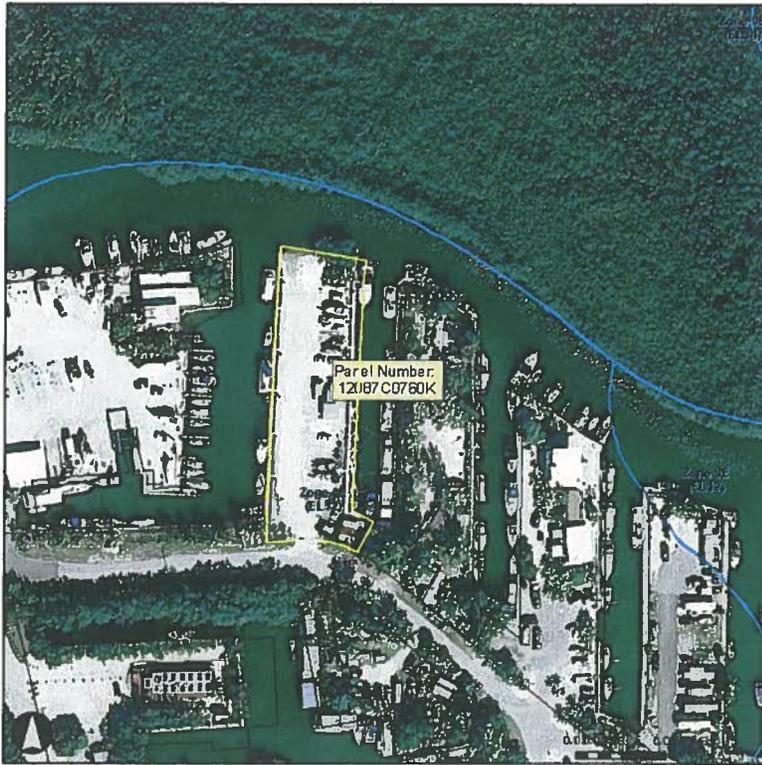
_____ is personally known _____ produced identification
(_____ Type of Identification), did / did not take an oath.

[Signature]
Notary



TAB 14

Map



Parcels	Flood hazard zone text	Parcels
DFIRM panel labels	CBRS	2009 Orthophotography
Flood hazard zone lines	Roads	Red: Band_1
		Green: Band_2
		Blue: Band_3

00572820 (1)

Parcels (1)

OBJECTID_1	OBJECTID	ID	RECHAR	GEO_FEAT	PARCELNO	NAME	ADD1	ADD2	UNIT	CITY	STATE	ZIP	COUNTRY	PC	RE	RECHAR_1	AK	MILLGROUP	NBHD	MARKET
49454	72674.000000	572820	00572820-000000	72674	0460 39 00572820000000	PIRATE HAT MARINA LLC	null	199 MORRIS LN	null	KEY LARGO	FL	33037	null	20	572820	00572820-000000	1709654	500K	10020	FK33

Data Source: Monroe County Growth Management - GIS

FloodZone_PUBLIC

FEMA: Federal Emergency Management Agency

Pirate's Hat Marina

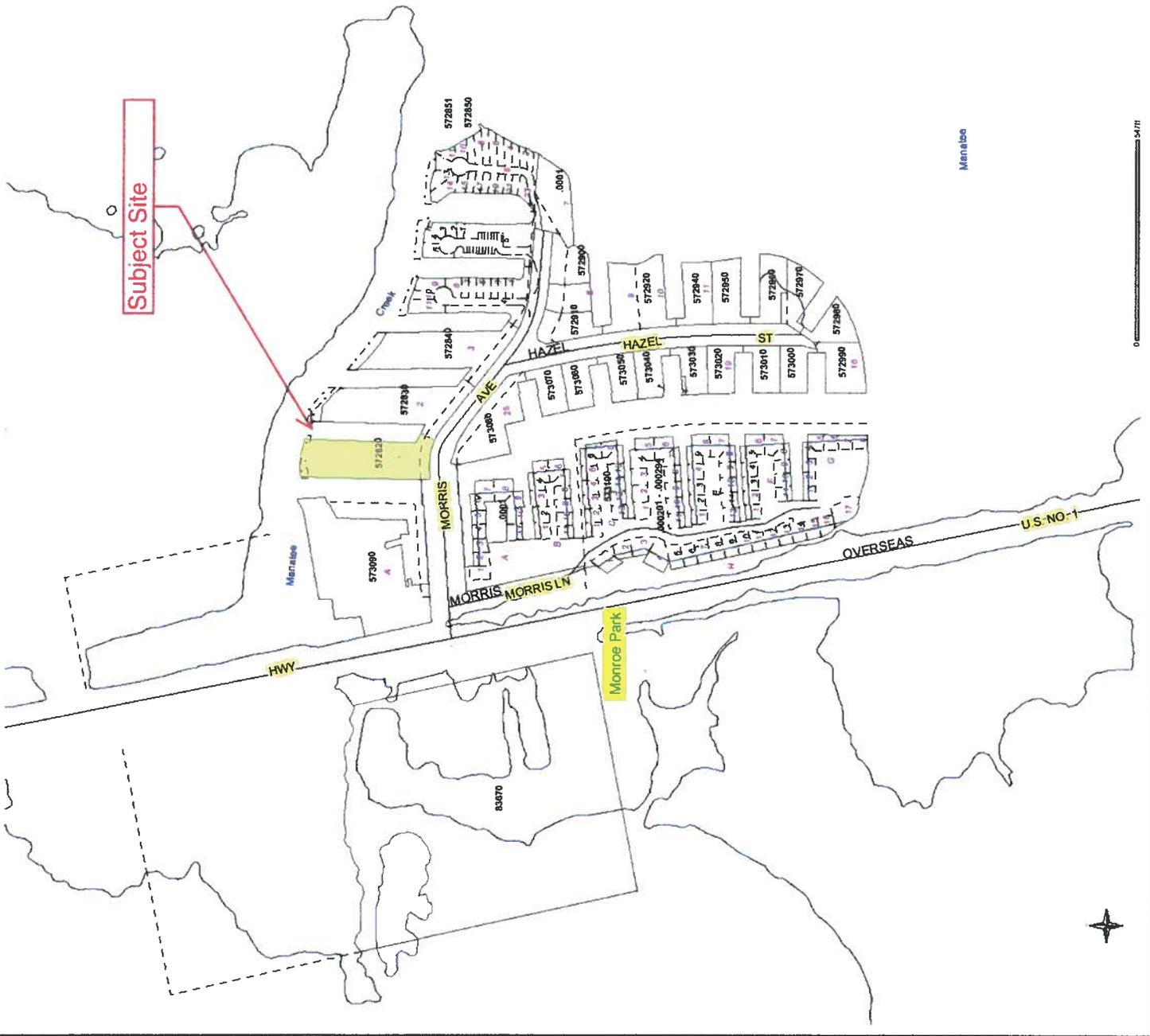
- Legend**
- Real Estate Number
 - Parcel Lot Text
 - Block Text
 - Hooks/Leads
 - Lot Lines
 - Easements
 - Road Centerlines
 - Water Names
 - Parcels
 - Shoreline
 - Section Lines

PALMIS

Monroe County Property Appraiser
500 Whitehead Street
Key West, FL

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Date Created: January 29, 2008 12:49 PM



Pirate Hat Marina

- Legend**
- Selected Features
 - Real Estate Number
 - Parcel | Lot Text
 - Dimension Text
 - Block Text
 - Point of Interest Text
 - Hooks/Leads
 - Lot Lines
 - Easements
 - Road Centerlines
 - Water Names
 - Parcels
 - Shoreline
 - Section Lines
 - 2006 Aerials

PALMIS

Monroe County Property Appraiser
500 Whitehead Street
Key West, FL

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for *ad valorem tax purposes* only and should not be relied on for any other purpose.

Date Created: January 29, 2008 12:51 PM





Tier I - Natural Area



Tier III - Infill Area



Tier III A - Special Protection Area

Map



- | | | |
|---|--|---|
| Parcels | Zoning (continued) | Zoning (continued) |
| <ul style="list-style-type: none"> Parcels Roads Parcels Zoning Airport Area of County Critical Concern Commercial Fish Areas Commercial Fishing Special District Commercial Fishing Village Conservation District | <ul style="list-style-type: none"> Destination Resort Incorporated Industrial Improved Subdivision - /Duplex/Masonry Maritime Industries Military Facilities Mainland Native Mixed Use Native Area Offshore Island Park and Refuge Resolution 277-1986 | <ul style="list-style-type: none"> Research Park Recreational Vehicle Sparsely Settled Suburban Commercial Suburban Residential -/Limited Urban Commercial Urban Residential Urban Residential Mobile Home Urban Residential Mobile Home Limited <p>2009 Orthophotography</p> <ul style="list-style-type: none"> Red: Band_1 Green: Band_2 Blue: Band_3 |

00572820 (1)

Parcels (1)

OBJECTID_1	RECHAR	PARCELNO	NAME	ADD1	ADD2	UNIT	CITY	STATE	ZIP	COUNTRY	PC	RE	RECHAR_1	AK	MILLGROUP	NBHD	MARKET	FLA	SALE1	M1	Y1	C1	ORBOO
49454	00572820-0460 39 000000	00572820000000	PIRATE HAT MARINA LLC	null	199 MORRIS LN	null	KEY LARGO	FL	33037	null	20	572820	00572820-000000	1709654	500K	10020	FK33	224	2090000	06	2006	Q	2217

Copyright

MonroeCountySDE_Environmental_Layout_public
 FEMA: Federal Emergency Management Agency

**2010 / 2011
MONROE COUNTY BUSINESS TAX RECEIPT
EXPIRES SEPTEMBER 30, 2011**

RECEIPT# 47142-10444

Business Name: PIRATE HAT MARINA LLC

Owner Name: CLIFFORD CORNELL
Mailing Address: 199 MORRIS LN
KEY LARGO, FL 33037

Business Location: 199 MORRIS LN
KEY LARGO, FL 33037
Business Phone: 305-731-0060
Business Type: MARINAS & STORAGE (MARINAS &
STORAGE/MARINE REPAIR)

Rooms Seats Employees Machines Stalls

5

For Vending Business Only						
Number of Machines:				Vending Type:		
Tax Amount	Transfer Fee	Sub-Total	Penalty	Prior Years	Collection Cost	Total Paid
22.00	0.00	22.00	4.40	0.00	0.00	0.00

THIS RECEIPT MUST BE POSTED CONSPICUOUSLY IN YOUR PLACE OF BUSINESS

THIS BECOMES A TAX RECEIPT
WHEN VALIDATED

**Danise D. Henriquez, CFC, Tax Collector
PO Box 1129, Key West, FL 33041**

THIS IS ONLY A TAX.
YOU MUST MEET ALL
COUNTY AND/OR
MUNICIPALITY PLANNING
AND ZONING REQUIREMENTS.

**MONROE COUNTY BUSINESS TAX RECEIPT
P.O. Box 1129, Key West, FL 33041-1129
EXPIRES SEPTEMBER 30, 2011**

RECEIPT# 47142-10444

Business Name: PIRATE HAT MARINA LLC

Owner Name: CLIFFORD CORNELL
Mailing Address: 199 MORRIS LN
KEY LARGO, FL 33037

Business Location: 199 MORRIS LN
KEY LARGO, FL 33037
Business Phone: 305-731-0060
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STORAGE/MARINE REPAIR)

Rooms Seats Employees Machines Stalls

5

For Vending Business Only						
Number of Machines:				Vending Type:		
Tax Amount	Transfer Fee	Sub-Total	Penalty	Prior Years	Collection Cost	Total Paid
22.00	0.00	22.00	4.40	0.00	0.00	0.00

**2010 / 2011
MONROE COUNTY BUSINESS TAX RECEIPT
EXPIRES SEPTEMBER 30, 2011**

RECEIPT# 48210-100833

Business Name: PIRATE HAT MARINA LLC

Owner Name: CLIFFORD CORNELL
Mailing Address: 199 MORRIS AVE
KEY LARGO, FL 33037

Business Location: 199 MORRIS AVE
KEY LARGO, FL 33037
Business Phone: 305-451-3414
Business Type: RETAIL SALES (RETAIL SALES)

Rooms Seats Employees Machines Stalls

2

For Vending Business Only						
Number of Machines:			Vending Type:			
Tax Amount	Transfer Fee	Sub-Total	Penalty	Prior Years	Collection Cost	Total Paid
30.00	0.00	30.00	6.00	0.00	0.00	0.00

THIS RECEIPT MUST BE POSTED CONSPICUOUSLY IN YOUR PLACE OF BUSINESS

THIS BECOMES A TAX RECEIPT
WHEN VALIDATED

Danise D. Henriquez, CFC, Tax Collector
PO Box 1129, Key West, FL 33041

THIS IS ONLY A TAX.
YOU MUST MEET ALL
COUNTY AND/OR
MUNICIPALITY PLANNING
AND ZONING REQUIREMENTS.

MONROE COUNTY BUSINESS TAX RECEIPT
P.O. Box 1129, Key West, FL 33041-1129
EXPIRES SEPTEMBER 30, 2011

Business Name: PIRATE HAT MARINA LLC

RECEIPT# 48210-100833

Owner Name: CLIFFORD CORNELL
Mailing Address: 199 MORRIS AVE
KEY LARGO, FL 33037

Business Location: 199 MORRIS AVE
KEY LARGO, FL 33037
Business Phone: 305-451-3414
Business Type: RETAIL SALES (RETAIL SALES)

Rooms Seats Employees Machines Stalls

2

For Vending Business Only						
Number of Machines:			Vending Type:			
Tax Amount	Transfer Fee	Sub-Total	Penalty	Prior Years	Collection Cost	Total Paid
30.00	0.00	30.00	6.00	0.00	0.00	0.00

Map - HABITAT



Parcels	Parcels	2009 Orthophotography
Roads	Habitat 2009	Red: Band_1
		Green: Band_2
		Blue: Band_3

00572820 (1)

Parcels (1)

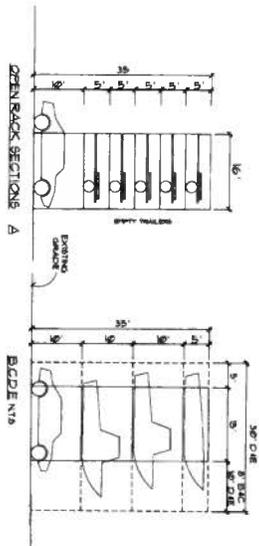
OBJECTID_1	RECHAR	PARCELNO	NAME	ADD1	ADD2	UNIT	CITY	STATE	ZIP	COUNTRY	PC	RE	RECHAR_1	AK	MILLGROUP	NBHD	MARKET	FLA	SALES	M1	Y1	C1	OR800
49454	00572820-000000	0460 39 00572820000000	PIRATE HAT MARINA LLC	null	199 MORRIS LN	null	KEY LARGO	FL	33037	null	20	572820	00572820-000000	1709654	500K	10020	FK33	224	2090000	06	2006	Q	2217

Copyright

MonroeCountySDE_Environmental_Layout_public
 FEMA: Federal Emergency Management Agency

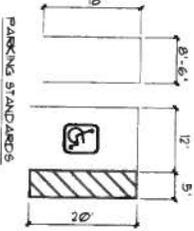
ATTACHMENT 1

LOT SIZE:	65 ACRES
TIER:	III
ZONING:	SC
FLOOD:	MC
DEVELOPED:	YES
DEVELOPMENT TYPE:	MARINE
AREA UPLAND OF APPARENT SHOURLINE:	



PARKING REQUIREMENTS

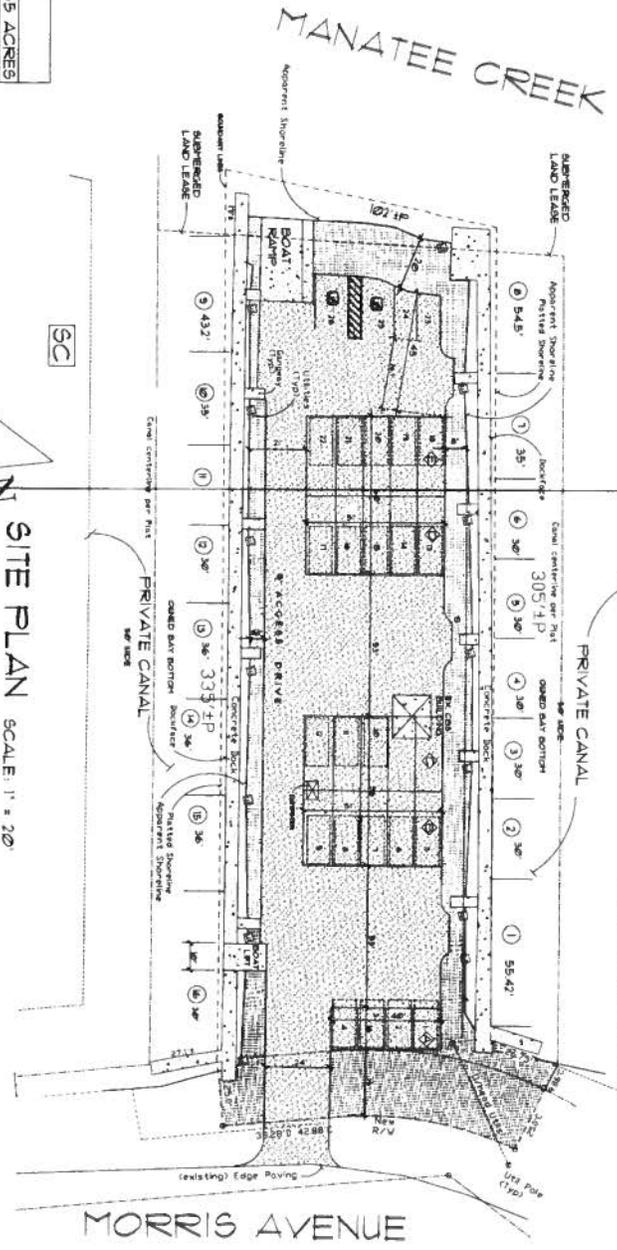
60 DRY STORAGE @ 1 PER 4 = 15 SPACES
 16 WET SLIPS @ 1 PER SLIP = 16 SPACES
 BOAT RAMP = 5 SPACES
 TOTAL REQUIRED = 36 SPACES
 TOTAL PROVIDED = 26 SPACES
 INCL. 2 - HDCP



SITE PLAN SCALE: 1" = 20'

DESCRIPTION:
 Lot 1, Monroe Park, according to the plat thereof recorded in Plat Book 3 at Page 140 of the public records of Monroe County, Florida.

- VEGETATION/LANDSCAPING
- PREVIOUS SURFACE (CONCRETE ROAD ETC.)
- GRAVEL



100	SHEET INDEX
101	SITE PLAN
102	CONSTRUCTION PLAN
103	LANDSCAPE PLAN
104	LANDSCAPE PLAN

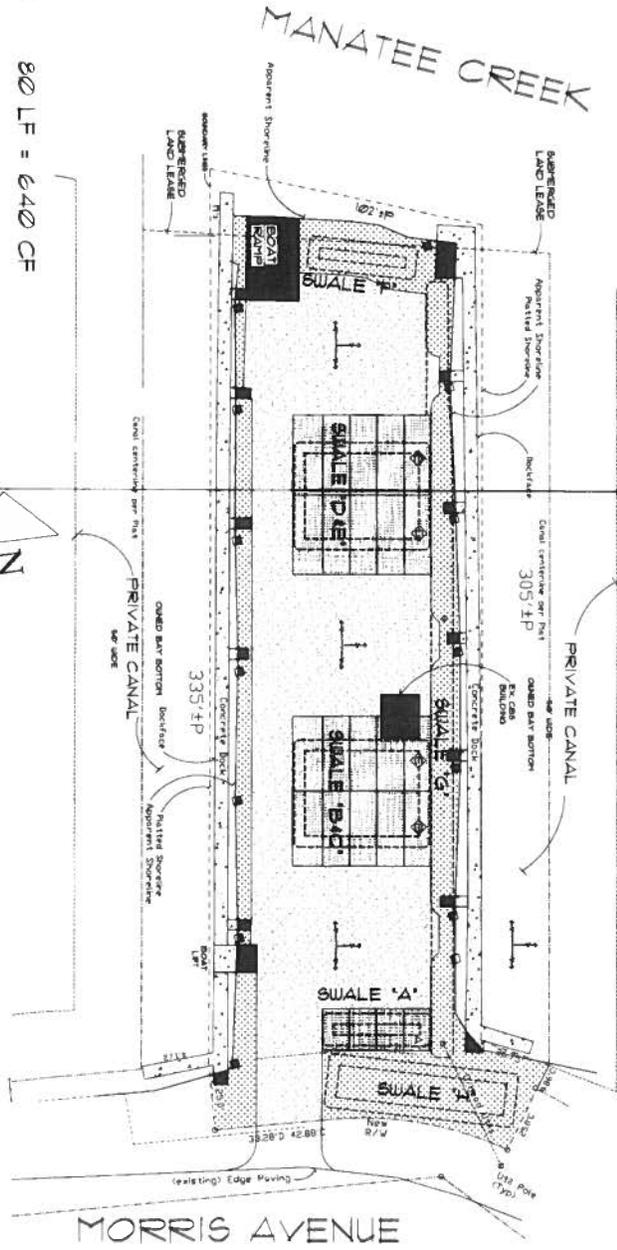
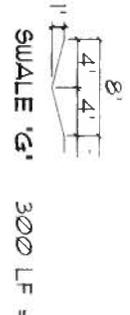
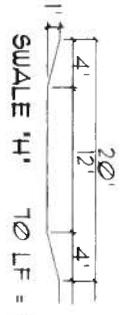


PIRATE HAT MARINA

DATE: 2/24/11
 SCALE: AS NOTED
 DRAWN BY: TJB
 REVISIONS:

Keys Engineering Services
 Daryle L. Osborn, P.E.
 No. 27428
 85801 Overseas Highway
 Islamorada, Florida 33066
 (305) 852-0282

SWALE SECTIONS N.T.S.
 TOTAL RETENTION AREA REQUIRED = 5,965 CF
 TOTAL RETENTION AREA PROVIDED = 6,640 CF



STORMWATER MANAGEMENT PLAN SCALE: 1" = 20'

TOTAL UPLAND AREA	28,408 SQ.FT.
PERVIOUS AREA	7,675 SQ.FT. 26%
GRAVEL AREA	13,044 SQ.FT. 46%
SEMI-PERVIOUS AREA	6,432 SQ.FT. 22%
IMPERVIOUS AREA	1,307 SQ.FT. 5%

[Signature]

3.0

PIRATE HAT MARINA

DATE	25.03.17
SCALE	AS NOTED
DRAWN BY	YLO
REVISIONS	

Keys Engineering Services
 Daryle L. Osborn, P.E.
 No. 27428
 88801 Overseas Highway
 Islamorada, Florida 33036
 (305) 852-0282

Keys Engineering Services, Inc
86801 Overseas Highway
Islamorada, FL 33036
Daryle L. Osborn, P.E. 27428

Storm Water Management Plan
For
Pirate's Hat Marina

Project Description: A new outdoor boat storage area and associated gravel access ways.

Project Location: Pirate's Hat Marina is located in Key Largo, Florida at approximately Mile Marker 112.

Existing Site Conditions:

Vegetation: The entire site has been disturbed.

Soils: The area is crushed rock over pervious oolite rock. The water table was encountered at 4'0" below existing grade.

Flood Plan & Elevations: The proposed construction is in Flood Zone "AE10". The overall site elevation is between 3'-5' MSL.

Neil
2/25/14

Storm Water Management Plan

Site Data:

Net Area	= 28,408 square feet
Impervious Areas	
Existing Concrete Docks	= 3,350sf
Gravel Access Ways	= 13,044sf
Existing Structures	= 1,307sf
Total	= 17,701sf
Percent Pervious	= 37.7 %

Pre / Post Development Runoff:

1. Compute Predevelopment Runoff
 - a. Depth to Groundwater = 4.0'
 - b. Soils Storage (C-111-3) = 8.18 inches
 - c. P = 8.5 inches

$$Q = (P - .2S)^2 / (P + .8S)$$

$$P = 8.5$$

$$S = 8.18$$

$$Q = 3.13 \text{ inches}$$

2. Compute Post-development Runoff
 - a. Soils Storage (C-111-3) = 8.18 inches
 - b. P = 8.5 inches
 - c. Percent Pervious = 37.7%

$$Q = (P - .2S)^2 / (P + .8S)$$

$$P = 8.5$$

$$S = .377 \times 8.18 = 3.08$$

$$Q = 5.65 \text{ inches}$$

3. Limit Post to Pre development Runoff

Storage Required:

$$5.65 - 3.13 = 2.52 \text{ inches}$$

$$2.52 \times 28,408 / 12 = 5,965 \text{ cubic feet to retain}$$

Volume of Water to be Treated:

The storm water runoff will be maintained on site by dry retention methods. Refer to the site drainage plan for location and sizes of the swale areas.

Swale Area A – 320 cf

Swale Area B & C – 1,840 cf

Swale Area D & E – 1,840 cf

Swale Area F – 320 cf

Swale Area G – 1,200 cf

Swale Area H – 1,250 cf

The total volume of retention is 6,640 cubic feet. This exceeds the required 5,965 cubic feet.

Water Quality:

The volume of water to be treated and controlled is ½ inch initial runoff:

$$0.5 \times 28,408 / 12 = 1,184 \text{ cubic feet}$$

The existing site condition is crushed gravel with fines which filters the surface water runoff.

25 Year Storm:

A 25 year storm over a 24 hour period in South Florida will average 1.05 inches of rainfall per hour. The initial wash calculations used a rate of 2.52 inches per hour. The initial wash calculations are worst case and will govern.

$$1.05 \times 28,408 / 12 = 2,486 \text{ cubic feet}$$

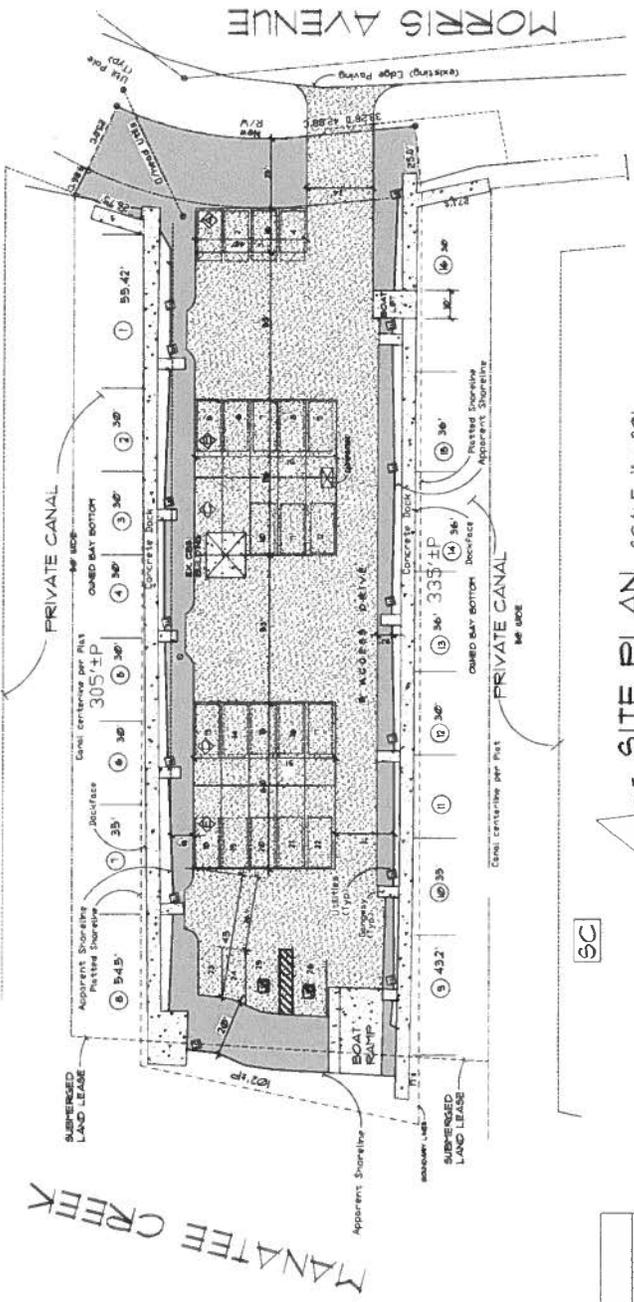
ATTACHMENT 2

PIRATE HAT MARINA

1.0

SHEET INDEX	
1.0	SITE PLAN
2.0	PAVING SITE PLAN
3.0	STRUCTURE MANAGEMENT PLAN
4.0	LANDSCAPE PLAN

5C



N SITE PLAN SCALE: 1" = 20'

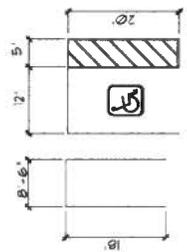
Description:

Lot 1, Monroe Park, according to the plat thereof recorded in Plat Book 3 at Page 140 of the public records of Monroe County, Florida.

- GRAVEL
- VEGETATION/LANDSCAPING
- PREVIOUS SURFACE (CONCRETE, MISC., ETC.)

PARKING REQUIREMENTS

- 60 DRY STORAGE @ 1 PER 4 = 15 SPACES
- 16 WET SLIPS @ 1 PER SLIP = 16 SPACES
- BOAT RAMP = 3 SPACES
- TOTAL REQUIRED = 36 SPACES
- TOTAL PROVIDED = 26 SPACES
- INCL. 2 - HDCC

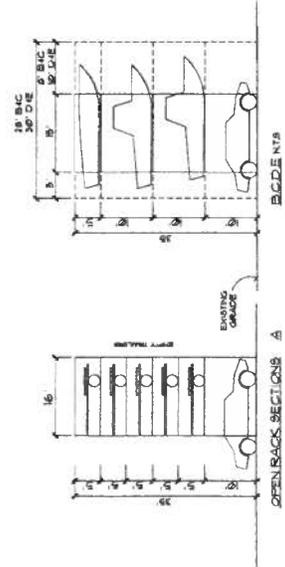


PARKING STANDARDS

MANATEE CREEK

SITE DATA	
LOT SIZE:	65 ACRES
TIER:	III
ZONING:	SC
FLUM:	MC
DEVELOPED:	YES
DEVELOPMENT TYPE:	MARINE

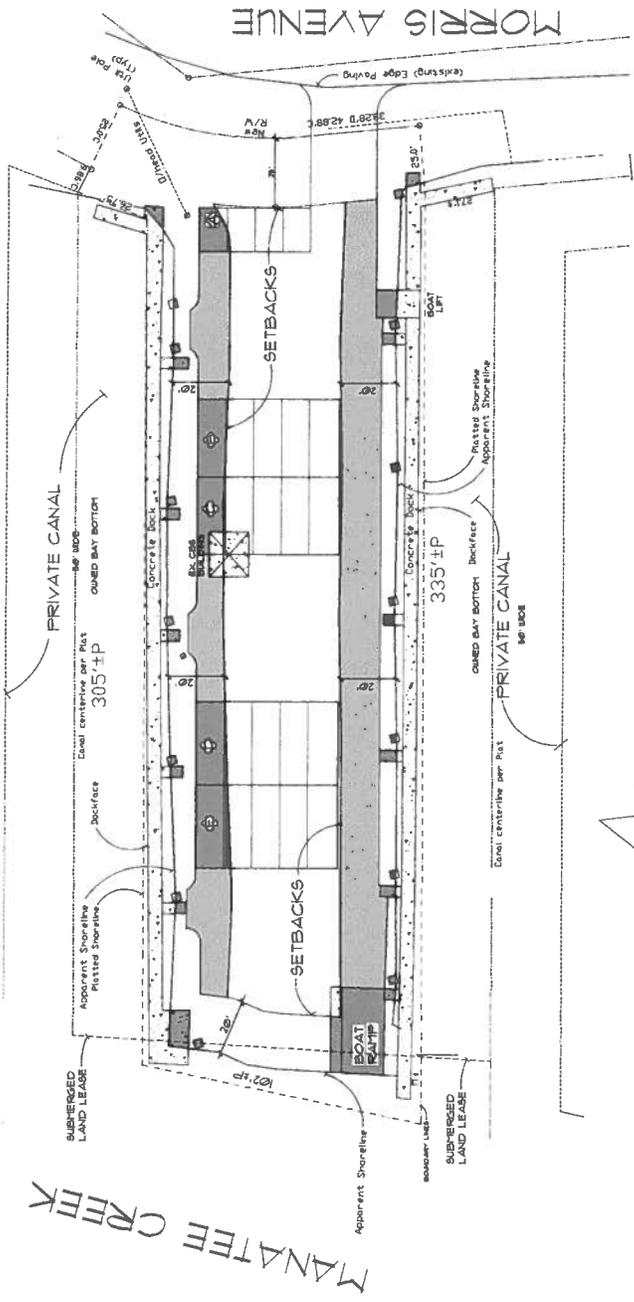
* AREA UPLAND OF APPARENT SHORELINE



DATE	
SCALE	AS NOTED
DRAWN BY	JAS
REVISIONS	

PIRATE HAT MARINA

2.0



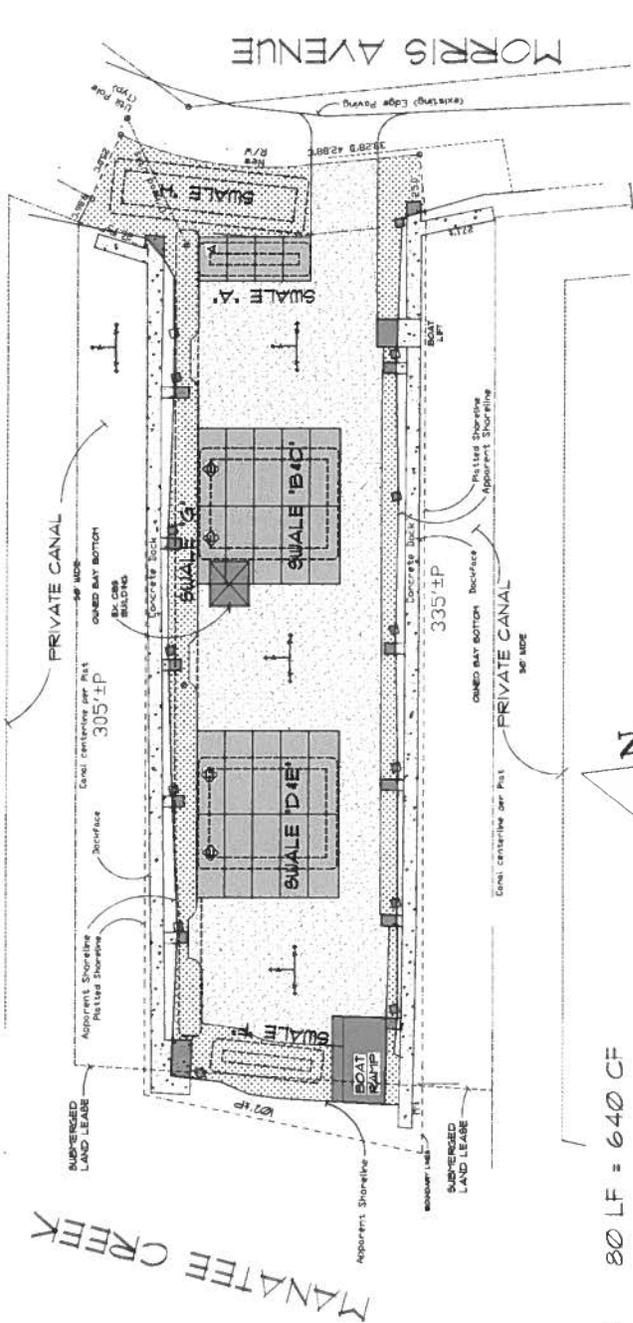
VARIANCE SITE PLAN SCALE: 1" = 20'

- AREA WITHIN SETBACKS
- GRAVEL DRIVE & PARKING 5,181 SQ.FT.
- STRUCTURES 2,485 SQ.FT.
(IMPERVIOUS & SEMI-IMPERVIOUS)

MANATEE CREEK

MORRIS AVENUE

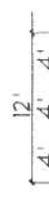
PIRATE HAT MARINA



STORMWATER MANAGEMENT PLAN

SCALE: 1" = 20'

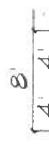
- TOTAL UPLAND AREA 28,408 SQ.FT.
- PERVIOUS AREA 1,625 SQ.FT. 26%
- GRAVEL AREA 13,044 SQ.FT. 46%
- SEMI-IMPERVIOUS AREA 6,432 SQ.FT. 22%
- IMPERVIOUS AREA 1,307 SQ.FT. 6%



SWALE 'A' & 'F' 80 LF = 640 CF



SWALE 'B' & 'C' & 'D' & 'E' 80 LF = 3,680 CF



SWALE 'G' 300 LF = 1,200 CF

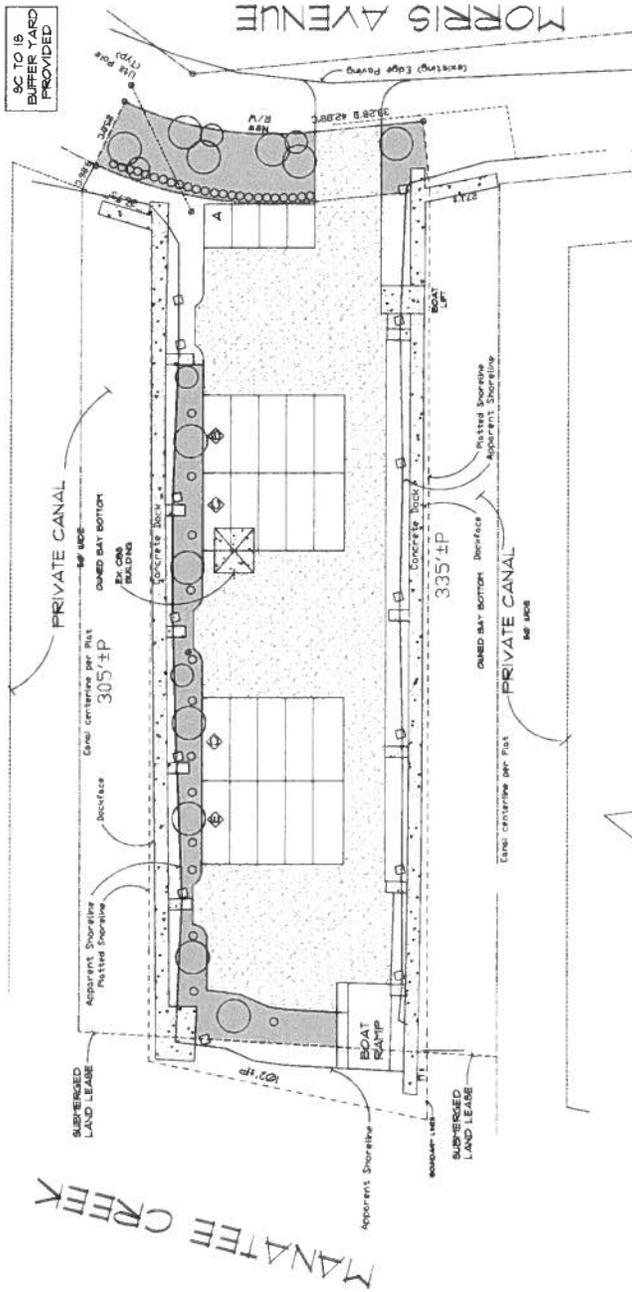


SWALE 'H' 10 LF = 1,250 CF

SWALE SECTIONS NTS
 TOTAL RETENTION AREA REQUIRED = 5,965 CF
 TOTAL RETENTION AREA PROVIDED = 6,640 CF

PIRATE HAT MARINA

4.0



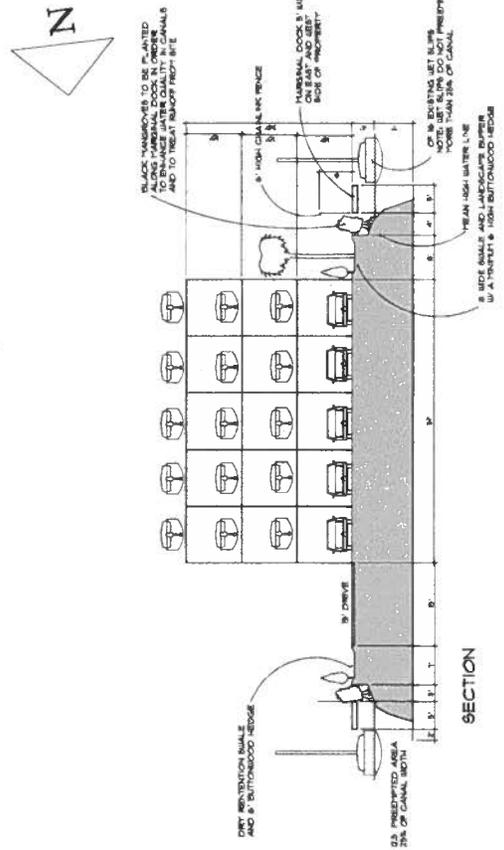
LANDSCAPE PLAN SCALE: 1" = 20'
 TOTAL UPLAND AREA 28,428 SQ.FT.

Site 14-95 - PARKING LOT LANDSCAPING			
REQUIRED GENERAL AREA (A) SPACES	CANOPY	UNDERSTORY	SHRUBS
1500	74	5	17
PROVIDED SITE SPECIFIC	5210	1029	15
AREA A (50'X8.70'X8)	26	6	2
AREA B (75'X8)	600		
AREA C (120'X8)	560		
AREA D (40'X5)	200		

BUFFERS 14-26 - DISTRICT BOUNDARY REQUIREMENTS			
SC TO IS FRONT OF PROPERTY (CLASS D)	CANOPY	UNDERSTORY	SHRUBS
100' (ACTUAL BUFFER LENGTH IS 100')	6	3	24
20' FOOT	6	3	24
25' FOOT	6	3	24
PROVIDED	6	3	24

PLANTING MATERIAL	
CANOPY (C)	SABAL PALM
UNDERSTORY (U)	GEIGER
SHRUBS (S)	SILVER BUTTWOOD

- KEY
- CANOPY 7' HIGH MIN, 3" DBH
 - UNDERSTORY 6' HIGH MIN.
 - SHRUBS 3' HIGH, 6" SPECIFIED



BLACK HANGERS TO BE PLANTED ALONG HARBORAL DOCK IN ORDER TO MAINTAIN WATER QUALITY IN CANALS AND TO PREVENT ALGAE FROM SETTING

Pirate Hat Marina a Condominium Surveyor's Certificate

This Certificate, made this 2nd day of July, 2010, by the undersigned Professional Land Surveyor, authorized to practice in the State of Florida, is made pursuant to the provisions of Section 718.04(4)(c) of Florida Statutes effective January 1, 1977, as amended, and certifies that the construction of the improvements in Phase 1 is substantially complete, and that graphic descriptions of the location of the units and a survey and plot plan thereof and other material together with the Declaration, are in sufficient detail to identify the common elements and each unit with their relative locations and dimensions. The construction of the improvements in Phase 2 is not complete.

David H. Barrow, PSN, LS 5263
David Barrow Surveying & Mapping, Inc., LB 6591
State of Florida



David Barrow Surveying & Mapping, Inc.
P.O. Box 279
91790 Overseas Hwy.
Tavernier, FL 33070
305/852-5529

Pirate Hat Marina
 a Condominium



NOTES:

1. Type of Survey: Boundary Survey
2. Descriptions provided by client, except proposed abandonment descr. prepared by undersigned
3. Bearing base is indicated elsewhere on this sketch.
4. Abstract of Title not available to surveyor. There may exist additional documents relating to the subject property. Not abstracted for easements.
5. Boundaries shown are Deed Lines, and are the lines as located based on the Deeds. Plats and other information available to surveyor.
6. Encroachments, if shown, are only those above ground objects, visible to surveyor, which appear to encroach on Deed Lines. No certification is made that these are the only encroachments, nor that said objects actually encroach on lines of ownership.
7. Subsurface and environmental conditions were not examined nor considered as part of this survey.
8. Location of improvements is limited to those shown. All improvements, ground cover, landscaping, and other such features may not be shown hereon. Unless indicated otherwise, ties to improvements are perpendicular to boundaries.
9. Elevations, if shown, are expressed in feet related to National Geodetic Vertical Datum of 1929, derived from a direct, closed level circuit from NGS benchmarks H 274
10. Ownership of originals and copyrights to all drawings, notes, reports and other documents produced in the course of this project remain with surveyor.
11. This survey is intended for the sole use of the client named herein and is not transferable.
12. Apparent shoreline is along vertical face of seawall/dock or is located by physical evidence only. This is not a Mean High Water Survey.
13. Slip dimensions: 125 feet wide by length shown on sketch. (25% of canal width)

LEGEND:

- R/V.....Centerline, Right of Way line
- P/C,P/T.....Point of Intersection, Curvature, Tangency
- R.L.I.....Central Angle, Radius, Arc Length, Tangent Length
- SIR.....Set 1/2" Iron Rod with plastic cap LS 5263
- FR/FP.....Found Iron Rod, Found Iron Pipe/ diameter and identification noted
- Fd, Fnd.....Found
- CLF, Fnc.....Chainlink Fence, Fence
- Conc, CB,CBS.....Concrete, Concrete Block & Stucco
- PDC/PQB.....Point of Commencement, Beginning
- POL.....Point on Line
- No#.....Identification not visible
- PB,DB,DR,PG.....Plat Book, Deed Book, Official Record Book, Page Number
- P, J, C, M.....Values as Platted, Described, Calculated, Measured
- LS 5263.....Florida Board of Surveyors Certificate No. 5263 or others as noted
- Desc.....Description
- X 4.2'.....Spot elevation
- EL.....Elevation
- FP.....Fencepost

SOME OR ALL OF THE ABOVE MAY APPEAR HEREIN.

Revision list:	Condo docs
2-16-09	Rev Slips 7 & 11
5-11-09	Rev Slips 6, 7, 11 & 12
10-23-09	delete Slips 8, 9, 10 add Parking Spaces 8, 9 & 10
7-2-10	certificates amended

mapthekeys.com

Client: Pirate Hat Marina LLC	Scale: as shown	Key Largo	Monroe County, Florida
Drawn by: DHB	Fieldbook 307		
Section 4	Township 60 South, Range 39 East	Surveyed 10-8-08	Dwg. No. 25902Cndm0_r4
Computer tech	Directory dig	Revised above	DESCR

B S M
Barrow Surveying & Mapping

PO Box 279

91790 Overseas Highway, TAVERNIER, FLORIDA

(305)852-5529

33070

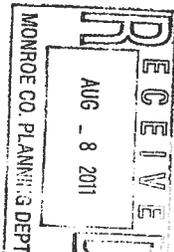
(305)852-9064

FAX

Pirate Hat Marina
 a Condominium

Curve Table 1	
Cl	Delta
	30°32'27"D
	30°16'17"C
	150'
Arc	75.95'
C2	Delta
	28°50'43"D
	30°22'19"C
	150'D
Radius	125'C
Arc	75.52'D
	66.63'C

Revision List
 E-16-09 Gordo docks & 11
 E-17-09 Rev slips 6, 7, 11 & 12
 10-23-09 delete Slips 6, 7, 10 and Parking Spaces 6,
 7 & 10 Car-traffic amended



DESCRIPTION:
 Page 3 of 4
 Revised 7-2-10
 Dwg No. 25302cenda-r4
 Lot 1, Monroe Park, according to the plat thereof recorded in Plat Book 3
 at Page 140 of the public records of Monroe County, Florida.
 And

That portion of Morris Avenue as shown on the plat of Monroe Park as recorded in Plat Book 3 at Page 140 of the public records of Monroe County, Florida, and being more particularly described as follows: Commence at the most southwesterly corner of Lot 2 being also the southwesterly corner of Lot 1 as shown on said plat of Monroe Park, and being the Point of Beginning of the following described parcel: thence northwesterly along the southerly line of said Lot 1 and being the arc of a circular curve, concave southwesterly, having as its elements a radius of 150.00 feet and a central angle of 30°32'27", for 75.95 feet to the point of tangency; thence N81°45'00"W along for 25.00 feet; thence S81°45'00"E, parallel to the southerly line of said Lot 1 for 33.28 feet to the point of curvature of a circular curve, concave southwesterly, having as its elements a radius of 150.00 feet and a central angle of 28°50'43", thence southwesterly along the arc of said curve for 75.52 feet; thence N38°47'27"E for 25.47 feet to the Point of Beginning

Proposed abandonment of part of Morris Avenue!
 A portion of Morris Avenue according to the plat of Monroe Park as recorded in Plat Book 3 at Page 140 of public records of Monroe County, Florida, and being more particularly described as follows: Begin on the northerly right of way line of said Morris Avenue at the southwesterly corner of Lot 1, all according to said plat of Monroe Park; from said Point of Beginning, thence proceed westerly along said northerly right of way line of Morris Avenue for 30.00 feet; thence southerly at right angles with the preceding course, for 25.00 feet; thence easterly, at right angles with the preceding course and parallel with said northerly right of way line of Morris Avenue, for 30.00 feet to a point which is southerly of and lying at right angles with the Point of Beginning; thence northerly, at right angles with the preceding course, for 25.00 feet to the Point of Beginning containing 750 Sq. Ft. more or less.

mapthekeys.com

Unless it bears the embossed seal and original signature, in the body of Barrow, LS 5263, this sketch is for information only and is not legal.

David H. Barrow, LS 5263
 David Barrow Surveying and Mapping, Inc., LB 6591
 © Copyright 2009 David H. Barrow, All rights reserved.

Seal

Station	Offset	Station	Offset
0-12	41'V	3+14	62'E
0-10	20'V	3+09	73'E
0+00	9'E	3+08	83'E
0+50	11'E	2+94	90'E
1+01	9'E	2+55	88'E
1+51	10'E	2+06	90'E
2+49	9'E	1+13	92'E
2+99	10'E	0+20	91'E
3+01	7'E	0+05	101'E
3+17	7'E	0-03	143'E

Perpendicular ties to apparent shoreline along 'Tie-line A-3' (w/y line Lot 1) using Station and Offset Method

Client	Project	Scale	Key	Location
C E R T I F I C A T I O N !	Pirate Hat Marina LLC	as shown	Largo	Monroe County, Florida
Drawn by	Fieldbook 307	Scale as shown		
Section 4	Township 60	South, Range 39	East	Surveyed 10-8-08
Computer tech	Directory: dng	Rev: see above	Bascri	Dwg. No. 25302cenda-r4

AUG - 8 2011

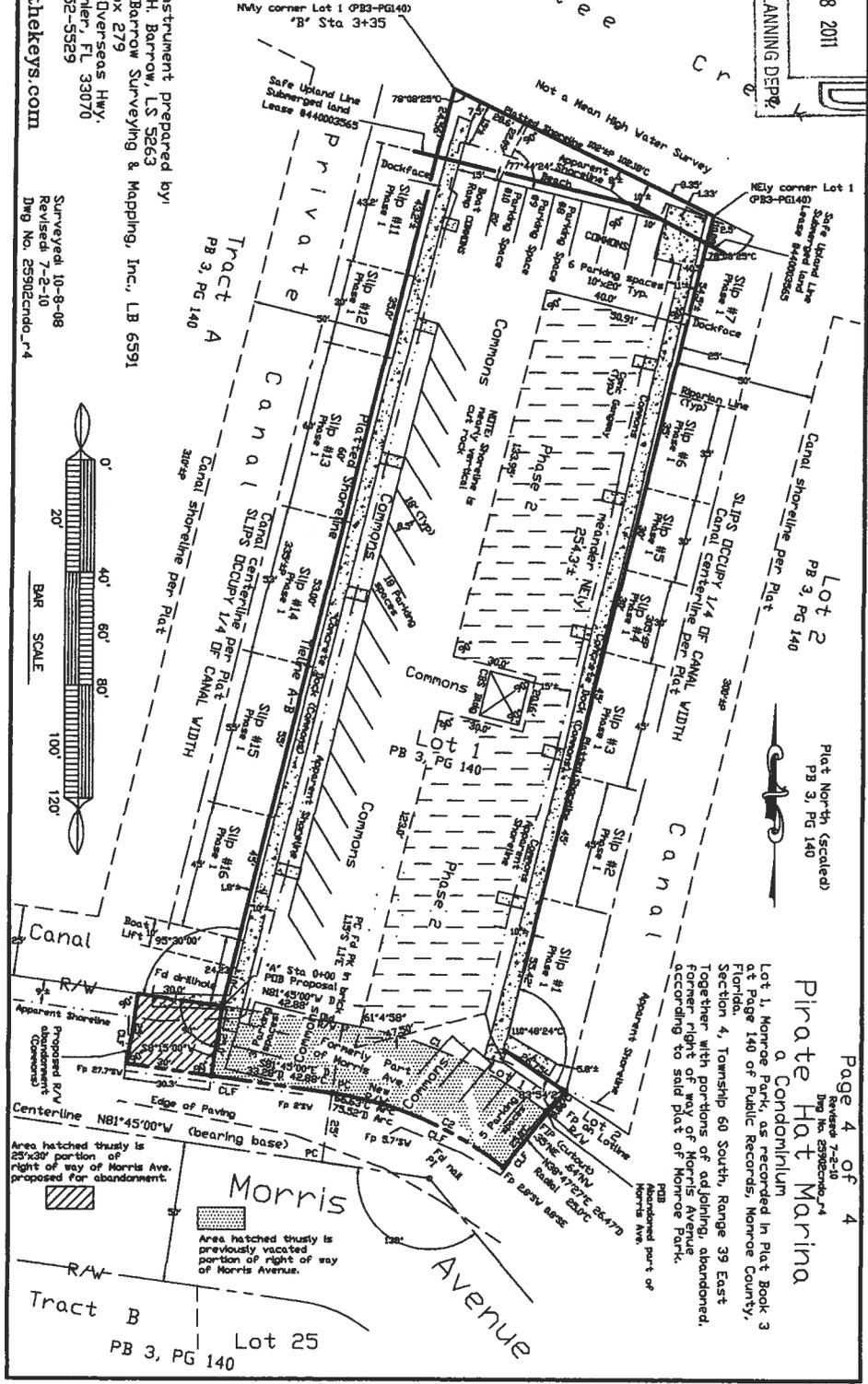
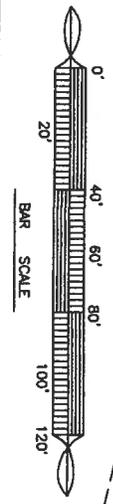
MONROE CO. PLANNING DEPT.



Manatee

This instrument prepared by:
 David H. Barrow, LS 5863
 David Barrow Surveying & Mapping, Inc., LB 6591
 P.O. Box 279
 91790 Overseas Hwy,
 Tavernier, FL 33070
 305/852-5525
 mapthekeys.com

Surveyed 10-8-08
 Revised 7-2-10
 Dwg No. 25902canda_r4



Lot 2
 PB 3, PG 140
 Plat North (scaled)
 PB 3, PG 140

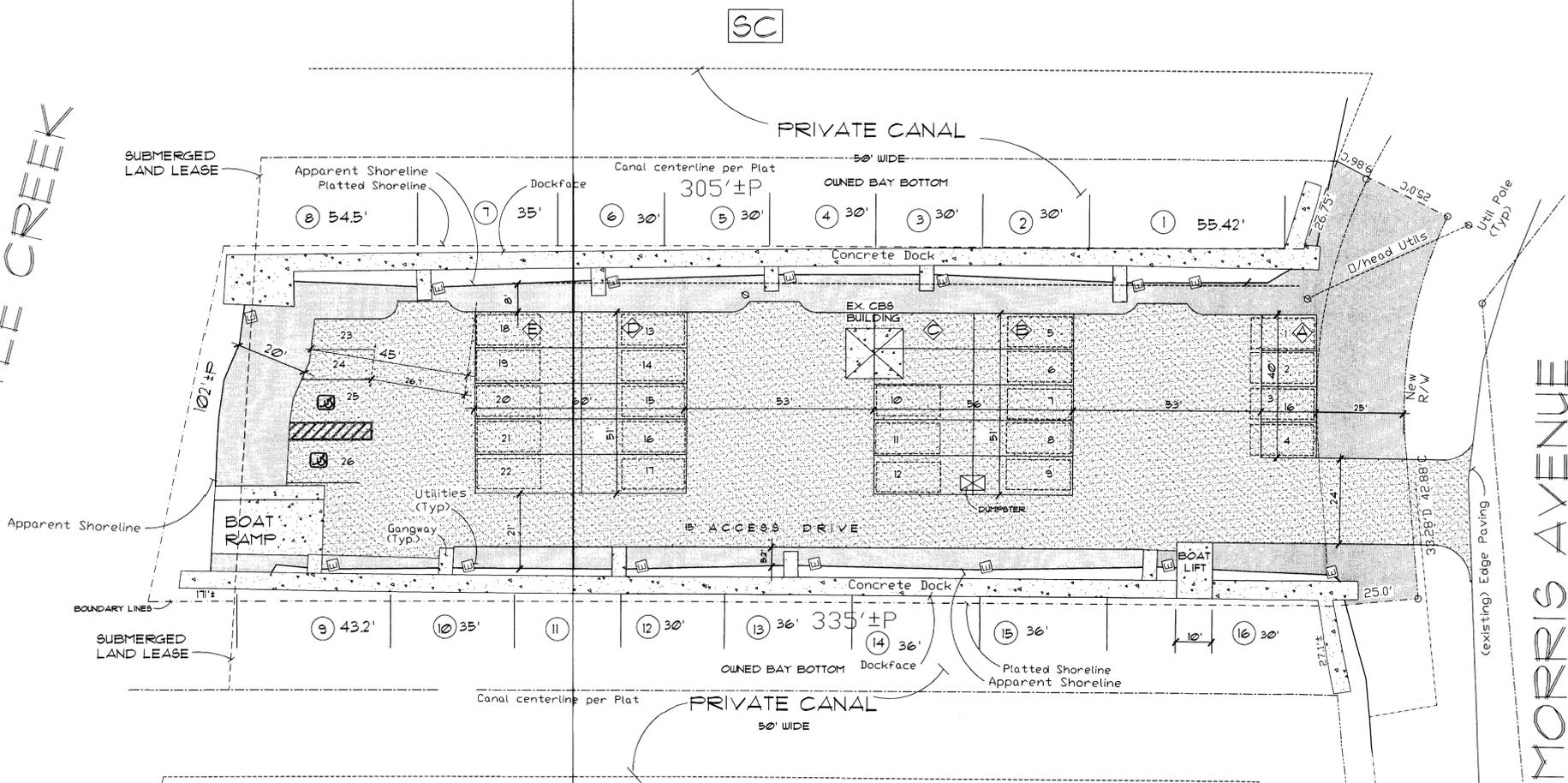
Page 4 of 4
 Revised 7-2-10
 Dwg No. 25902canda_r4
Pirate Hot Marina
 a Condominium
 Lot 1, Monroe Park, as recorded in Plat Book 3 at Page 140 of Public Records, Monroe County, Florida.
 Section 4, Township 50 South, Range 39 East
 Together with portions of adjoining, abandoned, former right of way of Morris Avenue according to said plat of Monroe Park.

Area hatched trusty is 25'x30' portion of right of way of Morris Ave. proposed for abandonment.

Area hatched trusty is previously vacated portion of right of way of Morris Avenue.

Tract B
 Lot 25
 PB 3, PG 140

MANATEE CREEK



MORRIS AVENUE

SITE DATA	
LOT SIZE*	.65 ACRES
TIER	III
ZONING	SC
FLUM	MC
DEVELOPED	YES
DEVELOPMENT TYPE	MARINE

* AREA UPLAND OF APPARENT SHORELINE



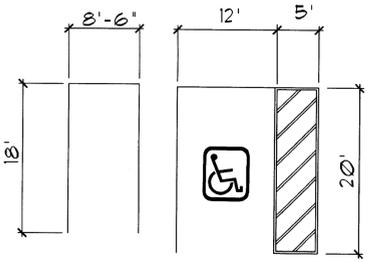
SITE PLAN SCALE: 1" = 20'

Description:
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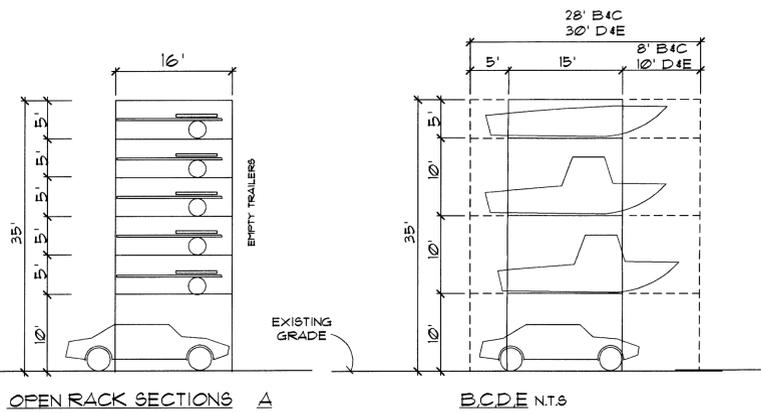
- GRAVEL
- VEGETATION/LANDSCAPING
- IMPERVIOUS SURFACE (CONCRETE, WOOD, ETC.)

PARKING REQUIREMENTS

60 DRY STORAGE @ 1 PER 4 = 15 SPACES
 16 WET SLIPS @ 1 PER SLIP = 16 SPACES
 BOAT RAMP = 5 SPACES
 TOTAL REQUIRED = 36 SPACES
 TOTAL PROVIDED = 26 SPACES
 INCL. 2- HDCP

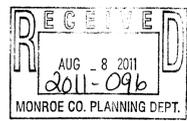


PARKING STANDARDS



OPEN RACK SECTIONS A

BCDE N.T.S



SHEET INDEX	
1.0	SITE PLAN
2.0	VARIANCE SITE PLAN
3.0	STORMWATER MANAGEMENT PLAN
4.0	LANDSCAPE PLAN

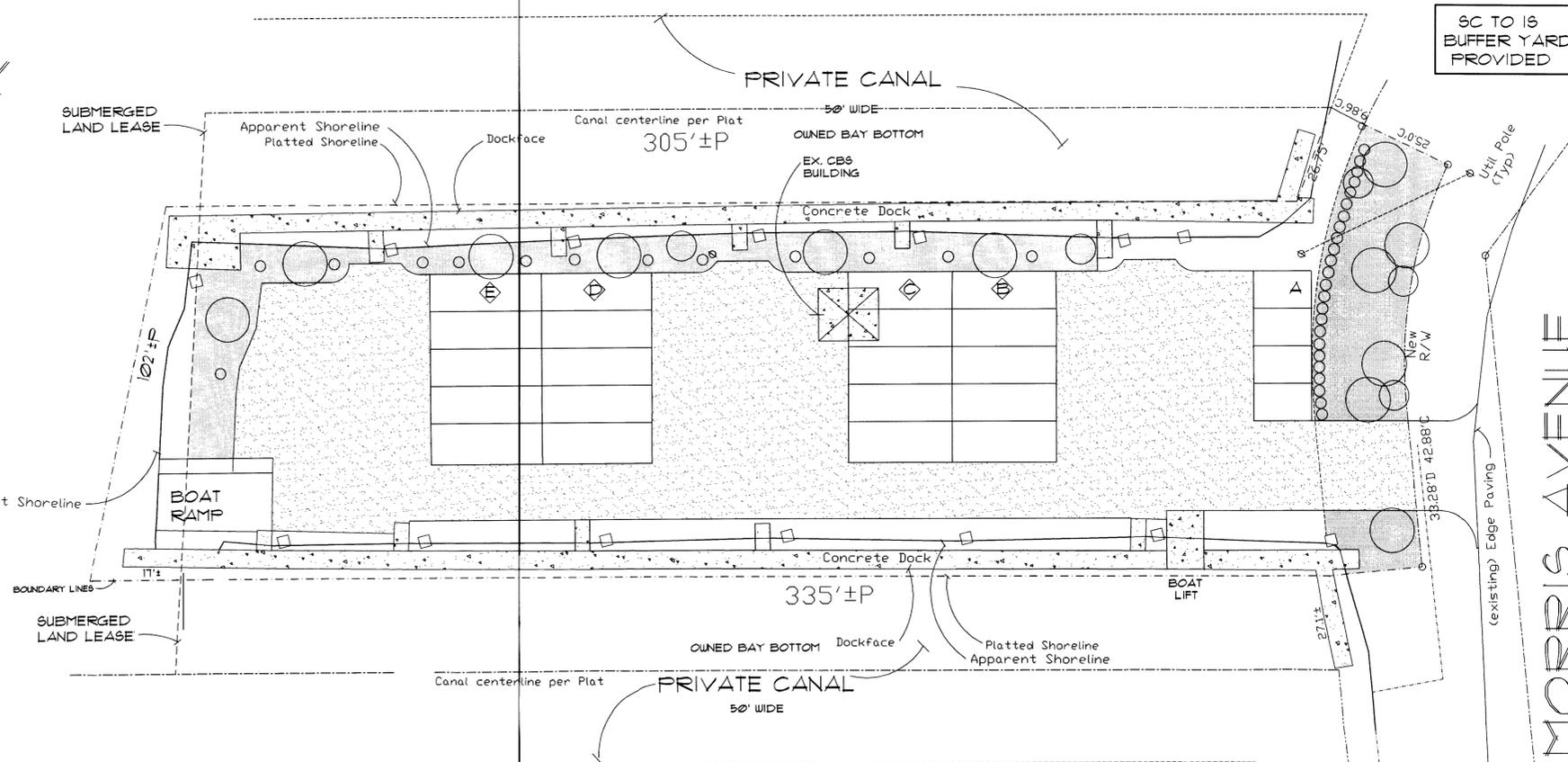
Keys Engineering Services
 Daryle L. Osborn, P.E.
 No. 27428
 86801 Overseas Highway
 Islamorada, Florida 33036
 (305) 852-0262

DATE	SCALE	AS NOTED	DRAWN BY	TJB	REVISIONS
29 JUL 11					

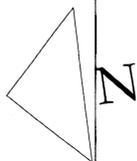
PIRATE HAT MARINA

SHEET 1.0

MANATEE CREEK



SC TO IS
BUFFER YARD
PROVIDED



LANDSCAPE PLAN SCALE: 1" = 20'
TOTAL UPLAND AREA 28,408 SQ.FT.

Sec 114-99 - PARKING LOT LANDSCAPING

	AREA (sqf)	#SPACES	CANOPY	UNDERSTORY	SHRUBS
REQUIRED GENERAL	1500	24	5	1	12
REQUIRED SITE SPECIFIC	1625	26	5.520	1.083	13
PROVIDED	1920	26	6	2	13
AREA A (50X8+20X8)	360				
AREA B (75X8)	600				
AREA C (70X8)	560				
AREA D (40X5)	200				

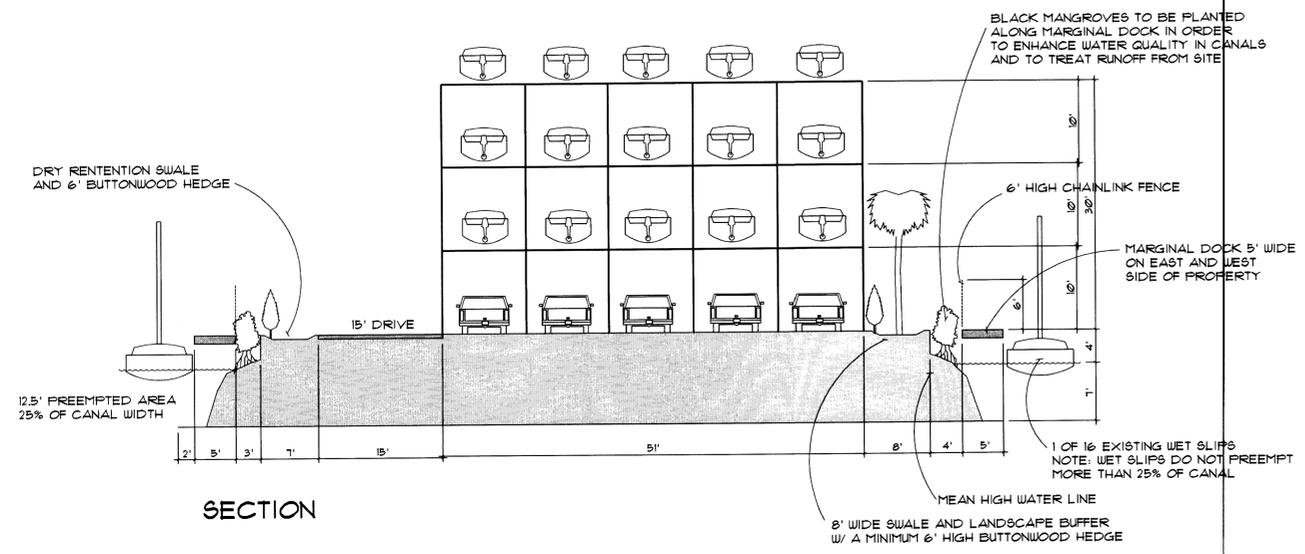
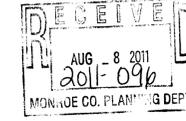
BUFFERYARDS 114-26 - DISTRICT BOUNDARY REQUIREMENTS
SC TO IS (FRONT OF PROPERTY) | CLASS D

PLANT MATERIAL REQUIRED PER 100' (ACTUAL BUFFER LENGTH IS 100')	CANOPY	UNDERSTORY	SHRUB
20 FOOT	6.6	3.3	28
25 FOOT	6	3	24
PROVIDED	6	3	24

PLANTING MATERIAL

CANOPY (C)	SABAL PALM
UNDERSTORY (U)	GEIGER
SHRUB (S)	SILVER BUTTWOOD

- KEY**
- CANOPY
12' HIGH MIN, 3" DBH
 - UNDERSTORY
8' HIGH MIN.
 - SHRUB
3' MIN, 6' SPECIFIED



SECTION

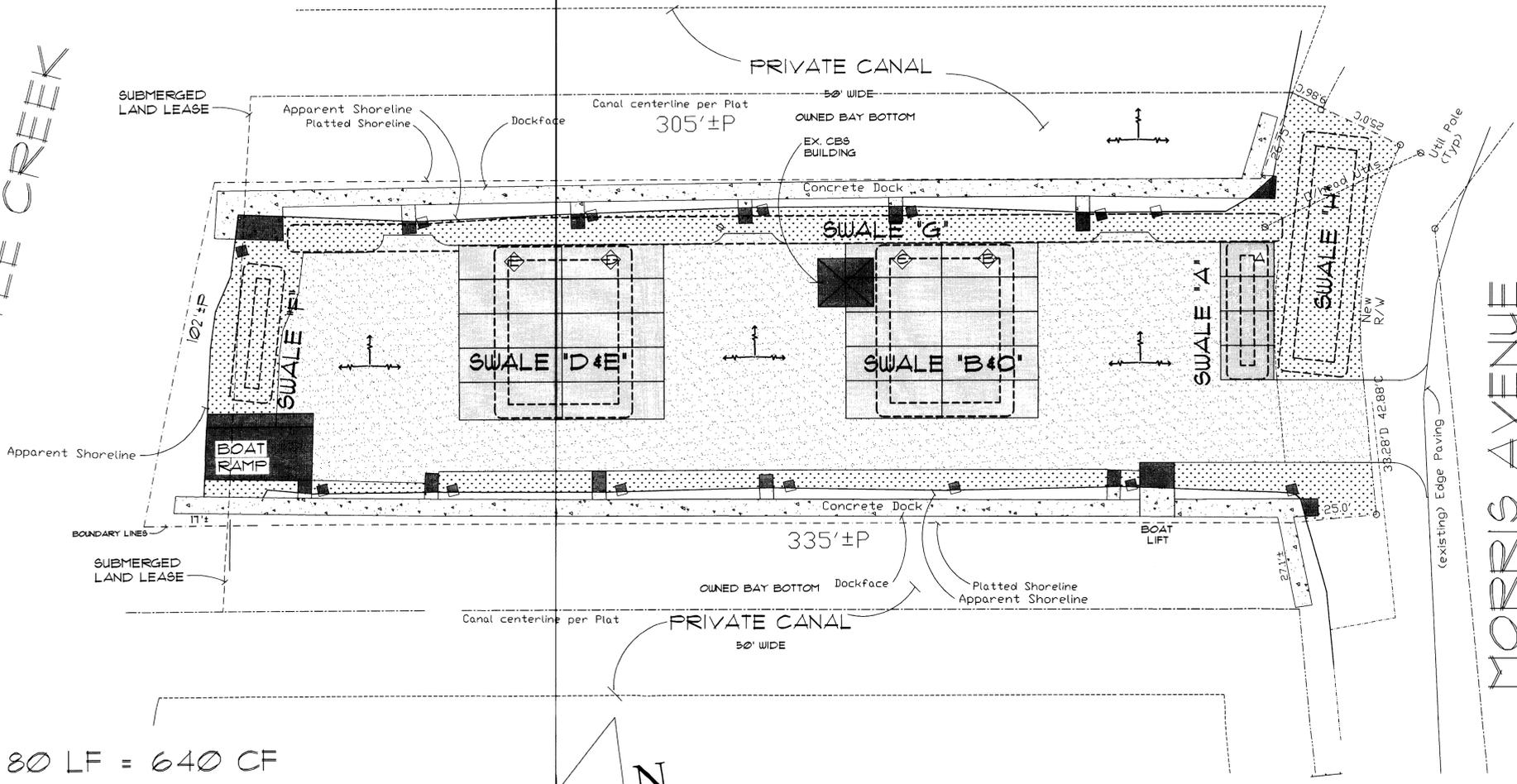
Keys Engineering Services
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No. 27428
86801 Overseas Highway
Islamorada, Florida 33036
(305) 852-0262

DATE: 25JUL11
SCALE: AS NOTED
DRAWN BY: TJB
REVISIONS

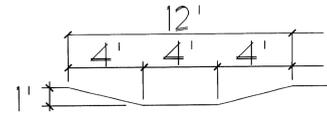
PIRATE HAT MARINA

Dayle L. Osborn

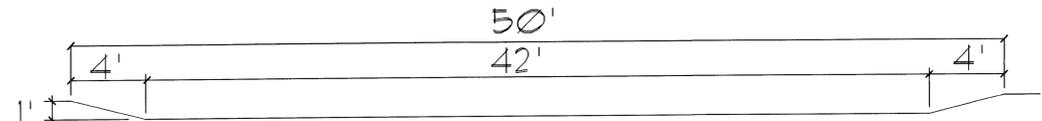
MANATEE CREEK



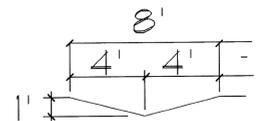
MORRIS AVENUE



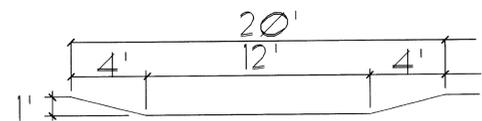
SWALE "A" & "F" 80 LF = 640 CF



SWALE "B&C" & "D&E" 80 LF = 3,680 CF



SWALE "G" 300 LF = 1,200 CF



SWALE "H" 70 LF = 1,250 CF

SWALE SECTIONS N.T.S
 TOTAL RETENTION AREA REQUIRED = 5,965 CF
 TOTAL RETENTION AREA PROVIDED = 6,640 CF

STORMWATER MANAGEMENT PLAN SCALE: 1" = 20'

TOTAL UPLAND AREA	28,408 SQ.FT.	
PERVIOUS AREA	7,625 SQ.FT.	26%
GRAVEL AREA	13,044 SQ.FT.	46%
SEMI-IMPERVIOUS AREA	6,432 SQ.FT.	22%
IMPERVIOUS AREA	1,307 SQ.FT.	6%

Keys Engineering Services
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 (305) 862-0262

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REVISIONS

PIRATE HAT MARINA

SHEET 3.0

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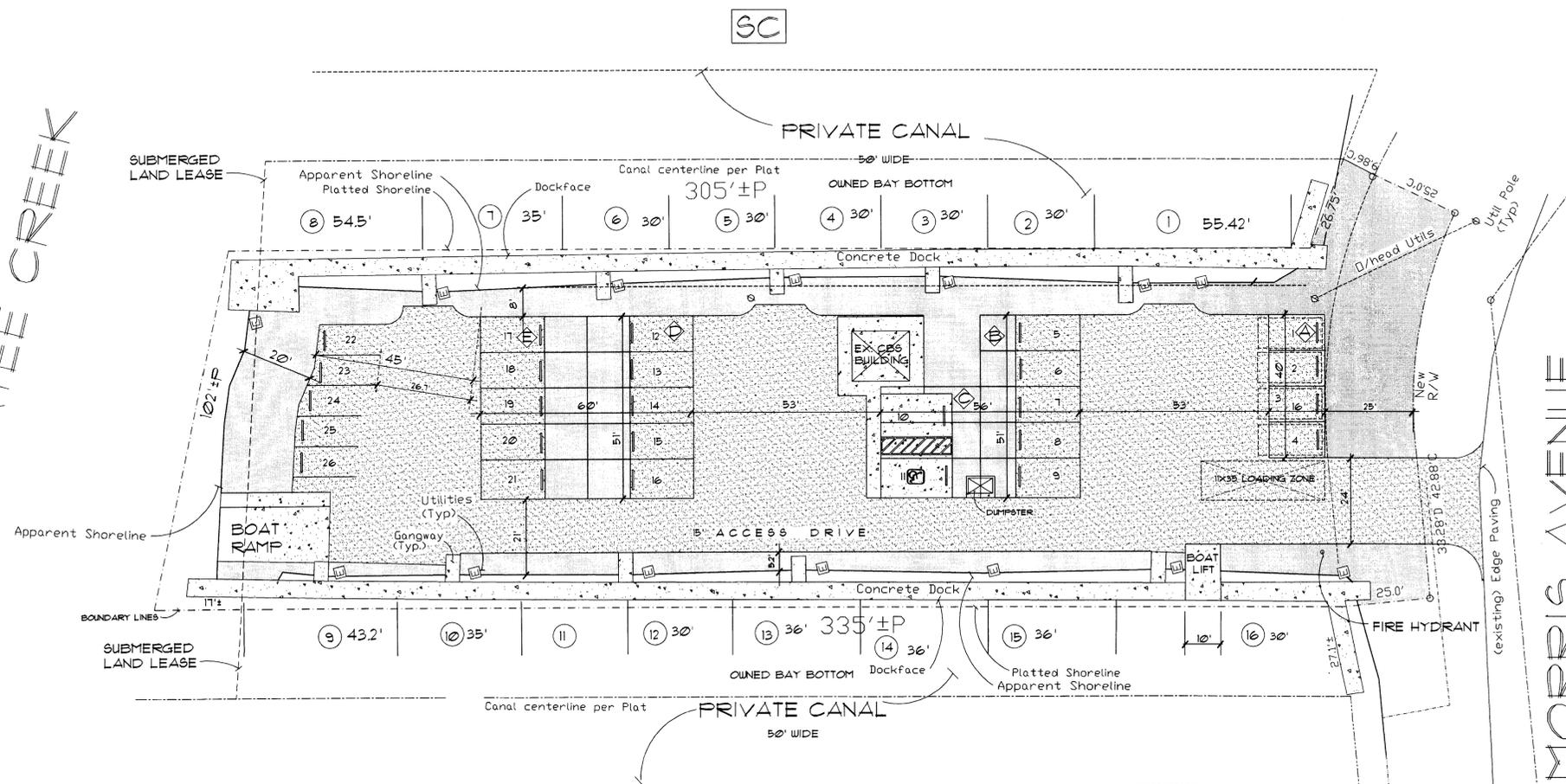
[Signature]
 8/11/11

**Revisions to Amendment to Conditional Use Application – Pirate Hat Marina LLC
Per September 27, 2011 Development Review Committee (DRC)**

Sheet Description

- 1.0 **Site Plan** - Boat racks above building removed, reducing dry storage to 54. ADA hard surface parking moved next to building w/ hard surface access to building. Swales reduced in width relative to parking issue, retention capacity increased by making them deeper. Fire hydrant added near entrance to property. Loading zone added to site.
- 2.0 **Variance Plan** - request decreased in area of rack C where racks have been removed.
- 3.0 **Drainage Plan** - Swales decreased in width relative to parking issue, increased in depth. Swale A modified to include french drain element in order to provide sufficient total retention. Total required may decrease as pervious, gravel, semi-pervious, and impervious areas have all been modified: swales are now all counted as pervious area, decreasing semi-pervious from previous plan; impervious area increased (ADA parking and dumpster pad added). Revised storm calculations. Added boat pump out.
- 4.0 **Landscape Plan** - No real change to landscaping per se, other than showing ADA hard surface, etc., for consistency with other sheets.
- N/A **Water Quality Monitoring Program**. Attached is a draft of a water quality monitoring program which was requested as part of this project by the Biologist. The document attached is a revision to a standard DEP form that is being proposed to serve as the water quality monitoring program. If accepted all forms will be filled out and on file prior to issuance of a certificate of occupancy.

MANATEE CREEK



16

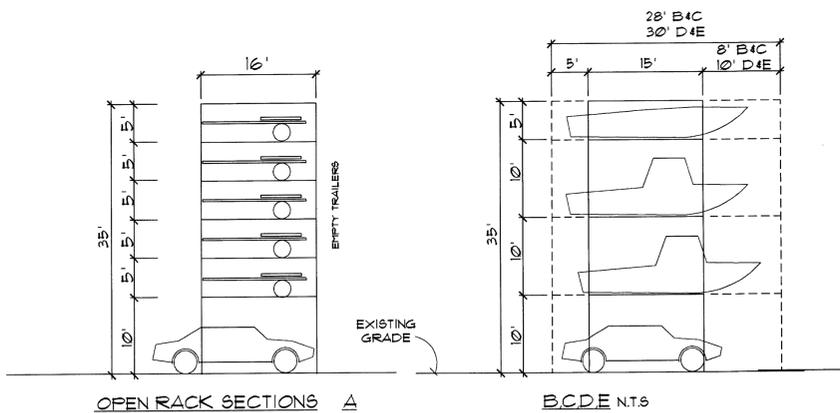
SITE DATA	
LOT SIZE*	.65 ACRES
TIER	III
ZONING	SC
FLUM	MC
DEVELOPED	YES
DEVELOPMENT TYPE	MARINE

* AREA UPLAND OF APPARENT SHORELINE

N SITE PLAN SCALE: 1" = 20'

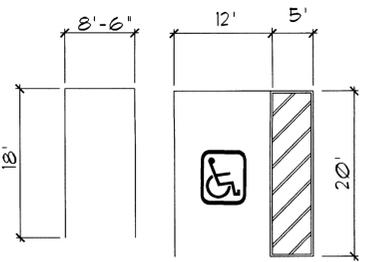
Description:
Lot 1, Monroe Park, according to the plat thereof recorded in Plat Book 3 at Page 140 of the public records of Monroe County, Florida.

- GRAVEL
- VEGETATION/LANDSCAPING
- IMPERVIOUS SURFACE (CONCRETE, WOOD, ETC.)

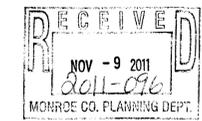


PARKING REQUIREMENTS

54 DRY STORAGE @ 1 PER 4 = 13.5 SPACES
 16 WET SLIPS @ 1 PER SLIP = 16 SPACES
 BOAT RAMP = 5 SPACES
 TOTAL REQUIRED = 34.5 SPACES
 TOTAL PROVIDED = 26 SPACES
 INCL. 2- HDCP



PARKING STANDARDS



SHEET INDEX	
1.0	SITE PLAN
2.0	VARIANCE SITE PLAN
3.0	STORMWATER MANAGEMENT PLAN
4.0	LANDSCAPE PLAN

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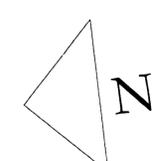
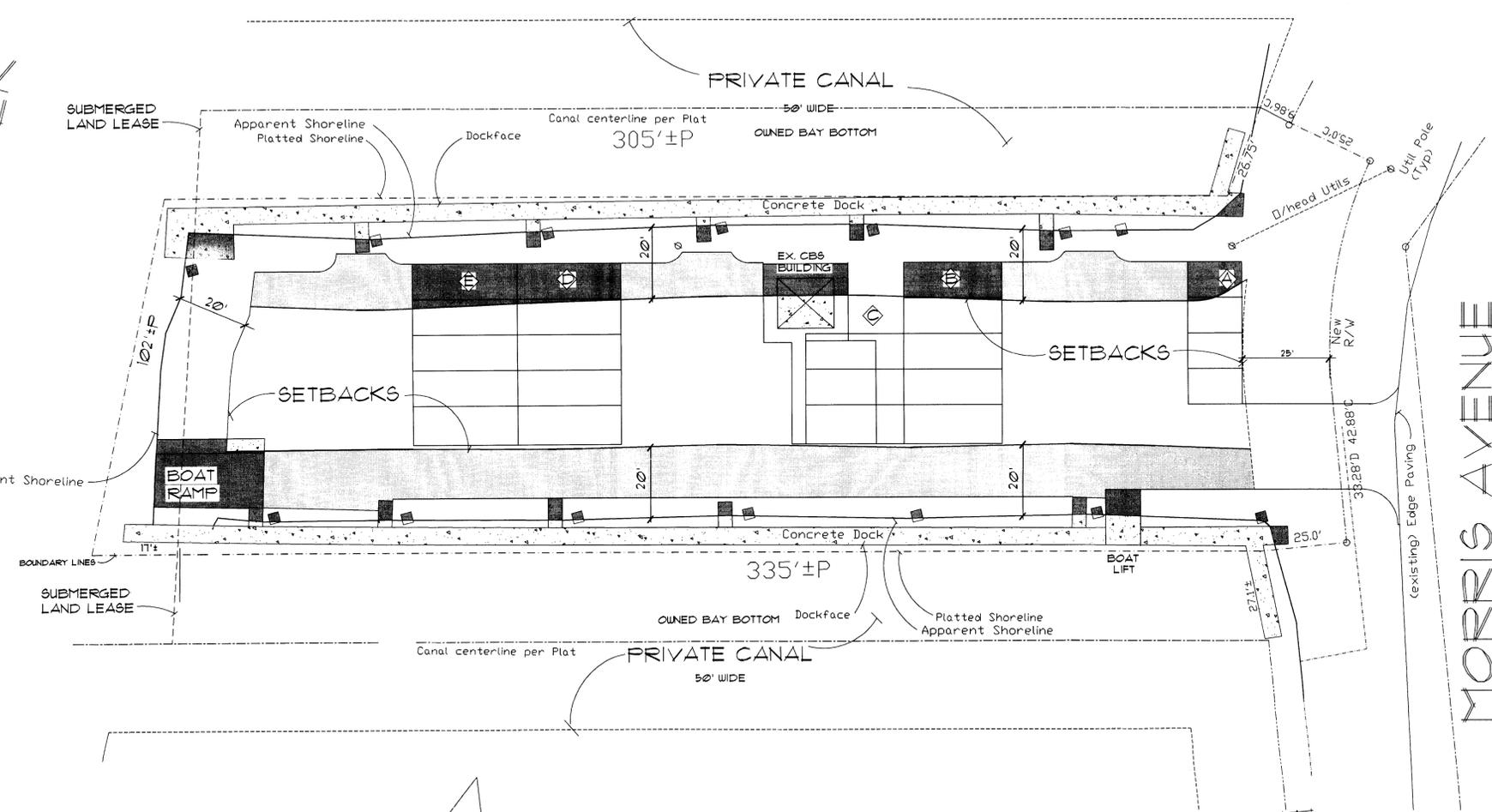
DATE	SCALE	DRAWN BY	REVISIONS
25 JUL 11	AS NOTED	TJB	
			25 NOV 11

PIRATE HAT MARINA

SHEET 1.0

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 11/5/11

MANATEE CREEK



VARIANCE SITE PLAN SCALE: 1" = 20'

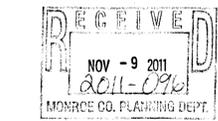
- AREA WITHIN SETBACKS
- GRAVEL DRIVE & PARKING 5,724 SQ.FT.
 - STRUCTURES 2,387 SQ.FT.
(IMPERVIOUS & SEMI-IMPERVIOUS)

Keys Engineering Services
 Daryle L. Osborn, P.E.
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 86801 Overseas Highway
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 (305) 852-0262

DATE: 29 JUL 11
SCALE: AS NOTED
DRAWN BY: TJE
REVISIONS
03 NOV 11

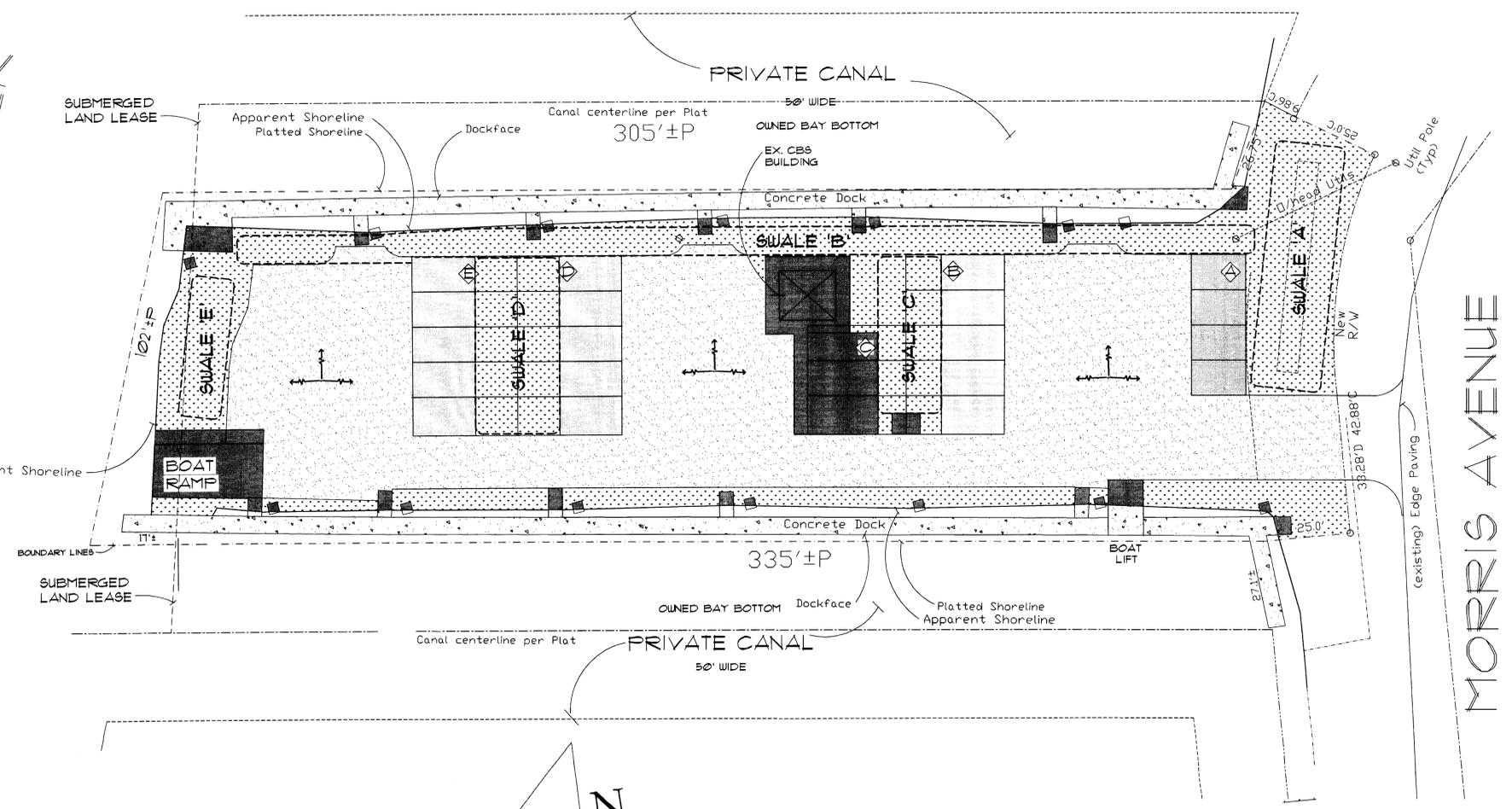
PIRATE HAT MARINA

SHEET 2.0

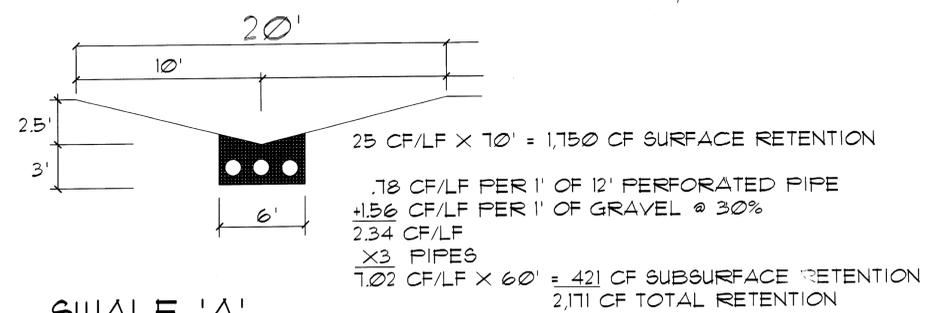


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 11/15/11

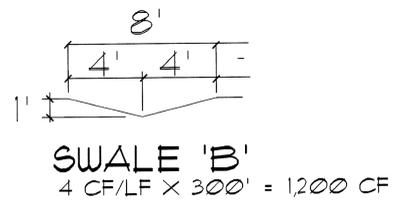
MANATEE CREEK



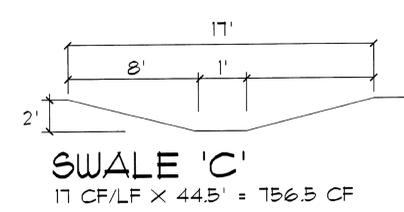
MORRIS AVENUE



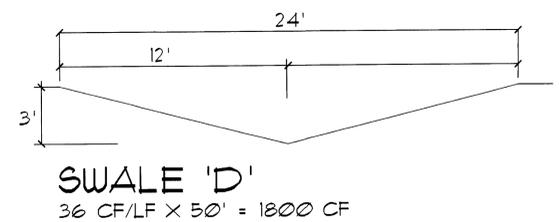
SWALE 'A'



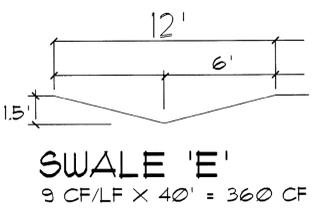
SWALE 'B'



SWALE 'C'



SWALE 'D'



SWALE 'E'

STORMWATER MANAGEMENT PLAN SCALE: 1" = 20'

TOTAL UPLAND AREA	28,408 SQ.FT.	
PERVIOUS AREA	9,888 SQ.FT.	34.8%
GRAVEL AREA	12,718 SQ.FT.	45%
SEMI-IMPERVIOUS AREA	3,392 SQ.FT.	12%
IMPERVIOUS AREA	2,350 SQ.FT.	8.2%

SWALE SECTIONS N.T.S

TOTAL RETENTION AREA REQUIRED = 5,965 CF
 TOTAL RETENTION AREA PROVIDED = 6,267.5 CF

Keys Engineering Services
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 (305) 862-0262

DATE: 29JUL11
SCALE: AS NOTED
DRAWN BY: TJB
REVISIONS
29NOV11

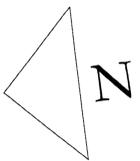
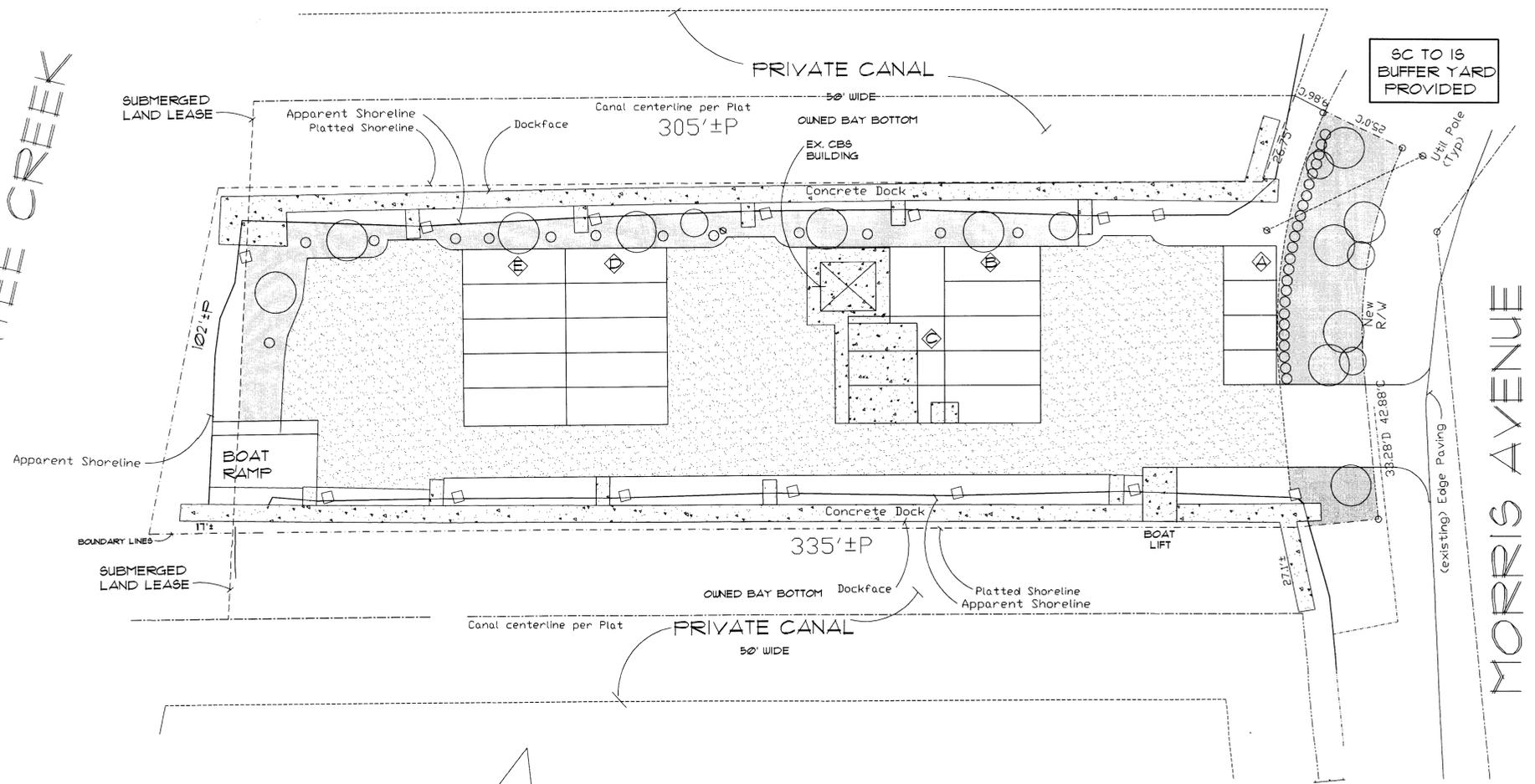
PIRATE HAT MARINA

SHEET 3.0

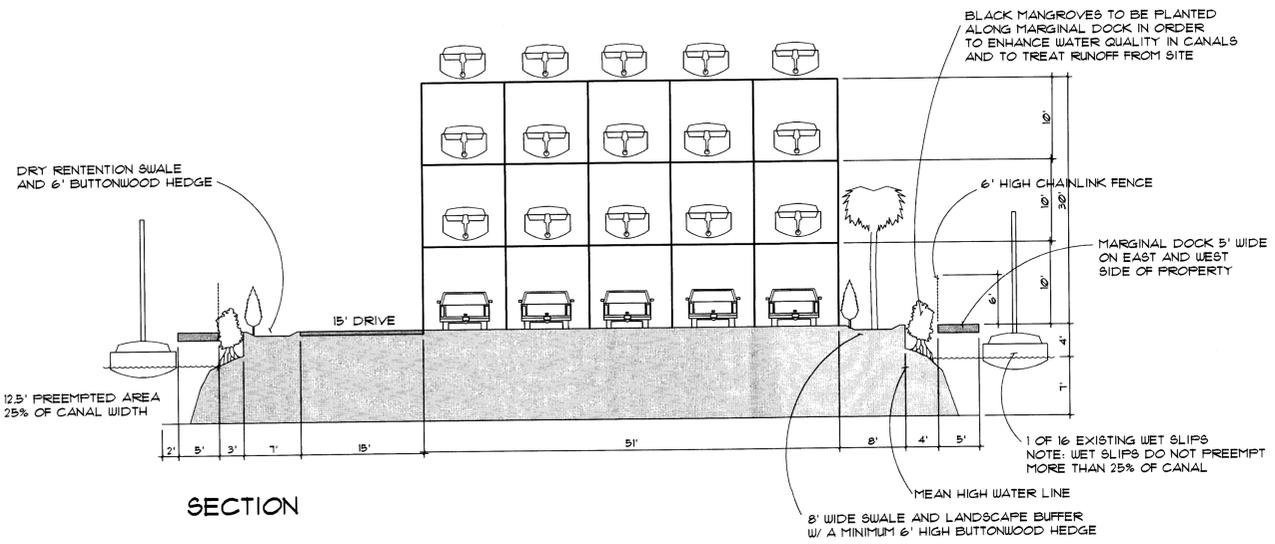
RECEIVED
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 MONROE CO. PLANNING DEPT.

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 11/15/11

MANATEE CREEK



LANDSCAPE PLAN SCALE: 1" = 20'
 TOTAL UPLAND AREA 28,408 SQFT.



Sec 114-99 - PARKING LOT LANDSCAPING

	AREA (sf)	#SPACES	CANOPY	UNDERSTORY	SHRUBS
REQUIRED GENERAL	1500	24	5	1	12
REQUIRED SITE SPECIFIC	1625	26	5,520	1,083	13
PROVIDED	1920	26	6	2	13
AREA A (50x8+20x8)	360				
AREA B (15x8)	600				
AREA C (10x8)	560				
AREA D (40x5)	200				

BUFFERYARDS 114-26 - DISTRICT BOUNDARY REQUIREMENTS

SC TO IS (FRONT OF PROPERTY) | CLASS D

PLANT MATERIAL REQUIRED PER 100' (ACTUAL BUFFER LENGTH IS 100')

WIDTH OF BUFFER	CANOPY	UNDERSTORY	SHRUB
20 FOOT	6.6	3.3	28
25 FOOT	6	3	24
PROVIDED	6	3	24

PLANTING MATERIAL

CANOPY (C)	SABAL PALM
UNDERSTORY (U)	GEIGER
SHRUB (S)	SILVER BUTTWOOD

- KEY**
- CANOPY
12' HIGH MIN, 3" DBH
 - UNDERSTORY
8' HIGH MIN.
 - SHRUB
3' MIN, 6" SPECIFIED



Keys Engineering Services
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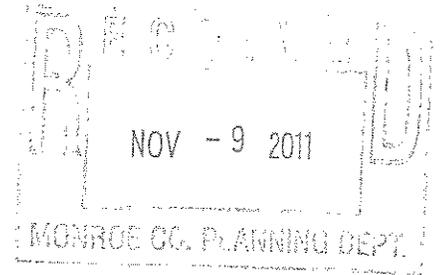
DATE: 29 JUL 11
 SCALE: AS NOTED
 DRAWN BY: TJB
 REVISIONS
 29 NOV 11

PIRATE HAT MARINA

SHEET 4.0

Signature and date: 11/15/11

Keys Engineering Services, Inc
86801 Overseas Highway
Islamorada, FL 33036
Daryle L. Osborn, P.E. 27428



Storm Water Management Plan
For
Pirate's Hat Marina

Project Description: A new outdoor boat storage area and associated gravel access ways.

Project Location: Pirate's Hat Marina is located in Key Largo, Florida at approximately Mile Marker 112.

Existing Site Conditions:

Vegetation: The entire site has been disturbed.

Soils: The area is crushed rock over pervious oolite rock. The water table was encountered at 4'0" below existing grade.

Flood Plan & Elevations:

The proposed construction is in Flood Zone "AE10". The overall site elevation is between 3'-5' MSL.


11/2/11

Storm Water Management Plan

Site Data:

Net Area	= 28,408 square feet
Impervious Areas	
Existing Concrete Docks	= 3,350sf
Gravel Access Ways	= 13,044sf
Existing Structures	= 1,307sf
Total	= 17,701sf
Percent Pervious	= 37.7 %

Pre / Post Development Runoff:

1. Compute Predevelopment Runoff
 - a. Depth to Groundwater = 4.0'
 - b. Soils Storage (C-111-3) = 8.18 inches
 - c. P = 8.5 inches

$$Q = (P - .2S)^2 / (P + .8S)$$

$$P = 8.5$$

$$S = 8.18$$

$$Q = 3.13 \text{ inches}$$

2. Compute Post-development Runoff
 - a. Soils Storage (C-111-3) = 8.18 inches
 - b. P = 8.5 inches
 - c. Percent Pervious = 37.7%

$$Q = (P - .2S)^2 / (P + .8S)$$

$$P = 8.5$$

$$S = .377 \times 8.18 = 3.08$$

$$Q = 5.65 \text{ inches}$$

3. Limit Post to Pre development Runoff
Storage Required:

$$5.65 - 3.13 = 2.52 \text{ inches}$$

$$2.52 \times 28,408 / 12 = 5,965 \text{ cubic feet to retain}$$

Volume of Water to be Treated:

The storm water runoff will be maintained on site by dry retention methods. Refer to the site drainage plan for location and sizes of the swale areas.

Swale Area A – 2,171 cf

Swale Area B – 1,200 cf

Swale Area C – 756.5 cf

Swale Area D – 1,800 cf

Swale Area E – 360 cf

The total volume of retention is 6,287.50 cubic feet. This exceeds the required 5,965 cubic feet.

Water Quality:

The volume of water to be treated and controlled is ½ inch initial runoff:

$$0.5 \times 28,408 / 12 = 1,184 \text{ cubic feet}$$

The existing site condition is crushed gravel with fines which filters the surface water runoff.

25 Year Storm:

A 25 year storm over a 24 hour period in South Florida will average 1.05 inches of rainfall per hour. The initial wash calculations used a rate of 2.52 inches per hour. The initial wash calculations are worst case and will govern.

$$1.05 \times 28,408 / 12 = 2,486 \text{ cubic feet}$$