

File #: 2020-088

Owner's Name: Ocean Reef Club, Inc.

Applicant: Smith Hawks, PL

Agent: Barton W. Smith, Esq. /
Jess Goodall, Esq.

Type of Application: LUD Map Amendment

Key: Key Largo / Ocean Reef

RE: 00573630-002600; 00572797-003600
00572795-001000; 00570460-000000
00570450-000000; 00569510-000000
00569500-000096; 00569500-000095
00569500-000000 (2); 00569490-000000
00569470-000000; 00081880-000100
00569482-000000; 00081780-000300
00081760-000100; 00081760-000000 (3)
00081740-000500; 00081720-000600
00081720-000400; 00081720-000000
0008710-000000

Additional Information added to File 2020-088

End of Additional File 2020-088



Barton Smith, Esq.
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Facsimile: (305) 296-8448
Email: Bart@SmithHawks.com

SENT VIA EMAIL & FEDEX
TRACKING NO.: 7705 8160 1782

June 5, 2020

Emily Schemper, Sr. Director Planning & Environmental Resources
Comprehensive Planning Manager
Monroe County Planning & Environmental Resources Department
2798 Overseas Highway, Suite 400
Marathon, FL 33050
Email: Schemper-Emily@MonroeCounty-FL.Gov

Re: **Ocean Reef Club, Inc- Proposed Land Use District Zoning Amendment for Ocean Reef Community Association**

Dear Emily,

Enclosed, please find OCEAN REEF CLUB, INC's ("Applicant") Land Use District Map ("LUD") Amendment for the Property (as defined below). Additionally, please find a copy of this letter and application package to be date stamped and returned using the self-addressed envelope provided, and a check in the amount of \$6,060.00 for the required application fees, advertising fees, and SPON fees. Please allow this letter to serve as data and analysis in support of the LUD zoning amendment.

This Application is being filed simultaneously with a text amendment to the Monroe County Land Development Regulations ("LDR") that provides text for Section 130-141 ("Amendment") by creating the Ocean Reef Overlay District ("Overlay"). The LUD amendment will show the Overlay as an Overlay district on the Official Land Use District (zoning) map and shall be shown as the boundary of the Ocean Reef Community (as defined below). The Overlay amends the development standards and other provisions in the LDR to allow commercial development that fits the architectural design and community character of Ocean Reef Community and Ocean Reef Club (as defined below).

I. Amendment Background

a. Overview

A depiction of the Property is set forth below:



The Application shall amend the LUD zoning district to show the Ocean Reef Overlay District (“Amendment”), for the entire Ocean Reef Community. Ocean Reef Club is a member of the Ocean Reef Community Association, Inc., which was incorporated in 1959 under the name Ocean Reef Improvement Association, which name was subsequently amended to Ocean Reef Community Association, Inc., (“Ocean Reef Community”).

Monroe County and the State of Florida have already recognized Ocean Reef Community as unique in its development and location and has already excluded the community from multiple provisions of the County’s Comp. Plan and LDR, including but not limited to the County’s Rate of Growth Ordinance (ROGO) and conditional use approval process.¹

¹ See e.g. Comp. Plan Policy 101.5.27 and Code Sec. 118-9 (clearing restrictions), Code Sec. 130-74 (exemption from conditional use approval), Comp. Plan Policies 105.2.1 and 205.1.1 and Code Sec. 130-130 (exemption from Tier

Additionally, the standards and exemptions created by the Overlay shall only apply to non-residential and transient development on property owned by Ocean Reef Club, Inc. The Overlay will allow the commercial development of structures or buildings that fit with the architectural design and community character of Ocean Reef Club and Ocean Reef Community. The Overlay amends the development standards and other provisions within the LDR specifically for the commercial properties owned by Ocean Reef Club, *See* RE numbers attached hereto as **Exhibit A**, but remain subject to all remaining LDR and Comp. Plan regulations and standards associated with the underlying LUD and FLUM designations. All residential and unaffected properties, within Ocean Reef Community, shall be included in the Overlay on the official LUD maps but will remain subject to all LDR and Comp. Plan regulations and standards associated with the underlying LUD and FLUM designations.

b. Amendment Request

Ocean Reef is a gated community that is separate and distinct from the rest of Monroe County (“County”). The LUD Amendment shall show the Ocean Reef Overlay District on the official Land Use Designation (zoning) Maps. The Ocean Reef Overlay District shall be shown as the boundary of the Ocean Reef Community.

Proposed changes to the relevant portions of the LUD zoning map are set forth below:

II. The Proposed Amendment
(a) Land Use District Map Amendment.

Property Owner	Property Address	Acreage for LUD zoning Amendment	Current LUD	Proposed LUD	FLUM	Tier Designation
Ocean Reef Community Association, Inc.	6000 Peninsular Avenue, Stock Island	+/-2500 acres	See below	Ocean Reef Overlay District	See below	N/A

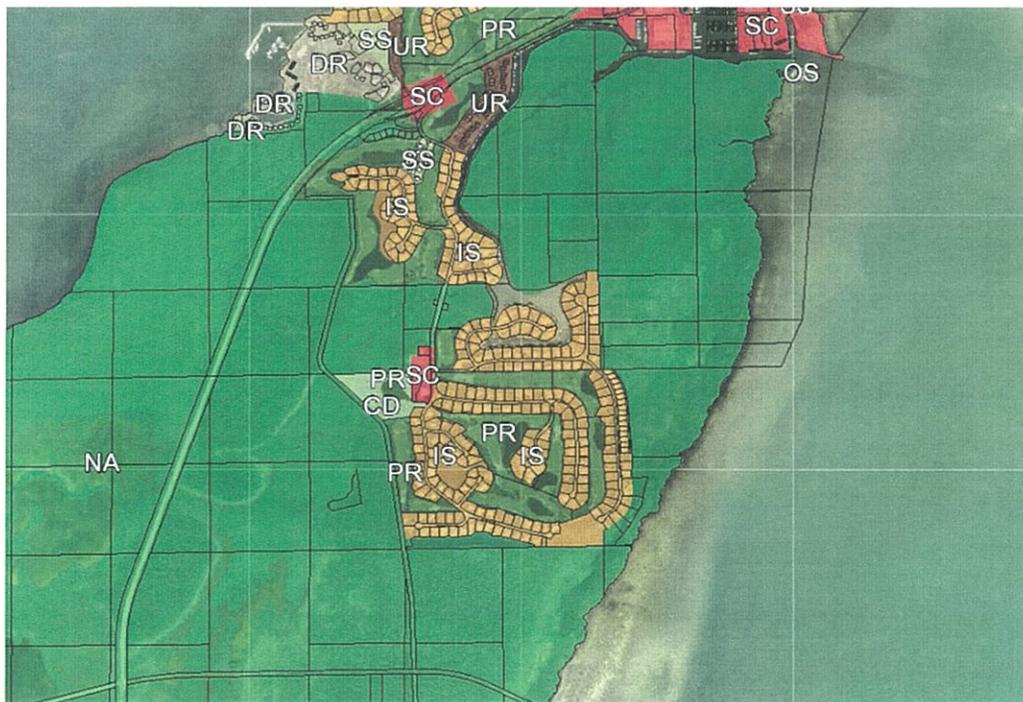
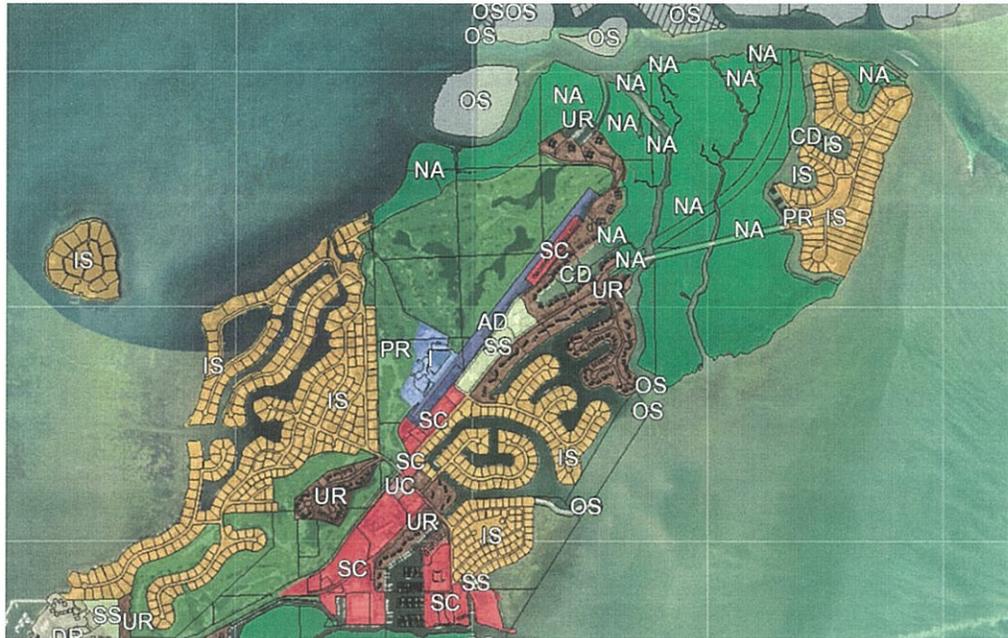
III. Current Land Use Designation (LUD) and Future Land Use Map (FLUM)

LUD (Zoning) Map Designations:

Native Area (NA), Conservation District (CD), Improved Subdivision (IS), Park and Refuge (PR),

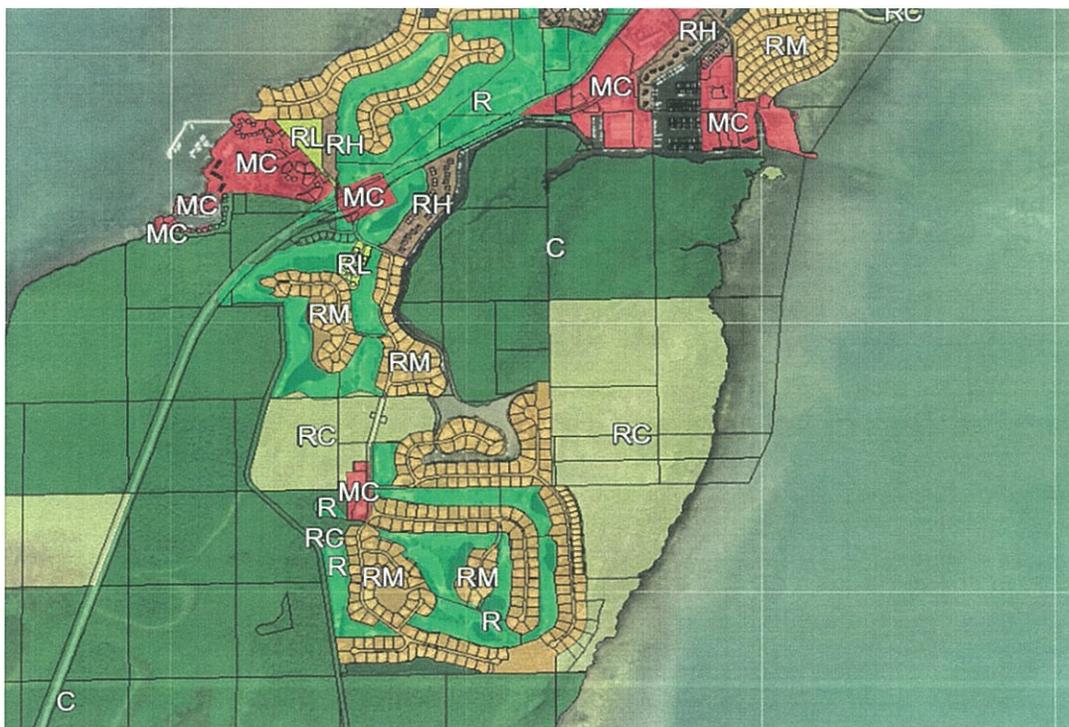
overlay), Comp. Plan Policy 101.3.1 and Code Sec. 138-22 (exemption from ROGO), Comp. Plan Policy 101.4.1 and Code Sec. 138-48 (exemption from NROGO).

Suburban Commercial (SC), Urban Residential (UR), Industrial (I), Airport District (AD), Sparsely Settled (SS), Urban Commercial (UC); Destination Resort (DR); Offshore Island Area (OS). See Below Map:



FLUM Designations:

Conservation (C); Residential Medium (RM); Residential High (RH); Residential Low (RL); Mixed use Commercial (MC); Airport District (AD); Public Facilities (PF); Recreation (R); Residential Conservation (RC). *See Below Map:*



IV. Reasons for Proposed LUD Amendment:

i. Data and Analysis

This Application shall adopt the data and analysis submitted with the LDC Text Amendment application creating the Ocean Reef Overlay District, attached hereto as **Exhibit B**.

ii. Factors for basis of Amendment

The Board of County Commissioners may consider an amendment if the change is based on one or more factors, including changed projections (e.g. regarding public service needs) from those on which the text was based, changed assumptions (e.g. regarding demographic trends), data errors, new issues, or recognition of a need for additional detail or comprehensiveness. This Amendment is based upon changed projections, changed assumptions, data errors, and new issues.

a. Changed projections

Not Applicable.

b. Changed assumptions

Not Applicable.

c. Data errors

Not Applicable.

d. New issues

Not Applicable.

e. Recognition of a need for additional detail or comprehensiveness

Not Applicable.

f. Data updates

A Text Amendment to the Land Development Regulations has been filed simultaneously with this Application and the Text Amendment provides text for Section 130-141 to the Monroe County Land Development Regulations by creating the Ocean Reef Overlay District. The Text Amendment amends the development standards and other provisions contained in the LDR to allow the development of structures or buildings that fit the architectural design and community character of Ocean Reef Club and Ocean Reef Community. The Overlay only applies to non-residential and transient development.

Emily Schemper, Senior Director, Planning and Environmental Resources
Re: Proposed Land Use District Zoning Amendment for Ocean Reef Community Association
June 5, 2020
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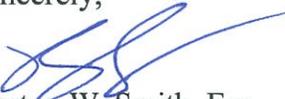
iii. **No Adverse Community Change**

There will be no adverse change to unincorporated Monroe County if the proposed Amendment is approved. The proposed Amendment is geographically limited in scope.

iv. **Conclusion**

Based on the foregoing, Applicant requests Monroe County adopt the Amendments. Thank you for your consideration and assistance, and please feel free to contact me with any questions.

Sincerely,



Barton W. Smith, Esq.

Enclosures

BWS/JMG/bg

Electric cc: Ilze Aguila, Aguila-Ilze@MonroeCounty-FL.Gov

MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT



Land Use District (Zoning) Map Amendment Application

An application must be deemed complete and in compliance with the Monroe County Comprehensive Plan and Code by the staff prior to the item being scheduled for review

Application Fee: \$5,570.00

The base fee includes two internal staff meetings with applicants; one Development Review Committee meeting, one Planning Commission public hearing; and one Board of County Commission public hearing. If this minimum number of meetings/hearings is exceeded, additional fees shall be charged pursuant to Fee Schedule Resolution and paid prior to the private application proceeding through public hearings.

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification (SPON): \$3.00 for each property owner required to be noticed

Transportation Study Review: \$5,000.00 Deposit (any unused funds will be returned upon approval)

Advertising and Noticing Fees for Community Meeting: \$245.00 plus \$3.00/SPON

Date of Request: 05 / 29 / 2020
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

SMITH / HAWKS, PL

BARTON W. SMITH, ESQ/JESS MILES GOODALL, ESQ

Applicant (Name of Person, Business or Organization)

Name of Person Submitting this Application

138 SIMONTON STREET, KEY WEST, FLORIDA 33040

Mailing Address (Street, City, State and Zip Code)

(305) 296-7227

BART@SMITHHAWKS.COM

Work Phone

Home Phone

Cell Phone

Email Address

Property Owner: (Business/Corp must include documents showing who has legal authority to sign.)

Ocean Reef Club, Inc

c/o Agent

(Name/Entity)

Contact Person

c/o Agent

Mailing Address (Street, City, State and Zip Code)

c/o Agent

c/o Agent

Work Phone

Home Phone

Cell Phone

Email Address

Legal Description of Property (if in metes and bounds, please attach separate sheet):

Block	Lot	Subdivision	Key Largo Key Name
See Attached		See Attached	
Real Estate (RE) Number		Alternate Key Number	
Ocean Reef, Key Largo, FL 33037		106.5	
Street Address		Approximate Mile Marker	

Current Future Land Use Map Designation(s): See attached letter

Current Land Use District (Zoning) Designation(s): See attached letter

Proposed Land Use District (Zoning) Designation(s): Ocean Reef Overlay District

Total Land Area Affected by Proposed Land Use District (in acres): 2500 acres

Tier Designation(s): N/A

Is the property located within the Military Installation Area of Impact (MIAI): Yes No

Existing Use of the Property (If the property is developed, please describe the existing use of the property, including the number and type of any residential units and the amount and type of any nonresidential development):

Non-residential commercial and transient uses.

Please describe the reason for the proposed Land Use District amendment (attach additional sheets if necessary):

See attached letter.

The Board of County Commissioners may consider an amendment if the change is based on one or more of the following factors. Please describe how one or more of the following factors shall be met (attach additional sheets if necessary):

- 1) Changed projections (e.g. regarding public service needs) from those on which the text was based

N/A

- 2) Changed assumptions (e.g. regarding demographic trends):

N/A

- 3) Data errors, including errors in mapping, vegetative types and natural features:

N/A

- 4) New issues:

N/A

- 5) Recognition of a need for additional detail or comprehensiveness:

N/A

6) Data updates:

See attached letter.

In no event shall an amendment be approved which will result in an adverse community change of the planning area in which the proposed development is located or to any area in accordance with a Livable CommuniKeys master plan. Please describe how the text amendment would not result in an adverse community change (attach additional sheets if necessary):

See attached letter.

* * * * *

Applicants requesting a Land Use District (Zoning) Map Amendment shall provide for community participation through a community meeting, as indicated in Code Section 102-159.

Scheduling. The applicant will coordinate with the Planning Director regarding the date, time and location of the proposed community meeting; however, all meetings are to be held on a weekday evening at a location close to the project site, between 45 - 120 days prior to any of the public hearings.

Notice of Meeting. The community meeting shall be noticed at least 15 days prior to the meeting date by advertisement in a Monroe County newspaper of general circulation, mailing of notice to surrounding property owners, and posting of the subject property.

Noticing and Advertising Costs. The applicant shall pay the cost of the public notice and advertising for the community meeting and provide proof of proper notice to the Planning Director.

The community meeting shall be facilitated by a representative from the Monroe County Planning & Environmental Resources Department and the applicant shall be present at the meeting.

PROOF OF PROPER NOTICING ON THE COMMUNITY MEETING WILL BE REQUIRED.

* * * * *

All of the following must be submitted in order to have a complete application submittal:
(Please check as you attach each required item to the application)

- Completed application form (unaltered and unbound)
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed) **Tab A**
- Ownership Disclosure Form **Tab B**
- Current Property Record Card(s) from the Monroe County Property Appraiser **Tab C**
- Location map **Tab D**
- Photograph(s) of site(s) from adjacent roadway(s) **Tab D (Aerial)**
- Signed and Sealed Boundary Survey(s), prepared by a Florida registered surveyor – eight (8) sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; total acreage by habitat; and total upland area **Tab E**
- Typed name and address mailing labels of all property owners within a 600 foot radius of the property(s) – (three sets). This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600 foot radius, each unit owner must be included **Tab F**
- Copy of current Land Use District Map (request from the Planning & Environmental Resources Department prior to application submittal) **Tab G**
- Copy of current Future Land Use Map (request from the Planning & Environmental Resources Department prior to application submittal) **Tab H**

If applicable, the following must be submitted in order to have a complete application submittal:

- Notarized Agent Authorization Letter** (note: authorization is needed from all owner(s) of the subject property) **Tab I**
- Traffic Study, prepared by a licensed traffic engineer (*required if application affects specific and defined area*) **N/A**
- Transportation fee of \$5,000 to cover the cost of experts hired by the Department to review the traffic study – any unused funds deposited will be returned upon approval (*required if application affects specific and defined area*) **N/A**

If deemed necessary to complete a full review of the application, within reason, the Planning & Environmental Resources Department reserves the right to request additional information.

Additional fees may apply pursuant to the approved fee schedule.

* * * * *

Has a previous application been submitted for this site(s) within the past two years? Yes No

Is there a pending code enforcement proceeding involving all or a portion of the parcel(s) proposed for development? Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

* * * * *

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED, made this 1 day of MARCH, 1993, by and between OCEAN REEF CLUB, INC., a Florida corporation ("Grantor"), having its place of business in the County of Monroe and State of Florida, whose mailing address is 31 Ocean Reef Drive, Suite C-300, Key Largo, Florida 33037, and OCEAN REEF ACQUISITION CORP. ("Grantee"), a not-for-profit corporation existing under the laws of the State of Florida, having its place of business in the County of Monroe and State of Florida, whose mailing address is 100 Anchor Drive, #511, Key Largo, Florida 33037.

86.00
11.00
1066.00

WITNESSETH

That Grantor, for and in consideration of the sum of Ten and No/100 U.S Dollars (\$10.00) to it in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to Grantee, its successors and assigns forever, the following described land (the "Property"), situate, lying and being in the Count of Monroe, State of Florida, to-wit:

SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF.

TO HAVE AND TO HOLD the same in fee simple forever.

This conveyance is made subject to, and by acceptance of this Deed, Grantee accepts this conveyance subject to the following:

- (a) applicable zoning and other regulatory laws, regulations and ordinances and other restrictions of governmental authorities;
- (b) taxes and assessments applicable for the year of conveyance and all subsequent years;
- (c) all matters which would be disclosed by an accurate survey and inspection of the Property; and
- (d) all title exceptions described on Exhibit B attached hereto and incorporated herein.

AND Grantor does hereby specially warrant the title to the Property, and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but against no others.

DS Paid 1066.00 Date 3/19/93
 BY [Signature]
 DANIEL L. KOLB
 CLERK OF CIR. CT.
 MONROE COUNTY, FLORIDA

Prepared by and Return to:

Dennis W. Hillier, Esq.
 Florida Bar No. 111696
 Hillier & Wanless, P.A.
 Sanctuary Centre
 4800 North Federal Highway
 Tower B - Suite 300
 Boca Raton, Florida 33431

FILED FOR RECORD
 93 MAR 8 PM 12 33
 DANIEL L. KOLB
 CLERK OF CIR. CT.
 MONROE COUNTY, FLORIDA

IN WITNESS WHEREOF, Grantor has caused these presents to be signed in its name by the proper officers, and its corporate seal to be hereunto affixed, on the day and year first above written.

Signed, Sealed and Delivered in the Presence of:

Paul M. Gregory
Signature

PAUL M. GREGORY
Print Name of Witness

Thomas G. Hansen
Signature

THOMAS A. HANSEN
Print Name of Witness

OCEAN REEF CLUB, INC.,
a Florida corporation

By: [Signature]
Its: PRESIDENT

CHRISTOPHER S. HEWETT
Print Name

Whose Mailing Address is:

31 Ocean Reef Drive
Suite C-300
Key Largo, Florida 33037

(Corporate Seal)

STATE OF FLORIDA)
) SS.
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 2 day of March, 1993, by CHRISTOPHER S. HEWETT as PRESIDENT of Ocean Reef Club, Inc. on behalf of said corporation. He/she is personally known to me or presented as identification and did not take an oath.

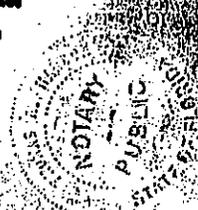
Thomas G. Hansen

THOMAS A. HANSEN
Print Name

Notary Public
State of Florida at Large

My Commission Expires:

NOTARY PUBLIC; STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES APRIL 18, 1993
BONDED THRU HUCKLEBERRY & ASSOCIATES



774943

OFF REC 1247 PAGE 1858
LEGAL DESCRIPTION
PARCEL 1

REVISED 2/24/93
REVISED 1/13/93
REVISED 4/6/90
REVISED 11/30/89
REVISED 2/17/87

EXHIBIT A

A PARCEL OF LAND LYING IN SECTION 13, TOWNSHIP 59 SOUTH, RANGE 40 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT A OF "HARBOR COURSE SECTION ONE OCEAN REEF PLAT NO. 13", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7 AT PAGE 3 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

LESS AND EXCEPT THEREFROM:

THAT PORTION OF SAID TRACT A BELONGING TO JAMES P. STRODE AS RECORDED IN OFFICIAL RECORDS BOOK 940 AT PAGES 881 THROUGH 883 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

THAT PORTION OF SAID TRACT A BELONGING TO JOSEPH P. TRIGO AS RECORDED IN OFFICIAL RECORDS BOOK 923 AT PAGES 537 AND 538 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND TOGETHER WITH:

A PORTION OF THE SE 1/4 OF SECTION 13, TOWNSHIP 59 SOUTH, RANGE 40 EAST KEY LARGO, MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED BY "METES AND BOUNDS" AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF THE SW 1/4 OF THE SE 1/4 OF SAID SECTION 13; THENCE N88°24'20"E ALONG THE NORTH LINE OF SAID SW 1/4 OF THE SE 1/4 FOR 516.27 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH HARBOR DRIVE AS SHOWN ON THE PLAT OF "HARBOR COURSE SECTION TWO OCEAN REEF PLAT NO. 13" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7 AT PAGE 5 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE S13°44'46"W ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOR 842.71 FEET TO AN INTERSECTION WITH THE NORTH LINE OF TRACT C AS SHOWN ON SAID PLAT; THENCE S84°30'25"W ALONG SAID NORTH LINE FOR 382.93 FEET TO AN INTERSECTION WITH THE WEST LINE OF THE SE 1/4 OF SAID SECTION 13; THENCE N00°03'03"W ALONG SAID WEST LINE FOR 619.40 FEET TO THE POINT OF BEGINNING.

AND TOGETHER WITH:

TRACT A OF "HARBOR COURSE SECTION TWO OCEAN REEF PLAT NO. 13", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, AT PAGE 5 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

LESS AND EXCEPT THEREFROM:

A SUBDIVISION OF A PORTION OF TRACT "A" OF HARBOR COURSE, SECTION ONE, OCEAN REEF PLAT NO. 13; ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, AT PAGE 3 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE MOST NORTHEASTERLY CORNER OF SAID TRACT "A" LYING ON THE NORTHWESTERLY RIGHT OF WAY LINE OF SOUTH HARBOR DRIVE, SAID CORNER ALSO BEING THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 246.00 FEET AND A CENTRAL ANGLE OF 86°16'39"; THENCE ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE SOUTHWESTERLY FOR AN ARC DISTANCE OF 382.93 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE LEAVING SAID RIGHT OF WAY LINE S21°30'00"W - 153.91 FEET TO A POINT OF NONTANGENT INTERSECTION WITH A CIRCULAR CURVE, THE CENTER OF WHICH BEARS N78°32'00"W HAVING A RADIUS OF 140.00 FEET AND A CENTRAL ANGLE OF 32°08'00"; THENCE ALONG THE ARC OF SAID CURVE 78.10 FEET TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 200.00 FEET AND A CENTRAL ANGLE OF 31°38'37"; THENCE ALONG THE ARC OF SAID CURVE 110.33 FEET TO A POINT OF NONTANGENT INTERSECTION WITH A CIRCULAR CURVE, THE CENTER OF WHICH BEARS S83°08'07"W, HAVING A RADIUS OF 235.00 FEET AND A

CENTRAL ANGLE OF $52^{\circ}02'14''$; THENCE ALONG THE ARC OF SAID CURVE 213.43 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH THE NORTH-EASTERLY LINE OF LOT 6, BLOCK 2, HARBOR COURSE SECTION ONE, OCRAN REEF PLAT NO. 13, AS RECORDED IN PLAT BOOK 7, PAGE 3 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT ON A CIRCULAR CURVE, THE CENTER OF WHICH BEARS $S23^{\circ}12'44''W$ HAVING A RADIUS OF 300.00 FEET AND A CENTRAL ANGLE OF $56^{\circ}30'28''$; THENCE ALONG THE NORTH-EASTERLY LINES OF LOTS 6 AND 5 ON THE ARC OF SAID CURVE 295.87 FEET TO A POINT, THENCE $N87^{\circ}07'03''E - 54.62$ FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 55.00 FEET AND A CENTRAL ANGLE OF $73^{\circ}52'04''$; THENCE ALONG THE ARC OF SAID CURVE 76.67 FEET TO A POINT; THENCE $N7^{\circ}15'00''E - 96.75$ FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 300.00 FEET AND A CENTRAL ANGLE OF $29^{\circ}00'00''$; THENCE ALONG THE ARC OF SAID CURVE 151.84 FEET TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 380.00 FEET AND A CENTRAL ANGLE OF $37^{\circ}00'00''$; THENCE ALONG THE ARC OF SAID CURVE 245.39 FEET TO A POINT OF NON-TANGENT INTERSECTION; THENCE $N23^{\circ}34'53''E - 62.28$ FEET TO A POINT OF INTERSECTION WITH THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE AFOREMENTIONED SOUTH HARBOR DRIVE, THENCE ALONG SAID RIGHT OF WAY LINE $N66^{\circ}25'07''W - 95.94$ FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 245.00 FEET AND A CENTRAL ANGLE OF $24^{\circ}31'30''$; THENCE ALONG SAID RIGHT OF WAY LINE AN ARC DISTANCE OF 104.87 FEET TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT:

A SUBDIVISION OF A PORTION OF TRACT "A" OF HARBOR COURSE, SECTION ONE, OCRAN REEF PLAT NO. 13; ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, AT PAGE 3 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST NORTH-EASTERLY CORNER OF SAID TRACT "A" LYING ON THE NORTHWESTERLY RIGHT OF WAY LINE OF SOUTH HARBOR DRIVE, SAID CORNER ALSO BEING THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 245.00 FEET AND A CENTRAL ANGLE OF $49^{\circ}04'23''$; THENCE ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE AN ARC DISTANCE OF 209.84 FEET; TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 55.00 FEET AND A CENTRAL ANGLE OF $89^{\circ}46'50''$; SAID POINT OF REVERSE CURVATURE ALSO BEING THE POINT OF BEGINNING OF THE FOLLOWING PARCEL OF LAND; THENCE ALONG THE AFOREMENTIONED CIRCULAR CURVE AN ARC DISTANCE OF 38.51 FEET TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 300.00 FEET AND A CENTRAL ANGLE OF $25^{\circ}35'23''$; THENCE RUN ALONG THE ARC OF SAID CIRCULAR CURVE A DISTANCE OF 189.72 FEET TO A POINT; THENCE $N75^{\circ}25'07''W - 100.00$ FEET TO A POINT; THENCE $N16^{\circ}46'00''W - 92.16$ FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CATFISH ROAD AS SHOWN ON PLAT OF "HARBOR COURSE SECTION ONE, OCRAN REEF PLAT NO. 13", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7 AT PAGE 3 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE $S73^{\circ}12'00''W - 275.27$ FEET TO A POINT OF NON-TANGENT INTERSECTION WITH THE SOUTHEASTERLY RIGHT OF WAY LINE OF STATE ROAD S-905, SAID SOUTHEASTERLY RIGHT OF WAY LINE BEING A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST, THE CENTER OF WHICH BEARS $S33^{\circ}01'07''E$, AND HAVING A RADIUS OF 3744.72 FEET AND A CENTRAL ANGLE OF $3^{\circ}57'36''$; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 258.80 FEET TO A POINT; THENCE LEAVING SAID SOUTHWESTERLY RIGHT OF WAY LINE OF STATE ROAD S-905, $S45^{\circ}00'00''E - 138.33$ FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CIRCULAR CURVE, THE CENTER OF WHICH BEARS $S19^{\circ}00'00''E$ HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF $17^{\circ}38'00''$; THENCE ALONG THE ARC OF SAID CURVE 80.02 FEET TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF $22^{\circ}52'00''$; THENCE ALONG THE ARC OF SAID CURVE 183.77 FEET TO A POINT; THENCE $N66^{\circ}46'00''E - 90.00$ FEET TO A POINT OF CURVATURE OF A CIRCULAR

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CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 230.00 FEET AND A CENTRAL ANGLE OF $43^{\circ}04'00''$; THENCE ALONG THE ARC OF SAID CURVE 172.88 FEET TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 570.00 FEET AND A CENTRAL ANGLE OF $25^{\circ}50'00''$; THENCE ALONG THE ARC OF SAID CURVE 258.49 FEET TO A POINT OF NON-TANGENT INTERSECTION WHICH BEARS $S7^{\circ}09'00''E$ FROM THE CENTER OF THE PREVIOUSLY DESCRIBED CURVE; THENCE $N35^{\circ}00'00''R - 77.30$ FEET TO A POINT OF NON-TANGENT INTERSECTION WITH THE SOUTHWESTERLY RIGHT OF WAY LINE OF SOUTH HARBOR DRIVE, SAID POINT ALSO BEING A CIRCULAR CURVE CONCAVE TO THE NORTHEAST, THE CENTER OF WHICH BEARS $N56^{\circ}39'10''E$, HAVING A RADIUS OF 248.50 FEET AND A CENTRAL ANGLE OF $28^{\circ}39'29''$; THENCE NORTH AND NORTHERLY ALONG THE ARC OF SAID CURVE, ALSO BEING THE SOUTHWESTERLY RIGHT OF WAY LINE OF SOUTH HARBOR DRIVE, A DISTANCE OF 122.54 FEET TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT:

A PORTION OF TRACT A OF "HARBOR COURSE" SECTION FOUR, OCEAN BEACH PLAT NO. 13 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7 AT PAGE 8 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF SOUTH HARBOR DRIVE AND THE NORTH LINE OF THE NORTH 1/2 OF THE SW 1/4, OF THE SE 1/4, OF SECTION 13, TOWNSHIP 59 SOUTH, RANGE 40 EAST, MONROE COUNTY, FLORIDA; THENCE ALONG SAID NORTH LINE $N88^{\circ}24'20''R - 537.60$ FEET (BEARINGS DERIVED FROM RECORD PLAT) TO A POINT OF CURVATURE WITH A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 37.50 FEET AND A CENTRAL ANGLE OF $120^{\circ}33'10''$ AS SHOWN ON THE AFOREMENTIONED PLAT OF HARBOR COURSE SECTION FOUR, OCEAN BEACH PLAT NO. 13, AND BEING A PORTION OF THE EASTERLY BOUNDARY LINE OF SAID TRACT A; THENCE ALONG SAID EASTERLY BOUNDARY LINE OF TRACT A AN ARC DISTANCE OF 78.99 FEET; THENCE $S32^{\circ}08'50''R - 114.28$ FEET TO A POINT OF CURVATURE WITH A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 300.00 FEET AND A CENTRAL ANGLE OF $32^{\circ}31'40''$; THENCE ALONG THE ARC OF SAID CURVE 275.03 FEET; THENCE $S20^{\circ}26'15''W - 60.39$ FEET ($S20^{\circ}22'50''W - 60.12$ - PLAT) TO THE NORTHEASTERLY CORNER OF LOT 7 IN BLOCK 3 OF SAID PLAT OF HARBOR COURSE SECTION FOUR; THENCE ALONG THE REAR BOUNDARY LINE OF SAID BLOCK 3, $S02^{\circ}46'02''W - 180.00$ FEET TO A POINT OF CURVATURE WITH A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 340.00 FEET AND A CENTRAL ANGLE OF $48^{\circ}09'17''$; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 273.89 FEET TO POINT OF INTERSECTION WITH THE EASTERLY PROLONGATION OF THE NORTH LINE OF THE SW 1/4, OF THE SW 1/4 OF THE SE 1/4 OF SAID SECTION 13; THENCE ALONG SAID LINE $S88^{\circ}30'25''W - 317.45$ FEET TO A POINT ON THE AFOREMENTIONED EASTERLY RIGHT OF WAY LINE OF SOUTH HARBOR DRIVE; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE $N13^{\circ}41'41''E - (N13^{\circ}44'45''E - PLAT) 265.60$ FEET; THENCE LEAVING SAID RIGHT OF WAY LINE $S76^{\circ}18'19''R - 75.00$ FEET; THENCE $N13^{\circ}41'41''E - 68.00$ FEET; THENCE $N76^{\circ}18'19''W - 75.00$ FEET TO A POINT ON THE PREVIOUSLY MENTIONED EASTERLY RIGHT OF WAY LINE OF SOUTH HARBOR DRIVE; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE $N13^{\circ}41'41''E - (N13^{\circ}44'45''E - PLAT) 270.00$ FEET TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT:

A PORTION OF TRACT "A" OF HARBOR COURSE, SECTION ONE, OCEAN BEACH PLAT NO. 13; ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, AT PAGE 3 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE MOST NORTHEASTERLY CORNER OF SAID TRACT "A" LYING ON THE NORTHWESTERLY RIGHT OF WAY LINE OF SOUTH HARBOR DRIVE, SAID CORNER ALSO BEING THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST; THENCE ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE, ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 248.00 FEET AND A CENTRAL ANGLE OF $49^{\circ}04'23''$ FOR 209.84 FEET; THENCE $N11^{\circ}43'48''W$ FOR 188.28 FEET TO A NON-TANGENTIAL INTERSECTION WITH A CIRCULAR CURVE CONCAVE TO THE NORTHWEST AND BEARING $S28^{\circ}47'08''R$ FROM THE CENTER OF SAID CURVE, SAID INTERSECTION BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF GATHOUSE ROAD AS SHOWN ON SAID

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PLAT OF "HARBOR COURSE SECTION ONE, OCEAN REEF PLAT NO. 13"; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 756.10 FEET AND A CENTRAL ANGLE OF 8°20'32" FOR 83.89 FEET TO THE MOST NORTHERLY CORNER OF SAID TRACT "A"; THENCE S45°36'58"E ALONG THE NORTHEASTERLY LIMITS OF SAID TRACT "A" FOR 47.81 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION
PARCEL II

A PARCEL OF LAND LYING IN SECTION 13, TOWNSHIP 59 SOUTH, RANGE 40 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT A OF "HARBOR COURSE SECTION FOUR OCEAN REEF PLAT NO. 13", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7 AT PAGE 8 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

LESS AND EXCEPT THEREFROM:

A PORTION OF THE SW 1/4 OF THE SE 1/4 OF SECTION 13, TOWNSHIP 59 SOUTH, RANGE 40 EAST, KEY LARGO, MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SE CORNER OF THE NE 1/4, OF THE SW 1/4 OF SAID SECTION 13, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF TRACT A AS SHOWN ON "HARBOR COURSE SECTION TWO, OCEAN REEF PLAT NO. 13" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7 AT PAGE 8 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE ALONG THE SOUTH BOUNDARY LINE OF SAID TRACT A, N88°24'20"E - 516.04 (516.27 - PLAT) FEET (HEARINGS DERIVED FROM RECORD PLAT) TO A POINT OF INTERSECTION WITH THE WESTERLY RIGHT OF WAY LINE OF SOUTH HARBOR DRIVE AS SHOWN ON THE AFOREMENTIONED PLAT; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE S13°41'41"W - 233.00 FEET (S13°44'45"W - PLAT); THENCE LEAVING SAID RIGHT OF WAY LINE N78°18'19"W - 55.00 FEET; THENCE S13°41'41"W - 70.00 FEET; THENCE S78°18'19"E - 55.00 FEET TO A POINT ON THE PREVIOUSLY MENTIONED RIGHT OF WAY LINE; THENCE ALONG SAID RIGHT OF WAY LINE S13°41'41"W - 340.56 FEET (S13°44'45"W - PLAT) TO A POINT OF INTERSECTION WITH THE NORTH LINE OF THE SW 1/4, OF THE SE 1/4, OF SAID SECTION 13; THENCE ALONG SAID NORTH LINE S68°30'28"W - 363.95 FEET (362.92 - PLAT) TO A POINT OF INTERSECTION WITH THE WEST LINE, OF SE 1/4, OF SAID SECTION 13; THENCE ALONG SAID WEST LINE N0°03'03"W - 820.35 FEET (819.40 - PLAT) TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT:

A PORTION OF TRACT A AS SHOWN ON "HARBOR COURSE, SECTION FOUR, OCEAN REEF PLAT NO. 13" AS RECORDED IN PLAT BOOK 7 AT PAGE 8 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE INTERSECTION OF THE NORTHERLY RIGHT OF WAY LINE OF SOUTH BRIDGE LANE AND THE EASTERLY BOUNDARY OF THE AFOREMENTIONED TRACT A; THENCE ALONG SAID EASTERLY BOUNDARY N10°55'58"W - 146.89 FEET; THENCE LEAVING SAID EASTERLY BOUNDARY OF TRACT A S30°33'24"W - 163.75 FEET TO A POINT OF INTERSECTION WITH THE AFOREMENTIONED NORTHERLY RIGHT OF WAY LINE OF SOUTH BRIDGE LANE; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE N88°36'27"E - 116.00 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION
PARCEL III

A PARCEL OF LAND LYING IN SECTION 13, TOWNSHIP 59 SOUTH, RANGE 40 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT A OF "HARBOR COURSE SECTION THREE OCEAN REEF PLAT NO. 13",

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ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7 AT PAGE 7 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

LESS AND EXCEPT THEREFROM:

THAT PORTION OF SAID TRACT A LYING WITHIN "HARBOR GREEN CONDOMINIUM" AS RECORDED IN OFFICIAL RECORDS BOOK 848 AT PAGES 1211 THROUGH 1222, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

LEGAL DESCRIPTION
PARCEL V

A PARCEL OF LAND LYING IN SECTIONS 7 AND 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST AND SECTIONS 12 AND 13, TOWNSHIP 59 SOUTH, RANGE 40 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT A OF "GRAYVIL EXTENSION OCEAN REEF PLAT NO. 2" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6 AT PAGE 28 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

LESS AND EXCEPT THEREFROM:

THAT PORTION OF SAID TRACT A, BELONGING TO ROY W. CRONACHER AND GEORGIA E. CRONACHER, ACCORDING TO WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 913 AT PAGE 1029 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

THAT PORTION OF SAID TRACT A, BELONGING TO THOMAS P. MURPHY, JR. AND KATHLEEN M. MURPHY, ACCORDING TO WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 882 AT PAGE 287 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND TOGETHER WITH:

A PORTION OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 13, OF "ARSENAL POINT KEY LARRY PROPERTIES" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4 AT PAGE 129 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, LYING NORTHWESTERLY OF THE NORTHEASTERLY RIGHT-OF-WAY LINE OF CATHOUSE ROAD AS SHOWN ON THE PLAT OF "HARBOR COURSE SECTION THREE OCEAN REEF PLAT NO. 13" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7 AT PAGE 7, AND NORTHWESTERLY AND NORTHEASTERLY OF LINDEMAN LANE AS SHOWN ON THE PLAT OF "HARBOR COURSE SECTION ONE OCEAN REEF PLAT NO. 13", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, AT PAGE 3, AND NORTHEASTERLY OF THE EASTERLY PLATTED BOUNDARY OF "GOLF VILLAGE OCEAN REEF PLAT NO. 9", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6 AT PAGE 107, ALL OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND TOGETHER WITH:

A PORTION OF THE NE 1/4 OF THE NW 1/4 OF SAID SECTION 13, OF SAID PLAT OF "ARSENAL POINT KEY LARRY PROPERTIES" LYING NORTHWESTERLY OF THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SAID CATHOUSE ROAD AS SHOWN ON SAID PLAT OF "HARBOR COURSE SECTION THREE OCEAN REEF PLAT NO. 13".

AND TOGETHER WITH:

THE SE 1/4 OF THE SE 1/4 OF SAID SECTION 12, LYING EASTERLY AND SOUTHEASTERLY OF SAID PLAT OF "GRAYVIL EXTENSION OCEAN REEF PLAT NO. 2".

LESS AND EXCEPT THEREFROM:

THAT PORTION OF TRACT B OF "OCEAN REEF PLAT NO. 8", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6 AT PAGE 29 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

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AND TOGETHER WITH:

TRACT P OF "REPLAT OF PORTIONS OF BLOCKS 9, 10, 11, 12, 13 & 14 AND TRACTS "A" AND "B" OCEAN REEF PLAT NO. 3" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5 AT PAGE 30 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

LESS AND EXCEPT THEREFROM:

THAT AREA LYING WITHIN THE PLATTED BOUNDARIES OF "FAIRWAY LAKE COTTAGES" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6 AT PAGE 71 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND TOGETHER WITH:

THE SW 1/4 OF THE SW 1/4 OF SAID SECTION 7.

AND TOGETHER WITH:

THAT PORTION OF THE NE 1/4 OF THE SW 1/4 OF SAID SECTION 7, OF "PLAT OF LANDS OF SEABOARD PROPERTIES, INC." ACCORDING TO THE PLAT THEREOF, AS RECORDED IN THE PLAT BOOK 4 AT PAGE 83 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA LYING SOUTHWESTERLY OF THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF OCEAN REEF DRIVE AS SHOWN ON THE PLAT OF "CHANNEL CAY OCEAN REEF PLAT NO. 4" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5 AT PAGE 122 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND TOGETHER WITH:

A PORTION OF GOVERNMENT LOT 4 OF SAID SECTION 7 AS SHOWN ON SAID PLAT OF "PLAT OF LANDS OF SEABOARD PROPERTIES, INC.", LYING SOUTHWESTERLY OF THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SAID OCEAN REEF DRIVE, AND NORTHWESTERLY AND WESTERLY OF THE FOLLOWING DESCRIBED REFERENCE LINE:

COMMENCE AT THE SOUTHWEST CORNER OF THE NE 1/4 OF THE SW 1/4 OF SAID SECTION 7; THENCE N2°16'28"W ALONG THE WEST LINE OF SAID NE 1/4 OF THE SW 1/4 OF SECTION 7 FOR 877.53 FEET TO AN INTERSECTION WITH THE NORTHWESTERLY PROLONGATION OF THE CENTERLINE OF OCEAN REEF DRIVE, AS SHOWN ON SAID PLAT OF "CHANNEL CAY OCEAN REEF PLAT NO. 4"; THENCE S43°11'40"E ALONG SAID NORTHWESTERLY PROLONGATION AND ALONG THE CENTERLINE OF SAID OCEAN REEF DRIVE FOR 1438.05 FEET; THENCE S43°00'23"W FOR 35.00 FEET TO AN INTERSECTION WITH A LINE 35.00 FEET SOUTHWESTERLY OF, AS MEASURED AT RIGHT ANGLES AND PARALLEL TO SAID CENTERLINE OF OCEAN REEF DRIVE, SAID INTERSECTION BEING THE POINT OF BEGINNING OF THE AFOREMENTIONED REFERENCE LINE; THENCE CONTINUE S43°00'23"W FOR 819.00 FEET; THENCE S55°35'24"W FOR 509.36 FEET; THENCE S1°39'05"E FOR 365 FEET MORE OR LESS TO AN INTERSECTION WITH THE SOUTHERLY LINE OF SAID SECTION 7 AND THE POINT OF TERMINATION OF THE AFOREMENTIONED REFERENCE LINE.

LESS AND EXCEPT THEREFROM:

A PARCEL OF LAND BELONGING TO THE SOUTHERN BELL TELEPHONE AND TELEGRAPH COMPANY, AS RECORDED IN OFFICIAL RECORDS BOOK 380 AT PAGE 273 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PARCEL OF LAND KNOWN AS "MARINA VILLAGE PHASE I CONDOMINIUM, INC." AS RECORDED IN OFFICIAL RECORDS BOOK 755 AT PAGE 720 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PARCEL OF LAND KNOWN AS "MARINA VILLAGE PHASE II", AS RECORDED IN OFFICIAL RECORDS BOOK 763 AT PAGE 412 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PARCEL OF LAND KNOWN AS "MARINA VILLAGE PHASE III" AS RECORDED IN OFFICIAL RECORDS BOOK 763 AT PAGE 481 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PARCEL OF LAND KNOWN AS THE "OCEAN REEF OFFICE PLAZA" BELONGING TO JOSEPH J. SCHOTT, STIVE TORCISE AND SAM TORCISE AS RECORDED IN OFFICIAL RECORDS BOOK 825 AT PAGES 991 THROUGH 999 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND TOGETHER WITH:

THAT PORTION OF THE WEST 1/2 OF THE NW 1/4 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST AS SHOWN ON SAID PLAT OF "PLAT OF LANDS OF SEABOARD PROPERTIES, INC.", KNOWN AS THE BERDUE DEAN BOAT STORAGE AREA AND THE FISHING VILLAGE STORES AND RESTAURANT AREA, LYING EASTERLY AND NORTHERLY THE FOLLOWING DESCRIBED REFERENCE LINE:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 18 AS SHOWN ON SAID "PLAT OF LANDS OF SEABOARD PROPERTIES, INC."; THENCE N88°12'44"E ALONG THE NORTHERLY LINE OF SAID SECTION 18 FOR 705.83 FEET TO AN INTERSECTION WITH THE NORTHERLY PROLONGATION OF THE WESTERLY FACE OF AN EXISTING CONCRETE SEAWALL AND THE POINT OF BEGINNING OF THE AFOREMENTIONED REFERENCE LINE; THENCE S1°42'56"E ALONG SAID NORTHERLY PROLONGATION AND ALONG SAID WESTERLY FACE OF SAID EXISTING CONCRETE SEAWALL FOR 494.20 FEET TO THE SOUTHWEST CORNER OF SAID SEAWALL; THENCE ALONG THE SOUTHERLY FACE OF SAID CONCRETE SEAWALL FOR THE FOLLOWING THREE (3) COURSES: (1) N89°56'48"E FOR 363.50 FEET; (2) N87°34'18"E FOR 89.50 FEET; (3) CONTINUE EASTERLY ALONG SAID SOUTHERLY FACE OF SAID SEAWALL AND ITS EASTERLY PROLONGATION TO AN INTERSECTION WITH THE EASTERLY LINE OF SAID WEST 1/2 OF THE NW 1/4 OF SAID SECTION 18 AND THE POINT OF TERMINATION OF THE AFOREMENTIONED REFERENCE LINE.

LESS AND EXCEPT THEREFROM:

A PORTION OF GOVERNMENT LOT 4, SECTION 7, TOWNSHIP 59 SOUTH, RANGE 41 EAST, AS SHOWN ON "PLAT OF LANDS OF SEABOARD PROPERTIES, INC.", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 83 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SECTION 7, ALL LYING ON KEY LARGO, MONROE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NE 1/4 OF THE SW 1/4 OF SAID SECTION 7; THENCE N2°16'26"W ALONG THE WEST LINE OF SAID NE 1/4 OF THE SW 1/4 OF SAID SECTION 7 FOR 877.53 FEET TO AN INTERSECTION WITH THE NORTHWESTERLY EXTENSION OF THE CENTERLINE OF OCEAN REEF DRIVE, AS SHOWN ON THE PLAT OF "CHANNEL CAY OCEAN REEF PLAT NO. 4", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 122 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE S43°11'40"E ALONG SAID NORTHWESTERLY EXTENSION OF THE CENTERLINE OF OCEAN REEF DRIVE AND ALONG THE CENTERLINE OF SAID OCEAN REEF DRIVE FOR 1438.05 FEET; THENCE S43°00'23"W FOR 367.49 FEET TO AN INTERSECTION WITH THE EAST CORNER OF "MARINA VILLAGE PHASE I CONDOMINIUM, INC.", AS RECORDED IN OFFICIAL RECORDS BOOK 755 AT PAGE 720 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE ALONG THE SOUTHEASTERLY LIMITS OF SAID "MARINA VILLAGE PHASE I CONDOMINIUM, INC." FOR THE FOLLOWING TWO (2) COURSES: (1) S43°00'23"W FOR 286.08 FEET; (2) S55°35'24"W FOR 599.36 FEET TO THE POINT OF BEGINNING OF THE HERINAFTER DESCRIBED PARCEL; THENCE S1°39'03"E FOR 60.97 FEET TO AN INTERSECTION WITH THE NORTHEAST CORNER OF "MARINA VILLAGE PHASE III", AS RECORDED IN OFFICIAL RECORDS BOOK 763 AT PAGE 481 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE ALONG THE NORTHERLY LIMITS OF SAID "MARINA VILLAGE PHASE III" FOR THE FOLLOWING THREE (3) COURSES: (1) S88°20'57"W FOR 77.88 FEET; (2) N86°29'29"W FOR 66.82 FEET; (3) S88°14'20"W FOR 61.64 FEET;

THENCE N13°35'38"E FOR 95.11 FEET TO AN INTERSECTION WITH SAID SOUTHWESTERLY LIMITS OF "MARINA VILLAGE PHASE 1 CONDOMINIUM, INC."; THENCE ALONG SAID SOUTHWESTERLY AND SOUTHERLY LIMITS FOR THE FOLLOWING FOUR (4) COURSES: (1) S26°33'54"E FOR 26.83 FEET; (2) S43°49'09"E FOR 80.83 FEET; (3) N88°14'20"E FOR 108.00 FEET; (4) N58°38'24"E FOR 17.21 FEET TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT:

A PORTION OF THE NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 59 SOUTH, RANGE 40 EAST, OF "ARSENAL POINT KEY LARNEY PROPERTIES" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4 AT PAGE 129 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, LYING NORTHWESTERLY OF THE NORTHWESTERLY RIGHT-OF-WAY LINE OF GATEHOUSE ROAD AS SHOWN ON THE PLAT OF "HARBOR COURSE SECTION THREE OCEAN REEF PLAT NO. 13" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7 AT PAGE 7, AND NORTHWESTERLY AND NORTHEASTERLY OF LINDERMAN LANE AS SHOWN ON THE PLAT OF "HARBOR COURSE SECTION ONE OCEAN REEF PLAT NO. 13", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, AT PAGE 3, ALL OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 13; THENCE S88°12'44"W ALONG THE NORTH LINE OF SAID SECTION 13 FOR 376.03 FEET TO AN INTERSECTION WITH SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF GATEHOUSE ROAD; THENCE ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE FOR THE FOLLOWING THREE (3) COURSES: (1) S81°12'40"W FOR 1833.97 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST; (2) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 285.00 FEET AND A CENTRAL ANGLE OF 16°49'53" FOR 83.72 FEET TO A POINT OF TANGENCY; (3) S44°22'47"W FOR 32.03 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE CONTINUE ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE FOR THE FOLLOWING TWO (2) COURSES: (1) S44°22'47"W FOR 150.00 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTH; (2) WESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 35.70 FEET AND A CENTRAL ANGLE OF 85°19'11" FOR 53.18 FEET TO AN INTERSECTION WITH SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF LINDERMAN LANE, SAID INTERSECTION ALSO BEING A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTH; THENCE ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE FOR THE FOLLOWING FOUR (4) COURSES: (1) WESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 57.00 FEET AND A CENTRAL ANGLE OF 68°29'17" FOR 68.13 FEET; (2) S61°12'40"W FOR 204.98 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTH; (3) WESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 30.00 FEET AND A CENTRAL ANGLE OF 77°41'50" FOR 40.88 FEET; (4) N41°08'30"W FOR 32.15 FEET; THENCE N88°31'09"E FOR 122.87 FEET; THENCE N81°08'18"E FOR 98.54 FEET; THENCE N57°18'02"E FOR 99.16 FEET; THENCE N85°56'09"E FOR 150.42 FEET; THENCE S40°07'13"E FOR 90.79 FEET TO THE POINT OF BEGINNING.

AND TOGETHER WITH:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 59 SOUTH, RANGE 41 EAST, A PORTION OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWNSHIP 59 SOUTH, RANGE 41 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, AND A PORTION OF TRACT B, HARBOR COURSE SECTION THREE OCEAN REEF PLAT NO. 13, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 7, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 13; THENCE N88°12'44"E ALONG THE NORTH LINE OF SAID SECTION 13 FOR 303.26 FEET; THENCE S1°47'18"E FOR 13.97 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL OF LAND; THENCE N74°00'00"E FOR 39.01 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ALONG THE ARC OF THE LAST DESCRIBED CURVE HAVING A RADIUS OF 743.00 FEET AND A CENTRAL ANGLE OF 1°19'08" FOR 17.11 FEET TO A NONTANGENTIAL INTERSECTION; SAID INTERSECTION BEARING S17°19'05"E FROM THE CENTER OF THE LAST DESCRIBED CURVE AND

ALSO BEING A POINT ON THE NORTH LINE OF SAID SECTION 18; THENCE N88°22'44"E ALONG SAID NORTH LINE FOR 348.52 FEET; THENCE S1°02'49"E FOR 46.14 FEET TO THE NORTHEAST CORNER OF THE OUTSIDE FACE OF AN EXISTING SEAWALL; THENCE S88°57'11"W ALONG THE NORTHERLY LIMITS OF SAID SEAWALL FOR 151.94 FEET; THENCE S3°01'38"E ALONG THE WESTERLY LIMITS OF THE SAID SEAWALL FOR 289.18 FEET TO THE POINT OF TERMINATION OF SAID SEAWALL; THENCE MEANDER ALONG THE CUT LINE OF A MANMADE CANAL FOR THE FOLLOWING FIFTEEN (15) COURSES: (1) S43°13'31"E FOR 8.10 FEET; (2) S11°02'49"E FOR 8.59 FEET; (3) S82°08'04"W FOR 7.56 FEET; (4) N83°34'11"W FOR 6.77 FEET; (5) N59°11'35"W FOR 24.66 FEET; (6) N85°39'32"W FOR 21.44 FEET; (7) N74°43'21"W FOR 16.94 FEET; (8) N81°09'18"W FOR 32.44 FEET; (9) N32°43'00"W FOR 24.99 FEET; (10) N43°36'05"W FOR 35.31 FEET; (11) N44°39'34"W FOR 34.82 FEET; (12) N32°58'20"W FOR 27.59 FEET; (13) N32°53'05"W FOR 31.05 FEET; (14) N42°49'59"W FOR 38.90 FEET; (15) N46°46'35"W FOR 49.09 FEET TO THE POINT OF TERMINATION ALONG THE AFOREMENTIONED CUT LINE; THENCE N10°13'36"W FOR 104.58 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION
PARCEL VI

A PARCEL OF LAND LYING IN SECTIONS 7 AND 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACTS G AND H OF "OCEAN REEF PLAT NO. 1 - AMENDED" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, TOGETHER WITH THE 20 FOOT WIDE ROAD RIGHT-OF-WAY LYING BETWEEN SAID TRACTS G AND H.

AND TOGETHER WITH:

TRACTS A, B, C, D AND E, OF "OCEAN REEF PLAT NO. ONE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4 AT PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, TOGETHER WITH THE ADJOINING SLIPS AND BEACH ROAD AS SHOWN ON SAID PLAT OF "OCEAN REEF PLAT NO. ONE"

LESS AND EXCEPT THEREFROM:

A PARCEL OF LAND KNOWN AS "MARINA INN CONDOMINIUM, INC.", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PORTION OF TRACT A, "OCEAN REEF PLAT NO. 1", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; TOGETHER WITH A PORTION OF GOVERNMENT LOT 4, SECTION 7, TOWNSHIP 59 SOUTH, RANGE 41 EAST, AS SHOWN ON "PLAT OF LANDS OF SEABOARD PROPERTIES, INC." ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 83 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; ALL LYING ON KEY LARGO, MONROE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NE 1/4 OF THE SW 1/4 OF SAID SECTION 7; THENCE N2°18'26"W (BEARINGS DERIVED FROM FLORIDA COORDINATE SYSTEM, EAST ZONE) ALONG THE WEST LINE OF THE SAID NE 1/4 OF THE SW 1/4 OF SECTION 7 FOR 877.83 FEET TO AN INTERSECTION WITH THE NORTHWESTERLY EXTENSION OF THE CENTERLINE OF OCEAN REEF DRIVE, AS SHOWN ON "CHANNEL CAY, OCEAN REEF PLAT NO. 4", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 122 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE S43°11'40"E ALONG SAID NORTHWESTERLY EXTENSION OF AND SAID CENTERLINE OF OCEAN REEF DRIVE FOR 1482.45 FEET; THENCE S46°48'20"W FOR 35.06 FEET TO AN INTERSECTION WITH A LINE 35.06 FEET SOUTHWESTERLY OF A MEASURED AT RIGHT ANGLES, AND PARALLEL TO SAID CENTERLINE OF OCEAN REEF DRIVE; SAID INTERSECTION BEING THE POINT OF BEGINNING AND THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 281.26 FEET AND A CENTRAL ANGLE OF 41°27'00" FOR 203.47 FEET TO THE POINT OF TANGENCY;

THENCE S1°44'40"E ALONG A LINE 20.00 FEET WESTERLY OF 'AS MEASURED AT RIGHT ANGLES AND PARALLEL TO THE EASTERLY BOUNDARY LINE OF SAID TRACT A FOR 152.00 FEET; THENCE S88°15'20"W FOR 136.48 FEET; THENCE S41°02'00"W FOR 31.01 FEET; THENCE S1°44'40"E FOR 106.54 FEET; THENCE S88°27'55"W FOR 108.79 FEET; THENCE S46°12'11"W FOR 14.11 FEET; THENCE S1°26'33"E FOR 186.59 FEET; THENCE S88°33'30"W FOR 114.03 FEET MORE OR LESS TO AN INTERSECTION WITH A LINE 10.00 FEET EASTERLY OF, AS MEASURED AT RIGHT ANGLES AND PARALLEL TO THE EXTERIOR FACE OF AN EXISTING CONCRETE SEAWALL, LYING ALONG THE WESTERLY BOUNDARY LINE OF SAID TRACT A; THENCE N1°20'49"W MORE OR LESS ALONG SAID PARALLEL LINE FOR 271.79 FEET MORE OR LESS TO AN INTERSECTION WITH A LINE 10.00 FEET SOUTHEASTERLY OF, AS MEASURED AT RIGHT ANGLES AND PARALLEL TO THE EXTERIOR FACE OF AN EXISTING CONCRETE SEAWALL LYING ALONG THE NORTHWESTERLY BOUNDARY OF SAID TRACT A; THENCE N41°55'33"E MORE OR LESS ALONG THE LAST DESCRIBED PARALLEL LINE FOR 10.00 FEET; THENCE N48°04'27"W FOR 25.00 FEET MORE OR LESS TO AN INTERSECTION WITH A LINE BEARING S41°56'08"W FROM THE POINT OF BEGINNING; THENCE N41°56'08"E FOR 479.66 FEET MORE OR LESS TO THE POINT OF BEGINNING.

AND LESS AND EXCEPT:

A PARCEL OF LAND KNOWN AS "YACHTSMANS INN CONDOMINIUM" AS RECORDED IN OFFICIAL RECORDS BOOK 881 AT PAGES 877 THROUGH 897 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PARCEL OF LAND KNOWN AS "OCEAN REEF MARINA CONDOMINIUM V", AS RECORDED IN OFFICIAL RECORDS BOOK 949, AT PAGE 1022 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

THOSE PORTIONS OF SAID TRACT D, BELONGING TO ROBERT H. MOROSKY, ACCORDING TO WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 858 AT PAGE 734 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

THOSE PORTIONS OF SAID TRACT D, BELONGING TO DONNA WALSH, ACCORDING TO WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 858 AT PAGE 899 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND TOGETHER WITH:

THOSE PORTIONS OF THE AFORESAID "MARINA INN CONDOMINIUM, INC." PROPERTY SPECIFICALLY RESERVED TO OCEAN REEF CLUB, INC., AS DESCRIBED AND SET FORTH IN THAT CERTAIN DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 728, AT PAGES 383 THROUGH 458, INCLUSIVE, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

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LEGAL DESCRIPTION
PARCEL VII

A PARCEL OF LAND LYING IN GOVERNMENT LOTS 8 AND 9, SECTION 8 AND PORTIONS OF THE NE 1/4 AND THE NW 1/4 AND THE SW 1/4 OF SECTION 7, TOWNSHIP 89 SOUTH, RANGE 41 EAST, AS SHOWN ON THE PLAT OF "PLAT OF LANDS OF SEABOARD PROPERTIES, INC.", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4 AT PAGE 83 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT C OF "OCEAN REEF PLAT NO. 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4 AT PAGE 91 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND TOGETHER WITH:

A PARCEL OF LAND LYING IN SAID GOVERNMENT LOTS 8 AND 9, SECTION 8 AND PORTIONS OF THE NE 1/4 AND THE NW 1/4 AND THE SW 1/4 OF SAID SECTION 7, BEING MORE PARTICULARLY DESCRIBED BY "METSRS AND BOUNDS" AS FOLLOWS:

BEGIN AT THE SOUTHWESTERLY CORNER OF TRACT "A" OF "AMENDED PLAT OF BARRACUDA CAY OCEAN REEF PLAT NO. 11", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7 AT PAGE 10 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE S51°58'13"E ALONG THE SOUTHERLY LINE OF SAID TRACT "A" FOR 43.28 FEET TO AN INTERSECTION WITH THE WESTERLY BOUNDARY LINE OF PARCEL "A" OF "FISHERMAN'S WHARF" AS SHOWN ON THE "SKETCH AND LEGAL DESCRIPTION" AS PREPARED BY POST, DUCKLEY, SCHUI & JERNIGAN,

INC. ON JANUARY 13, 1980; THENCE ALONG SAID WESTERLY BOUNDARY LINE FOR THE FOLLOWING FIVE (5) COURSES: (1) S80°10'53"W FOR 16.30 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST; (2) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 388.70 FEET AND A CENTRAL ANGLE OF 22°17'06" FOR 151.18 FEET TO THE POINT OF TANGENCY; (3) S38°01'47"W FOR 38.30 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST; (4) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 230.03 FEET AND A CENTRAL ANGLE OF 33°51'03" FOR 135.90 FEET TO THE POINT OF TANGENCY; (5) S4°10'44"W FOR 26.05 FEET TO THE MOST NORTHERLY CORNER OF "THE LANDINGS OF FISHERMAN'S COVE CONDOMINIUM" AS SHOWN IN EXHIBIT "B" OF THE DECLARATION OF CONDOMINIUM, PREPARED BY POST, BUCKLEY, SCHULI & JERNICAN, INC., DATED FEBRUARY 16, 1982, SAID MOST NORTHERLY CORNER ALSO BEING THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 203.50 FEET AND A CENTRAL ANGLE OF 11°43'07" FOR 41.82 FEET TO A NONTANGENTIAL INTERSECTION WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF BARRACUDA LANE AS SHOWN ON SAID PLAT OF "AMENDED PLAT OF BARRACUDA CAY OCEAN REEF PLAT NO. 11", SAID INTERSECTION BEARING S74°00'09"E FROM THE CENTER OF SAID CURVE; THENCE S38°01'47"W ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID BARRACUDA LANE FOR 76.87 FEET; THENCE N51°58'13"W FOR 175.00 FEET; THENCE S38°01'47"W FOR 126.00 FEET; THENCE S51°58'13"E FOR 150.00 FEET TO AN INTERSECTION WITH THE ARC OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 345.96 FEET AND A CENTRAL ANGLE OF 25°50'13" FOR 156.81 FEET TO THE POINT OF TANGENCY; THENCE S64°00'00"W FOR 17.97 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 491.30 FEET AND A CENTRAL ANGLE OF 37°00'00" FOR 291.59 FEET TO THE POINT OF TANGENCY; THENCE S30°00'00"W FOR 200.20 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 570.42 FEET AND A CENTRAL ANGLE OF 5°48'05" FOR 57.76 FEET TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 9980.00 FEET AND A CENTRAL ANGLE OF 1°09'04" FOR 200.50 FEET TO THE POINT OF TANGENCY; THENCE S36°57'00"W FOR 980.77 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 65.00 FEET AND A CENTRAL ANGLE OF 93°16'30" FOR 105.82 FEET TO THE POINT OF TANGENCY; THENCE S56°19'21"E FOR 154.83 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 94°20'11" FOR 41.10 FEET TO THE POINT OF TANGENCY, SAID POINT BEING ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF ANCHOR DRIVE AS SHOWN ON THE PLAT OF "ANCHOR DRIVE SUBDIVISION OCEAN REEF PLAT NO. 10" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6 AT PAGE 118 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF ANCHOR DRIVE FOR THE FOLLOWING SIX (6) COURSES: (1) S38°00'00"W FOR 8.75 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; (2) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 985.00 AND A CENTRAL ANGLE OF 4°53'51" FOR 82.49 FEET TO THE POINT OF TANGENCY; (3) S42°54'41"W FOR 943.20 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST; (4) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 3535.00 FEET AND A CENTRAL ANGLE OF 3°21'10" FOR 200.86 FEET TO THE POINT OF TANGENCY; (5) S29°33'31"W FOR 229.23 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTH; (6) WESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 87°14'49" FOR 42.43 FEET TO THE POINT OF TANGENCY AND THE POINT OF TERMINATION OF SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF ANCHOR DRIVE, SAID POINT BEING ON A LINE 25.00 FEET NORTHEASTERLY OF, AS MEASURED AT RIGHT ANGLES AND PARALLEL TO THE CENTERLINE OF OCEAN REEF DRIVE AS SHOWN ON SAID PLAT OF "ANCHOR DRIVE SUBDIVISION OCEAN REEF PLAT NO. 10", SAID LINE BEING ALSO THE NORTHWESTERLY RIGHT-OF-WAY LINE OF OCEAN REEF DRIVE; THENCE N43°11'48"W ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF OCEAN REEF DRIVE AND ITS NORTHWESTERLY PROLONGATION FOR 413.30 FEET TO AN INTERSECTION WITH THE EASTERLY BOUNDARY LINE OF "OCEAN REEF PLAT NO. 3" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4 AT PAGE 91 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE N2°21'50"W ALONG SAID EASTERLY BOUNDARY LINE FOR 3023.74 TO A POINT OF TERMINATION ALONG SAID EASTERLY BOUNDARY LINE; THENCE ALONG THE

RECORDS SECTION
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 UNAVAILABLE ON THIS DOCUMENT WHEN NOTED

WESTERLY AND SOUTHWESTERLY BOUNDARY LINES OF THE HAWIACUDA GOLF COURSE AS RECORDED IN OFFICIAL RECORDS BOOK 599 AT PAGES 449 THROUGH 454 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA FOR THE FOLLOWING SEVEN (7) COURSES: (1) S41°35'50"W FOR 325.42 FEET; (2) S21°28'00"E FOR 754.84 FEET; (3) S01°44'00"E FOR 783.59 FEET; (4) S12°10'58"W FOR 144.05 FEET; (5) S52°58'14"E FOR 319.88 FEET; (6) N58°51'47"E FOR 3274.27 FEET; (7) S51°50'15"E FOR 192.82 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THEREFROM:

A PARCEL OF LAND OWNED BY THE OCEAN REEF VOLUNTEER FIRE DEPARTMENT, INC. AS RECORDED IN OFFICIAL RECORDS BOOK 773 AT PAGE 1847 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PARCEL OF LAND DEEDED BY OCEAN REEF CLUB, INC. TO THE GREAT AMERICAN LIFE INSURANCE COMPANY AS RECORDED IN OFFICIAL RECORDS BOOK 884, AT PAGES 2221 THROUGH 2227 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PARCEL OF LAND BELONGING TO THE OCEAN REEF ART LEAGUE, INC. AS RECORDED IN OFFICIAL RECORDS BOOK 920 AT PAGES 2128 THROUGH 2130 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PARCEL OF LAND BELONGING TO CARD SOUND GOLF CLUB, INC. AS RECORDED IN OFFICIAL RECORDS BOOK 861 AT PAGES 1568 AND 1569 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PARCEL OF LAND BELONGING TO THE FLORIDA RIVER AQUEDUCT AUTHORITY, AS RECORDED IN OFFICIAL RECORDS BOOK 897 AT PAGES 2223 THROUGH 2225 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PORTION OF THE NE 1/4 OF THE SW 1/4 OF SECTION 7, TOWNSHIP 50 SOUTH, RANGE 41 EAST, "PLAT OF LANDS OF SHALPOARD PROPERTIES, INC.", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 85 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NE 1/4 OF THE SW 1/4 OF SAID SECTION 7; THENCE N2°10'20"W (BEARINGS DERIVED FROM FLORIDA COORDINATE SYSTEM, EAST ZONE) ALONG THE WEST LINE OF SAID NE 1/4 OF THE SW 1/4 OF SAID SECTION 7 FOR 877.83 FEET TO AN INTERSECTION WITH THE NORTHWESTERLY EXTENSION OF THE CENTER LINE OF OCEAN REEF DRIVE, AS SHOWN ON THE PLAT OF "CHANNEL CAY OCEAN REEF PLAT NO. 4", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 122 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE S43°11'40"E ALONG SAID NORTHWESTERLY EXTENSION OF THE CENTER LINE OF OCEAN REEF DRIVE AND ALONG THE CENTER LINE OF OCEAN REEF DRIVE FOR 375.05 FEET; THENCE N35°46'30"E FOR 298.32 FEET TO THE POINT OF BEGINNING OF THE HERINAFTER DESCRIBED PARCEL OF LAND; THENCE N48°11'47"E FOR 245.00 FEET; THENCE S49°49'24"E FOR 47.31 FEET TO AN INTERSECTION WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF ANCHOR DRIVE, AS SHOWN ON THE PLAT OF "ANCHOR DRIVE SUBDIVISION, OCEAN REEF PLAT NO. 10", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 118 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE FOR THE FOLLOWING TWO (2) COURSES: (1) S42°54'41"W FOR 57.53 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST; (2) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 3536.00 FEET AND A CENTRAL ANGLE OF 3°17'52" FOR 203.47 FEET; THENCE N58°24'16"W FOR 43.77 FEET TO THE POINT OF BEGINNING.

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AND TOGETHER WITH:

A PARCEL OF LAND DEEDED FROM THE GREAT AMERICAN LIFE INSURANCE COMPANY TO THE OCEAN REEF CLUB, INC. AS RECORDED IN OFFICIAL RECORDS BOOK 899 AT PAGES 961 THROUGH 962 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

AND TOGETHER WITH:

A PORTION OF TRACT "D" OF "OCEAN REEF PLAT NO. 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 91 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SECTION 7, TOWNSHIP 59 SOUTH, RANGE 41 EAST; THENCE S87°18'22"W ALONG THE NORTH LINE OF SAID SECTION 7 FOR 4231.61 FEET TO AN INTERSECTION WITH THE WESTERLY BOUNDARY LIMITS OF THE BARRACUDA GOLF COURSE, AS RECORDED IN OFFICIAL RECORDS BOOK 599 AT PAGE 449 THROUGH 454 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE N41°35'50"W ALONG SAID WESTERLY BOUNDARY LIMITS FOR 187.77 FEET TO AN INTERSECTION WITH THE EASTERLY BOUNDARY LINE OF SAID "OCEAN REEF PLAT NO. 3", SAID INTERSECTION ALSO BEING THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE CONTINUE N41°38'50"W FOR 13.04 FEET TO THE EASTERLY LIMITS OF "CARDSOUND POINT 1, OCEAN REEF PLAT NO. 10", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7 AT PAGE 18 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE ALONG SAID EASTERLY LIMITS FOR THE FOLLOWING FOUR (4) COURSES: (1) S69°45'56"W FOR 153.21 FEET TO A NONTANGENTIAL INTERSECTION WITH THE ARC OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST, SAID INTERSECTION BEARING N82°17'28"W FROM THE CENTER OF SAID CURVE; (2) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 100.00 FEET AND A CENTRAL ANGLE OF 25°16'00" FOR 44.67 FEET TO A POINT OF TANGENCY; (3) S12°27'32"W FOR 100.00 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHEAST; (4) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 220.00 FEET AND A CENTRAL ANGLE OF 48°30'00" FOR 186.23 FEET TO A NONTANGENTIAL INTERSECTION WITH A LINE BEARING S27°18'34"E, SAID INTERSECTION BEARING S63°17'32"W FROM THE CENTER OF SAID CURVE; THENCE S27°18'34"E ALONG THE MOST SOUTHEASTERLY LIMIT OF SAID "CARDSOUND POINT 1" AND ITS SOUTHEASTERLY PROLONGATION FOR 259.25 FEET TO AN INTERSECTION WITH SAID EASTERLY BOUNDARY LINE OF "OCEAN REEF PLAT NO. 3"; THENCE N2°31'50"E ALONG SAID EASTERLY BOUNDARY LINE FOR 613.41 FEET TO THE POINT OF BEGINNING.

hm/OC1142

Exhibit "B"

Title Exceptions

AS TO PARCELS I and IV:

1. Plat of Harbor Course Section One, Ocean Reef Plat No. 13, according to the Plat thereof recorded in Plat Book 7, at Page 3.
2. Utility easements and reservation of roads as shown on Plat of Harbor Course Section One, Ocean Reef Plat No. 13, according to the Plat thereof in Plat Book 7, at Page 3.
3. Declaration of Restrictions, Limitations, Conditions and Agreements dated March 15, 1976, recorded March 18, 1976, in Official Records Book 648, at Page 107.
4. Plats of Lands of Harbor Course Section Two, Ocean Reef Plat No. 13, according to the Plat thereof, as recorded in Plat Book 7, at Page 5.
5. Utility easements and reservation of roads as shown on Plat of Harbor Course Section Two, Ocean Reef Plat No. 13, according to the Plat thereof, recorded in Plat Book 7, at Page 5.
6. Declaration of Restrictions, Limitations, Conditions and Agreements filed for record October 28, 1976, in Official Records book 678, at Page 154.
7. Rights and easements of the United States government for commerce, navigation, recreation and fisheries in and to any portion of said land which has been created by artificial means or accreted to any portion so created and riparian rights, if any.
8. Riparian rights and water privileges incident to the ownership of the land subject property, land between high and low water marks, submerged lands, bay bottoms and tide lands.
9. Transfer and Assignment Agreement between Ocean Reef Club, Inc., and Florida Keys Aqueduct Authority dated December 1, 1983 and recorded in Official Records Book 897, at Page 2296.
10. Grant of Easement in favor of Florida Keys Aqueduct Authority filed May 9, 1988 in Official Records Book 1051, at Page 811.
11. Grant of Easement in favor of Florida Keys Aqueduct Authority filed September 23, 1988 in Official Records Book 1066, at Page 2278.
12. Utility Easement(s) in favor of BellSouth Mobility Inc., filed August 13, 1991 in Official Records Book 1179, at Page 2273 and filed December 7, 1992 in Official Records Book 1236, at Page 1182.
13. Option and Lease Agreement in favor of BellSouth Mobility Inc., filed February 10, 1992 in Official Records Book 1200, at Page 403.
14. Rights of the State of Florida, Board of Trustees of the Internal Improvement Trust Fund by virtue of that certain Warranty Deed from Ocean Reef Club, Inc., dated August 10, 1989, filed November 1, 1989 in Official Records Book 1110, at Page 761.

PARCEL II

15. Plat of Harbor Course Section Four Ocean Reef Plat No. 13, according to the Plat thereof recorded in Plat Book 7, at Page 8.
16. Transfer and Assignment Agreement between Ocean Reef Club, Inc., and Florida Keys Aqueduct Authority dated December 1, 1983 and recorded in Official Records Book 897, at Page 2262.

17. Utility easements and reservation of roads, as shown on Plat of Harbor Course Section Four, Ocean Reef Plat No. 13, according to the Plat thereof, recorded in Plat Book 7, at Page 8.
18. Declaration of Restrictions dated August 26, 1977, filed September 2, 1977 in Official Records Book 727, at Page 771.
19. Riparian rights and water privileges incident to the ownership of the subject property, land between high and low water marks, submerged lands, bay bottoms and tide lands.
20. Rights and easements of the United States government for commerce, navigation, recreation and fisheries in and to any portion of said land which has been created by artificial means or accreted to any portion so created and riparian rights, if any.

PARCEL III

21. Plat of Lands of Harbor Course Section Three, Ocean Reef Plat No. 13, according to the Plat thereof, as recorded in Plat Book 7, at Page 7.
22. Utility Easements and private roadways as shown on the Plat of Harbor Course Section Three as recorded in Plat Book 7, at Page 7.
23. Riparian rights and water privileges incident to the ownership of subject property, land between high and low water marks, submerged lands, bay bottoms and tide lands.
24. Rights and easements of the United States government for commerce, navigation, recreation and fisheries in and to any portion of said land which has been created by artificial means or accreted to any portion so created and riparian rights, if any.

PARCEL V

25. Plat of Grayvik Extension, Ocean Reef Plat No. 2, dated October 13, 1969, filed for record December 9, 1969, recorded in Plat Book 6, at Page 22.
26. Declaration of Restrictions, Limitations, Conditions and Agreement dated December 17, 1969, filed for record December 17, 1969, recorded in Official Records Book 443, at Page 947 of the Public Records of Monroe County, Florida, where protective covenants were established relating to the Grayvik plat, also containing a six-foot (6') utility easement.
27. Plat of Lands of Seaboard Properties, Inc., according to the Plat thereof, as recorded in Plat Book 4, at Page 83.
28. Lease between Ocean Reef Club, Inc. and Norman B. Norman as recorded in Official Records Book 948, at Page 2481.

PARCEL VI

29. Plat of Lands Ocean Reef Plat No. 1, dated February 4, 1959, filed February 4, 1959, in Official Records Book 4, at Page 90.
30. Easement Agreement dated August 13, 1963, filed August 14, 1963, in Official Records Book 287, at Page 417, Monroe County, Florida, given by Seaboard Properties, Inc., to First Federal Savings and Loan Association of Miami, granting an easement of ingress and egress of the property from Ocean Reef Plat No. 3 to Ocean Reef Plat No. 1 and Ocean Reef Plat No. 1 amended.
31. Declaration of Restrictions, Grant of Easements and Operating Agreement recorded in Official Records Book 956, at Page 758.
32. Perpetual Exclusive Limited Use Easement from Ocean Reef Club, Inc. to Robert H. Morosky as recorded in Official Records Book 956, at Page 750.
33. Perpetual Exclusive Limited Use Easement from Ocean Reef Club, Inc. to Donna Walsh, a married woman as recorded in Official Records Book 956, at

Page 710. Conveyed thru these conveyances to Carmen W. Elio and Elaine J. Elio by instrument filed June 15, 1989 in Official Records Book 1095, at Page 1217. Which is encumbered by that certain mortgage in favor of Chase Manhattan Financial Services, Inc., d/b/a Chase Manhattan of Florida dated June 8, 1989 filed June 15, 1989, in Official Records Book 1095, at Page 1226, and that certain mortgage in favor of The Chase Manhattan Bank (N.A.) dated June 8, 1989, filed June 19, 1989 in Official Records Book 1095, at Page 1740.

34. Rights, Licenses, Easements granted in Declaration of Condominium for Marina Inn Condominium as recorded in Official Records Book 728, at Page 383.

PARCEL VII

35. Plat of Ocean Reef Flat No. 3, dated January 21, 1959, recorded February 4, 1959, in Plat Book 4, at Page 91.
36. Easement Agreement given by Seaboard Properties, Inc. dated August 13, 1963, recorded August 14, 1963, in Official Records Book 287, at Page 417, wherein ingress and egress was given between Ocean Reef Flat No. 3 and Ocean Reef Flat No. 1 which also provided that same could not be cancelled without the written consent of First Federal Savings and Loan Association of Miami.
37. Grant of Easement by Ocean Reef Club, Inc. to Card Sound Golf Club, Inc., dated December 10, 1974, filed for record December 19, 1974 as recorded in Official Records Book 599, at Page 455.
38. Common Easements for Utility Services between Ocean Reef Club, Inc., and Card Sound Golf Club, Inc. dated December 10, 1974, filed for record December 19, 1974, as recorded in Official Records Book 599, at Page 458.
39. Transfer Assignment and Conveyance Agreement dated December 1, 1983 between the Ocean Reef Club, Inc. and the Florida Keys Aqueduct Authority as recorded in Official Records Book 897, at Page 2253.

AS TO ALL PARCELS

40. Rights and easements of the United States government for commerce, navigation, recreation and fisheries in and to any portion of said land which has been created by artificial means or accreted to any portion so created and riparian rights, if any.
41. Non-Exclusive Easement Grant dated August 1, 1977, filed October 3, 1977 in Official Records Book 733, at Page 603, granting Key Largo Foundation and Driscoll Properties, Inc. the right to use all streets, roads, bridges and utility easements in the Ocean Reef complex.
42. Effect of Chapter 227-8 of Rules of the Department of Administration Commission declaring boundaries and principles of guiding development for Florida Keys Area of Critical State Concern, as filed in Official Records Book 868, at Page 44.
43. Agreement dated August 9, 1963, filed August 14, 1963 in Official Records Book 287, at Page 421-423, between Seaboard Properties, Inc. and Ocean Reef Improvement Association, reflecting that each such owner of property in any plat of Ocean Reef recorded by Seaboard Properties, Inc., has a right to use all streets and roads, etc., therein.
44. Right of Access and License Agreement dated December 1, 1983 between Ocean Reef Club, Inc. and the Florida Keys Aqueduct Authority recorded in the Official Records Book 897, at Page 2243.
45. Easement from Ocean Reef Club, Inc., to Florida Keys Aqueduct Authority dated December 1, 1983 and recorded in Official Records Book 897, at Page 2234.
46. Memorandum of Understanding filed August 25, 1992 in Official Records book 1224, at Page 1298.

47. Mortgage dated June 27, 1973, in favor of Associated Advertisers, Inc. ("AAI") from OCEAN REEF CLUB, INC., a Florida corporation ("Borrower"), as recorded in Official Records Book 544, commencing on Page 217, and Consolidation, Modification and Spreading Agreement in favor of AAI from the Borrower, as recorded in Official Records Book 544, commencing on Page 274;

Assignment of Leases, Rents and Profits, dated June 27, 1973, in favor of AAI from Borrower, as recorded in Official Records Book 544, commencing on Page 333;

- a) Mortgage dated June 27, 1973, in favor of AAI from Borrower, as recorded in Official Records Book 544, commencing on Page 301;
- b) Assignment of Leases, Rents and Profits dated June 27, 1973, in favor of AAI from the Borrower, as recorded in Official Records Book 544, commencing on Page 343;
- c) Security Agreement dated June 27, 1973, among AAI, Borrower and other parties;
- d) Agreement Affecting Participants' Shares, dated July 1, 1975, among AAI, Borrower and other parties;

ALL OF THE DOCUMENTS REFERRED TO IN PARAGRAPHS 48, 48(a), 48(b), 48(c) AND 48(d) WERE ASSIGNED BY AAI TO THE WESTPORT COMPANY, TRUSTEE, BY Assignment of Mortgage, as recorded in Official Records Book 786, commencing on Page 1817; and subsequently assigned by The Westport Company, Trustee to Great American Insurance Company ("GALIC") by Assignment as recorded in Official Records Book 834, commencing on Page 2274, and running through Page 2283, inclusive, and further assigned by GALIC to Centrust Federal Savings Bank by Assignment dated August 12, 1986, as recorded in Official Records Book 984, commencing on Page 2013.

48. a) Mortgage dated October 6, 1975, in favor of Southeast First National Bank of Miami ("SE") from Borrower, as recorded in Official Records Book 630, commencing on Page 82;

b) Assignment of Leases, Rent and Profits dated October 6, 1975, in favor of SE from Borrower, as recorded in Official Records Book 630, commencing at page 143;

c) Security Agreement dated October 6, 1975, among SE Borrower and other parties;

d) Agreement dated June 15, 1977, among SE, Borrower, and AAI;

ALL OF THE DOCUMENTS REFERRED TO IN PARAGRAPHS 49(a), 49(b) and 49(d) WERE ASSIGNED BY SE TO THE WESTPORT COMPANY, TRUSTEE, by Assignment of Mortgage, as recorded in Official Records Book 786, commencing on Page 1819; and subsequently assigned by The Westport Company, Trustee to Great American Insurance Company ("GALIC") by Assignment as recorded in Official Records Book 834, commencing on Page 2274, and running through Page 2283, inclusive, and further assigned by GALIC to Centrust Federal Savings Bank by Assignment dated August 12, 1986, as recorded in Official Records Book 984, commencing on Page 2013.

49. Mortgage Modification Agreement dated as of June 30, 1981, between GALIC and Borrower, notice of which was recorded in Official Records Book 823, commencing on Page 301, as amended by Amendment No. 1, dated as of July 15, 1981; Second Amendment dated May 24, 1982, as recorded in Official Records Book 834, commencing on Page 1902; Third Amendment dated June 29, 1983, as recorded in Official Records Book 891, at Page 1109; Fourth Amendment dated September 8, 1983; and Fifth Amendment dated January 12, 1984;

a) Restatement of Mortgage Modification Agreement dated August 10, 1984, between GALIC and Borrower, as recorded in Official Records Book 924, commencing on Page 1011;

b) First Amendment to Restatement of Mortgage Modification Agreement between Borrower and Centrust, dated August 20, 1986, as recorded in Official Records Book 0983, commencing on Page 1572;

774943

REF 1247 PAGE 1876

- c) All right, title and interest of GALIC under that certain Non-Disturbance and Attornment Agreement dated as of August 10, 1982, between Norman B. Norman and GALIC concerning rights under that certain Lease, dated November 28, 1981, between Ocean Reef Club, Inc., as Lessor and Norman B. Norman as Lessee, involving the "Fishing Village" at Ocean Reef; and
- d) Uniform Commercial Code Financing Statement (UCC-1) between Ocean Reef Club, Inc., a Debtor, Key Largo, Florida 33037, and Centrust Savings Bank, as Secured Party, 101 East Flagler Street, Miami, Florida, as recorded in Official Records Book 0984, commencing on Page 2201.

ALL OF THE FOREGOING INSTRUMENTS WERE SUBSEQUENTLY ASSIGNED BY CENTRUST TO CITICORP SAVINGS OF FLORIDA by Assignment dated May 3, 1990, and recorded May 9, 1990, in Official Records Book 1130, at Page 2194; and

Modified by that certain Notice of Future Advance made by Citicorp Savings of Florida in the amount of \$3,500,000 dated May 3, 1990 and recorded May 9, 1990, in Official Records Book 1130, at Page 2201; and

As amended by Second Amendment to Restatement of Mortgage Modification Agreement dated May 3, 1990, and recorded May 9, 1990, in Official Records Book 1130, at Page 2202.

50. Rights, if any, of Members of the Ocean Reef Club to the continued use of portions of the subject land as a Golf Course.

ALL OF THE FOREGOING DOCUMENTS ARE RECORDED AMONG THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

Recorded in Official Records Book
In Monroe County, Florida
Record Verified
DANIEL L. FORHAGE
Clerk, Circuit Court

Doc# 2169739 05/18/2018 11:40AM
Filed & Recorded in Official Records of
MONROE COUNTY KEVIN MADOK

Prepared by and return to:
Sandra T. Lynn, Esq.
Attorney at Law
Turner & Lynn, P.A.
7 Barracuda Lane
Key Largo, FL 33037
305-367-0911
File Number: Cunningham

05/18/2018 11:40AM
DEEN DOC STAMP CL: Krys \$84.00

Doc# 2169739
Ekt# 2407 Pg# 1347

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 15th day of May, 2018, between Ocean Reef Club, Inc., a Florida Not-for-Profit corporation, whose post office address is 35 Ocean Reef Drive, Suite 200, Key Largo, FL 33037, grantor, and Centurion Properties, Inc., a New Hampshire corporation, whose post office address is P.O. Box 059, Hanover, NH 03755, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida to-wit:

A portion of Tract "A" of Harbor Course, Section One, Ocean Reef Plat No. 13; according to the plat thereof as recorded in Plat Book 7, at Page 3 of the Public Records of Monroe County, Florida and being more particularly described as follows: Commence at the most Northeasterly corner of said Tract "A" lying on the Northwesterly right of way line of South Harbor Drive, said corner also being the Point of Curvature of a circular curve concave to the east, having a radius of 245.00 feet; thence along said Northwesterly right of way line Southwesterly and Southeasterly for an arc distance of 473.80 feet to a point of tangency on the Southwesterly right of way line of said South Harbor Drive; thence continue along said right of way line S66°25'07"E a distance of 95.94 feet to a point; thence leaving said right of way line S23°34'53"W a distance of 62.28 feet to a point of a non-tangent circular curve concave to the Northwest, the center of which bears N89°14'58"E having for its elements a radius of 380.00 feet, an arc distance of 83.34 and a central angle of 12°33'57" to the Point of Beginning of the following described parcel of land; thence S67°29'25"E for a distance 7.15 feet; thence S32°57'15"W for a distance of 21.10 feet to a point on a non tangent circular curve the center of which bears N75°00'57"W; thence along the arc of said curve for a distance of 21.02 feet to the Point of Beginning.

Containing 72.0 square feet more or less by calculation.

Subject to taxes for 2018 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2017.

In Witness Whereof, grantor has hereunto set grantor's hand and seal.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: YANJIN ROBERTS

Ocean Reef Club, Inc., a Florida Not-for-Profit corporation

[Signature] (Seal)
Michael G. Leemhuis, as President

[Signature]
Witness Name: Yiny Bogdan

Doc# 2169739
Ekt# 2907 Pg# 1348

State of FLORIDA
County of MONROE

The foregoing instrument was acknowledged before me this 15 day of May, 2018 by Michael G. Leemhuis, as President of Ocean Reef Club, Inc., a Florida Not-for-Profit corporation, who is personally known or has produced a driver's license as identification.

[Notary Seal]



LuAnn V. Lowen
Notary Public

Printed Name: LuAnn V. Lowen

My Commission Expires: June 23, 2020

Doc# 1962535 12/24/2013 10:07AM
Filed & Recorded in Official Records of
MONROE COUNTY AMY HEAVILIN

THIS INSTRUMENT PREPARED BY AND RETURN TO:

Mackinzie S. Ash
Hershoff, Lupino & Yagel, LLP
90130 Old Highway
Tavernier, Florida 33070

12/24/2013 10:07AM
DEED DOC STAMP CL: RE \$25,135.60

Doc# 1962535
Bkn 2564 Pgn 1325

Property Appraisers Parcel Identification (Folio) Numbers: 00569500-000096

\$3,590,772.02

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED, made the 18th day of December, 2013 by U S. JET, LLC, a North Carolina Limited Liability Company, herein called the grantor, to Cresful William Horne, Jr., a married man, whose post office address is 8605 Bonds Grove Church Road, Waxhaw, NC 28173, hereinafter called the Grantee:
(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

W I T N E S S E T H: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in MONROE County, State of Florida, viz.:

SEE EXHIBIT "A"

Subject to easements, restrictions and reservations of record and taxes for the year 2014 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2013.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Sandra H. Threatt
Witness #1 Signature

Sandra H. Threatt
Witness #1 Printed Name

M. W. Walden
Witness #2 Signature

Michael W. Walden
Witness #2 Printed Name

U S. JET, LLC, a North Carolina Limited Liability Company

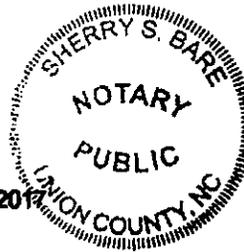
Cresful W. Horne, Jr.
Cresful W. Horne, Jr., Manager
Highway 74 West, PO BOX 625, Marshville, NC 28103

Doc# 1962635
BKN 2664 Pgm 1326

STATE OF NORTH CAROLINA
COUNTY OF Union

The foregoing instrument was acknowledged before me this 18th day of December, 2013 by Cresful W. Horne, Jr., Manager of U S. JET, LLC, a North Carolina Limited Liability Company on behalf of the corporation. He is personally known to me or has produced _____ as identification.

SEAL



Sherry S. Bare
Notary Signature

Sherry S. Bare
Printed Notary Signature

My Commission Expires:

My Commission Expires March 4, 2014

CONSENT

Doc# 1962635
Bk# 2664 Pg# 1327

RE: Chairman's Suite

SELLER (S): Cress Horne indirectly through the wholly owned U.S. Jet, LLC. a North Carolina Limited Liability Company

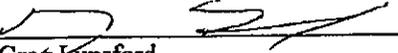
PURCHASER (S): Cress William Horne, Jr.

OCEAN REEF COMMUNITY ASSOCIATION CONSENT

In connection with the above-captioned sales transaction, the above-named purchaser (s) has/have been approved for membership in the OCEAN REEF COMMUNITY ASSOCIATION, INC.

DATED this 9th day of December, A.D., 2013

OCEAN REEF COMMUNITY ASSOCIATION, INC.

BY: 
Greg Lunsford
Vice President

(SEAL)



STATE OF FLORIDA)
) SS
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 9th day of December, 2013, by Greg Lunsford, Vice President of the OCEAN REEF COMMUNITY ASSOCIATION, INC., Florida Corporation, on behalf of the corporation. He is personally known to me and did not take an oath.

My commission expires:


Notary Public



EXHIBIT A

LEGAL DESCRIPTION PARCEL NO.3

A PARCEL OF LAND BEING A PORTION OF TRACT "D" AS SHOWN ON OCEAN REEF PLAT NO. 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA LYING IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF SECTION 18, T 59 S, R 41 E, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM ABOVE REFERENCED PLAT) 2302.20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF OCEAN REEF PLAT NO.1, AMENDED, AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THENCE RUN S 0°5'00" W - 29,87 FEET TO A POINT; THENCE RUN S 3°55'00" E - 400.00 FEET TO A POINT; THENCE RUN S 63°07'03" E 30.99 FEET TO A POINT" SAID POINT ALSO BEING THE MOST WESTERLY CORNER OF THE "100 BUILDING" AT THE OCEAN REEF CLUB, THENCE RUN ALONG THE SOUTHWESTERLY EXTERIOR FACE OF THE SAID BUILDING WALLS 52°04'55"E - 14.67 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND, THENCE CONTINUE ALONG SAID EXTERIOR FACES 52°04'55" E - 5.38 FEET TO A CORNER OF SAID BUILDING; THENCE CONTINUE ALONG SAID EXTERIOR FACE S 37°55'05"W - 1.40 FEET TO A CORNER OF SAID BUILDING; THENCE CONTINUE ALONG SAID EXTERIOR FACES 52°04'55" E - 6,62 FEET TO A POINT; THENCE LEAVING THE EXTERIOR FACE, RUN S 37°55'05" W - 18,60 FEET TO A POINT; THENCE RUN N 52°04'55" W - 12.00 FEET TO A POINT; THENCE RUN N 37°55'05" E - 20.00 FEET TO THE POINT OF BEGINNING, THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS AS ITS LIMITING LOWER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY ELEVATION + 6.00 FEET N.G.V.D. AND AS ITS LIMITING UPPER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY ELEVATION +19,50 FEET N.G.V.D.

TOGETHER WITH:

LEGAL DESCRIPTION PARCEL NO.5

A PARCEL OF LAND BEING A PORTION OF TRACT "D" AS SHOWN ON OCEAN REEF PLAT NO.1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, LYING IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF SECTION 18, T 59 S, R 41 E, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM THE ABOVE

REFERENCED PLAT) 2302,20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF OCEAN REEF PLAT NO.1 AMENDED, AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE RUN S 0°05'00" W - 29.87 FEET TO A POINT; THENCE RUN S 3°55'00" E - 300.00 FEET TO A POINT; THENCE RUN S 84°53'35" E - 151.76 FEET TO A POINT; THENCE RUNS 15°53'57" E - 17.02 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE RUN S 54°40'17" E - 10.35 FEET TO A POINT; THENCE RUN S 35°19'43" W - 11.00 FEET TO A POINT; THENCE RUN N 54°40'17" W - 10.35 FEET TO A POINT; THENCE RUN N 35°19'43" E - 11.00 FEET TO THE POINT OF BEGINNING, THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAVING AS ITS LIMITING UPPER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE TOP OF THE MANSARD ROOF STRUCTURE HAVING AN ELEVATION OF +42.4 +/- FEET N.G.V.D.

TOGETHER WITH:

LEGAL DESCRIPTION PARCEL NO.6

A PARCEL OF LAND, BEING A PORTION OF TRACT "0" AS SHOWN ON OCEAN REEF PLAT NO.1 ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, LYING IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF SECTION 18, T 59S, R 41 E, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM ABOVE REFERENCED PLAT) 2302,20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF OCEAN REEF PLAT NO.1 AMENDED, AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE RUN S 0°05'00" W 29.87 FEET TO A POINT, THENCE RUN S 3°55'00" E - 300,00 FEET TO A POINT; THENCE RUNS 84°53'35" E - 151.76 FEET TO A POINT; THENCE RUN S 30°32'46" E - 28.74 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE RUN S 52°00'00" E - 2.5 FT. TO A POINT, THENCE RUN S 38°00'00" W - 8.5 FEET TO A POINT; THENCE RUN N 52°00'00" W - 2.5 FEET TO A POINT, THENCE RUN N 38°00'00" E - 8.5 FEET TO THE POINT OF BEGINNING, THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS AS ITS LIMITING UPPER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE UPPER SURFACE OF THE BRIDGE DECK FROM THE ELEVATOR TO THE THIRD FLOOR OF THE "100" BUILDING, SAID DECK HAVING AN ELEVATION OF +27.3 +/- FEET N.G.V.D.

TOGETHER WITH:

PARCEL 9

A PORTION OF THE THIRD FLOOR OF THE "100" BUILDING AT THE OCEAN REEF CLUB, KNOWN AS THE "CHAIRMAN'S SUITE LYING IN TRACT D, IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST AS SHOWN ON OCEAN REEF PLAT NO, 1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS

OF MONROE COUNTY, FLORIDA, THE PERIMETRICAL BOUNDARIES (FOOT PRINT PROJECTED ON THE EARTH'S SURFACE) OF WHICH, ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF THE SECTION 18, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM THE ABOVE REFERENCED PLAT) 2302.20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF "OCEAN REEF PLAT NO, 1 AMENDED", AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY FLORIDA; THENCE RUN S0°05'00" W - 29.87 FEET TO A POINT; THENCE RUN S 3°55'00" E - 300.00 FEET TO A POINT; THENCE RUN S 84°53'35" E - 151.76 FEET TO A POINT; THENCE RUN S 38°09'22" E - 36.82 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PERIMETRICAL BOUNDARY; THENCE RUN ALONG THE EXTERIOR VERTICAL WALL OF THE BUILDING WITH THE FOLLOWING TWO COURSES:

- 1) SOUTHEASTERLY - 25.50 FEET
- 2) SOUTHWESTERLY - 0.10 FEET TO A POINT ON THE EXTERIOR FACE OF TOP OF THE BALCONY RAIL AROUND THE OPEN PATIO; THENCE RUN ALONG SAID EXTERIOR FACE OF THE TOP OF THE BALCONY RAIL WITH THE FOLLOWING FIVE COURSES:
 - 1) SOUTHEASTERLY - 7.95 FEET
 - 2) SOUTHWESTERLY - 16.90 FEET
 - 3) NORTHWESTERLY - 7.90 FEET
 - 4) SOUTHWESTERLY - 15.40 FEET
 - 5) NORTHWESTERLY - 7.80 FEET TO A POINT ON THE EXTERIOR VERTICAL WALL OF THE THIRD FLOOR OF THE "100 BUILDING"; THENCE RUN ALONG SAID WALLS WITH THE FOLLOWING FIVE COURSES:
 - 1) SOUTHWESTERLY - 15.70 FEET
 - 2) NORTHWESTERLY - 8.50 FEET
 - 3) SOUTHWESTERLY - 15.95 FEET
 - 4) NORTHWESTERLY - 15.80 FEET
 - 5) SOUTHWESTERLY - 3.85 FEET TO A POINT ON THE EXTERIOR FACE OF THE TOP OF THE BALCONY RAIL ON THE COVERED PATIO; THENCE RUN ALONG SAID RAIL WITH THE FOLLOWING TWO COURSES:
 - 1) SOUTHWESTERLY - 11.65 FEET
 - 2) NORTHWESTERLY - 8.10 FEET TO A CORNER OF THE EXTERIOR VERTICAL WALL OF THE THIRD FLOOR; THENCE RUN ALONG THE SAID WALL NORTHEASTERLY 0.50 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF THE DIVISION WALL BETWEEN THE PRESIDENTIAL SUITE AND THE CHAIRMAN'S SUITE; THENCE RUN AT RIGHT ANGLES TO THE AFOREMENTIONED COURSE, NORTHWESTERLY WITH THE CENTER LINE OF THE DIVISION WALL 1.0 FEET MORE OR LESS TO AN ANGLE POINT IN THE DIVISION WALL; THENCE CONTINUE ALONG THE SAID CENTER LINE NORTHERLY 22.5 FEET MORE OR LESS TO AN ANGLE POINT IN THE DIVISION WALL; THENCE CONTINUE ALONG THE SAID CENTERLINE NORTHWESTERLY 2.5 FEET MORE OR LESS; THENCE LEAVING SAID CENTER LINE, RUN

NORTHEASTERLY 0.19 FEET MORE OR LESS TO THE EXTERIOR VERTICAL WALL OF THE THIRD FLOOR OF THE "100 BUILDING" THENCE RUN ALONG THE SAID EXTERIOR VERTICAL WALL WITH THE FOLLOWING SIX COURSES:

- 1) NORTHEASTERLY - 15.70 FEET
- 2) SOUTHEASTERLY - 8.00 FEET
- 3) NORTHEASTERLY - 15.75 FEET
- 4) SOUTHEASTERLY - 7.95 FEET
- 5) NORTHEASTERLY - 21.10 FEET

6) NORTHWESTERLY - 1.90 FEET TO A POINT ON THE S.E. LINE OF PARCEL #5; THENCE RUN ALONG THE SOUTHEAST LINE OF PARCEL #4 N 35°19'43" E - 7.50 FEET TO A POINT ON THE EXTERIOR VERTICAL WALL OF THE THIRD FLOOR OF THE "100 BUILDING"; THENCE RUN ALONG THE SAID EXTERIOR FACE WITH THE FOLLOWING TWO COURSES:

- 1) SOUTHEASTERLY - 11.20 FEET
- 2) NORTHEASTERLY - 3.05 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PERIMETRICAL BOUNDARIES HAS AS ITS LIMITING LOWER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE TOP OF THE SHEATHING RESTING ON TOP OF THE TRUSSES ON THE SECOND FLOOR (FORMER ROOF MEMBERS) SAID TOP OF SHEATHING HAVING AN ELEVATION OF +27.3 FEET +/- WHEN COMPARED WITH THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND AS ITS LIMITING UPPER BOUNDARY THE HORIZONTAL PLANE CREATED BY THE BOTTOM OF THE TRUSS MEMBERS SUPPORTING THE ROOF OVER THE THIRD FLOOR, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +36.4 FEET MORE OR LESS WHEN COMPARED WITH THE NATIONAL GEODETIC VERTICAL DATUM OF 1929, AND THAT PORTION OF THE ROOF COVERING THE SAID PERIMETRICAL BOUNDARIES EXTENDING OUTWARD 2.0 FEET AT RIGHT ANGLES TO THE EXTERIOR VERTICAL WALLS ABOVE DESCRIBED TO INCLUDE THE MANSARD SECTION AND HAVING FOR ITS LIMITING LOWER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY BOTTOM OF THE TRUSS MEMBERS OVER THE THIRD FLOOR, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +36.4 FEET MORE OR LESS AND A LIMITING UPPER VERTICAL BOUNDARY THE HORIZONTAL PLANE CREATED BY THE TOP EDGE OF THE METAL GRAVEL STOP, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +39.3 FEET MORE OR LESS WHEN COMPARED WITH THE NATIONAL GEODETIC VERTICAL DATUM. ALSO INCLUDED ARE ALL STRUCTURAL MEMBERS SUPPORTING THE THIRD FLOOR AND ATTACHED TO THE CONCRETE TIE BEAMS (BELOW THE BOTTOM OF THE SHEATHING AT ELEVATION +27.3+/- N.G.V.D. AT AN ELEVATION OF APPROXIMATELY +24.6 +/- N.G.V.D. AS WELL AS ALL CONDUITS, TRAYS, H.V.A.C. DUCTS, ELECTRICAL CONDUITS, WATER LINES, SOIL PIPES AND ANY OTHER APPURTENANCES SERVICING THE THIRD FLOOR OF SAID "100 BUILDING" AND LYING BETWEEN ELEVATION 24.6 +/- AND ELEVATION +27.3 FEET N.G.V.D.

TOGETHER WITH:

PARCEL 11

A PORTION OF THE "100" BUILDING AT THE OCEAN REEF CLUB BEING THE THIRD FLOOR LANDING AND THE STAIRS TO THE SECOND FLOOR LANDING AT THE NORTHEASTERLY

END OF THE "100" BUILDING AT THE OCEAN REEF CLUB, KNOWN AS THE "CHAIRMAN'S SUITE" LYING IN TRACT D, IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST AS SHOWN ON OCEAN REEF PLAT NO.1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THE PERIMETRICAL BOUNDARIES (FOOT PRINT PROJECTED ON THE EARTH'S SURFACE) OF WHICH, ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF THE SECTION 18, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM THE ABOVE REFERENCED PLAT) 2302.20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF "OCEAN REEF PLAT NO.1 AMENDED", AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLA; THENCE RUN S 0°05'00" W - 29.87 FEET TO A POINT; THENCE RUN S 3°55'00"E - 300.00 FEET TO A POINT; THENCE RUN S 84°53'35" E - 130.79 FEET TO A POINT; THENCE RUN S 8°05'37" E - 43.27 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PERIMETRICAL BOUNDARY: SAID POINT OF BEGINNING ALSO BEING THE INTERSECTION OF THE OUTSIDE EDGE OF THE HAND RAIL OF THE THIRD FLOOR LANDING; THENCE RUN ALONG THE HAND RAIL NORTHEASTERLY 4.8 FEET TO THE EDGE OF THE STAIRS; THENCE CONTINUE ALONG THE HAND RAIL OF THE STAIRS, NORTHEASTERLY 15.8 FEET AS MEASURED HORIZONTALLY TO A CORNER OF THE MIDFLOOR LANDING; THENCE RUN ALONG THE HAND RAIL OF THE MIDFLOOR LANDING, SOUTHEASTERLY 7.83 FEET TO A CORNER OF THE MIDFLOOR LANDING; THENCE RUN ALONG THE HANDRAIL OF THE MIDFLOOR LANDING SOUTHWESTERLY 15.9 FEET TO A POINT OF INTERSECTION WITH THE THIRD FLOOR LANDING THENCE RUN ALONG THE HAND RAIL OF THE THIRD FLOOR LANDING SOUTHEASTERLY 5.4 FEET TO A POINT OF INTERSECTION WITH THE EXTERIOR VERTICAL WALL OF PARCEL NO.9; THENCE RUN ALONG THE EXTERIOR VERTICAL WALLS OF PARCEL NO.9 WITH THE FOLLOWING THREE COURSES:

- 1) SOUTHWESTERLY - 3.9 FEET
- 2) NORTHWESTERLY - 7.95 FEET
- 3) SOUTHWESTERLY - 0.89 FEET

A POINT OF INTERSECTION WITH THE OUTSIDE EDGE OF THE HAND RAIL OF THE THIRD FLOOR LANDING; THENCE RUN ALONG THE OUTSIDE EDGE OF THE HAND RAIL NORTHWESTERLY 5.4 FT. TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS AS ITS LIMITING LOWER VERTICAL BOUNDARY FOR THE STAIRS AND MIDFLOOR LANDING, THE HORIZONTAL PLANE CREATED BY THE TOP SURFACE OF THE SECOND FLOOR LANDING SAID SURFACE BEING AT AN ELEVATION OF + 16.1+/- N.G.V.D. AND THE LOWER LIMITING VERTICAL BOUNDARY OF THE THIRD FLOOR LANDING WITHIN THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY BEING THE HORIZONTAL PLANE CREATED BY THE UNDERSIDE OF THE DECKING OF THE THIRD FLOOR LANDING, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +27.1+E N.G.V.D. THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS, AS ITS UPPER LIMITING VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE TOP OF THE HAND RAIL BORDERING THE THIRD FLOOR LANDING HAVING AN ELEVATION OF +30.3+/- N.G.V.D. ALSO INCLUDED IN THE ABOVE, ARE ALL THE SUPPORTING MEMBERS INCLUDING BUT NOT LIMITED TO COLUMNS, FOOTINGS, PILES, BEAMS AND ANGLES TO

THE BUILDING OR RESTING ON PILES BELOW GROUND SURFACE WHICH ARE BELOW THE LOWER LIMITING VERTICAL BOUNDARY.

TOGETHER WITH AN UNDIVIDED ONE-HALF (1/2) INTEREST IN:

PARCEL 12

A PORTION OF THE "100" BUILDING AT THE OCEANREEF CLUB BEING THE THIRD FLOOR LANDING AND THE STAIRS TO THE SECOND FLOOR LANDING AT THE MIDDLE OF THE BUILDING SERVING BOTH THE PRESIDENTIAL SUITE AND THE EXECUTIVE SUITE ON THE THIRD FLOOR OF THE SAID "100" BUILDING LYING IN TRACT "D" IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST AS SHOWN ON OCEAN REEF PLAT NO. 1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4 PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THE PERIMETRICAL BOUNDARIES (FOOT PRINT PROJECTED ON THE EARTH'S SURFACE) OF WHICH, ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE N,W. CORNER OF THE SECTION 18, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM THE ABOVE REFERENCED PLAT) 2302.20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF "OCEAN REEF PLAT NO.1 AMENDED", AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY FLORIDA; THENCE RUN S 0°05'00" W - 29.87 FEET TO A POINT; THENCE RUN S 3°55'00" E 300.00 FEET TO A POINT; THENCE RUN S 84°53'35" E - 41.42 FEET TO A POINT; THENCE RUN S 33°04'57" E - 86.65 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PERIMETRICAL BOUNDARY; SAID POINT OF BEGINNING BEING A POINT OF INTERSECTION OF THE OUTSIDE EDGE OF THE HAND RAIL OF THE THIRD FLOOR LANDING AND THE EXTERIOR VERTICAL WALL OF THE BRIDGE FROM THE ELEVATOR SHAFT TO THE PRESIDENTIAL SUITE; (PARCEL NO.8) THENCE RUN ALONG THE HAND RAIL NORTHEASTERLY 4.8 FEET TO THE EDGE OF THE STAIRS THENCE CONTINUE ALONG THE HAND RAIL OF THE STAIRS, NORTHEASTERLY 15.6 FEET AS MEASURED HORIZONTALLY TO A CORNER OF THE MIDFLOOR LANDING; THENCE RUN ALONG THE HAND RAIL OF THE MIDFLOOR LANDING, SOUTHEASTERLY 7.8 FEET TO A CORNER OF THE MIDFLOOR LANDING AND INTERSECTION WITH THE THIRD FLOOR LANDING THENCE RUN ALONG THE HAND RAIL OF THE THIRD FLOOR LANDING WITH THE FOLLOWING THREE COURSES:

1) SOUTHEASTERLY - 8.0 FEET

2) NORTHEASTERLY- 1.9 FEET

3) SOUTHEASTERLY - 5.55 FEET TO A POINT OF INTERSECTION WITH THE EXTERIOR VERTICAL WALL OF THE CHAIRMAN'S SUITE (PARCEL NO.9) THENCE RUN ALONG THE EXTERIOR VERTICAL WALLS OF BOTH PARCELS 9 AND 8 WITH THE FOLLOWING SIX COURSES:

1) SOUTHWESTERLY - 5.7 FEET

2) NORTHWESTERLY - 7.95 FEET

3) SOUTHWESTERLY - 15.70 FEET

4) NORTHWESTERLY - 7.50 FEET

5) SOUTHWESTERLY- 1.10 FEET

Doc# 1962635
Bk# 2554 P# 1334

6) NORTHWESTERLY- 6.0 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS AS ITS LIMITING LOWER VERTICAL BOUNDARY FOR THE STAIRS AND MIDFLOOR LANDING, THE HORIZONTAL PLANE CREATED BY THE TOP SURFACE OF THE SECOND FLOOR LANDING SAID SURFACE BEING AT AN ELEVATION OF +16.1+/- N.G.V.D, AND THE LOWER LIMITING VERTICAL BOUNDARY OF THE THIRD FLOOR LANDING WITHIN THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY BEING THE HORIZONTAL PLANE CREATED BY THE UNDERSIDE OF THE DECKING OF THE THIRD FLOOR LANDING, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +27.1+/- N.G.V.D. THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS, AS ITS UPPER LIMITING VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE TOP OF THE HAND RAIL BORDERING THE THIRD FLOOR LANDING HAVING AN ELEVATION OF +30.3+/- N.G.V.D. ALSO INCLUDED IN THE ABOVE, ARE ALL THE SUPPORTING MEMBERS INCLUDING BUT NOT LIMITED TO COLUMNS FOOTINGS PILES, BEAMS AND ANGLES ATTACHED TO THE BUILDING OR RESTING ON PILES BELOW GROUND SURFACE WHICH ARE BELOW THE LOWER LIMITING VERTICAL BOUNDARY.

MONROE COUNTY
OFFICIAL RECORDS

86.50

Doc# 1975172 04/04/2014 9:49AM
Filed & Recorded in Official Records of
MONROE COUNTY AMY HEAVILIN

Prepared by and return to:
Sandra T. Lynn, Esq.
Attorney at Law
Turner & Lynn, P.A.
7 Barracuda Lane
Key Largo, FL 33037
305-367-0911
File Number: 1442-14r
Will Call No.:

04/04/2014 9:49AM
DEED DOC STAMP CL: Krys \$35,000.00

Doc# 1975172
Bk# 2678 P# 142

Parcel Identification No. 00569500-000095

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Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 31st day of March, 2014 between Royal Suite, LLC, a Florida Limited Liability Company whose post office address is 391 E. Coconut Palm Road, Boca Raton, FL 33432 of the County of Palm Beach, State of Florida, grantor*, and Lawrence J. Lukis, a married man whose post office address is 125 Westwood Lane, Wayzata, MN 55391 of the County of Hennepin, State of Minnesota, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, to-wit:

See Attached legal

Subject to taxes for 2014 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

S. Macaluso
Witness Name: Stacey Macaluso

Lisa Netherland
Witness Name: Lisa Netherland

Royal Suite, LLC, a Florida Limited Liability Company

By: Karen Elizabeth Terry 2012 Trust, under agreement dated November 9, 2012, as Manager

Karen E. Terry, Trustee
Karen E. Terry, as Trustee

State of Florida
County of Palm Beach

The foregoing instrument was acknowledged before me this 31st day of March, 2014 by Karen E. Terry, Trustee of Karen Elizabeth Terry 2012 Trust, under agreement dated November 8, 2012, on behalf of the company for Royal Suite, LLC, a Florida Limited Liability Company. She is personally known to me or has produced a driver's license as identification.

[Notary Seal]



Angela J. Eckman
Notary Public

Printed Name: Angela J. Eckman

My Commission Expires: 7-19-16

EXHIBIT A

Doc# 1975172
Bk# 2578 Pg# 144

Parcel No. 1:
Revised 6/24/98

A parcel of land, being the "Footprint" of the 1st floor of the "100 Building" at the Ocean Reef Club being a portion of Tract "D" as shown on Ocean Reef Plat No. 1 according to the plat thereof as recorded in Plat Book 4, Page 90 of the Public Records of Monroe County Florida and lying in the North ¼ of Section 18, Township 59 South, Range 41 East, and being more particularly described as follows:

Commence at the N.W. corner of Section 18, Township 59 South, Range 41 East, thence run along the north line of said section 18, East (bearings derived from above referenced plat) 2302.20 feet to a point on the West line of Tract "H" all as shown on the plat of Ocean Reef Plat No. 1 Amended as recorded in Plat Book 5, Page 72 of the Public Records of Monroe County Florida thence run S0°05'00"W 29.87 feet to a point; thence run S3°55'00"E - 400.00 feet to a point; thence run S 63°07'03" E - 30.99 feet to the POINT OF BEGINNING of the following described parcel of land, said point of beginning also being the Westerly-most corner of the building hereinafter described, thence run along the exterior vertical wall of said building with the following 44 courses:

- | | |
|--------------------------------|--------------------------------|
| 1) Northeasterly - 16.50 feet | 23) Southwesterly - 16.65 feet |
| 2) Southeasterly - 8.04 feet | 24) Northwesterly - 8.00 feet |
| 3) Northeasterly - 15.66 feet | 25) Southwesterly - 15.64 feet |
| 4) Southeasterly - 7.78 feet | 26) Northwesterly - 8.02 feet |
| 5) Northeasterly - 15.62 feet | 27) Southwesterly - 15.60 feet |
| 6) Southeasterly - 8.00 feet | 28) Northwesterly - 8.07 feet |
| 7) Northeasterly - 15.57 feet | 29) Southwesterly - 15.80 feet |
| 8) Southeasterly - 8.00 feet | 30) Northwesterly - 8.00 feet |
| 9) Northeasterly - 15.61 feet | 31) Southwesterly 15.44 feet |
| 10) Southeasterly - 8.00 feet | 32) Northwesterly - 8.10 feet |
| 11) Northeasterly - 15.61 feet | 33) Southwesterly - 15.55 feet |
| 12) Southeasterly - 8.01 feet | 34) Northwesterly - 7.96 feet |
| 13) Northeasterly - 15.65 feet | 35) Southwesterly 15.75 feet |
| 14) Southeasterly - 7.98 feet | 36) Northwesterly - 7.98 feet |
| 15) Northeasterly - 15.65 feet | 37) Southwesterly - 15.65 feet |
| 16) Southeasterly - 8.04 feet | 38) Northwesterly - 8.14 feet |
| 17) Northeasterly - 15.84 feet | 39) Southwesterly - 15.65 feet |
| 18) Southeasterly - 20.05 feet | 40) Northwesterly - 10.70 feet |
| 19) Northeasterly - 1.34 feet | 41) Southwesterly - 1.62 feet |
| 20) Southeasterly - 8.00 feet | 42) Northwesterly - 7.95 feet |
| 21) Southwesterly - 1.37 feet | 43) Northwesterly - 1.62 feet |
| 22) Southwesterly 10.64 feet | 44) Northwesterly - 20.04 feet |

to the Point of Beginning and containing 0.13 acres more or less. The above described perimetrical boundary has, as its limiting upper vertical boundary, the horizontal plane created by the top of the sheathing resting on top of the trusses on the second floor, (former roof members), said top of sheathing having an elevation of +27.3 feet \pm when compared with the National Geodetic Vertical Datum of 1929. Excluding herefrom all structural members supporting the third floor of said "100 Building" And attached to the concrete tie beams below the bottom of the above referenced trusses at an approximate elevation of +24.6 feet \pm . Also excluded are all conduits, drains, H.V.A.C. Ducts, Electrical conduits, waterlines, soil pipes and any other appurtenance servicing the third floor of said "100 Building" and lying between elevation +24.6 \pm feet and elevation +27.3 \pm feet N.G.V.D.

Parcel No. 4:
Revised 6/24/98

A parcel of land being a portion of Tract "D" as shown on Ocean Reef Plat No. 1 according to the plat thereof as recorded in Plat Book 4, Page 90 of the Public Records of Monroe County, Florida, lying in the North $\frac{1}{2}$ of Section 18, Township 59 South, Range 41 East, and being more particularly described as follows:

Commence at the N.W. corner of Section 18, Township 59 South, Range 41 East, thence run along the north line of said Section 18, East (bearings derived from above referenced plat) 2302.20 feet to a point on the west line of Tract "H" all shown on the plat of Ocean Reef Plat No.1 Amended, as recorded in Plat Book 5, Page 72 of the Public Records of Monroe County, Florida; thence run S 0° 05'00" West - 29.87 feet to a point; thence run S 3°55'00" East -400.00 feet to point; thence run N 67° 06' 22" East - 67.97 feet to the POINT OF BEGINNING of the following described parcel of land; thence run N37° 34'32" East - 11.05 feet to a point; thence run S52°25'28" East - 10.40 feet to a point; thence run S 37° 34' 32" West - 11.05 feet to a point; thence run N 52° 25' 28" West - 10.40 feet to the Point of Beginning, containing 114.92 feet more or less, the above described perimetrical boundary having as its limiting upper vertical boundary the horizontal plane created by the top of the mansard roof structure having an elevation of +42.4 - feet N.G.V.D.

Parcel No. 7

A parcel of land being a portion of Tract "D" as shown on Ocean Reef Plat No. 1 according to the plat thereof as recorded in Plat Book 4, Page 90 of the Public Records of Monroe County, Florida, lying in the N $\frac{1}{2}$ of Section 18, Township 59 South, Range 41 East, and being more particularly described as follows:

Commence at the N.W. corner of Section 18, Township 59 South, Range 41 East, thence run along the north line of said Section 18, East (bearings derived from above referenced plat) 2302.20 feet to a point on the west line of Tract "H" all as shown on the plat of Ocean Reef Plat No.1 Amended as record in Plat Book 5, Page 72 of the Public Records of Monroe County, Florida; thence run S 0° 05'00" West - 29.87 feet to a point; thence run S3° 55'00" East -400.00 feet to a point; thence run N 56°05' 00" E - 32.00 feet to a point; thence run N88°47' 23" East - 47.40 feet to the POINT OF BEGINNING of the following described parcel of land; thence run

N 37°00'00" E-11.00 feet; thence run S 52° 00' 00" E - 2.5 feet; thence run S 37° 00' 00" W - 11.00 feet; thence run N 52° 00'00" W - 2.5 feet to the Point of Beginning 27.5 0 square feet more or less, the above described perimetrical boundary has as its limiting upper vertical boundary the horizontal plane created by the upper surface of the bridge deck from the elevator to the third floor of the "100 Building" said deck having an elevation of +27.3 ± feet N.G.V.D

Parcel No. 8
Revised 6/25/98

A Portion of the third floor of the "100 Building" at the Ocean Reef Club, known as the "Presidential Suite" lying in tract "D", in the North 1/2 of Section 18, Township 59 South, Range 41 East as shown on Ocean Reef Plat No. 1 according to the plat thereof as recorded in Plat Book 4, Page 90 of the Public Records of Monroe County, Florida, the perimetrical boundaries (foot print projected on the earth's surface) of which, are more particularly described as follows:

Commence at the N.W. corner of the section 18, thence run along the North line of said Section 18, East (bearings derived from the above referenced plat) 2302.20 feet to a point, on the West line of tract "II" all as shown on the plat of "Ocean Reef Plat No. 1 Amended", as recorded in Plat Book 5, Page 72 of the Public Records of Monroe County, Florida; thence run S 0°05' 00" W - 29.87 feet to a point; thence run S 3° 55' 00" E - 400.00 feet to a point; thence run S 62° 47' 10" E - 30.55 feet to the POINT OF BEGINNING of the following described perimetrical boundary; said point of beginning being the most westerly corner of the third floor of the said "100 Building"; thence run along the exterior vertical wall of the building with the following two courses:

- 1) Southeasterly - 18.65 feet
- 2) Northeasterly - 0.37 feet to a point on the exterior face of top of the Balcony Rail around the open patio; thence run along said exterior face of the top of the Balcony Rail with the following two courses;
 - 1) Southeasterly - 17.00 feet
 - 2) Northeasterly - 15.35 feet to a point on the exterior vertical wall of the third floor of the "100 Building"; thence run along said walls with the following four courses;
 - 1) Southeasterly - 8.85 feet
 - 2) Northeasterly - 15.75 feet
 - 3) Southeasterly - 8.70 feet
 - 4) Northeasterly - 15.80 feet to a point on the exterior Face of the third floor of the "100 Building"; thence run along said exterior face with the following two courses;
 - 1) Southeasterly - 7.92 feet
 - 2) Northeasterly - 15.55 feet to a corner of the exterior vertical wall of the third floor; thence continue northeasterly 0.50 feet to a point; of intersection with the centerline of the division wall between the Presidential Suite and the Chairmans Suite; thence run at right angles to the aforementioned course, northwesterly with the C/L of the division wall 1.0 feet more or less to an angle point in the division wall; thence continue along the said C/L northerly 22.5 feet more or less to an angle point in the division wall; thence Continue along the said C/L northwesterly - 2.5 feet more or less; thence leaving said C/L, run northeasterly 0.19 feet more or less to the

exterior vertical wall of the third floor of the "100 Building"; thence run along the said exterior vertical wall with the following nine courses:

- 1) Northwesterly - 8.08 feet
- 2) Southwesterly - 13.50 feet
- 3) Westerly - 0.67 feet
- 4) Northerly - 0.33 feet
- 5) Westerly - 3.00 feet
- 6) Southwesterly - 0.33 feet
- 7) Northwesterly - 4.25 feet
- 8) Southwesterly - 1.10 foot
- 9) Northwesterly - 13.00 feet to a point on the SE line of Parcel No. 4 thence run along the Southeast line of Parcel No. 4 S 37° 34'32" W 7.15 feet to a point on the exterior vertical wall, of the third floor of the "100 Building"; thence run along the said exterior face with the following six courses:

- 1)Southeasterly -4.20
- 2)Southwesterly -23.00
- 3)Northwesterly -13.50
- 4) Southwesterly -15.75
- 5)Northwesterly -4.25
- 6)Southwesterly-17.10 feet to the POINT OF BEGINNING and containing 27.87 square feet more or less.

The above described perimetrial boundary has as its limiting lower vertical boundary, the horizontal plane created by the top of the sheathing resting on top of the trusses on the second floor (former roof members) said top of sheathing having an elevation of +27.3 feet - when compared with the National Geodetic Vertical Datum of 1929 and as its limiting upper boundary the horizontal plane created by the bottom of the truss members supporting the roof over the third floor, said horizontal plane having an elevation of +36.4 feet more or less when compared with the National Geodetic Vertical Datum of 1929. Together with that portion of the roof covering the said perimetrial boundary extending outward 2.0 feet at right angles to the exterior vertical walls above described to include the Mansard Section and having for its limiting lower vertical boundary, the horizontal plane created by bottom of the truss members over the third floor, said horizontal plane having an elevation of +36.4 feet more or less, when compared with the National Geodetic Vertical Datum . Also included are all structural members supporting the third floor and attached to the concrete tie beams (below the bottom of the sheathing at Elevation +27.3- N.G.V.D.) at an elevation of approximately +24.6- N.G.V.D. as well as all conduits, drains, H.V.A.C. Ducts, electrical conduits, water lines, soil pipes and any other appurtenances servicing the third floor of said "100 Building" and lying between elevation 24.6- and elevation +27.3 feet N.G.V.D.

[Continued on the following page.]

Parcel No. 10
Revised 6/24/98

A portion of the "100 Building" at the Ocean Reef Club being the third floor landing and the stairs to the second floor landing at the Westerly end of the building and being more particularly described as follows:

Commence at the Point of Beginning of Parcel No. 8 (known as the Presidential Suite) thence run along the exterior vertical wall northeasterly 16.10 feet to the Point of Beginning of the following described portion of the building; thence run along the hand rail of the 3rd floor landing northwesterly 3.7 feet to a corner thence run, along the hand rail northeasterly 4.9 feet to the edge of the stairs; thence continue along the hand rail of the stairs, northeasterly 15.2 feet as measured horizontally to a corner of the midfloor landing; thence run along the hand rail of the midfloor landing, southeasterly 7.85 feet to a corner of the midfloor landing; thence run along the handrail of the midfloor landing southwesterly 3.2 feet to a point of intersection with the exterior vertical wall of Parcel No. 8; thence run along the exterior vertical walls of Parcel No. 8 with the following three courses:

- 1) Southwesterly - 15.75 feet
- 2) Northwesterly - 4.25 feet
- 3) Southwesterly - 1.00 feet to the Point of Beginning.

The above described perimetrical boundary has as its limiting lower vertical boundary for the stairs and midfloor landing, the horizontal plane created by the top surface of the second floor landing said surface being at an elevation of +16.1- N.G.V.D. and the lower limiting vertical boundary of the third floor landing within the above described perimetrical boundary being the horizontal plane created by the underside of the decking of the third floor landing, said horizontal plane having an elevation of 127.1 ± N.G.V.D. The above described perimetrical boundary has, as its upper limiting vertical boundary, the horizontal plane created by the top of the handrail bordering the third floor landing having an elevation of +30.31 feet N.G.V.D. Also included in the above, are all the supporting members including but not limited to columns, footings, piles, beams and angles attached to the building or resting on piles below ground surface which are below the lower limiting vertical boundary.

PARCEL NO. 12
Revised 6/24/98

A portion of the "100 Building" at the Ocean Reef Club being the third floor landing and the stairs to the second floor landing at the middle of the building serving both the Presidential Suite and the Executive Suite on the third floor of the said "100 Building" lying in Tract "D" in the North 1/2 of Section 18., Township 59 South, Range 41 East as shown on Ocean Reef Plat No.1 according to the plat thereof as recorded in Plat Book 4, Page 90 of the Public Records of Monroe County, Florida, the perimetrical boundaries (foot print projected on the earth's surface) of which, are more particularly described as follows:

Commence at the N.W. Corner of the section 18, thence run along the North line of said Section 18, East (hearings derived from the above referenced plat) 2302.20 feet to a point on the west

line of Tract "H" all as shown on the plat "Ocean Reef - Plat No. 1 Amended" as recorded in Plat Book 5, Page 72 of the public records of Monroe County Florida; thence run S 0°05'00" W - 29.87 feet to a point; thence run S 3°55'00"E-300.00 feet to a point; thence run S 84°53'35" E - 41.42 feet to a point; thence run S 33° 04' 57" E - 86.65 feet to the Point of Beginning of the following described perimetrical boundary; said point of beginning being a point of intersection of the outside edge of the hand rail of the third floor landing and the exterior vertical wall of the bridge from the elevator shaft to the presidential Suite; (Parcel No. 8) thence run along the hand rail northeasterly 4.8 feet to the edge of the stairs; thence continue along the hand rail of the stairs, northeasterly 15.6 feet as measured horizontally to a corner of the midfloor landing; thence run along the hand rail of the midfloor landing, southeasterly 7.8 feet to a corner of the midfloor landing and intersection with the third floor landing thence run along the hand rail of the third floor landing with the following three courses:

- 1) Southeasterly - 8.0
- 2) Northeasterly - 1.9
- 3) Southeasterly - 5.55 feet to a point of intersection with the exterior vertical wall of the Chairmans Suite (Parcel No. 9) thence run along the exterior vertical walls of both parcels 9 and 8 with the following ten courses:

- 1) Southwesterly - 5.70 feet
- 2) Northwesterly - 8.08 feet
- 3) Southwesterly - 13.50 feet
- 4) Westerly - 0.67 feet
- 5) Northerly - 0.33 feet
- 6) Westerly - 3.00 feet
- 7) Southwesterly - 0.33 feet
- 8) Northwesterly - 4.25 feet
- 9) Southwesterly - 1.10 feet
- 10) Northwesterly - 6.00 feet to the Point of Beginning.

The above described perimetrical boundary has as its limiting lower vertical boundary for the stairs and midfloor landing, the horizontal plane created by the top surface of the second floor landing said surface being at an elevation of +16.1± N.G.V.D. and the lower limiting vertical boundary of the third floor landing within the above described perimetrical boundary being the horizontal plane created by the underside of the decking of the third floor landing, said horizontal plane having an elevation of +2.71±, N.G.V.D. The above described perimetrical boundary has, as its upper limiting vertical boundary, the horizontal plane created by the top of the hand rail bordering the third floor landing having an elevation of +30.3± N.G.V.D. Also included in the above, are all the supporting members including but not limited to columns, foolings, piles, beams and angles attached to the building or resting on piles below ground surface which are below the lower limiting vertical boundary.

PARCEL NO. 2
Revised 6/24/98

A parcel of land, being a portion of Tract "D" as shown on Ocean Reef Plat No. 1 according to the plat thereof as recorded in Plat Book 4, Page 90 of the Public Records of Monroe County,

Florida, lying in the North 1/2 of Section 18, Township 59 south, Range 41 East, and being more particularly described as follows:

Commence at the N.W. corner of Section 18, Township 59 South, Range 41 East, thence run along the North line of said Section 18, East (bearings derived from above referenced plat) 2302.20 feet to a point on the West line of Tract "H", all as shown on the plat of Ocean Reef Plat No. 1 amended as recorded in Plat Book 5, Page 72 of the Public Records of Monroe County Florida; thence run S 0°05'00" W - 29.87 feet to a point, thence run S 3° 55' 00" E - 400.00 feet to a point; thence run S 63° 07' 03" E - 30.99 feet to a point, said point also being the most westerly corner of the " 100 Building" at the Ocean Reef Club; thence run along the Southwesterly exterior face of the said building wall S 52°04' 55" E - 3.88 feet to the POINT OF BEGINNING of the following described parcel of land, thence continue along said exterior face S 52° 04' 55" E - 10.97 feet to a point, thence run S 37°55' 05" W - 18.86 feet; thence run N 52° 04' 55" W - 10.97 feet to a point; thence run N 37° 55'05" E; - 18.86 feet to the Point of Beginning containing 207.00 square feet more or less, the above described perimetrical boundary has as its limiting lower vertical boundary the horizontal plane created by elevation + 6.00 feet N.G.V.D. and as its limiting upper vertical boundary the horizontal plane created by elevation + 19.50 feet N.G.V.D.

PARCEL NO. 14

A parcel of land, being a portion of Tract "D" as shown on Ocean Reef Plat No.1 according to the Plat thereof, as recorded in Plat Book 4, Page 90 of the Public Records of Monroe County Florida, lying in the North 1/2 of Section 18, Township 59 South, Range 41 East, and being more particularly described as follows:

Commence at the N.W. corner of Section 18, Township 59 S, Range 41 East, thence run along the north line of said Section 18, East (bearings derived from above referenced plat) 2302.20 feet to a point on the west line of Tract "H" all as shown on the Plat of Ocean Reef Flat No. 1 Amended, as recorded in Plat Book 5, Page 72 of the Public Records of Monroe County, Florida; thence run S 0°05'00" W - 29.87 feet to a point, thence run S 3°55' 00" 311.60 feet to a point; thence run N 82 ° 40' 47" E - 27.35 feet to a point; thence run S 6° 00' 54" E - 9.20 feet to the POINT OF BEGINNING of the following described parcel of land; thence run N 82° 40' 47" E - 18.00 feet to a point; thence run S 6° 00' 54" E 9.90 feet to a point; thence run S 82 ° 40'47" W - 18.00 feet to a point; thence run N 6° 00' 54" W - 9.90 feet to the Point of Beginning containing 178.2 square feet, more or less.

AFFIDAVIT

RE: 35 Ocean Reef, The Royal Suite

SELLER (S): Royal Suite, LLC

Doc# 1975172
Bk# 2678 Pg# 151

PURCHASER (S): Lawrence Lukis

In connection with the captioned transaction, the above-named owner has paid their 2014 annual ORCA assessment in the amount of \$3,935.00 there are no outstanding assessments due on the property to the OCEAN REEF COMMUNITY ASSOCIATION, INC.

Estoppel processing fee of \$150.00 has not been paid. This amount is due at closing

DATED this 21st day of MARCH, A.D., 2014

OCEAN REEF COMMUNITY ASSOCIATION, INC.

BY: [Signature]
Greg Lunsford
Vice President

(SEAL)

STATE OF FLORIDA)
)SS
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 20th day of MARCH, 2014 by Greg Lunsford, as Vice President of OCEAN REEF COMMUNITY ASSOCIATION, INC., on behalf of OCEAN REEF COMMUNITY ASSOCIATION, INC. He is personally known to me, and did not take an oath.

My Commission Expires:

[Signature]
Notary Public



MONROE COUNTY
OFFICIAL RECORDS

FILE #1224353
BK#1681 PG#1741

This Instrument Prepared by
and Return to:
Erica L. English, Esq.
Katz, Barron, Squitiero & Faust, P.A.
2699 S. Bayshore Drive, 7th Floor
Miami, Florida 33133

RCD Mar 14 2001 09:19AM
DANNY L KOLHAGE, CLERK

DEED DOC STAMPS 0.70
03/14/2001 DEP CLK

SPECIAL WARRANTY DEED

The property conveyed hereby is being transferred for nominal consideration by Grantor to Grantee. The Grantor is the sole beneficial owner of the Grantee, and no charge of beneficial ownership has occurred by virtue of this conveyance.

THIS SPECIAL WARRANTY DEED is made, executed and delivered this 26th day February, 2001 by and between OCEAN REEF CLUB, INC., a Florida corporation not-for-profit ("Grantor"), whose address is 31 Ocean Reef Drive, Suite C-300, Key Largo, Florida 33037, Attn: President, and O.R. BUSINESS CENTER, LLC, a Florida limited liability company ("Grantee"), whose address is 31 Ocean Reef Drive, Suite C-300, Key Largo, Florida 33037, Attn: Manager,

(The terms "Grantor" and "Grantee" shall be deemed to include each party's respective heirs, successors, assigns and personal representatives).

WITNESSETH:

Grantor, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars, and other good and valuable consideration to it in hand paid by the Grantee, the receipt of which is hereby acknowledged, hereby grants, bargains, sells and conveys to the Grantee, the following described real property (hereinafter, the "Property") lying and being in the Monroe County, Florida to-wit:

See Exhibit "A" attached hereto
and incorporated herein by this reference.

To have and to hold the same, together with all hereditaments and appurtenances relating thereto, unto Grantee and unto Grantee's successors and assigns.

SUBJECT TO the matters set forth in Exhibit "B" attached hereto and incorporated herein by this reference without serving to reimpose the same.

Grantor covenants that the Property is free from all encumbrances made by Grantor, except as set forth in Exhibit "B", and Grantor does hereby bind Grantor and Grantor's heirs, successors, and assigns to warrant and forever defend the title to the Property to the Grantee and Grantee's heirs, successors, and assigns, against every person lawfully claiming the Property, or any part thereof, by, through, or under the Grantor, but not otherwise.

IN WITNESS WHEREOF, the Grantor has caused this Special Warranty Deed to be executed the day and year first above written.

Witnesses:

OCEAN REEF CLUB, INC., Florida corporation
not-for-profit.

Judith A. Spitzer
Print Name: JUDITH A. SPITZER
Barbara G. Roush
Print Name: BARBARA G. ROUSH

By: Paul M.G. Astbury
Paul M.G. Astbury, President

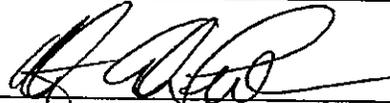
(CORPORATE SEAL)

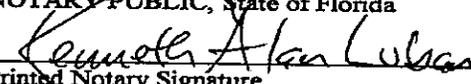


FILE #1 2 2 4 3 5 3
BK#1 6 8 1 PG#1 7 4 2

STATE OF FLORIDA)
) SS:
COUNTY OF MONROE)

This instrument was acknowledged before me this 26th day of February, 2001 by Paul M. G. Astbury, as President of Ocean Reef Club, Inc., a Florida corporation not-for-profit, on behalf of the corporation, who is personally known to me or who furnished _____ as identification.



NOTARY PUBLIC, State of Florida

Printed Notary Signature
Commission No.: CC 795504

My Commission Expires: 4/4/03



EXHIBIT "A"

A parcel of land lying in the SW 1/4 of Section 7, Township 59 South, Range 41 East, North Key Largo, Monroe County, Florida, being more particularly described as follows:

Commence at the SW corner of said Section 7, thence South 89° 47' 34" East, 245.40 feet; thence North 84° 24' 16" East, 130.31 feet; thence North 54° 56' 29" East, 826.83 feet; thence North 47° 47' 31" East, 230.13 feet; thence North 43° 36' 59" East, 711.96 feet; thence North 35° 32' 01" West, 25.78 feet to the POINT OF BEGINNING of the following described parcel of land; thence continue North 35° 32' 01" West, 343.49 feet; thence North 46° 48' 20" East, 294.00 feet to a point of intersection with the Southwesterly right-of-way line of Ocean Reef Drive; thence Southeasterly along the said right-of-way line South 43° 11' 40" East, 297.10 feet to a point of curvature with a circular curve concave to the West, having a radius of 25.00 feet and a central angle of 90° 00' 00"; thence along the arc of said curve 39.27 feet; thence South 46° 48' 20" West, 101.66 feet to a point of curvature with a circular curve concave to the Southeast having a radius of 911.34 feet and a central angle of 6° 28' 04"; thence along the arc of said curve 102.88 feet; thence South 40° 20' 16" West, 111.18 feet to the POINT OF BEGINNING.

EXHIBIT "B"

1. The lien of all taxes and assessments for 2001 and thereafter.
 2. Agreement between Seaboard Properties, Inc., and Ocean Reef Improvement Association, dated August 9, 1963, filed August 14, 1963, in Official Records Book 287, at Page 421, wherein all property owners in the Ocean Reef area were given the rights to use all streets, roads, lanes, etc., in all the plats recorded by Seaboard Properties, Inc.
 3. Non-exclusive Easement Grant dated August 1, 1977, recorded October 3, 1977, in Official Records Book 733, Page 603, granting Key Largo Foundation and Driscoll Properties, Inc., the right to use all streets, roads, bridges, and utility easements in the Ocean Reef Complex.
 3. Effect of Chapter 22F-8 of Rules of the Department of Administration Commission declaring boundaries and principles for guiding development for Florida Keys Area of Critical Concern, as recorded in Official Records Book 668, page 43, and any amendment(s).
 4. Non-exclusive perpetual Easement dated December 1, 1983, and recorded December 6, 1983, in Official Records Book 897, Page 2234, granting Florida Keys Aqueduct Authority, a governmental agency of the State of Florida, use for the purpose of installation and maintenance of water mains and water lines.
 5. Right of Access and License Agreement dated December 1, 1983, and recorded December 6, 1983, in Official Records Book 897, Page 2243, granting Florida Keys Aqueduct Authority, a governmental agency of the State of Florida, the right of access and license over, on and across the private roadways in the Ocean Reef Complex.
 6. Terms, covenants and conditions contained in the Declaration of Restrictions executed by Ocean Reef Club, Inc. and Marina Village Condominium Phase I, Inc., and Community Bank of Homestead, filed October 20, 1995, in Official Records Book 1374, page 921.
 7. Assignment of Easements between Ocean Reef Club, Inc., and North Key Largo Utility Corp., a Florida not-for-profit corporation, dated March 9, 1995, and recorded March 10, 1995, in Official Records Book 1344, Page 2079.
 8. Grant of Easement dated March 9, 1995, made by Ocean Reef Club, Inc., a not-for-profit Florida corporation, in favor of North Key Largo Utility Corp., a Florida not-for-profit corporation, and recorded March 9, 1995, in Official Records Book 1344, Page 1772.
 9. Grant of Easement dated March 9, 1995, made by Ocean Reef Community Association, a Florida not-for-profit corporation, in favor of North Key Largo Utility Corp., a Florida not-for-profit corporation, and recorded March 9, 1995, in Official Record Book 1344, Page 1769.
 10. Non-Exclusive Easement Grant dated March 1, 1993, recorded April 12, 1992, in Official Records Book 1252, Page 836, granting Ocean Reef Club, Inc., Great American Life Insurance Company, and Ocean Reef Club Properties, Inc., the right to use all streets, roads, bridges, and parking lots, in the Ocean Reef Complex.
 11. All roadways, and bridges within the Ocean Reef Complex as contained in the Quit Claim Deed and Easement from Ocean Reef Club, Inc., to Ocean Reef Community Association, dated April 19, 1994, and recorded January 26, 1995, in Official Records Book 1339, Page 255.
 12. Consent for Use of Public Easements between Ocean Reef Cable Television, a general partnership, and Ocean Reef Club, Inc., dated July 18, 1979, and recorded in Official Records Book 811, Page 1463; and Easement Agreement between Ocean Reef Club, Inc., now known as Key Largo Group, Inc., and Ocean Reef Cable Television, recorded February 22, 1995, in Official Records Book 1342, Page 1428.
-

13. Certificate of Amendment to the Fifth Amended and Restated Bylaws (hereinafter referred to as the "Bylaws") of Ocean Reef Community Association, Inc., recorded December 30, 1996, in official Records Book 1436, Page 1192; and Affidavit executed by the President for Ocean Reef Community Association, Inc., a Florida corporation not for profit, acknowledged October 21, 1996, and recorded December 30, 1996, in Official Records Book 1436, Page 1198.
14. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished which may be imposed by law, by virtue of the filing of the following Notices of Commencement:
 - a. Notices of Commencement filed October 16, 2000, in Official Records Book 1658, page 57;
 - b. Notices of Commencement filed October 16, 2000, in Official Records Book 1658, page 56; and
 - c. Notices of Commencement filed June 29, 2000, in Official Records Book 1640, page 2076.

All recording references are to the Public Records of Monroe County, Florida.

MONROE COUNTY
OFFICIAL RECORDS

This Instrument Prepared By:
William P. McCaughan, Esq.
Kirkpatrick & Lockhart Nicholson
Graham LLP
Miami Center 20th Floor
201 So. Biscayne Blvd.
Miami, Florida 33131

Doc# 1559122 12/30/2005 12:32PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

12/30/2005 12:32PM
DEED DOC STAMP CL: PU \$10,500.00

Doc# 1559122
Bk# 2177 Pg# 724

Property Appraiser's Folio No.:00572795-001000, AK #1709051

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED (this "Deed") is made as of the 22 day of December, 2005 from **The Medical Center at Ocean Reef, Inc.**, a Florida corporation not-for-profit, organized and existing under the laws of the State of Florida, with an address of 30 Ocean Reef Drive, Key Largo, Florida 33037 ("**Grantor**"), to **Ocean Reef Club, Inc.**, a Florida corporation not for profit, having an address of 35 Ocean Reef Drive, Suite 200, Key Largo, Florida 33037 ("**Grantee**").

WITNESSETH:

THAT Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other good and valuable consideration, the receipt of which is hereby acknowledged by these presents does grant, bargain and sell unto Grantee, in fee simple, all of Grantor's right, title, interest, in and to the following described real property (the "**Property**") located and situate in the County of Monroe and State of Florida, to wit:

See Legal Description attached hereto as Exhibit A

Subject to real estate taxes for the year 2005 and any easements, restrictions or covenants of record without reimposing the same.

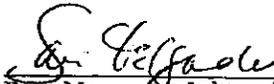
Grantor does hereby warrant, and will defend, the title to the Property hereby conveyed, subject as aforesaid, against the lawful claims of all persons claiming by, through or under Grantor, but none other.

AND Grantor covenants with Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property.

IN WITNESS WHEREOF, Grantor has caused these present to be executed and its seal to be affixed the day and year first above written.

WITNESSES:

**THE MEDICAL CENTER AT
OCEAN REEF, INC., a Florida
corporation not-for-profit**


Print Name SA L. Delfano


Print Name Jonathan S. Pichay

By: 
Tom Davidson, President

ACKNOWLEDGMENT APPEARS ON FOLLOWING PAGE

STATE OF FLORIDA)
) SS:
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 22 day of December, 2005 by Tom Davidson, President of The Medical Center at Ocean Reef, Inc., a Florida corporation not-for-profit, organized and existing under the laws of the State of Florida, who is personally known to me or who produced w/a as identification, on behalf of the company.

Clara M. Carithers

NOTARY PUBLIC

STATE OF FLORIDA

Clara M Carithers
Printed Name of Notary

SEAL



Clara M. Carithers
MY COMMISSION # DD223397 EXPIRES
September 25, 2007
BONDED THRU TROY FAIR INSURANCE, INC.

EXHIBIT "A"

TRACT A, of ANCHOR DRIVE SUBDIVISION, OCEAN REEF PLAT NO. 10, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 118, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; LESS AND EXCEPT THE FOLLOWING DESCRIBED PROPERTY:

A PARCEL OF LAND BEING A PORTION OF TRACT "A", ANCHOR DRIVE SUBDIVISION, OCEAN REEF PLAT NO. 10, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 118, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEING AT THE MOST EASTERLY CORNER OF SAID TRACT "A", SAID CORNER BEING ON THE SOUTHWESTERLY LINE OF LOT 1 OF SAID PLAT OF ANCHOR DRIVE SUBDIVISION, OCEAN REEF PLAT NO. 10; THENCE S 42° 32' 52" W ALONG THE SOUTHEASTERLY LINE OF SAID TRACT "A" FOR 160.88 FEET TO THE MOST SOUTHERLY CORNER OF SAID TRACT "A"; THENCE N 47° 27' 08" W ALONG THE SOUTHWESTERLY LINE OF SAID TRACT "A" FOR 30.00 FEET TO AN INTERSECTION WITH A LINE 30.00 FEET NORTHWESTERLY OF, AS MEASURED AT RIGHT ANGLES, AND PARALLEL TO THE AFOREMENTIONED SOUTHEASTERLY LINE OF SAID TRACT "A"; THENCE N 42° 32' 52" E ALONG SAID PARALLEL LINE FOR 160.88 FEET TO THE INTERSECTION WITH THE AFOREMENTIONED SOUTHWESTERLY LINE OF SAID LOT 1; THENCE S 47° 27' 08" E ALONG SAID SOUTHWESTERLY LINE FOR 30.00 FEET TO THE POINT OF BEGINNING.

CONSENT

RE: 30 Ocean Reef Drive
Tract A, of Anchor Drive Subdivision, Ocean Reef Plat No. 10,
According to the Plat thereof, as Recorded in Plat Book 6, Page
118, of the Public Records of Monroe County, Florida

SELLER (S): Medial Center at Ocean Reef, Inc., a Florida Corporation not-for-profit

PURCHASER(S): Ocean Reef Club, Inc., a Florida Corporation not-for-profit

ORCA No.

OCEAN REEF COMMUNITY ASSOCIATION CONSENT

In connection with the above-captioned sales transaction, the above-named purchaser (s) has/have been approved for membership in the OCEAN REEF COMMUNITY ASSOCIATION, INC.

DATED this 15th day of December, A.D., 2005

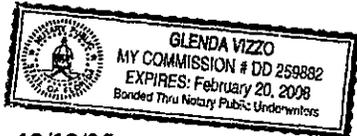
OCEAN REEF COMMUNITY ASSOCIATION, INC.

BY: [Signature]
Suzanne Carder
Treasurer

STATE OF FLORIDA)
) SS
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 15th day of December, 2005, by Suzanne Carder as Treasurer of OCEAN REEF COMMUNITY ASSOCIATION, INC., a Florida corporation, on behalf of the corporation. She is personally known to me and did not take an oath.

My commission expires:



Orca - 12/12/05

[Signature]
Notary Public

MONROE COUNTY
OFFICIAL RECORDS

RCD Apr 12 2001 12:12PM
DANNY L KOLHAGE, CLERK

DEED DOC STAMPS 5600.00
04/12/2001 49 DEP CLK

[Space Above This Line for Recording Data]

WARRANTY DEED

This indenture made this 29th day of April, 2001, BETWEEN JAMES H. RICH and IDAMAE B. RICH, husband and wife, whose address is 5023 Frew Street, Apt. 7D, Pittsburgh, Pennsylvania 15213, GRANTOR*, and OCEAN REEF CLUB, INC., a Florida Non Profit Corporation, whose address is 31 Ocean Reef Drive, Suite C300, Key Largo, Florida 33037, GRANTEE*.

WITNESSETH, That said Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs, successors and assigns, forever the following described land located in the County of Monroe, State of Florida, to-wit:

Lot 16, in Block 10, in OCEAN REEF PLAT NO. 1, AMENDED, a Subdivision of North Key Largo, according to the Plat thereof, recorded in Plat Book 5, at Page 72, of the Public Record of Monroe County, Florida.

Parcel Account No. 00570450-000000; Alternate No. 1703737.

SUBJECT TO:

1. Zoning and/or restrictions and prohibitions imposed by government authority.
2. Restrictions, easements and other matters appearing on the plat and/or common to the subdivision.
3. Taxes for the year 2001, and thereafter.
4. Public utility easements of record.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever. *Singular and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

WITNESSES


Witness No. 1 Signature

Judy Baker Washington

Witness No. 1 Printed Name

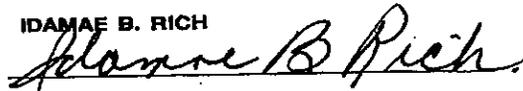

Witness No. 2 Signature

Richelle R. Johnson

Witness No. 2 Printed Name


JAMES H. RICH

IDAMAE B. RICH



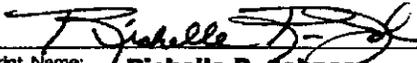
FILE #1229464
BK#1688 PG#144

GRANTEE SOCIAL SECURITY NUMBER [REDACTED]

STATE OF Florida

COUNTY OF Manroe

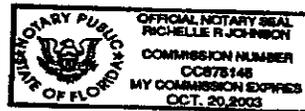
I HEREBY CERTIFY that on this 28th day of March, 2001, before me, an officer duly qualified to take acknowledgements, personally appeared: **JAMES H. RICH and IDAMAE B. RICH**, () who is/are personally known to me or () who has produced a copy of his/her State Driver's License as identification as being the persons described in and who executed the foregoing instrument and acknowledged before me that they executed the same of his/her/their own free will.


Print Name: Richelle R. Johnson

NOTARY PUBLIC
COMMISSION EXPIRATION:

(SEAL)

Prepared by:
CHARTER TITLE COMPANY, INC.
Joan G. Kaiser
31 Ocean Reef Drive, B208
Key Largo, FL 33037



FILE #1229464
BK#1688 PG#145

CONSENT

RE: L16, B10, Ocean Reef Plat No. 1 Amended
(101 Andros Road) 1703737

SELLER(S): JAMES H. RICH and IDAMAE B. RICH

PURCHASER(S): OCEAN REEF CLUB, INC.

ORCA MEMBER NO. _____

In connection with the captioned sales transaction, the
above named purchaser(s) has/have been approved for membership in
the OCEAN REEF COMMUNITY ASSOCIATION.

DATED this 16th day February, A.D., 2001.

OCEAN REEF COMMUNITY ASSOCIATION,
INC.

BY: Ivonne M. Ramirez
IVONNE M. RAMIREZ, TREASURER



STATE OF FLORIDA)
: ss.
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 16th
day of February, 2001 by Ivonne M. Ramirez, as Treasurer,
of OCEAN REEF COMMUNITY ASSOCIATION, INC., a Florida corporation,
on behalf of the corporation. She is personally known to me.

My Commission Expires:

Glenda Yizzo
Notary Public



(SEAL)

MONROE COUNTY
OFFICIAL RECORDS

This instrument prepared by
and should be returned to:
Thomas A. Hanson
Carlton, Fields, et al.
222 Lakeview Avenue, Suite 1400
West Palm Beach, Florida 33401

961421

REC 1417 PAGE 1599

1300
200
6669.69

DS Paid 6669.69
8-13-96
DANNY L. KORMAN
CLERK CIR. CT.

RECORDED FOR RECORD
FEB 13 12 59
DICKSON COUNTY, FLA.

QUIT CLAIM DEED

THIS QUIT CLAIM DEED, executed this 7th day of February, 1998, by DRISCOLL PROPERTIES, a Florida partnership ("Grantor") to OCEAN REEF CLUB, INC., a Florida not for profit corporation ("Grantee") whose address is 31 Ocean Reef Drive, Key Largo, Florida 33037:

WITNESSETH, that Grantor for and in consideration of the sum of Ten and No/100 Dollar (\$10.00) in hand paid by Grantee, the receipt and sufficiency of which are hereby acknowledged, does hereby remise, release and quit claim unto the Grantee forever, all the right, title, interest, claim and demand which the Grantor has in and to the land described on Exhibit A attached hereto and made a part hereof.

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, equity and claim whatsoever of Grantor, either in law or in equity, to the only proper use, benefit and behoof of Grantee forever.

IN WITNESS WHEREOF, Grantor has signed this Quit Claim Deed the day and year first above written.

WITNESSES:

DRISCOLL PROPERTIES, A FLORIDA PARTNERSHIP

Mary Kaye Marcell-Capocasa
Witness Signature

By: W. John Driscoll

Mary Kaye Marcell-Capocasa
Print Name

Its: General Partner

Susanne S. Smith
Witness Signature

Address:
Driscoll Properties
332 Minnesota St. Suite 2100
St. Paul, MN 55101

Susanne S. Smith
Print Name

STATE OF Minnesota }
COUNTY OF Ramsey }

961421

OFF REC 1417 PAGE 1600

6 The foregoing instrument was acknowledged before me this 7th day of February, 1998, by W. John Driscoll, general partner of Driscoll Properties, a Florida partnership, who is personally known to me or who produced _____ as identification..



Mary Beth Marciniak
(Signature)
Mary Beth Marciniak
(Printed Name)

(NOTARIAL SEAL)

NOTARY PUBLIC, STATE OF Minnesota

EXHIBIT "A"

961421

REF 1417 PAGE 1601

LEGAL DESCRIPTION
HARBOR COURSE CLUBHOUSE SITE LEGAL

A PARCEL OF LAND BEING ALL OF TRACT "C" OF "HARBOR COURSE SECTION TWO OCEAN REEF PLAT NO. 13" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, AT PAGE 5 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

TOGETHER WITH:

A PORTION OF TRACT "A" OF "HARBOR COURSE SOUTH SECTION ONE OCEAN REEF PLAT NO. 14", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 9, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED BY "METES AND BOUNDS" AS FOLLOWS:
COMMENCE AT THE MOST NORTHWESTERLY CORNER OF SAID TRACT "A"; THENCE N88°36'27"E (BEARINGS DERIVED FROM THE FLORIDA COORDINATE SYSTEM, EAST ZONE) ALONG THE NORTH LINE OF SAID TRACT "A" FOR 1059.03 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE CONTINUE N88°36'27"E ALONG THE SAID NORTH LINE OF TRACT "A" FOR 262.70 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH HARBOR DRIVE AS SHOWN ON THE SAID PLAT OF "HARBOR COURSE SOUTH SECTION ONE OCEAN REEF PLAT NO. 14"; THENCE S01°33'42"E ALONG THE SAID WESTERLY RIGHT-OF-WAY LINE FOR 200.97 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE CONTINUE SOUTHERLY AND SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE, ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 350.00 FEET AND A CENTRAL ANGLE OF 38°47'49" FOR 218.07 FEET TO A POINT ON SAID ARC, SAID POINT BEARING S55°46'53"E FROM THE CENTER OF SAID CURVE; THENCE S89°49'31"W FOR 186.64 FEET; THENCE N01°33'42"W FOR 461.92 FEET TO THE POINT OF BEGINNING.

LESS THEREFROM THE SOUTHERLY 30 FEET BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT "A", SAID CORNER BEING ON SAID WESTERLY RIGHT-OF-WAY LINE OF SOUTH HARBOR DRIVE; THENCE S1°33'42"E ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOR 200.97 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, ALONG SAID WESTERLY RIGHT-OF-WAY LINE HAVING A RADIUS OF 350.00 FEET AND A CENTRAL ANGLE OF 28°22'02" FOR 173.29 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL, SAID POINT BEARING S63°11'40"E FROM THE CENTER OF SAID CURVE; THENCE CONTINUE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, ALONG SAID WESTERLY RIGHT-OF-WAY LINE HAVING A RADIUS OF 350.00 FEET AND A CENTRAL ANGLE OF 7°25'47" FOR 45.32 FEET TO A POINT ON THE ARC OF SAID CURVE, SAID POINT BEARING S55°46'53"E FROM THE CENTER OF SAID CURVE; THENCE S89°49'31"W FOR 186.64 FEET; THENCE N1°33'42"W FOR 39.01 FEET; THENCE N89°49'31"E FOR 210.74 FEET TO THE POINT OF BEGINNING.

SAID HARBOR COURSE CLUBHOUSE SITE CONTAINS 7.46 ACRES MORE OR LESS.

Recorded in Official Records
in Monroe County, Florida
Record Verified
DANNY L. KOLHAGE
Clerk Circuit Court

Doc# 1962635 12/24/2013 10:07AM
Filed & Recorded in Official Records of
MONROE COUNTY RMY HEAVILIN

THIS INSTRUMENT PREPARED BY AND RETURN TO:

Mackinzie S. Ash
Hershoff, Lupino & Yagel, LLP
90130 Old Highway
Tavernier, Florida 33070

12/24/2013 10:07AM
DEED DOC STAMP CL: RE \$25,135.60

Doc# 1962635
Bk# 2664 P# 1325

Property Appraisers Parcel Identification (Folio) Numbers: 00569500-000096

\$3,590,772.02

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED, made the 18th day of December, 2013 by U S. JET, LLC, a North Carolina Limited Liability Company, herein called the grantor, to Cresful William Horne, Jr., a married man, whose post office address is 8605 Bonds Grove Church Road, Waxhaw, NC 28173, hereinafter called the Grantee:
(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

W I T N E S S E T H: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in MONROE County, State of Florida, viz.:

SEE EXHIBIT "A"

Subject to easements, restrictions and reservations of record and taxes for the year 2014 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2013.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Sandra H. Threath
Witness #1 Signature

Sandra H. Threath
Witness #1 Printed Name

M. W. Waddell
Witness #2 Signature

Michael W. Waddell
Witness #2 Printed Name

U S. JET, LLC, a North Carolina Limited Liability Company

Cresful W. Horne, Jr.
Cresful W. Horne, Jr., Manager
Highway 74 West, PO BOX 625, Marshville, NC 28103

Doc# 1982635
Bk# 2684 Pg# 1326

STATE OF NORTH CAROLINA
COUNTY OF Union

The foregoing instrument was acknowledged before me this 18th day of December, 2013 by Cresful W. Horne, Jr., Manager of U S. JET, LLC, a North Carolina Limited Liability Company on behalf of the corporation. He is personally known to me or has produced _____ as identification.

SEAL



Sherry S. Bare
Notary Signature

Sherry S. Bare
Printed Notary Signature

My Commission Expires:

My Commission Expires March 4, 2017

CONSENT

Doc# 1982635
Bk# 2664 Pg# 1327

RE: Chairman's Suite

SELLER (S): Cress Home indirectly through the wholly owned U.S. Jet, LLC. a North Carolina Limited Liability Company

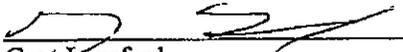
PURCHASER (S): Cress William Horne, Jr.

OCEAN REEF COMMUNITY ASSOCIATION CONSENT

In connection with the above-captioned sales transaction, the above-named purchaser (s) has/have been approved for membership in the OCEAN REEF COMMUNITY ASSOCIATION, INC.

DATED this 9th day of December, A.D., 2013

OCEAN REEF COMMUNITY ASSOCIATION, INC.

BY: 
Greg Lunsford
Vice President

(SEAL)



STATE OF FLORIDA)
) SS
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 9th day of December, 2013, by Greg Lunsford, Vice President of the OCEAN REEF COMMUNITY ASSOCIATION, INC., Florida Corporation, on behalf of the corporation. He is personally known to me and did not take an oath.

My commission expires:


Notary Public



EXHIBIT A

LEGAL DESCRIPTION PARCEL NO.3

A PARCEL OF LAND BEING A PORTION OF TRACT "D" AS SHOWN ON OCEAN REEF PLAT NO. 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA LYING IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF SECTION 18, T 59 S, R 41 E, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM ABOVE REFERENCED PLAT) 2302.20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF OCEAN REEF PLAT NO.1, AMENDED, AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THENCE RUN S 0°5'00" W - 29.87 FEET TO A POINT; THENCE RUN S 3°55'00" E - 400.00 FEET TO A POINT; THENCE RUN S 63°07'03" E 30.99 FEET TO A POINT" SAID POINT ALSO BEING THE MOST WESTERLY CORNER OF THE "100 BUILDING" AT THE OCEAN REEF CLUB, THENCE RUN ALONG THE SOUTHWESTERLY EXTERIOR, FACE OF THE SAID BUILDING WALLS 52°04'55"E - 14.67 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND, THENCE CONTINUE ALONG SAID EXTERIOR FACES 52°04'55" E - 5.38 FEET TO A CORNER OF SAID BUILDING; THENCE CONTINUE ALONG SAID EXTERIOR FACE S 37°55'05"W - 1.40 FEET TO A CORNER OF SAID BUILDING; THENCE CONTINUE ALONG SAID EXTERIOR FACES 52°04'55" E - 6.62 FEET TO A POINT; THENCE LEAVING THE EXTERIOR FACE, RUN S 37°55'05" W - 18.60 FEET TO A POINT; THENCE RUN N 52°04'55" W - 12.00 FEET TO A POINT; THENCE RUN N 37°55'05" E - 20.00 FEET TO THE POINT OF BEGINNING, THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS AS ITS LIMITING LOWER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY ELEVATION + 6.00 FEET N.G.V.D. AND AS ITS LIMITING UPPER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY ELEVATION +19.50 FEET N.G.V.D.

TOGETHER WITH:

LEGAL DESCRIPTION PARCEL NO.5

A PARCEL OF LAND BEING A PORTION OF TRACT "D" AS SHOWN ON OCEAN REEF PLAT NO.1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, LYING IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF SECTION 18, T 59 S, R 41 E, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM THE ABOVE

REFERENCED PLAT) 2302,20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF OCEAN REEF PLAT NO.1 AMENDED, AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE RUN S 0°05'00" W - 29.87 FEET TO A POINT; THENCE RUN S 3°55'00" E - 300.00 FEET TO A POINT; THENCE RUN S 84°53'35" E - 151.76 FEET TO A POINT; THENCE RUNS 15°53'57" E - 17.02 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE RUN S 54°40'17" E - 10.35 FEET TO A POINT; THENCE RUN S 35°19'43" W - 11.00 FEET TO A POINT; THENCE RUN N 54°40'17" W - 10.35 FEET TO A POINT; THENCE RUN N 35°19'43" E - 11.00 FEET TO THE POINT OF BEGINNING, THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAVING AS ITS LIMITING UPPER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE TOP OF THE MANSARD ROOF STRUCTURE HAVING AN ELEVATION OF +42.4 +/- FEET N.G.V.D.

TOGETHER WITH:

LEGAL DESCRIPTION PARCEL NO.6

A PARCEL OF LAND, BEING A PORTION OF TRACT "O" AS SHOWN ON OCEAN REEF PLAT NO.1 ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, LYING IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF SECTION 18, T 59S, R 41 E, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM ABOVE REFERENCED PLAT) 2302,20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF OCEAN REEF PLAT NO.1 AMENDED, AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE RUN S 0°05'00" W 29.87 FEET TO A POINT, THENCE RUN S 3°55'00" E - 300.00 FEET TO A POINT; THENCE RUNS 84°53'35" E - 151.76 FEET TO A POINT; THENCE RUN S 30°32'46" E - 28.74 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE RUN S 52°00'00" E - 2.5 FT. TO A POINT, THENCE RUN S 38°00'00" W - 8.5 FEET TO A POINT; THENCE RUN N 52°00'00" W - 2.5 FEET TO A POINT, THENCE RUN N 38°00'00" E - 8.5 FEET TO THE POINT OF BEGINNING, THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS AS ITS LIMITING UPPER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE UPPER SURFACE OF THE BRIDGE DECK FROM THE ELEVATOR TO THE THIRD FLOOR OF THE "100" BUILDING, SAID DECK HAVING AN ELEVATION OF +27.3 +/- FEET N.G.V.D.

TOGETHER WITH:

PARCEL 9

A PORTION OF THE THIRD FLOOR OF THE "100" BUILDING AT THE OCEAN REEF CLUB, KNOWN AS THE "CHAIRMAN'S SUITE LYING IN TRACT D, IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST AS SHOWN ON OCEAN REEF PLAT NO, 1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS

OF MONROE COUNTY, FLORIDA, THE PERIMETRICAL BOUNDARIES (FOOT PRINT PROJECTED ON THE EARTH'S SURFACE) OF WHICH, ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF THE SECTION 18, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM THE ABOVE REFERENCED PLAT) 2302.20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF "OCEAN REEF PLAT NO, 1 AMENDED", AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY FLORIDA; THENCE RUN S0°05'00" W - 29.87 FEET TO A POINT; THENCE RUN S 3°55'00" E - 300.00 FEET TO A POINT; THENCE RUN S 84°53'35" E - 151.76 FEET TO A POINT; THENCE RUN S 38°09'22" E - 36.82 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PERIMETRICAL BOUNDARY; THENCE RUN ALONG THE EXTERIOR VERTICAL WALL OF THE BUILDING WITH THE FOLLOWING TWO COURSES:

1) SOUTHEASTERLY - 25.50 FEET

2) SOUTHWESTERLY - 0.10 FEET TO A POINT ON THE EXTERIOR FACE OF TOP OF THE BALCONY RAIL AROUND THE OPEN PATIO; THENCE RUN ALONG SAID EXTERIOR FACE OF THE TOP OF THE BALCONY RAIL WITH THE FOLLOWING FIVE COURSES:

1) SOUTHEASTERLY - 7.95 FEET

2) SOUTHWESTERLY - 16.90 FEET

3) NORTHWESTERLY - 7.90 FEET

4) SOUTHWESTERLY - 15.40 FEET

5) NORTHWESTERLY - 7.80 FEET TO A POINT ON THE EXTERIOR VERTICAL WALL OF THE THIRD FLOOR OF THE "100 BUILDING"; THENCE RUN ALONG SAID WALLS WITH THE FOLLOWING FIVE COURSES:

1) SOUTHWESTERLY - 15.70 FEET

2) NORTHWESTERLY - 8.50 FEET

3) SOUTHWESTERLY - 15.95 FEET

4) NORTHWESTERLY - 15.80 FEET

5) SOUTHWESTERLY - 3.85 FEET TO A POINT ON THE EXTERIOR FACE OF THE TOP OF THE BALCONY RAIL ON THE COVERED PATIO; THENCE RUN ALONG SAID RAIL WITH THE FOLLOWING TWO COURSES:

1) SOUTHWESTERLY - 11.65 FEET

2) NORTHWESTERLY - 8.10 FEET TO A CORNER OF THE EXTERIOR VERTICAL WALL OF THE THIRD FLOOR; THENCE RUN ALONG THE SAID WALL NORTHEASTERLY 0.50 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF THE DIVISION WALL BETWEEN THE PRESIDENTIAL SUITE AND THE CHAIRMAN'S SUITE; THENCE RUN AT RIGHT ANGLES TO THE AFOREMENTIONED COURSE, NORTHWESTERLY WITH THE CENTER LINE OF THE DIVISION WALL 1.0 FEET MORE OR LESS TO AN ANGLE POINT IN THE DIVISION WALL; THENCE CONTINUE ALONG THE SAID CENTER LINE NORTHERLY 22.5 FEET MORE OR LESS TO AN ANGLE POINT IN THE DIVISION WALL; THENCE CONTINUE ALONG THE SAID CENTERLINE NORTHWESTERLY 2.5 FEET MORE OR LESS; THENCE LEAVING SAID CENTER LINE, RUN

NORTHEASTERLY 0.19 FEET MORE OR LESS TO THE EXTERIOR VERTICAL WALL OF THE THIRD FLOOR OF THE "100 BUILDING" THENCE RUN ALONG THE SAID EXTERIOR VERTICAL WALL WITH THE FOLLOWING SIX COURSES:

- 1) NORTHEASTERLY - 15.70 FEET
- 2) SOUTHEASTERLY - 8.00 FEET
- 3) NORTHEASTERLY - 15.75 FEET
- 4) SOUTHEASTERLY - 7.95 FEET
- 5) NORTHEASTERLY - 21.10 FEET
- 6) NORTHWESTERLY - 1.90 FEET TO A POINT ON THE S.E. LINE OF PARCEL #5; THENCE RUN ALONG THE SOUTHEAST LINE OF PARCEL #4 N 35°19'43" E - 7.50 FEET TO A POINT ON THE EXTERIOR VERTICAL WALL OF THE THIRD FLOOR OF THE "100 BUILDING"; THENCE RUN ALONG THE SAID EXTERIOR FACE WITH THE FOLLOWING TWO COURSES:

- 1) SOUTHEASTERLY - 11.20 FEET
- 2) NORTHEASTERLY - 3.05 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PERIMETRICAL BOUNDARIES HAS AS ITS LIMITING LOWER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE TOP OF THE SHEATHING RESTING ON TOP OF THE TRUSSES ON THE SECOND FLOOR (FORMER ROOF MEMBERS) SAID TOP OF SHEATHING HAVING AN ELEVATION OF +27.3 FEET +/- WHEN COMPARED WITH THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND AS ITS LIMITING UPPER BOUNDARY THE HORIZONTAL PLANE CREATED BY THE BOTTOM OF THE TRUSS MEMBERS SUPPORTING THE ROOF OVER THE THIRD FLOOR, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +36.4 FEET MORE OR LESS WHEN COMPARED WITH THE NATIONAL GEODETIC VERTICAL DATUM OF 1929, AND THAT PORTION OF THE ROOF COVERING THE SAID PERIMETRICAL BOUNDARIES EXTENDING OUTWARD 2.0 FEET AT RIGHT ANGLES TO THE EXTERIOR VERTICAL WALLS ABOVE DESCRIBED TO INCLUDE THE MANSARD SECTION AND HAVING FOR ITS LIMITING LOWER VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY BOTTOM OF THE TRUSS MEMBERS OVER THE THIRD FLOOR, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +36.4 FEET MORE OR LESS AND A LIMITING UPPER VERTICAL BOUNDARY THE HORIZONTAL PLANE CREATED BY THE TOP EDGE OF THE METAL GRAVEL STOP, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +39.3 FEET MORE OR LESS WHEN COMPARED WITH THE NATIONAL GEODETIC VERTICAL DATUM. ALSO INCLUDED ARE ALL STRUCTURAL MEMBERS SUPPORTING THE THIRD FLOOR AND ATTACHED TO THE CONCRETE TIE BEAMS (BELOW THE BOTTOM OF THE SHEATHING AT ELEVATION +27.3 +/- N.G.V.D. AT AN ELEVATION OF APPROXIMATELY +24.6 +/- N.G.V.D. AS WELL AS ALL CONDUITS, TRAYS, H.V.A.C. DUCTS, ELECTRICAL CONDUITS, WATER LINES, SOIL PIPES AND ANY OTHER APPURTENANCES SERVICING THE THIRD FLOOR OF SAID "100 BUILDING" AND LYING BETWEEN ELEVATION 24.6 +/- AND ELEVATION +27.3 FEET N.G.V.D.

TOGETHER WITH:

PARCEL 11

A PORTION OF THE "100" BUILDING AT THE OCEAN REEF CLUB BEING THE THIRD FLOOR LANDING AND THE STAIRS TO THE SECOND FLOOR LANDING AT THE NORTHEASTERLY

END OF THE "100" BUILDING AT THE OCEAN REEF CLUB, KNOWN AS THE "CHAIRMAN'S SUITE" LYING IN TRACT D, IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST AS SHOWN ON OCEAN REEF PLAT NO.1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THE PERIMETRICAL BOUNDARIES (FOOT PRINT PROJECTED ON THE EARTH'S SURFACE) OF WHICH, ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE N.W. CORNER OF THE SECTION 18, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM THE ABOVE REFERENCED PLAT) 2302.20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF "OCEAN REEF PLAT NO.1 AMENDED", AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLA; THENCE RUN S 0°05'00" W - 29.87 FEET TO A POINT; THENCE RUN S 3°55'00"E - 300.00 FEET TO A POINT; THENCE RUN S 84°53'35" E - 130.79 FEET TO A POINT; THENCE RUN S 8°05'37" E - 43.27 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PERIMETRICAL BOUNDARY: SAID POINT OF BEGINNING ALSO BEING THE INTERSECTION OF THE OUTSIDE EDGE OF THE HAND RAIL OF THE THIRD FLOOR LANDING; THENCE RUN ALONG THE HAND RAIL NORTHEASTERLY 4.8 FEET TO THE EDGE OF THE STAIRS; THENCE CONTINUE ALONG THE HAND RAIL OF THE STAIRS, NORTHEASTERLY 15.8 FEET AS MEASURED HORIZONTALLY TO A CORNER OF THE MIDFLOOR LANDING; THENCE RUN ALONG THE HAND RAIL OF THE MIDFLOOR LANDING, SOUTHEASTERLY 7.83 FEET TO A CORNER OF THE MIDFLOOR LANDING; THENCE RUN ALONG THE HANDRAIL OF THE MIDFLOOR LANDING SOUTHWESTERLY 15.9 FEET TO A POINT OF INTERSECTION WITH THE THIRD FLOOR LANDING THENCE RUN ALONG THE HAND RAIL OF THE THIRD FLOOR LANDING SOUTHEASTERLY 5.4 FEET TO A POINT OF INTERSECTION WITH THE EXTERIOR VERTICAL WALL OF PARCEL NO.9; THENCE RUN ALONG THE EXTERIOR VERTICAL WALLS OF PARCEL NO.9 WITH THE FOLLOWING THREE COURSES:

- 1) SOUTHWESTERLY - 3.9 FEET
- 2) NORTHWESTERLY - 7.95 FEET
- 3) SOUTHWESTERLY - 0.89 FEET

A POINT OF INTERSECTION WITH THE OUTSIDE EDGE OF THE HAND RAIL OF THE THIRD FLOOR LANDING; THENCE RUN ALONG THE OUTSIDE EDGE OF THE HAND RAIL NORTHWESTERLY 5.4 FT. TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS AS ITS LIMITING LOWER VERTICAL BOUNDARY FOR THE STAIRS AND MIDFLOOR LANDING, THE HORIZONTAL PLANE CREATED BY THE TOP SURFACE OF THE SECOND FLOOR LANDING SAID SURFACE BEING AT AN ELEVATION OF + 16.1+/- N.G.V.D. AND THE LOWER LIMITING VERTICAL BOUNDARY OF THE THIRD FLOOR LANDING WITHIN THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY BEING THE HORIZONTAL PLANE CREATED BY THE UNDERSIDE OF THE DECKING OF THE THIRD FLOOR LANDING, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +27.1+/- N.G.V.D. THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS, AS ITS UPPER LIMITING VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE TOP OF THE HAND RAIL BORDERING THE THIRD FLOOR LANDING HAVING AN ELEVATION OF +30.3+/- N.G.V.D. ALSO INCLUDED IN THE ABOVE, ARE ALL THE SUPPORTING MEMBERS INCLUDING BUT NOT LIMITED TO COLUMNS, FOOTINGS, PILES, BEAMS AND ANGLES TO

THE BUILDING OR RESTING ON PILES BELOW GROUND SURFACE WHICH ARE BELOW THE LOWER LIMITING VERTICAL BOUNDARY.

TOGETHER WITH AN UNDIVIDED ONE-HALF (1/2) INTEREST IN:

PARCEL 12

A PORTION OF THE "100" BUILDING AT THE OCEANREEF CLUB BEING THE THIRD FLOOR LANDING AND THE STAIRS TO THE SECOND FLOOR LANDING AT THE MIDDLE OF THE BUILDING SERVING BOTH THE PRESIDENTIAL SUITE AND THE EXECUTIVE SUITE ON THE THIRD FLOOR OF THE SAID "100" BUILDING LYING IN TRACT "D" IN THE NORTH 1/2 OF SECTION 18, TOWNSHIP 59 SOUTH, RANGE 41 EAST AS SHOWN ON OCEAN REEF PLAT NO. 1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4 PAGE 90 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THE PERIMETRICAL BOUNDARIES (FOOT PRINT PROJECTED ON THE EARTH'S SURFACE) OF WHICH, ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE N.W. CORNER OF THE SECTION 18, THENCE RUN ALONG THE NORTH LINE OF SAID SECTION 18, EAST (BEARINGS DERIVED FROM THE ABOVE REFERENCED PLAT) 2302.20 FEET TO A POINT ON THE WEST LINE OF TRACT "H" ALL AS SHOWN ON THE PLAT OF "OCEAN REEF PLAT NO.1 AMENDED", AS RECORDED IN PLAT BOOK 5, PAGE 72 OF THE PUBLIC RECORDS OF MONROE COUNTY FLORIDA; THENCE RUN S 0°05'00" W - 29.87 FEET TO A POINT; THENCE RUN S 3°55'00" E 300.00 FEET TO A POINT; THENCE RUN S 84°53'35" E - 41.42 FEET TO A POINT; THENCE RUN S 33°04'57" E - 86.65 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PERIMETRICAL BOUNDARY; SAID POINT OF BEGINNING BEING A POINT OF INTERSECTION OF THE OUTSIDE EDGE OF THE HAND RAIL OF THE THIRD FLOOR LANDING AND THE EXTERIOR VERTICAL WALL OF THE BRIDGE FROM THE ELEVATOR SHAFT TO THE PRESIDENTIAL SUITE; (PARCEL NO.8) THENCE RUN ALONG THE HAND RAIL NORTHEASTERLY 4.8 FEET TO THE EDGE OF THE STAIRS THENCE CONTINUE ALONG THE HAND RAIL OF THE STAIRS, NORTHEASTERLY 15.6 FEET AS MEASURED HORIZONTALLY TO A CORNER OF THE MIDFLOOR LANDING; THENCE RUN ALONG THE HAND RAIL OF THE MIDFLOOR LANDING, SOUTHEASTERLY 7.8 FEET TO A CORNER OF THE MIDFLOOR LANDING AND INTERSECTION WITH THE THIRD FLOOR LANDING THENCE RUN ALONG THE HAND RAIL OF THE THIRD FLOOR LANDING WITH THE FOLLOWING THREE COURSES:

1) SOUTHEASTERLY - 8.0 FEET

2) NORTHEASTERLY- 1.9 FEET

3) SOUTHEASTERLY - 5.55 FEET TO A POINT OF INTERSECTION WITH THE EXTERIOR VERTICAL WALL OF THE CHAIRMAN'S SUITE (PARCEL NO.9) THENCE RUN ALONG THE EXTERIOR VERTICAL WALLS OF BOTH PARCELS 9 AND 8 WITH THE FOLLOWING SIX COURSES:

1) SOUTHWESTERLY - 5.7 FEET

2) NORTHWESTERLY - 7.95 FEET

3) SOUTHWESTERLY - 15.70 FEET

4) NORTHWESTERLY - 7.50 FEET

5) SOUTHWESTERLY- 1.10 FEET

6) NORTHWESTERLY- 6.0 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS AS ITS LIMITING LOWER VERTICAL BOUNDARY FOR THE STAIRS AND MIDFLOOR LANDING, THE HORIZONTAL PLANE CREATED BY THE TOP SURFACE OF THE SECOND FLOOR LANDING SAID SURFACE BEING AT AN ELEVATION OF +16.1+/- N.G.V.D, AND THE LOWER LIMITING VERTICAL BOUNDARY OF THE THIRD FLOOR LANDING WITHIN THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY BEING THE HORIZONTAL PLANE CREATED BY THE UNDERSIDE OF THE DECKING OF THE THIRD FLOOR LANDING, SAID HORIZONTAL PLANE HAVING AN ELEVATION OF +27.1+/- N.G.V.D. THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY HAS, AS ITS UPPER LIMITING VERTICAL BOUNDARY, THE HORIZONTAL PLANE CREATED BY THE TOP OF THE HAND RAIL BORDERING THE THIRD FLOOR LANDING HAVING AN ELEVATION OF +30.3+/- N.G.V.D. ALSO INCLUDED IN THE ABOVE, ARE ALL THE SUPPORTING MEMBERS INCLUDING BUT NOT LIMITED TO COLUMNS FOOTINGS PILES, BEAMS AND ANGLES ATTACHED TO THE BUILDING OR RESTING ON PILES BELOW GROUND SURFACE WHICH ARE BELOW THE LOWER LIMITING VERTICAL BOUNDARY.

Doc# 1971328 03/05/2014 3:15PM
Filed & Recorded in Official Records of
MONROE COUNTY AMY HEAVILIN

This instrument prepared by:
Erica L. English, Esq.
Katz, Barron, Squitiero, Faust, Friedberg, English & Allen, P.A.
2699 South Bayshore Drive, 7th Floor
Miami, FL 33133

03/05/2014 3:15PM
DEED DOC STAMP CL: Krys \$0.70

Doc# 1971328
Bk# 2673 Pg# 2088

Parcel ID Number: _____

Space above this line for recorder 's use

QUIT CLAIM DEED

THIS QUIT CLAIM DEED is made this ~~31st~~ day of January, 2014 by and between **CROWN CREDIT COMPANY LTD.**, an Ohio limited liability company ("**Crown Credit**"), whose post office address is 102 S. Washington Street, New Bremen, OH 45869, and **JAMES F. DICKE, II, AS A TRUSTEE** (the "**Trustee**") **OF THE DICKE FAMILY FOUNDATION**, a Trust established under Ohio law (the "**Trust**"), whose post office address is 102 S. Washington Street, New Bremen, OH 45869 (Crown Credit and the Trustee collectively, the "**Grantor**") and **OCEAN REEF CLUB, INC.**, f/k/a Ocean Reef Acquisition Corp., a Florida corporation not-for-profit (hereinafter referred to as "**Grantee**"), whose post office address is 35 Ocean Reef Drive, Suite 200, Key Largo, Florida 33037.

WITNESSETH:

Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable considerations to it in hand paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, does hereby remise, release and quit-claim unto the said Grantee forever, all the right, title, interest, claim and demand, if any, that Crown Credit, the Trust and the Co-Trustees (as hereinafter defined) have in and to that certain real property located in Monroe County, Florida, described as follows (the "**Property**"):

See Exhibit "A" attached hereto and incorporated herein by this reference

The particulars with respect to the existence of the Trust and the authority of the Trustee to execute and deliver this Quit-Claim Deed on behalf of the Trust and the Trustees thereof (the "Co-Trustees") are set forth in that certain Certification of Trust which is being executed and delivered by the Trustee together with this Quit-Claim Deed and shall be recorded simultaneously with this Quit-Claim Deed in the Public Records of Monroe County, Florida (the "**Records**").

TOGETHER WITH, all rights of way, tenements, hereditaments and appurtenances thereunto belonging or in any way appertaining.

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances thereunto appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever, if any, of Crown Credit, the Trust and the Co-Trustees, either in law or in equity, to the only proper use, benefit and behoof of the said Grantee.

The purpose of this Quit-Claim Deed is to convey any and all right, title and interest, if any, that Crown Credit, the Trust and the Co-Trustees may have to the Property by virtue of their ownership of all of the units in Marina Inn Condominium, according to the Declaration of Condominium thereof, as recorded in Official Records Book 728, Page 383, and as amended in Official Records Book 759, Page 95, and Official Records Book 1457, Page 1612, of the Records, including all of the undivided interests in the common elements.

(nothing further appears on this page; execution page follows)

Doc# 1971328
Bk# 2673 Pg# 2089

(Quit Claim Deed by Crown Credit Company, Ltd. to Ocean Reef Club, Inc.)

Signed, sealed and delivered
in the presence of:

CROWN CREDIT COMPANY LTD.,
an Ohio limited liability company

Debra H. Freeman
Printed Name: Debra H. Freeman

By: Bradley L. Smith
Bradley L. Smith, Secretary and Treasurer
102 S. Washington Street
New Bremen, OH 45869

JOAN BAISTER
Printed Name: JOAN BAISTER

STATE OF OHIO
COUNTY OF AUGLAIZE

The foregoing Quit Claim Deed was acknowledged before me this 28 day of January, 2014 by Bradley L. Smith as Secretary and Treasurer of Crown Credit Company Ltd, an Ohio limited liability company, on behalf of the company. He is personally known to me (or has produced a driver's license as identification).

Melanie M. Taylor
Notary Public

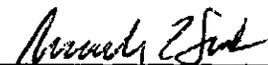
Expiration of Commission:

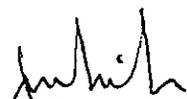


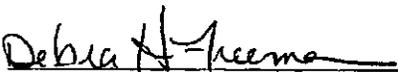
MELANIE M. TAYLOR, Notary Public
In and for the State of Ohio
My Commission Expires 10.27.14

(Quit Claim Deed by The Dicke Family Foundation to Ocean Reef Club, Inc.)

Signed, sealed and delivered
in the presence of:

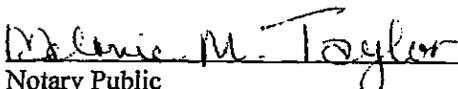

Printed Name: Gregory L. Smith


JAMES F. DICKE II, A TRUSTEE OF THE
DICKE FAMILY FOUNDATION, a Trust
established under Ohio law
102 S. Washington Street
New Bremen, OH 45869


Printed Name: Debra H. Freeman

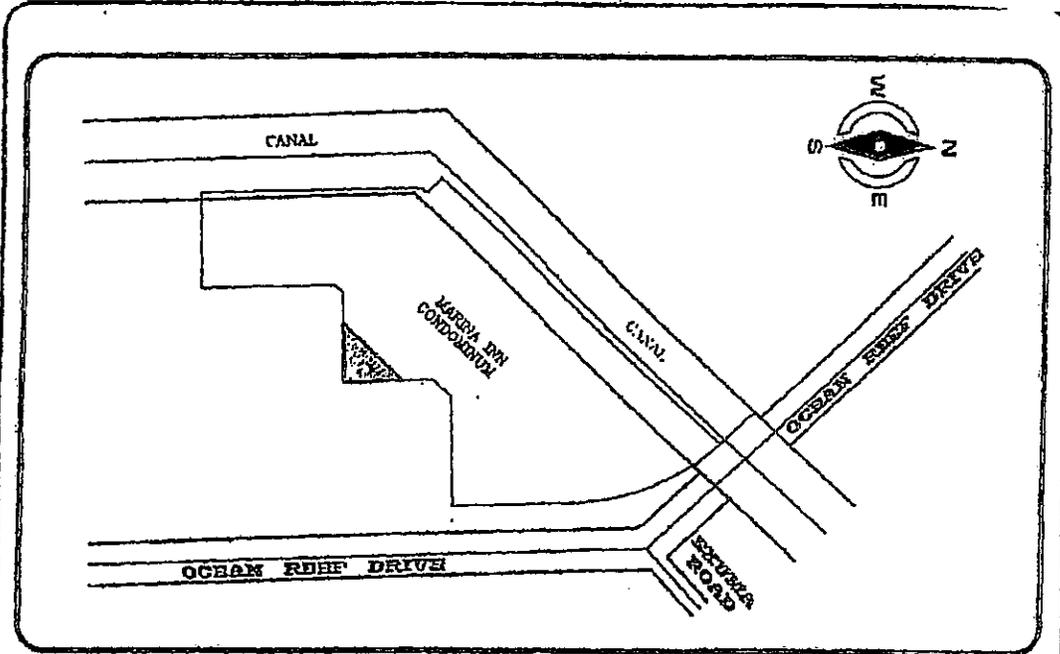
STATE OF OHIO
COUNTY OF AUGLAIZE

The foregoing Quit Claim Deed was acknowledged before me this 31st day of January, 2014 by James F. Dicke II, as a Trustee of The Dicke Family Foundation, a trust established under Ohio law. He is personally known to me (or has produced a driver's license as identification).


Notary Public



Expiration of commission:
MELANIE M. TAYLOR, Notary Public
In and for the State of Ohio
My Commission Expires 10-27-14



LOCATION MAP
NOT TO SCALE

SOURCE OF DATA:

The Legal Description of the Subject Parcel was generated from tract "A", of the Plat Instrument, Recorded in Plat Book 4, at Page 90 of the Public Records of Monroe County, Florida.

Readings as shown hereon are based upon the West line of the NE 1/4, of the SW 1/4 of Section 7, Township 59 South, Range 41 East with an assumed bearing of N02°16'24"W.

EASEMENTS AND ENCUMBRANCES:

No information was provided as to the existence of any easements other than what appears on the underlying Plat of record. Please refer to the Underlians Item with regard to possible restrictions of record and utility services.

LIMITATIONS:

Since no other information was furnished other than what is cited in the Source of Data, the Client is hereby advised that there may be legal restrictions on this subject property that are not shown on the Sketch or contained within this report that may be found in the Public Records at Monroe County, Florida or any other public and private entities as their jurisdiction may appear.

This document does not represent a field boundary survey of the described property, or any part or parcel thereof.

SURVEYOR'S CERTIFICATE:

I hereby certify that the "Sketch to Accompany Legal Description" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Sketch to Accompany Legal Description" meets the intent of the applicable provisions of the Minimum Technical Standards for Land Surveying in the State of Florida, pursuant to Rule 5J-12.051 through 5J-12.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

LONGITUDE SURVEYORS LLC, a Florida Corporation
Florida Certificate of Authorization Number 187335

[Signature]
Ricardo Rodriguez, PSM, for the Firm
Registered in
State of Florida

Date: 7/11/13

Not a Surveyor and
not to be signed without the

JOB NO.: 13224
PAGE 1 OF 3

NOTICE: Not full and complete without all three (3) pages.

LONGITUDE SURVEYORS
3900 NW 79TH AVENUE, SUITE 601
DORAL, FL. 33166
PHONE: (305) 465-0912 FAX: (305) 513-5680
WWW.LONGITUDESURVEYORS.COM

Exhibit "A"

M

LEGAL DESCRIPTION TO ACCOMPANY SKETCH

LEGAL DESCRIPTION:

A Portion of TRACT "A", "OCEAN REEF PLAT No.1", according to the Plat thereof as Recorded in Plat Book 4, Page 90 of the Public Records of MONROE COUNTY, FLORIDA; together with a portion of Government Lot 4, Section 7, Township 59 South, Range 41 East as shown on "Plat of Seaboard Properties, Inc.", according to the Plat thereof as Recorded in Plat Book 4, Page 83 of the Public Records of MONROE COUNTY, FLORIDA; all lying in KEY LARGO, MONROE COUNTY, FLORIDA, and being more particularly described as follows:

Commence at the Southwest corner of the NE 1/4 of the SW 1/4 of said Section 7; thence N02°16'26"W (bearings derived from FLORIDA COORDINATE SYSTEM, EAST ZONE) along the West line of the said NE 1/4 of the SW 1/4 of Section 7 for 877.53 feet to an intersection with the Northwesterly extension of the centerline of OCEAN REEF DRIVE, as shown on "CHANNEL CAY, OCEAN REEF PLAT No. 4", according to the Plat thereof as Recorded in Plat Book 5, Page 122 of the Public Records of MONROE COUNTY, FLORIDA; thence S43°11'40"E along said Northwesterly extension of said centerline of OCEAN REEF DRIVE for 1482.45 feet; thence S46°48'20"W for 35.00 feet to an intersection with a line 35.00 feet Southwesterly of as measured at right angles, and parallel to said centerline of OCEAN REEF DRIVE, said intersection being the Northeastly Corner of MARINA INN and the point of curvature of a circular curve concave to the Southwest; thence Southeastly along the arc of said curve having a radius of 281.26 feet and a central angle of 41°27'00" for 203.47 feet to the point of tangency; thence S01°44'40"E along a line 20.00 feet Westerly of as measured at right angles and parallel to the Easterly boundary line of said TRACT "A" for 152.64 feet; thence S88°15'20"W for 100.33 feet; thence S43°18'20"W for a distance of 80.83 feet to the POINT OF BEGINNING of the hereinafter described Parcel of Land; thence S01°44'40"E for a distance of 72.19 feet; thence S88°27'55"W for a distance of 72.06 feet; thence N43°18'24"E for a distance of 101.82 feet to the POINT OF BEGINNING.

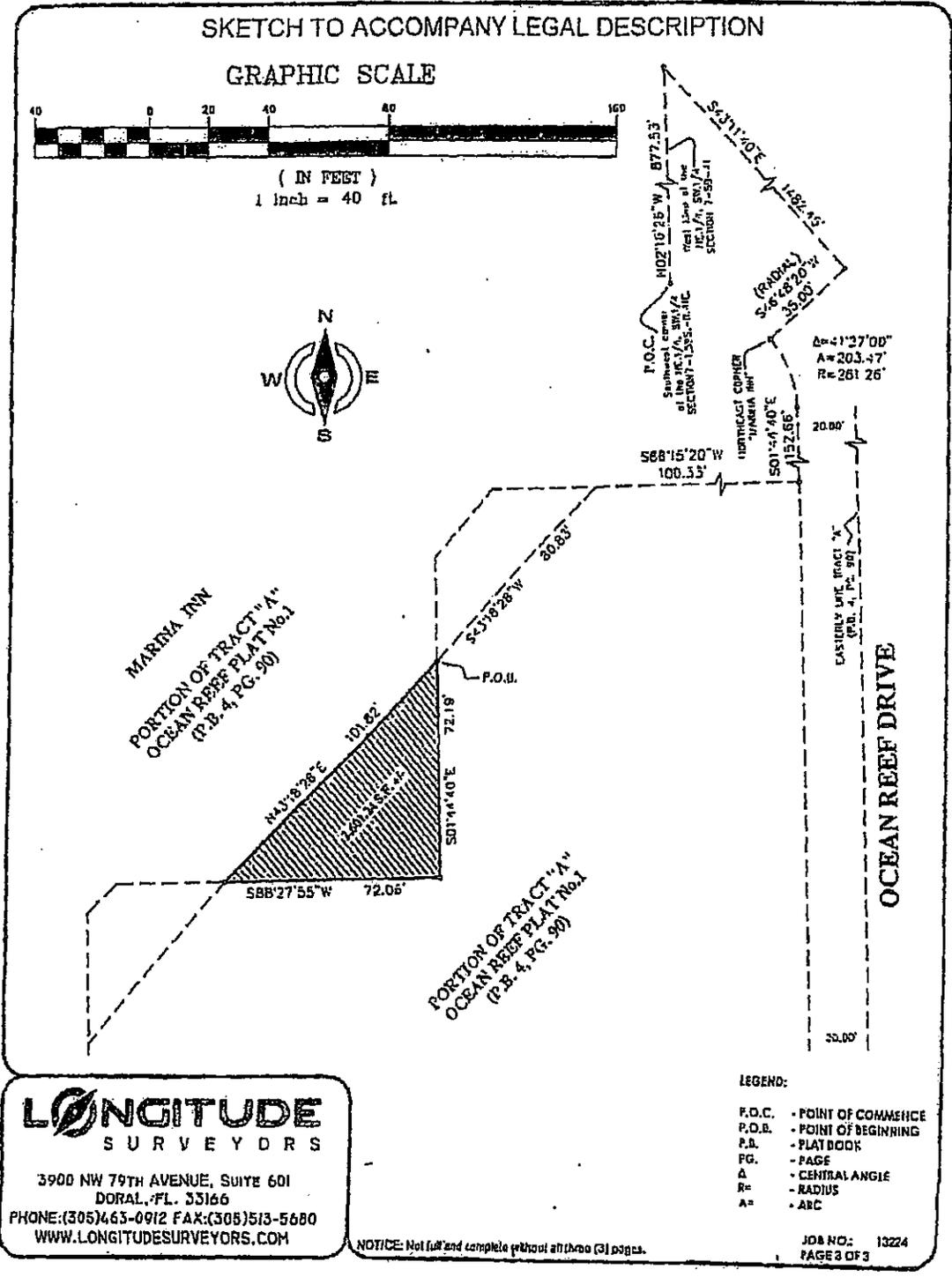
All of the above situated, being and lying in Monroe County, Florida and containing 2,601.24 Square Feet or 0.06 Acres more or less.

LONGITUDE
SURVEYORS

3900 NW 79TH AVENUE, SUITE 601
DORAL, FL. 33166
PHONE: (305) 463-0912 FAX: (305) 513-5680
WWW.LONGITUDESURVEYORS.COM

NOTICE: Not full and complete without all three (3) pages.

JOB NO.: 13224
PAGE 2 OF 3



Handwritten signature

Monroe

Doc# 2117807 04/06/2017 2:35PM
Filed & Recorded in Official Records of
MONROE COUNTY KEVIN MADOK

Record and Return to
Robert R. Adams, Esq.
Adams Gallinar PA
1000 Brickell Avenue
Suite 300
Miami Fl. 33131

04/06/2017 2:35PM
DEED DOC STAMP CL: MA \$112,000.00

Doc# 2117807
BKN 2847 Pgn 2451

Property Appraisers Parcel I.D. (Folio) Number:
See Rider "1"

WARRANTY DEED

THIS WARRANTY DEED is made as of the 31st day of March, 2017 by YACHTSMAN'S INN CONDOMINIUM ASSOCIATION, INC., a Florida not-for-profit corporation, as Termination Trustee pursuant to that certain Plan of Termination of Yachtsman's Inn Condominium (the "Grantor"), to YACHTSMAN INN LAND, LLC, a Florida limited liability company (the "Grantee"), whose mailing address is: 240 Crandon Blvd, Suite 250, Key Biscayne, Florida 33149.

WITNESSETH:

THAT GRANTOR, for and in consideration of the sum of Ten Dollars (\$10.00) and for other good and valuable consideration, the receipt and sufficiency of which are hereby conclusively acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee, its legal representatives, successors and assigns forever, all that certain real property situate in Monroe County, Florida, and more particularly described in Exhibit "A" attached hereto and made a part hereof (the "Property").

THIS CONVEYANCE IS SUBJECT TO:

1. Real property taxes and assessments for the year 2017 and subsequent years, which are not yet due or payable.
2. All those matters set forth on Exhibit "B" attached hereto and made a part hereof; provided, however, that the foregoing shall not serve to impose or reimpose the same.
3. All laws, ordinances, regulations, restrictions, prohibitions, limitations, conditions and other requirements imposed by governmental authority, including, but not limited to, all applicable building, zoning, land use and environmental ordinances and regulations.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto or appertaining.

RIDER "1"

<u>Folio Number</u>	<u>Unit</u>	<u>Folio Number</u>	<u>Unit</u>
00569481-000100	YI-101	00569481-003100	YI-301
00569481-000200	YI-102	00569481-003200	YI-302
00569481-000300	YI-103	00569481-003300	YI-303
00569481-000400	YI-104	00569481-003400	YI-304 AND YI-305
00569481-000500	YI-105	00569481-003600	YI-306
00569481-000600	YI-106	00569481-003700	YI-307
00569481-000700	YI-107	00569481-003800	YI-308
00569481-000800	YI-108	00569481-003900	YI-309
00569481-000900	YI-109	00569481-004000	YI-310
00569481-001000	YI-110	00569481-004100	YI-3A
00569481-001100	YI-111	00569481-004200	YI-3B
00569481-001200	YI-112		
00569481-001300	YI-113		
00569481-001400	YI-1A		
00569481-001500	YI-1B		
00569481-001600	YI-201		
00569481-001700	YI-202		
00569481-001800	YI-203		
00569481-001900	YI-204		
00569481-002000	YI-205		
00569481-002100	YI-206		
00569481-002200	YI-207		
00569481-002300	YI-208		
00569481-002400	YI-209		
00569481-002500	YI-210		
00569481-002600	YI-211		
00569481-002700	YI-212		
00569481-002800	YI-213		
00569481-002900	YI-2A		
00569481-003000	YI-2B		

EXHIBIT "A"
(the "Property")

A parcel of land located in "Area A" of Seaboard Properties, Inc., according to the Plat thereof, as recorded in Plat Book 4, at Page 83, of the Public Records of Monroe County, Florida, being more particularly described as follows:

Commence at the Northwest corner of Section 18, Township 59 South, Range 41 East; thence along the North line of said Section 18, East 1917.64 feet to a point, thence S 0° 09' 23" W 28.75 feet to a point; thence N 88° 16' 53" E 125.00 feet to a point; thence S 5° 24' 10" E 15.00 feet to the POINT OF BEGINNING of the following described parcel; thence N 88° 25' 07" E 120.87 feet to a point; thence S 4° 56' 37" E 98.20 feet to a point; thence S 24° 00' 00" W 20.21 feet to a point; thence S 4° 56' 37" E 257.62 feet to a point; thence S 67° 07' 08" E 37.84 feet to a point; thence S 4° 56' 37" E 84.04 feet to a point; thence S 85° 03' 23" W 140.48 feet to a point; thence N 5° 24' 10" W 482.32 feet to the POINT OF BEGINNING.

Legal Description
Phase I

A parcel of land located in "Area A" of Seaboard Properties, Inc., according to the plat thereof, as recorded in Plat Book 4, at Page 83, of the Public Records of Monroe County, Florida, being more particularly described as follows:

Commence at the Northwest corner of Section 18, Township 59 South, Range 41 East, thence along the North line of said Section 18, East 1917.64 feet to a point; thence S 0° 09' 23" W 28.75 feet to a point; thence N 88° 16' 53" E 125.00 feet to a point; thence S 5° 24' 10" E 15.00 feet to the POINT OF BEGINNING of the following described parcel; thence N 88° 25' 07" E 120.87 feet to a point; thence S 4° 56' 37" E 98.20 feet to a point; thence S 24° 00' 00" W 20.21 feet to a point; thence S 4° 56' 37" E 143.56 feet to a point; thence S 85° 03' 23" W 108.75 feet to a point; thence N 5° 24' 10" W 266.55 feet to the POINT OF BEGINNING.

Legal Description
Phase II

A parcel of land located in "Area A" of Seaboard Properties, Inc., according to the Plat thereof, as recorded in Plat Book 4, at Page 83, of the Public Records of Monroe County, Florida, being more particularly described as follows:

Commence at the Northwest corner of Section 18, Township 59 South, Range 41 East, thence along the North line of said Section 18, East 1917.64 feet to a point; thence S 0° 09' 23" W 28.75 feet to a point; thence N 88° 16' 53" E 125.00 feet to a point; thence S 5° 24' 10" E 281.55 feet to the POINT OF BEGINNING of the following described parcel; thence N 85° 03' 23" E 108.75 feet to a point; thence S 4° 56' 37" E 114.06 feet to a point; thence S 67° 07' 08" E 18.03 feet to a point; thence S 67° 52' 23" W 129.16 feet to a point; thence N 5° 24' 10" W 160.64 feet to the POINT OF BEGINNING.

Legal Description
Phase III

A parcel of land located in "Area A" of Seaboard Properties, Inc., according to the Plat thereof, as recorded in Plat Book 4, at Page 83, of the Public Records of Monroe County, Florida, being more particularly described as follows:

Commence at the Northwest corner of Section 18, Township 59 South, Range 41 East; thence along the North line of said Section 18, East 1917.64 feet to a point; thence S 0° 09' 23" W 28.75 feet to a point; thence N 88° 16' 53" E 125.00 feet to a point; thence S 5° 24' 10" E 442.19 feet to the POINT OF BEGINNING of the following described parcel; thence N 67° 52' 23" E 129.16 feet to a point; thence S 67° 07' 08" E 19.81 feet to a point; thence S 4° 56' 37" E 84.04 feet to a point; thence S 85° 03' 23" W 140.48 feet to a point; thence N 5° 24' 10" W 55.13 feet to the POINT OF BEGINNING.

Together with and as modified by the revised legal description attached as Exhibit A of the Revised Amendment To Declaration Of Condominium Establishing Yachtsman's Inn Condominium recorded in Official Records Book 901, Page 877, of the Public Records of Monroe County, Florida.

EXHIBIT "B"
(Permitted Exceptions)

Doc# 2117807
Bk# 2847 Pg# 2456

1. Restrictions, conditions, reservations, easements and other matters contained on the Plat of OCEAN REEF PLAT NO. 1, recorded in Plat Book 4, Page 90, of the Public Records of Monroe County, Florida.
2. Agreement between Seaboard Properties, Inc. and Ocean Reef Improvement Association recorded August 14, 1963 in Official Records Book 287, Page 421, of the Public Records of Monroe County, Florida.
3. Effect of Chapter 22F-8 of Rules of the Department of Administration Commission declaring boundaries and principles for guiding development for Florida Keys Area of Critical State Concern as evidenced by Affidavit recorded August 13, 1976 in Official Records Book 668, Page 43, of the Public Records of Monroe County, Florida.
4. Non-Exclusive Easement Grant recorded October 3, 1977 in Official Records Book 733, Page 603, of the Public Records of Monroe County, Florida.
5. Consent for the Use of Public Easements between Ocean Reef Cable Television, a general partner and Ocean Reef Club, Inc. recorded June 2, 1980 in Official Records Book 811, Page 1463, and Easement Agreement between Ocean Reef Club, Inc. n/k/a Key Largo Group, Inc. and Ocean Reef Cable Television recorded February 22, 1995 in Official Records Book 1342, Page 1428, all of the Public Records of Monroe County, Florida.
6. Terms, provisions, covenants, liens, conditions, options and other provisions including provisions for a private charge or assessment, contained in the Declaration of Restrictions, Limitations, Conditions, and Agreements recorded August 4, 1983 in Official Records Book 887, Page 2269, Waiver and Release of Restrictions recorded in Official Records Book 1192, Page 2219 and Corrective Waiver recorded in Official Records Book 1196, Page 2076, all of the Public Records of Monroe County, Florida.
7. Non-Exclusive Perpetual Easement in favor of Florida Keys Aqueduct Authority recorded December 14, 1983 in Official Records Book 897, Page 2234, of the Public Records of Monroe County, Florida.
8. Right of Access and License Agreement recorded December 6, 1983 in Official Records Book 897, Page 2243, of the Public Records of Monroe County, Florida.
9. Non-Exclusive Easement Grant in favor of Ocean Reef Club, Inc., Great American Life Insurance Company and Ocean Reef Club Properties, Inc. recorded April 12, 1993 in Official Records Book 1252, Page 836, of the Public Records of Monroe County, Florida.
10. All roadways and bridges within the Ocean Reef Complex as contained in the Quit Claim Deed and Easement from Ocean Reef Club, Inc. to Ocean Reef Community Association recorded January 26, 1995 in Official Records Book 1339, Page 255, together with and as affected by Quit Claim Deed from Ocean Reef Community Association, Inc. to Marina Inn Land, LLC recorded December 30, 2016 in Official

Records Book 2832, Page 1919, Quit Claim Deed from Ocean Reef Club, Inc. (f/k/a Ocean Reef Acquisition Corp.) to Marina Inn Land, LLC recorded December 30, 2016 in Official Records Book 2832, Page 1922, and Non-Exclusive Roadway Easement Agreement by and between Ocean Reef Community Association, Inc., Ocean Reef Club, Inc., Marina Inn Land, LLC, and joined by 121 Marina Condominium Association, Inc. recorded December 30, 2016 in Official Records Book 2832, Page 1925, of the Public Records of Monroe County, Florida.

11. Grant of Easement from Ocean Reef Community Association, a Florida not-for-profit corporation in favor of North Key Largo Utility Corp., a Florida not-for-profit corporation recorded March 9, 1995 in Official Records Book 1344, Page 1769, of the Public Records of Monroe County, Florida.
12. Grant of Easement from Ocean Reef Club, Inc., a Florida not-for-profit corporation in favor of North Key Largo Utility Corp., a Florida not-for-profit corporation recorded March 9, 1995 in Official Records Book 1344, Page 1772, of the Public Records of Monroe County, Florida.
13. Assignment of Easements between Ocean Reef Club, Inc. and North Key Largo Utility Corp, a Florida not for profit corporation recorded March 10, 1995 in Official Records Book 1344, Page 2079, of the Public Records of Monroe County, Florida.
14. Certificate of Amendment to the Fifth Amendment and Restated ByLaws (hereinafter referred to as the ByLaws of Ocean Reef Community Association, Inc.) recorded December 30, 1996 in Official Records Book 1436, Page 1192, an Affidavit executed by the President for Ocean Reef Community Association Inc., a Florida corporation not for profit recorded December 30, 1996 in Official Records Book 1436, page 1198, both of the Public Records of Monroe County, Florida.
15. Grant of Easement in favor of Comcast of California/Colorado/Florida/Oregon, Inc. recorded January 23, 2008 in Official Records Book 2342, Page 81, of the Public Records of Monroe County, Florida.
16. Grant of Easement in favor of Comcast of California/Colorado/Florida/Oregon, Inc. recorded October 5, 2012 in Official Records Book 2592, Page 1268, of the Public Records of Monroe County, Florida.
17. Reservations contained in that certain Quit Claim Deed from Ocean Reef Club, Inc. to Ocean Reef Community Association, Inc. recorded November 10, 2004 in Official Records Book 2058, Page 174, of the Public Records of Monroe County, Florida.
18. Certificate of Amendment to Eight Amended and Restated Articles of Incorporation of Ocean Reef Community Association, Inc. recorded May 18, 2016 in Official Records Book 2797, Page 737, of the Public Records of Monroe County, Florida.

CONSENT

RE: 650 Beach Road, Key Largo, FL 33037 (formerly Yachtsman's
Condominium)
SELLER: Yachtsman's Inn Condominium Association, Inc.
PURCHASER: Eric Soulavay through Yachtsman's Inn Land, LLC, a Florida limited liability
company

OCEAN REEF COMMUNITY ASSOCIATION CONSENT

In connection with the above-referenced sales transaction, the Purchaser has been approved as the purchaser of the property, as and in the manner described above, and as the beneficial owner/occupant, and any right of first refusal in connection therewith is hereby waived. However, please be advised that nothing contained herein shall be deemed as an approval of any subsequent beneficial owner/occupant as any proposed change with respect to same must be submitted to the OCEAN REEF COMMUNITY ASSOCIATION, INC. for review.

DATED this 31st day of March, A.D., 2017

OCEAN REEF COMMUNITY ASSOCIATION, INC.

BY: [Signature]
Greg Lunsford,
Vice President

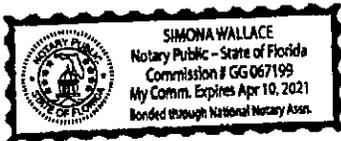
STATE OF FLORIDA)
) SS
COUNTY OF MONROE)

SEAL

The foregoing instrument was acknowledged before me this 31st day of March, 2017, by Greg Lunsford, Vice President of the OCEAN REEF COMMUNITY ASSOCIATION, INC., a Florida corporation, on behalf of the corporation. He is personally known to me and did not take an oath.

My commission expires:

[Signature]
Notary Public



MONROE COUNTY
OFFICIAL RECORDS

Doc# 1884905 05/30/2012 3:11PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

This instrument prepared by:

Erica L. English, Esq.

Katz, Barron, Squitro, Faust, Friedberg, Grady, English & Allen, P.A.

2699 South Bayshore Drive, 7th Floor

Miami, FL 33133

05/30/2012 3:11PM
DEED DOC STAMP CL: NW

\$9,170.70

Doc# 1884905
Bk# 2572 Pg# 435

Parcel ID Number: 0081780.000300

Space above this line for recorder's use

WARRANTY DEED

THIS WARRANTY DEED is made this 17 day of May, 2012 by and between THE HEALTH AND TENNIS CLUB AT OCEAN REEF, INC., a Florida corporation not-for-profit (the "Grantor"), whose mailing address is 31 Ocean Reef Drive, Suite C-303, Key Largo, Florida 33037 and OCEAN REEF CLUB, INC., a Florida corporation not-for-profit (the "Grantee"), whose mailing address is 35 Ocean Reef Drive, Suite 200, Key Largo, Florida 33037.

WITNESSETH:

Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable considerations to it in hand paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, hereby grants, bargains and sells to Grantee that certain real property located in Monroe County, Florida, described in Exhibit "A" attached hereto and incorporated herein by this reference (the "Property").

SUBJECT TO: zoning restrictions, prohibitions and other requirements imposed by governmental authority; restrictions and matters appearing on the plat and otherwise common to the subdivision; public utility easements of record, without reimposing any of the foregoing, and taxes for 2012 and subsequent years.

TOGETHER WITH, all rights of way, tenements, hereditaments and appurtenances thereunto belonging or in any way appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND Grantor hereby covenants with Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property; and Grantor does hereby warrant the title to the Property and will defend the same against the lawful claims of all parties whomsoever; and that said Property is free of all encumbrances, except taxes accruing subsequent to December 31, 2011.

E.L.L.

EXHIBIT "A"

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MONROE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

A parcel of land being a portion of the Northwest ¼ of the Northeast ¼ of Section 7, Township 59 South, Range 41 East, as shown on "Plat of Lands of Seaboard Properties, Inc.", according to the plat thereof, as recorded in Plat Book 4, Page 83, of the Public Records of Monroe County, Florida; together with a portion of Barracuda Lane as shown on the plat of "Barracuda Cay Ocean Reef Plat No. 11", according to the plat thereof, as recorded in Plat Book 6, Page 120, of the Public Records of Monroe County, Florida, and the "Amended Plat of Barracuda Cay Ocean Reef Plat No. 11", according to the plat thereof, as recorded in Plat Book 7, Page 10, of the Public Records of Monroe County, Florida; being more particularly described as follows:

COMMENCE at the most Northerly corner of the plat of "Pumpkin Cay Ocean Reef Plat No. 7", according to the plat thereof, as recorded in Plat Book 6, Page 77, of the Public Records of Monroe County, Florida; thence S 58°28'24" W along the Northwesterly boundary line of said plat of "Pumpkin Cay Ocean Reef Plat No. 7", a portion of said Northwesterly boundary line being also the Northwesterly right of way line of Anchor Drive as shown on said plat of "Pumpkin Cay Ocean Reef Plat No. 7", for 1542.01 feet to the most Northerly corner of "Angelfish Cay Ocean Reef Plat No. 5", according to the plat thereof, as recorded in Plat Book 6, Page 17, of the Public Records of Monroe County, Florida; thence S 58°28'24" W along the Northwesterly boundary line of said plat of "Angelfish Cay Ocean Reef Plat No. 5", said Northwesterly boundary line being also the Northwesterly right of way line of Anchor Drive as shown on said plat of "Angelfish Cay Ocean Reef Plat No. 5" for 35.37 feet to the point of curvature of a circular curve concave to the Southeast; thence continue Southwesterly, along said Northwesterly right of way line, along the arc of said curve having a radius of 2789.79 feet and a central angle of 0°25'04" for 20.34 feet to a point on the arc of said curve, said point being the Point of Beginning of the hereinafter described parcel and bearing N 31°56'40" W from the center of said curve; thence N 26°00'00" W for 62.18 feet; thence N 54°46'02" W for 146.60 feet; thence N 20°51'08" W for 203.00 feet; thence N 47°04'34" W for 72.73 feet to a point on the arc of a circular curve concave to the Southeast, said point bearing N 38°24'24" W from the center of said curve; thence Southwesterly along the arc of said curve having a radius of 451.38 feet and a central angle of 21°35'36" for 170.11 feet to the point of tangency; thence S 30°00'00" W for 269.20 feet to the point of curvature of a circular curve concave to the Northwest; thence Southwesterly along the arc of said curve having a radius of 610.42 feet and a central angle of 5°48'05" for 61.81 feet to a point on the arc of said curve, said point bearing S 54°11'55" E from the center of said curve; thence S 60°14'36" E for 176.47 feet; thence S 21°47'56" E for 143.02 feet to an intersection with the aforementioned Northwesterly right of way line of said Anchor Drive, as shown on said plat of "Angelfish Cay Ocean Reef Plat No. 5", said intersection being on the arc of a circular curve concave to the Southeast and bearing N 40°44'44" W from the center of said curve; thence Northeasterly along said Northwesterly right of way line, along the arc of said curve having a radius of 2789.79 feet and a central angle of 8°48'04" for 428.54 feet to the Point of Beginning. Said parcel lying on Key Largo, Monroe County, Florida.

Said parcel being subject to the following described utility easement:

BEGIN at the most Easterly corner of the above described parcel, said Easterly corner being also the intersection of the northwesterly right-of-way line of Anchor Drive as shown on said "Angelfish Cay Ocean Reef Plat No. 5", with the Northeasterly boundary line of said parcel bearing S 26°00'00" E, said intersection being on the arc of a circular curve concave to the southeast and bearing N 31°56'40" W from the center of said curve; thence N 26°00'00" W along said Northeasterly boundary line for 38.00 feet; thence S 64°00'00" W for 20.00 feet; thence S 26°00'00" E for 40.16 feet to an intersection with said Northwesterly right-of-way line of said Anchor Drive, said intersection being on the arc of the aforementioned circular curve concave to the Southeast and bearing N 32°21'26" W from the center of said curve; thence Northeasterly along said Northwesterly right-of-way line, along the arc of said curve having a radius of 2789.79 feet and a central angle of 0°24'27" for 20.11 feet to the Point of Beginning.

CONSENT

RE: 314 Anchor Drive

SELLER (S): The Health and Tennis Club of Ocean Reef, Inc.

PURCHASER (S): Ocean Reef Club, Inc.

OCEAN REEF COMMUNITY ASSOCIATION CONSENT

In connection with the above-captioned sales transaction, the above-named purchaser (s) has/have been approved for membership in the OCEAN REEF COMMUNITY ASSOCIATION, INC.

DATED this 17 day of May, A.D., 2012

OCEAN REEF COMMUNITY ASSOCIATION, INC.

BY: [Signature]

Greg Lunsford
Vice President

(SEAL)

STATE OF FLORIDA)
) SS
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 17 day of May, 2012, by Greg Lunsford of the OCEAN REEF COMMUNITY ASSOCIATION, INC., Florida corporation, on behalf of the corporation. He is personally known to me and did not take an oath.

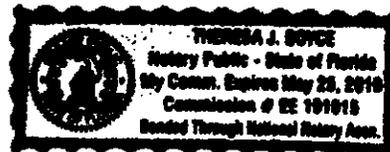
My commission expires:

[Signature]

Notary Public

Doc# 1884905
Bk# 2572 Pg# 438

MONROE COUNTY
OFFICIAL RECORDS



882121

OFF REC | 344 PAGE | 765

17 00
2.50
2558.50

This instrument was prepared by:
John R. Jenkins, Esquire
Rose, Sundstrom & Bentley
2548 Blairstone Pines Drive
Tallahassee, FL 32301

(Part Of) RE 00081720-000000
Tax ID Number

DS Paid 2558.50 Date 3/19/95
MONROE COUNTY
DANNY L. KOLHAGE, CLERK CIR. CT.
By John R. Jenkins D.O.

WARRANTY DEED

THIS WARRANTY DEED made the 9th day of March, 1995, by OCEAN REEF CLUB, INC., a Florida not-for-profit corporation, whose address is 31 Ocean Reef Drive, Suite C-300, Key Largo, FL 33037, ("grantor"), to NORTH KEY LARGO UTILITY CORP., a Florida not-for-profit corporation, whose address is 31 Ocean Reef Drive, Suite 301-A, Key Largo, FL 33037, ("grantee"):

WITNESSETH: That the grantor, for and in consideration of the sum of ten dollars (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Monroe County, Florida, viz:

See attached Exhibit "A" which is incorporated herein by specific reference.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

SUBJECT TO current years taxes, easements, restrictions, limitations and conditions of record if any now exist.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the lands conveyed hereby are free from liens and encumbrances; that the grantor shall have quiet possession of the premises; and that the grantor will warrant and defend said land against the lawful claims and demands of all persons claiming by, through, or under the grantor, but against none other.

FILED FOR RECORD
35 MAR -9 P239
DANNY L. KOLHAGE, CLERK CIR. CT.
MONROE COUNTY, FLA.

882121

OFF REC | 344 PAGE | 766

IN WITNESS WHEREOF, the said grantor has hereunto set its hand and seal the day and year first above written.

Attest:

[Signature]
Print Name: Kenneth Alan Luban

[Signature]
Print Name: DAVID RITZ

OCEAN REEF CLUB INC.

[Signature]
Robert R. Ambridge
Executive Vice President
31 Ocean Reef Drive
Suite C-300
Key Largo, Florida, 33037

(Corporate Seal)



STATE OF FLORIDA }
COUNTY OF MONROE }

The foregoing instrument was acknowledged before me this 9th day of March, 1995, by Robert R. Ambridge, Executive Vice President, for Ocean Reef Club, Inc., a Florida not-for-profit corporation, on behalf of the Corporation. He is personally known to me or has produced _____ as identification.

(SEAL)

OFFICIAL NOTARY SEAL
MARGARET M. TRUCKENDROD
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC402265
MY COMMISSION EXP. AUG. 22, 1998

[Signature]
Notary Public
My Commission Expires

882121

EXHIBIT "A"

OFF
REC

1344 PAGE 1767

LEGAL DESCRIPTION
OCEAN REEF CLUB SEWAGE TREATMENT PLANT
AND
DISPOSAL WELL FIELD

Two parcels of land lying in the SE 1/4 of the NW 1/4 of Section 7, Township 59 South, Range 41 East, Key Largo, Monroe County, Florida as shown on the Plat of Lands of Seaboard Properties, Inc. according to the plat thereof, as recorded in Plat Book 4, Page 83 of the Public Records of Monroe County, Florida, being more particularly described as follows:

Parcel No.1 - Sewage Treatment Plant Site

Commence at a P.R.M. being the most northerly corner of Anchor Drive Subdivision, Ocean Reef Plat No. 10 according to the plat thereof, as recorded in Plat Book 6, Page 118 of the Public Records of Monroe County, Florida; thence run Southwesterly along the Northwesterly right-of-way line of Anchor Drive as shown on the aforementioned plat S 38° 00' 50" W - 55.78 feet to a point of curvature with a circular curve concave to the Northwest having for its elements a central angle of 4° 53' 51" and a radius of 965.00 feet; thence run along said right-of-way line on the arc of said curve for 82.49 feet to a point of tangency; thence continue along said right-of-way line S 42° 54' 41" W - 38.59 feet; thence leaving said right-of-way line, run N 49° 48' 56" W - 647.03 feet to a point, said point being the POINT OF BEGINNING of the following described parcel of land, said Point of Beginning also being a corner of the Florida Keys Aqueduct Authority Leasehold; thence S 40° 11' 04" W - 26.30 feet to a point; thence S 51° 42' 00" E - 83.46 feet to a point on the Northwesterly edge of an asphalt drive; thence run in a Southwesterly direction along the said Northwesterly edge of the asphalt drive, the following four courses - S 31° 46' 34" W - 42.34 feet; S 22° 35' 35" W - 70.90 feet; S 20° 24' 32" W - 53.36 feet; S 32° 10' 04" W - 56.10 feet; thence leaving said Northwesterly edge of the asphalt drive, run N 51° 49' 27" W - 105.31 feet; thence run S 37° 35' 44" W - 3.38 feet; thence run N 51° 30' 38" W - 58.82 feet to a point on the Easterly edge of an asphalt drive; thence run along said Easterly edge of the asphalt drive N 11° 46' 41" W - 57.32 feet; thence run N 5° 34' 03" E - 89.96 feet to a point, said point being a corner of the Florida Keys Aqueduct Authority Leasehold; thence run along the boundary of the said leasehold, the following four courses - S 49° 06' 21" E - 67.20 feet; N 49° 47' 18" E - 127.97 feet; N 83° 28' 13" E - 20.50 feet; S 49° 48' 56" E - 27.79 feet to the POINT OF BEGINNING, containing 0.931 Acres more or less.

AND

882121

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REC 1344 PAGE 768

Legal Description Continued:

Parcel No. 2 - Disposal Well Field

Commence at the POINT OF BEGINNING of the above-described parcel of land; thence run S 40° 11' 04" W - 26.30 feet; thence run S 51° 42' 00" E - 103.46 feet to a point on the Southeasterly side of an asphalt drive and the POINT OF BEGINNING of the following described parcel of land; thence continue S 51° 42' 00" E - 65.00 feet to a point; thence run S 38° 00' 40" W - 247.67 feet to a point; thence run N 50° 54' 51" W - 24.50 feet to a point on the Southeasterly side of an asphalt drive; thence run Northeasterly along the said Southeasterly side of an asphalt drive the following four courses - N 32° 30' 25" E - 60.39 feet; N 30° 10' 45" E - 65.18 feet; N 23° 10' 28" E - 73.45 feet; N 30° 16' 30" E - 52.30 feet to the POINT OF BEGINNING, containing 0.242 Acres more or less.

Recorded in Official Records
in Marion County, Florida
Record Verified
DARREY T. KOLLAGER
Clerk Circuit Court

**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



Disclosure of Interest

Pursuant to Section 101-6 of the Land Development Code, this form shall accompany land-use related applications. The intent is to disclose the identity of true parties in interest to the public, thereby enabling the public to ascertain which parties will potentially benefit.

Any person or entity holding real property in the form of a partnership, limited partnership, corporation, assignment of interest, trust, option, assignment of beneficial or contractual interest, or any form of representative capacity whatsoever for others, except as otherwise provided, shall, during application submittal for a specified application types, make a public disclosure, in writing, under oath, and subject to the penalties prescribed for perjury. Exemptions to the requirements of this section include the beneficial interest which is represented by stock in corporations registered with the federal securities exchange commission or in corporations registered pursuant to Chapter 517, Florida Statutes, whose stock is for sale to the general public.

This written disclosure shall be made to the planning director at the time of application. The disclosure information shall include the name and address of every person having a beneficial or contractual interest in the real property, however small or minimal.

- If the property is owned fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>
<i>Yachtsman's Inn Land LLC</i> <i>(see attached)</i>	

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

Name and Address	% of Ownership

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

- If the property is in the name of a GENERAL or LIMITED PARTNERSHIP, list the name of the general and/or limited partners. (Use additional sheets if necessary):

Name and Address	% of Ownership

- If there is a CONTRACT FOR PURCHASE, with an individual or individuals, a Corporation, Trustee, or a Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners. (Use additional sheets if necessary):

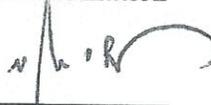
Name and Address	% of Ownership

* Please provide date of contract _____

- If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. (Use additional sheets if necessary):

Name and Address

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: Vaughn Roberts 

State of Florida, County of Monroe

The foregoing instrument was acknowledged before me this 20 day of May, 2020, by Vaughn Roberts Personally known to me or has produced _____ as identification.



Lusine U. Blowen
Notary Public
My Commission Expires June 23, 2024



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
YACHTSMAN'S INN LAND, LLC

Filing Information

Document Number	L14000175882
FE/EIN Number	47-2314202
Date Filed	11/13/2014
State	FL
Status	ACTIVE
Last Event	LC AMENDED AND RESTATED ARTICLES
Event Date Filed	04/14/2017
Event Effective Date	NONE

Principal Address

35 OCEAN REEF DR.
SUITE #200
KEY LARGO, FL 33037

Changed: 04/14/2017

Mailing Address

35 OCEAN REEF DR.
SUITE #200
KEY LARGO, FL 33037

Changed: 04/14/2017

Registered Agent Name & Address

BOGDAN, ROBERT A
35 OCEAN REEF DR.
SUITE #200
KEY LARGO, FL 33037

Name Changed: 04/14/2017

Authorized Person(s) Detail

Name & Address

Title MGR

Tonarelli, Alex

35 OCEAN REEF DR.
SUITE #200
KEY LARGO, FL 33037

Title MGR

WEINSTEIN, RICHARD K
35 OCEAN REEF DR.
SUITE #200
KEY LARGO, FL 33037

Title MGR

Roberts, Vaughn
35 OCEAN REEF DR.
SUITE #200
KEY LARGO, FL 33037

Title Manager

Franklin, Ruford D, II
35 Ocean Reef Drive
Suite 200
Key Largo, FL 33037

Annual Reports

Report Year	Filed Date
2019	04/29/2019
2019	09/19/2019
2020	04/28/2020

Document Images

04/28/2020 -- ANNUAL REPORT	View image in PDF format
09/19/2019 -- AMENDED ANNUAL REPORT	View image in PDF format
04/29/2019 -- ANNUAL REPORT	View image in PDF format
04/25/2018 -- ANNUAL REPORT	View image in PDF format
04/14/2017 -- LC Amended and Restated Ar	View image in PDF format
01/18/2017 -- ANNUAL REPORT	View image in PDF format
04/28/2016 -- ANNUAL REPORT	View image in PDF format
04/04/2015 -- ANNUAL REPORT	View image in PDF format
11/13/2014 -- Florida Limited Liability	View image in PDF format

**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



Disclosure of Interest

Pursuant to Section 101-6 of the Land Development Code, this form shall accompany land-use related applications. The intent is to disclose the identity of true parties in interest to the public, thereby enabling the public to ascertain which parties will potentially benefit.

Any person or entity holding real property in the form of a partnership, limited partnership, corporation, assignment of interest, trust, option, assignment of beneficial or contractual interest, or any form of representative capacity whatsoever for others, except as otherwise provided, shall, during application submittal for a specified application types, make a public disclosure, in writing, under oath, and subject to the penalties prescribed for perjury. Exemptions to the requirements of this section include the beneficial interest which is represented by stock in corporations registered with the federal securities exchange commission or in corporations registered pursuant to Chapter 517, Florida Statutes, whose stock is for sale to the general public.

This written disclosure shall be made to the planning director at the time of application. The disclosure information shall include the name and address of every person having a beneficial or contractual interest in the real property, however small or minimal.

- If the property is owned fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>
Ocean Reef Club, Inc (See attached.)	

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

Name and Address	% of Ownership

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

- If the property is in the name of a GENERAL or LIMITED PARTNERSHIP, list the name of the general and/or limited partners. (Use additional sheets if necessary):

Name and Address	% of Ownership

- If there is a CONTRACT FOR PURCHASE, with an individual or individuals, a Corporation, Trustee, or a Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners. (Use additional sheets if necessary):

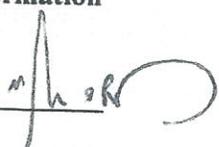
Name and Address	% of Ownership

* Please provide date of contract _____

- If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. (Use additional sheets if necessary):

Name and Address

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: Vaughn Roberts 
 State of Florida, County of Monroe

The foregoing instrument was acknowledged before me this 20 day of May 2020, by Vaughn Roberts ~~He/She~~ personally known to me or has produced _____ as identification.



Luann V. Lowen
 Notary Public
 My Commission Expires June 23, 2024



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Detail by Entity Name

Florida Not For Profit Corporation
 OCEAN REEF CLUB, INC.

Filing Information

Document Number N92000000498
FEI/EIN Number 65-0371142
Date Filed 11/30/1992
State FL
Status ACTIVE
Last Event AMENDED AND RESTATED ARTICLES
Event Date Filed 01/26/2006
Event Effective Date NONE

Principal Address

35 OCEAN REEF DRIVE
 SUITE 200
 KEY LARGO, FL 33037

Changed: 01/10/2003

Mailing Address

35 OCEAN REEF DRIVE
 SUITE 200
 KEY LARGO, FL 33037

Changed: 07/15/2010

Registered Agent Name & Address

Bogdan, Robert A
 35 OCEAN REEF DR
 STE 200 EO
 KEY LARGO, FL 33037

Name Changed: 04/30/2014

Address Changed: 04/13/2006

Officer/Director Detail

Name & Address

Title Chairman

Manzo, Robert

35 OCEAN REEF DRIVE
SUITE 200
KEY LARGO, FL 33037

Title VP, Asst. Treasurer

FRANKLIN, RUFORD DII
35 OCEAN REEF DRIVE
SUITE 200
KEY LARGO, FL 33037

Title SVP

Roberts, Vaughn
35 OCEAN REEF DRIVE, STE EO 200
KEY LARGO, FL 33037

Title SVP

Weinstein, Richard K
35 OCEAN REEF DRIVE
SUITE 200
KEY LARGO, FL 33037

Title Secretary, GC

Bogdan, Robert A
35 OCEAN REEF DRIVE
SUITE 200
KEY LARGO, FL 33037

Title VC

Larkin, Ray
35 Ocean Reef Drive
Suite 200
Key Largo, FL 33037

Title President

Tonarelli, Alex
35 OCEAN REEF DRIVE
SUITE 200
KEY LARGO, FL 33037

Annual Reports

Report Year	Filed Date
2019	04/29/2019
2019	09/19/2019
2020	04/28/2020

Document Images

04/28/2020 -- ANNUAL REPORT	View image in PDF format
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05/31/2019 -- Off/Dir Resignation	View image in PDF format
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04/25/2018 -- ANNUAL REPORT	View image in PDF format
04/27/2017 -- ANNUAL REPORT	View image in PDF format
04/26/2016 -- ANNUAL REPORT	View image in PDF format
10/27/2015 -- AMENDED ANNUAL REPORT	View image in PDF format
01/05/2015 -- ANNUAL REPORT	View image in PDF format
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04/17/2012 -- ANNUAL REPORT	View image in PDF format
04/19/2011 -- ANNUAL REPORT	View image in PDF format
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06/23/2010 -- ANNUAL REPORT	View image in PDF format
02/22/2010 -- ANNUAL REPORT	View image in PDF format
01/20/2009 -- ANNUAL REPORT	View image in PDF format
05/19/2008 -- ANNUAL REPORT	View image in PDF format
03/12/2007 -- ANNUAL REPORT	View image in PDF format
04/13/2006 -- ANNUAL REPORT	View image in PDF format
01/26/2006 -- Amended and Restated Articles	View image in PDF format
07/13/2005 -- ANNUAL REPORT	View image in PDF format
02/05/2004 -- ANNUAL REPORT	View image in PDF format
01/10/2003 -- ANNUAL REPORT	View image in PDF format
05/14/2002 -- ANNUAL REPORT	View image in PDF format
03/14/2001 -- ANNUAL REPORT	View image in PDF format
02/01/2000 -- ANNUAL REPORT	View image in PDF format
02/23/1999 -- ANNUAL REPORT	View image in PDF format
01/20/1998 -- ANNUAL REPORT	View image in PDF format
01/24/1997 -- ANNUAL REPORT	View image in PDF format
02/08/1996 -- ANNUAL REPORT	View image in PDF format
04/18/1995 -- ANNUAL REPORT	View image in PDF format

**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



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<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

<i>Name and Address</i> O R Business Center, LLC	<i>% of Ownership</i>
<i>(See attached)</i>	

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

Name and Address	% of Ownership

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

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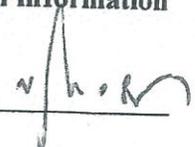
Name and Address	% of Ownership

* Please provide date of contract _____

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Name and Address

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: Vaughn Roberts 
 State of Florida, County of Monroe

The foregoing instrument was acknowledged before me this 20 day of May, 2020, by Vaughn Roberts. He is personally known to me or has produced _____ as identification.



Larry O. Loven
 Notary Public
 My Commission Expires June 23, 2024



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Detail by Entity Name

Florida Limited Liability Company
O.R. BUSINESS CENTER, LLC

Filing Information

Document Number L00000011753
FEI/EIN Number 65-1042993
Date Filed 09/28/2000
State FL
Status ACTIVE
Last Event LC DISSOCIATION MEM
Event Date Filed 05/31/2019
Event Effective Date NONE

Principal Address

35 OCEAN REEF DRIVE, SUITE #200
KEY LARGO, FL 33037

Changed: 01/17/2003

Mailing Address

35 OCEAN REEF DRIVE, SUITE #200
KEY LARGO, FL 33037

Changed: 01/17/2003

Registered Agent Name & Address

BOGDAN, ROBERT A
35 OCEAN REEF DRIVE, SUITE #200
KEY LARGO, FL 33037

Name Changed: 01/05/2015

Address Changed: 01/27/2002

Authorized Person(s) Detail

Name & Address

Title SVP

Roberts, Vaughn
35 OCEAN REEF DRIVE, SUITE #200
KEY LARGO, FL 33037

Title VP, AT

FRANKLIN, RUFORD DII
35 OCEAN REEF DRIVE, SUITE #200
KEY LARGO, FL 33037

Title President

Tonarelli, Alex
35 OCEAN REEF DRIVE, SUITE #200
KEY LARGO, FL 33037

Annual Reports

Report Year	Filed Date
2019	04/29/2019
2019	09/19/2019
2020	04/28/2020

Document Images

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05/31/2019 -- CORLCDSMEM	View image in PDF format
04/29/2019 -- ANNUAL REPORT	View image in PDF format
04/25/2018 -- ANNUAL REPORT	View image in PDF format
04/27/2017 -- ANNUAL REPORT	View image in PDF format
04/26/2016 -- ANNUAL REPORT	View image in PDF format
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05/19/2008 -- ANNUAL REPORT	View image in PDF format
02/16/2007 -- ANNUAL REPORT	View image in PDF format
02/22/2006 -- ANNUAL REPORT	View image in PDF format
07/13/2005 -- ANNUAL REPORT	View image in PDF format
02/09/2004 -- ANNUAL REPORT	View image in PDF format
01/17/2003 -- ANNUAL REPORT	View image in PDF format
01/27/2002 -- ANNUAL REPORT	View image in PDF format
01/31/2001 -- ANNUAL REPORT	View image in PDF format
09/28/2000 -- Florida Limited Liabilites	View image in PDF format

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00573630-002600
 Account# 1710695
 Property ID 1710695
 Millage Group 500R
 Location 395 S HARBOR Dr, KEY LARGO
 Address
 Legal Description HARBOR COURSE SEC 2 OCEAN REEF PLAT NO 13 PB7-5 KEY LARGO TRACT C & PT TR A HARBOR COURSE S SEC 1 OR PLAT #14 PB7-9 OR856-1810/1811 OR881-1943 OR881-2002/13(SUB-LEASE) OR1247-1891/94(ASSN) OR1417-1599/601
 (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property CLUB (7700)
 Class
 Subdivision HARBOR COURSE SEC 2 O.R. #13 REPLAT
 Sec/Twp/Rng 13/59/40
 Affordable No
 Housing



Owner

OCEAN REEF CLUB INC
 C/O ACCOUNTING DEPT
 35 Ocean Reef Dr Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$4,751,235	\$0	\$0	\$0
+ Market Misc Value	\$974,947	\$0	\$0	\$0
+ Market Land Value	\$989,370	\$1,848,176	\$1,848,176	\$1,848,176
= Just Market Value	\$6,715,552	\$1,848,176	\$1,848,176	\$1,848,176
= Total Assessed Value	\$2,734,781	\$1,848,176	\$1,848,176	\$1,848,176
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$6,715,552	\$1,848,176	\$1,848,176	\$1,848,176

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(7700)	117,000.00	Square Foot	0	0
HARDWOOD HAMMOCK (00HH)	2.03	Acreage	0	0

Commercial Buildings

Style CLUBS/LDG/HALLS B / 77B
 Gross Sq Ft 37,365
 Finished Sq Ft 33,717
 Perimeter 2,344
 Stories 2
 Interior Walls
 Exterior Walls CUSTOM
 Quality 400 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1982
 Year Remodeled
 Effective Year Built 2010
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	432	0	120
FLA	FLOOR LIV AREA	33,717	33,717	1,592
OOU	OP PR UNFIN UL	602	0	138
OPF	OP PRCH FIN LL	408	0	140
OUF	OP PRCH FIN UL	168	0	52

PTO	PATIO	1,773	0	186
PTX	PATIO CUSTOM	265	0	116
TOTAL		37,365	33,717	2,344

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CH LINK FENCE	1976	1977	1	11040 SF	1
ASPHALT PAVING	1976	1977	1	12940 SF	3
CONC PATIO	1981	1982	1	208 SF	5
ASPHALT PAVING	1981	1982	1	40102 SF	3
BRICK PATIO	1997	1998	1	597 SF	2
LC UTIL BLDG	2006	2007	1	32 SF	1
CH LINK FENCE	2006	2007	1	8760 SF	3
ASPHALT PAVING	1999	2000	1	16340 SF	2
COMM POOL	2018	2019	1	4350 SF	2
CUSTOM PATIO	2018	2019	1	7088 SF	3

Sales

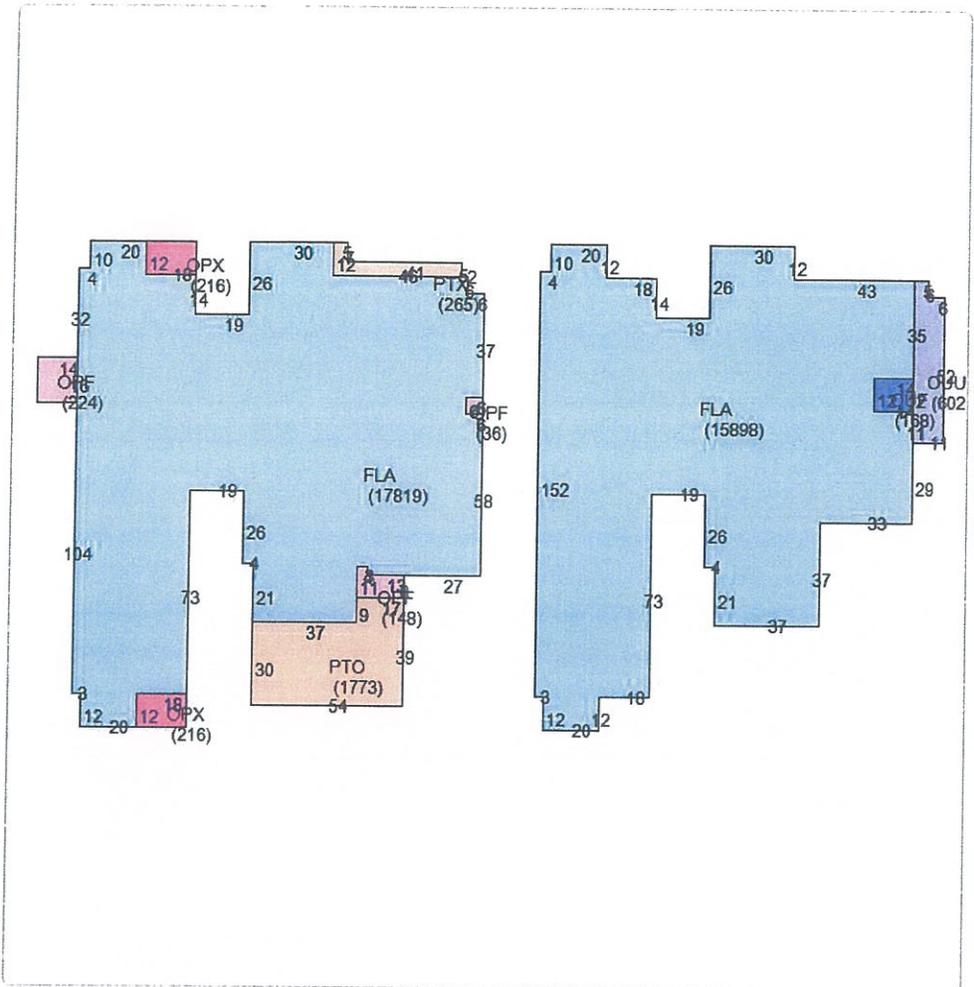
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
2/1/1996	\$952,800	Quit Claim Deed		1417	1599	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
17404070	8/14/2017		\$1,000,000	Commercial	
12300002	3/15/2012		\$1		CONSTRUCT 4,018 SF LAP POOL & DECK
08302824	9/4/2008	12/8/2008	\$1		ADDITION/REMODEL/REPAIR INT & EXT.
04305397	9/9/2005	12/31/2006	\$1		INTERIOR COMMERCIAL RENOVATIONS
9832990	10/27/1999	12/31/1999	\$1		FERAL CAT CLINIC COMMERCIAL BUILDING
9931055	6/24/1999	12/31/1999	\$1		PAVING
9830251	5/6/1998	11/25/1998	\$1		REMODEL 1ST FLOOR
9732244	10/9/1997	11/25/1998	\$1	Commercial	BRICK PAVERS
					COMM. INT. REMODEL

[View Taxes for this Parcel](#)

[Sketches \(click to enlarge\)](#)



Photos



Map



TRIM Notice

Trim Notice

2019 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes or all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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[GDPR Privacy Notice](#)

Last Data Upload: 5/19/2020, 2:20:22 AM

Version 2.3.60



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By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00572797-003600
 Account# 1709620
 Property ID 1709620
 Millage Group 500R
 Location 100 ANCHOR Dr, KEY LARGO
 Address
 Legal HARBOR COURSE SEC ONE OCEAN REEF PLAT 13 PB7-3 PT TRACT A (36.62AC) OR714-723 OR721-587
 Description OR856-1810/11 OR1060-527/33 OR1247-1856/76 OR2907-1347/48
 (Note: Not to be used on legal documents.)
 Neighborhood 10011
 Property Class CLUB (7700)
 Subdivision HARBOR COURSE SEC 1 O.R. #13
 Sec/Twp/Rng 13/59/40
 Affordable No
 Housing



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$1,319,151	\$1,319,151	\$1,319,151	\$1,319,151
= Just Market Value	\$1,319,151	\$1,319,151	\$1,319,151	\$1,319,151
= Total Assessed Value	\$1,319,151	\$1,319,151	\$1,319,151	\$1,319,151
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,319,151	\$1,319,151	\$1,319,151	\$1,319,151

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(3800)	36.62	Acreage	0	0

Commercial Buildings

Style OFF BLDG-1 STY-B / 17B
 Gross Sq Ft 3,396
 Finished Sq Ft 2,688
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls MIN WOOD SIDING
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 MIN WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type FCD/AIR DUCTED
 Year Built 1986
 Year Remodeled
 Effective Year Built 2013
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	2,688	2,688	0
OPF	OP PRCH FIN LL	708	0	0
TOTAL		3,396	2,688	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CH LINK FENCE	2018	2019	1	110 SF	1

Sales

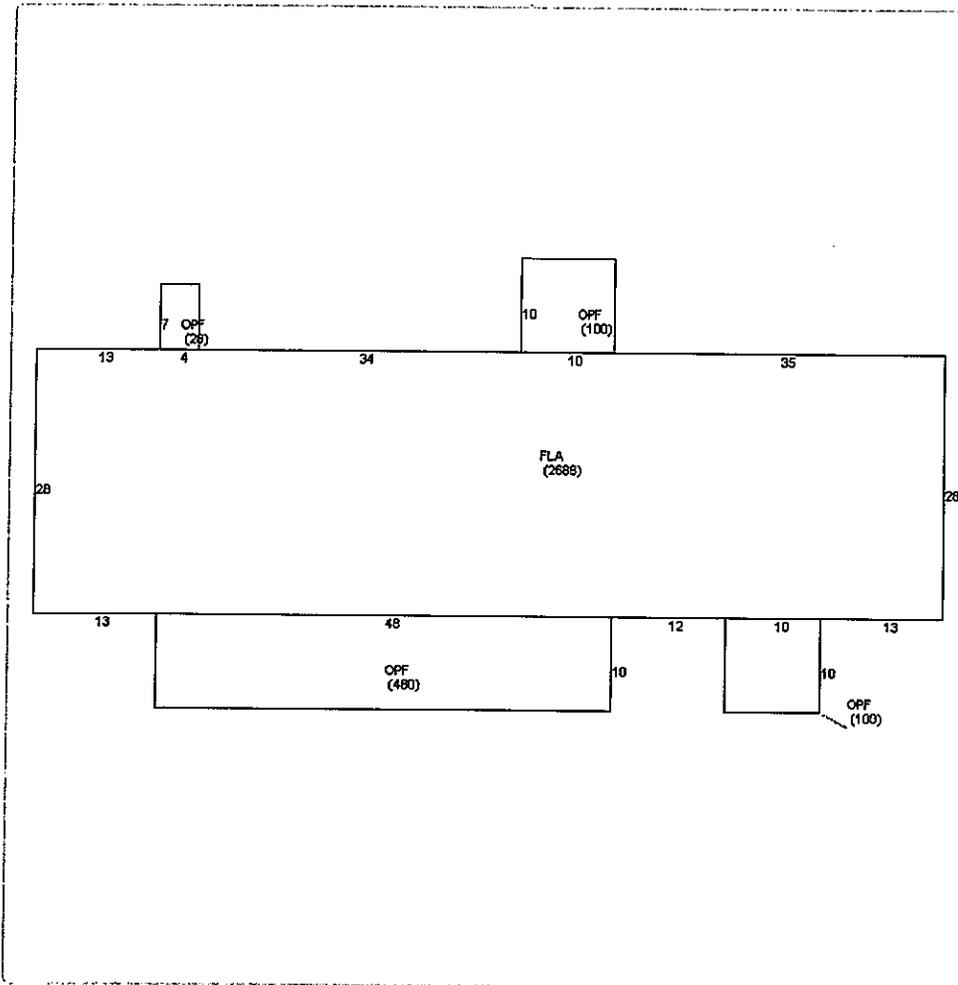
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/1/1993	\$238,000	Warranty Deed		1247	1856	M - Unqualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
19400427	1/21/2020		\$13,000	Commercial	
18400121	5/17/2018	6/18/2018	\$1,700	Commercial	DEMOLISH 2438 SF
18400065	3/21/2018	4/3/2018	\$3,200	Commercial	INSTALL 22 LF CHAIN LINK FENCE 5" HIGH
17404260	11/27/2017	12/28/2017	\$20,000	Commercial	REPLACEMENT EXTERIOR ACCESS RAMP
17404133	7/25/2017		\$13,333	Commercial	
16408570	12/14/2016	2/15/2017	\$18,000	Commercial	SIDEWALK/LANDSCAPE
15300530	2/9/2015	6/4/2015	\$20,125	Commercial	INT REMODEL/REPAIR
12300449	2/28/2012	8/28/2012	\$1	Commercial	NEW BUILDING DEPT OFFICE (11601 COUNTY RD 905)
2301152	5/3/2002	6/26/2002	\$1	Commercial	INSTALL NEW ATT EQUIPMENT AND REPLACE ANTENNAS ON EXISTING TOWERS. INSTALL ANTENNAS/CABINET

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



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Version 2.3.60

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Summary

Parcel ID 00572795-001000
 Account# 1709051
 Property ID 1709051
 Millage Group 500R
 Location 30 OCEAN REEF Dr, KEY LARGO
 Address
 Legal ANCHOR DRIVE SUBDIVISION OCEAN REEF PLAT NO 10 KEY LARGO PB6-118 TRACT A OR968-1943/44
 Description OR968-1945 OR2177-724/26 OR2205-271/79EASMENT
 (Note: Not to be used on legal documents.)
 Neighborhood 10011
 Property PRIVATE HOSPITAL (7300)
 Class
 Subdivision ANCHOR DR SUB OCEAN REEF
 Sec/Twp/Rng 07/59/41
 Affordable No
 Housing



Owner

OCEAN REEF CLUB INC
 C/O PRESIDENT
 35 Ocean Reef Dr Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$0	\$0	\$503,351	\$608,263
+ Market Misc Value	\$0	\$0	\$10,238	\$10,238
+ Market Land Value	\$875,952	\$875,952	\$875,952	\$875,952
= Just Market Value	\$875,952	\$875,952	\$1,389,541	\$1,494,453
= Total Assessed Value	\$875,952	\$875,952	\$1,389,541	\$1,494,453
- School Exempt Value	\$0	\$0	(\$1,389,541)	(\$1,494,453)
= School Taxable Value	\$875,952	\$875,952	\$0	\$0

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	41,712.00	Square Foot	0	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
12/22/2005	\$1,500,000	Warranty Deed		2177	724	K - Unqualified	Improved

Permits

Number ↕	Date Issued ↕	Date Completed ↕	Amount ↕	Permit Type ↕	Notes ↕
17403385	7/5/2017	8/28/2017	\$80,000	Commercial	
9432229	2/1/1995	12/1/1996	\$1	Commercial	ADDITION @ REMODEL

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Photos

1709051-20120524



1709051-20170828



Map



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No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Yard Items, Exemptions, Sketches (click to enlarge).

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Summary

Parcel ID 00570460-000000
 Account# 1703745
 Property ID 1703745
 Millage Group 500R
 Location Address 90 ANDROS Rd, KEY LARGO
 Legal Description OCEAN REEF PLAT NO1 AMD KEY LARGO PB5-72 TRACT G OR288-513 OR435-855/861 OR1247-1856/1876
 (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property Class HOTEL/MOTEL (3900)
 Subdivision OCEAN REEF NO 1 AMD
 Sec/Twp/Rng 07/59/41
 Affordable Housing No



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$4,317,101	\$4,098,674	\$4,195,711	\$0
+ Market Misc Value	\$479,678	\$455,408	\$466,190	\$0
+ Market Land Value	\$4,796,779	\$4,554,082	\$4,661,901	\$8,474,701
= Just Market Value	\$9,593,558	\$9,108,164	\$9,323,802	\$8,474,701
= Total Assessed Value	\$3,388,275	\$3,080,250	\$2,800,228	\$2,545,662
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$9,593,558	\$9,108,164	\$9,323,802	\$8,474,701

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(3900)	24,805.00	Square Foot	0	0

Commercial Buildings

Style HOTEL/MOTEL B / 39B
 Gross Sq Ft 30,755
 Finished Sq Ft 24,564
 Perimeter 0
 Stories 4
 Interior Walls
 Exterior Walls CUSTOM
 Quality 600 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1988
 Year Remodeled
 Effective Year Built 2006
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	6,191	0	0
FLA	FLOOR LIV AREA	24,564	24,564	0
TOTAL		30,755	24,564	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CONC PATIO	1975	1976	1	4325F	2

Sales

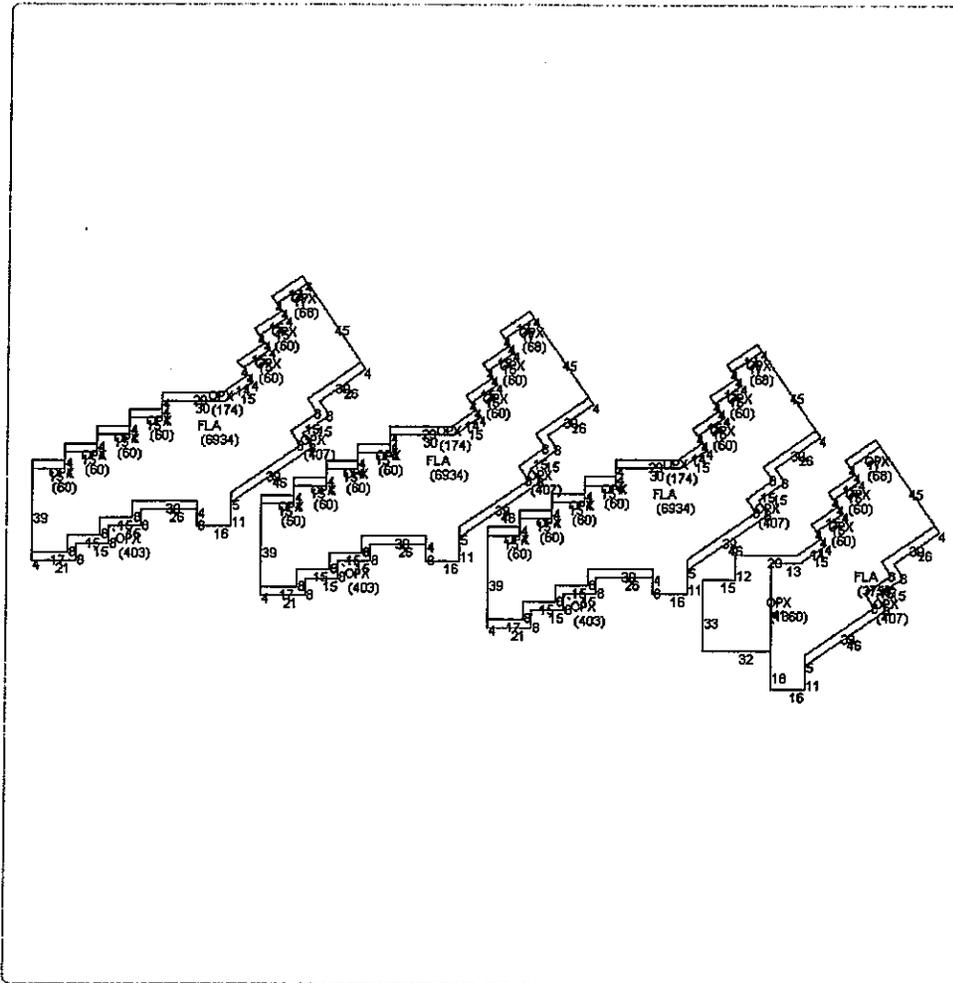
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/1/1993	\$1	Warranty Deed		1247	1856	M - Unqualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18400279	7/26/2018	8/28/2018	\$150,000	Residential	INTERIOR REMODEL/REPAIR
05305311	5/4/2006	12/31/2006	\$1	Residential	INTERIOR RENOVATION OF HOTEL ROOMS

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Sketches (click to enlarge)



Photos



Map



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Summary

Parcel ID 00570450-000000
 Account# 1703737
 Property ID 1703737
 Millage Group 500R
 Location 101 ANDROS Rd, OCEAN REEF
 Address
 Legal Description BK 10 LT 16 OCEAN REEF PLAT #1 AMD KEY LARGO PB5-72 OR456-757/758 SEE DEATH CERTIFICATE IN UNRECORDED FILE OR844-1268D/C OR1015-251/67WILL CASE#87-201-CP-10 OROR1049-2363/68PR OR1049-2369/71 OR1253-1674/75 OR1688-143/45
 (Note: Not to be used on legal documents.)
 Neighborhood 2251
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision OCEAN REEF NO 1 AMD
 Sec/Twp/Rng 07/59/41
 Affordable No
 Housing



Owner

OCEAN REEF CLUB INC
 C/O ACCOUNTING DEPARTMENT
 35 Ocean Reef Dr Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value				
+ Market Misc Value	\$333,178	\$338,007	\$338,007	\$305,260
+ Market Land Value	\$21,551	\$18,505	\$19,429	\$21,280
= Just Market Value	\$4,932,312	\$4,382,331	\$3,979,479	\$3,589,869
= Total Assessed Value	\$5,287,041	\$4,738,843	\$4,336,915	\$3,916,409
- School Exempt Value	\$4,528,046	\$4,116,405	\$3,742,187	\$3,401,988
= School Taxable Value	\$0	\$0	\$0	\$0
	\$5,287,041	\$4,738,843	\$4,336,915	\$3,916,409

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL VIEW (010V)	13,345.00	Square Foot	0	0

Buildings

Building ID	31468	Exterior Walls	CUSTOM
Style		Year Built	1989
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	1995
Gross Sq Ft	3135	Foundation	CONC PILINGS
Finished Sq Ft	1922	Roof Type	IRR/CUSTOM
Stories	1 Floor	Roof Coverage	CONC/CLAY TILE
Condition	AVERAGE	Flooring Type	CERM/CLAY TILE
Perimeter	234	Heating Type	NONE with 0% NONE
Functional Obs	0	Bedrooms	3
Economic Obs	0	Full Bathrooms	2
Depreciation %	32	Half Bathrooms	0
Interior Walls	WD PANL/CUSTOM	Grade	650
		Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	67	0	34
SPX	EXEC SC PORCH	816	0	164
FLA	FLOOR LIV AREA	1,922	1,922	232
GBF	GAR FIN BLOCK	330	0	74
TOTAL		3,135	1,922	504

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CUSTOM PATIO	1988	1989			
CUSTOM PATIO	1988	1989	1	104 SF	4
RES POOL	1988	1989	1	1800 SF	4
			1	84 SF	5

Sales

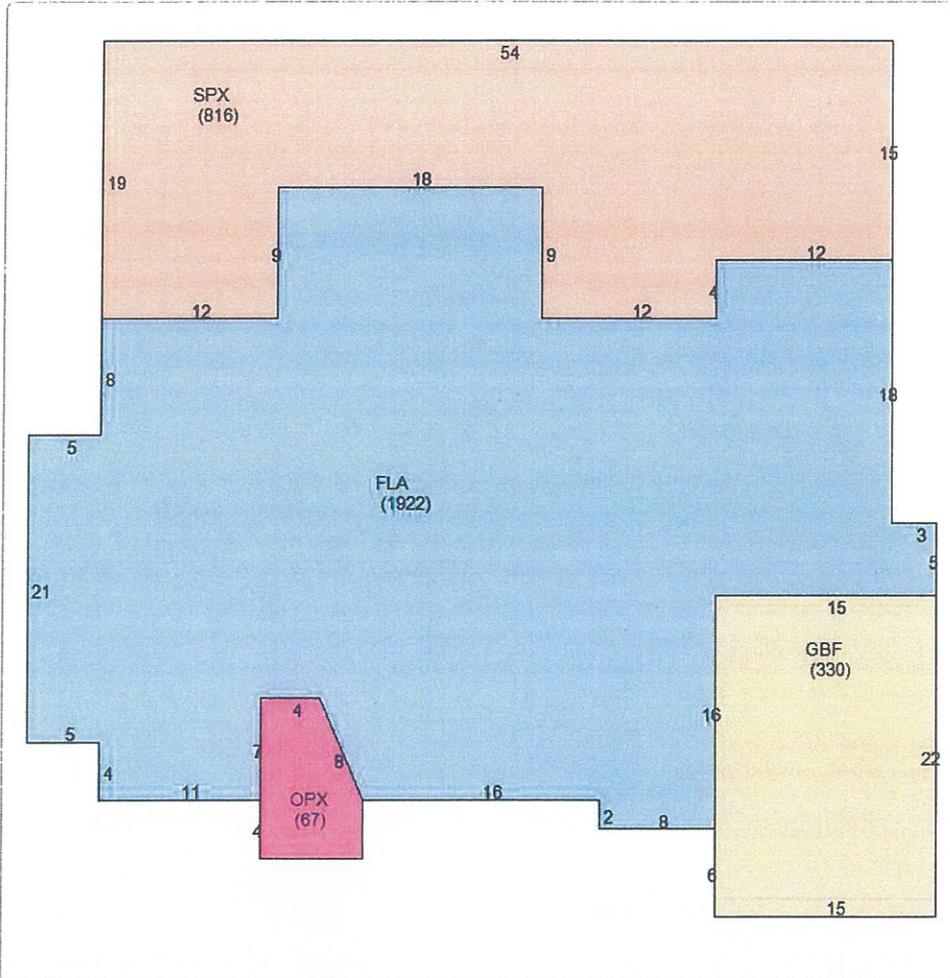
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/28/2001	\$800,000	Warranty Deed		1688	0143	U - Unqualified	Improved
4/1/1993	\$712,500	Warranty Deed		1253	1674	E - Unqualified	Improved
4/1/1988	\$450,000	Warranty Deed		1049	2369	Q - Qualified	Improved
2/1/1970	\$75,000	Conversion Code		456	757	Q - Qualified	Improved

Permits

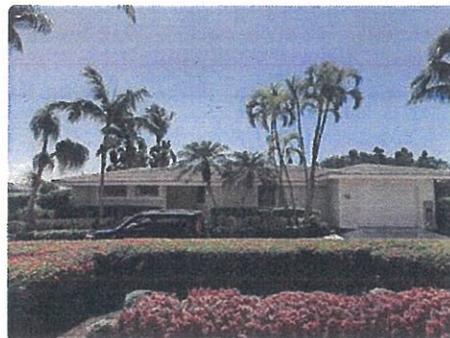
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
11304626	9/23/2011	12/31/2011	\$1		REPLACEMENT SCREEN POOL ENCLOSURE

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Sketches (click to enlarge)



Photos



Map



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Summary

Parcel ID 00569510-000000
 Account# 1700355
 Property ID 1700355
 Millage Group 500R
 Location Address 90 ANDROS Rd, KEY LARGO
 Legal Description OCEAN REEF PLAT #1 PB4-90 KEY LARGO TR E OR435-855/861 OR1247-1856/1876
 (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property Class HOTEL/MOTEL (3900)
 Subdivision OCEAN REEF NO 1 RESUBD AREA A
 Sec/Twp/Rng 07/59/41
 Affordable Housing No



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$2,223,393	\$2,167,622	\$2,167,622	\$0
+ Market Misc Value	\$247,044	\$240,847	\$240,847	\$0
+ Market Land Value	\$2,470,437	\$2,408,469	\$2,408,469	\$4,334,421
= Just Market Value	\$4,940,874	\$4,816,938	\$4,816,938	\$4,334,421
= Total Assessed Value	\$3,025,896	\$2,750,815	\$2,500,741	\$2,273,401
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$4,940,874	\$4,816,938	\$4,816,938	\$4,334,421

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(3900)	4.00	Acreage	0	0
(9500)	1.15	Acreage	0	0

Commercial Buildings

Style REST/CAFET-A- / 21A
 Gross Sq Ft 11,188
 Finished Sq Ft 8,047
 Perimeter 0
 Stories 3
 Interior Walls
 Exterior Walls CUSTOM
 Quality 550 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1988
 Year Remodeled
 Effective Year Built 1999
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
EPB	ENCL PORCH BLK	1,487	0	0
OPX	EXC OPEN PORCH	1,654	0	0
FLA	FLOOR LIV AREA	8,047	8,047	0
TOTAL		11,188	8,047	0

Style WAREHOUSE/MARINA A / 48A
 Gross Sq Ft 379
 Finished Sq Ft 256
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls REIN CONCRETE
 Quality 500 ()
 Roof Type
 Roof Material
 Exterior Wall1 REIN CONCRETE
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1982
 Year Remodeled
 Effective Year Built 2005
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	256	256	0
OPF	OP PRCH FIN LL	123	0	0
TOTAL		379	256	0

Style NIGHT CLUBS/BARS-A- / 33A
 Gross Sq Ft 1,042
 Finished Sq Ft 835
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls REIN CONCRETE
 Quality 500 ()
 Roof Type
 Roof Material
 Exterior Wall1 REIN CONCRETE
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1982
 Year Remodeled
 Effective Year Built 2005
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	835	835	0
OPF	OP PRCH FIN LL	207	0	0
TOTAL		1,042	835	0

Style NIGHT CLUBS/BARS-A- / 33A
 Gross Sq Ft 437
 Finished Sq Ft 209
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls REIN CONCRETE
 Quality 500 ()
 Roof Type
 Roof Material
 Exterior Wall1 REIN CONCRETE
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1982
 Year Remodeled
 Effective Year Built 2005
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	209	209	0
SBF	UTIL FIN BLK	228	0	0
TOTAL		437	209	0

Style NIGHT CLUBS/BARS-A- / 33A
 Gross Sq Ft 993
 Finished Sq Ft 796
 Perimeter 0

Stories 1
 Interior Walls
 Exterior Walls REIN CONCRETE
 Quality 500 0
 Roof Type
 Roof Material
 Exterior Wall1 REIN CONCRETE
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1982
 Year Remodeled
 Effective Year Built 2005
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	796	796	0
OPF	OP PRCH FIN LL	197	0	0
TOTAL		993	796	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
HOT TUB	1982	1983	1	1 UT	3
CON DKS/CONPIL	1982	1983	1	1200 SF	5
CONC PATIO	1982	1983	1	26000 SF	3
CUSTOM POOL	1982	1983	1	4884 SF	2
BOAT RAMP	1986	1987	1	750 SF	1

Sales

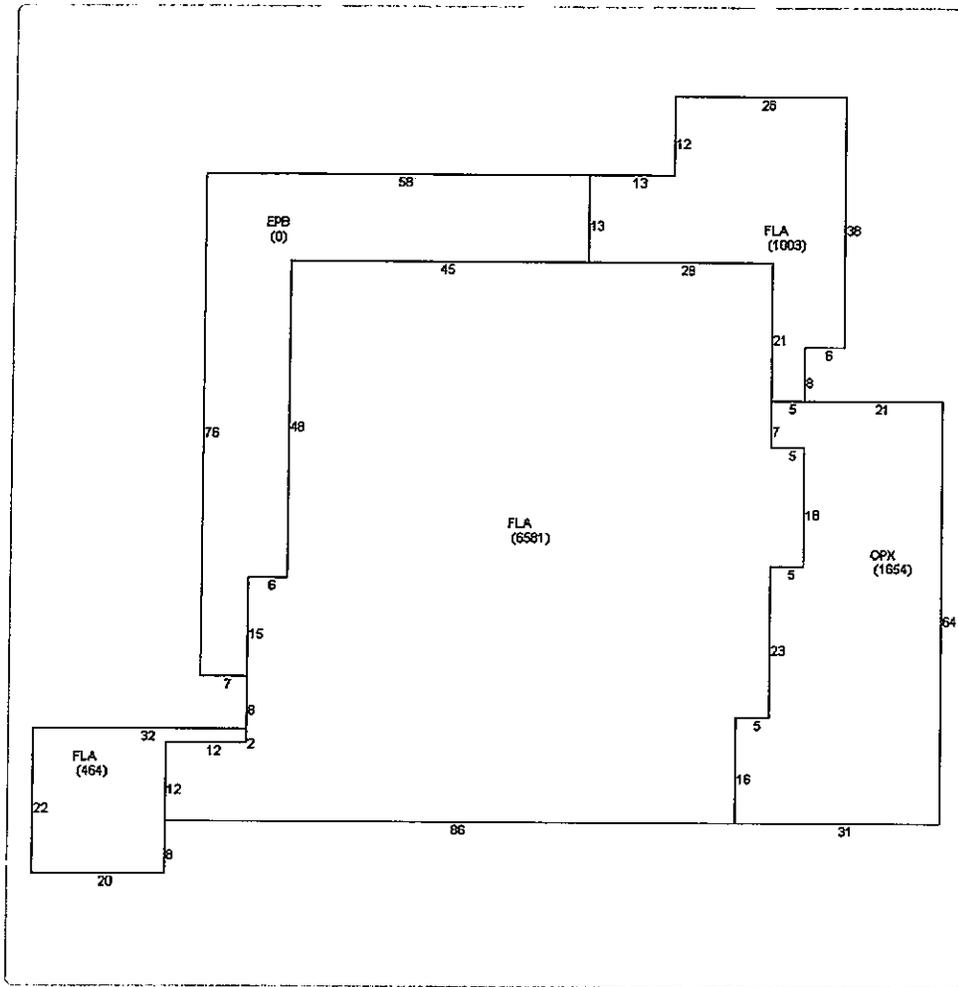
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/1/1993	\$1	Warranty Deed		1247	1856	M - Unqualified	Improved

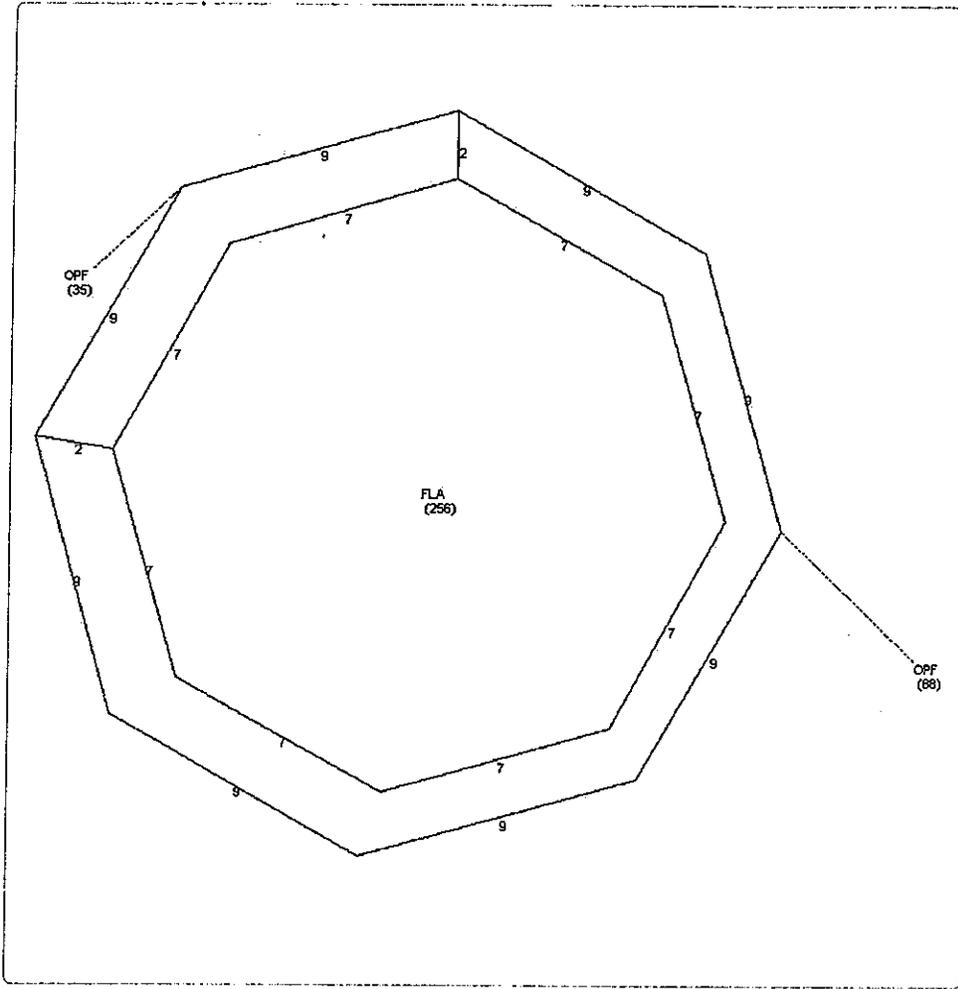
Permits

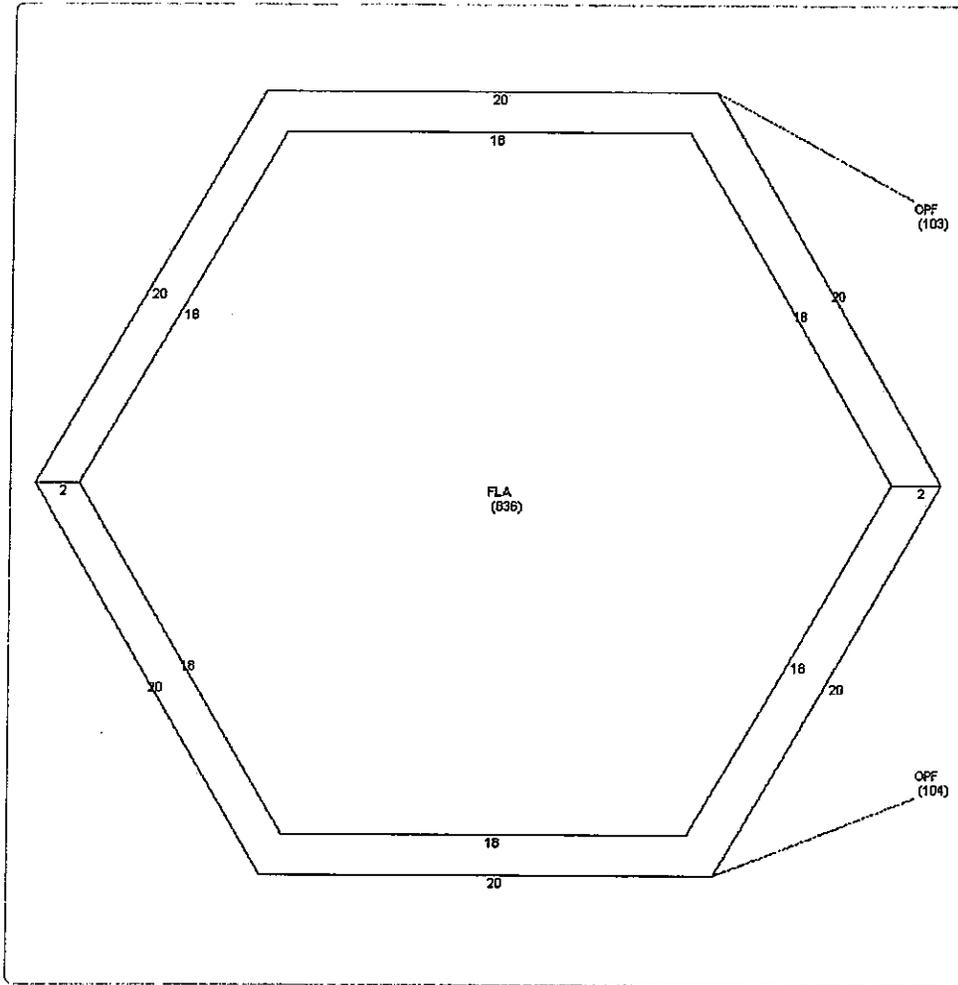
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18400388	11/7/2018	1/17/2019	\$47,320	Commercial	REPLACE 15 TON A/C UNIT
18400286	9/26/2018	2/25/2019	\$1,030,704	Commercial	REMODEL/REPAIR - ISLANDER RESTAURANT ORC
18400241	7/12/2018	9/21/2018	\$23,000	Residential	DEMOLISH ISLANDER RESTAURANT
18400139	6/12/2018		\$27,000		POUR A NEW 413 SQ FT CONCRETE FLOOR TO REPLACE EXISTING WOOD FLOOR
14302107	5/22/2014	9/9/2014	\$170,000	Commercial	SPALLING REPAIRS
13302397	10/22/2013	4/23/2014	\$870,742	Commercial	INT/EXT REMODEL
13302665	7/30/2013	8/13/2013	\$9,000	Commercial	DEMOLITION - BATHROOMS
07304072	10/9/2007	8/13/2013	\$1	Commercial	A/C REPLACEMENT
06301709	5/1/2006	3/7/2007	\$1	Commercial	ADDITION/RENOVATE/REMODEL
05304309	9/8/2005	3/7/2007	\$1	Commercial	(ATF) INTERIOR RENOVATIONS
04303986	8/19/2004	1/1/2005	\$1	Commercial	REMOVE/REPLACE FLOOR
9831818	8/18/1998	1/6/1999	\$1	Commercial	COMMERCIAL REMODEL

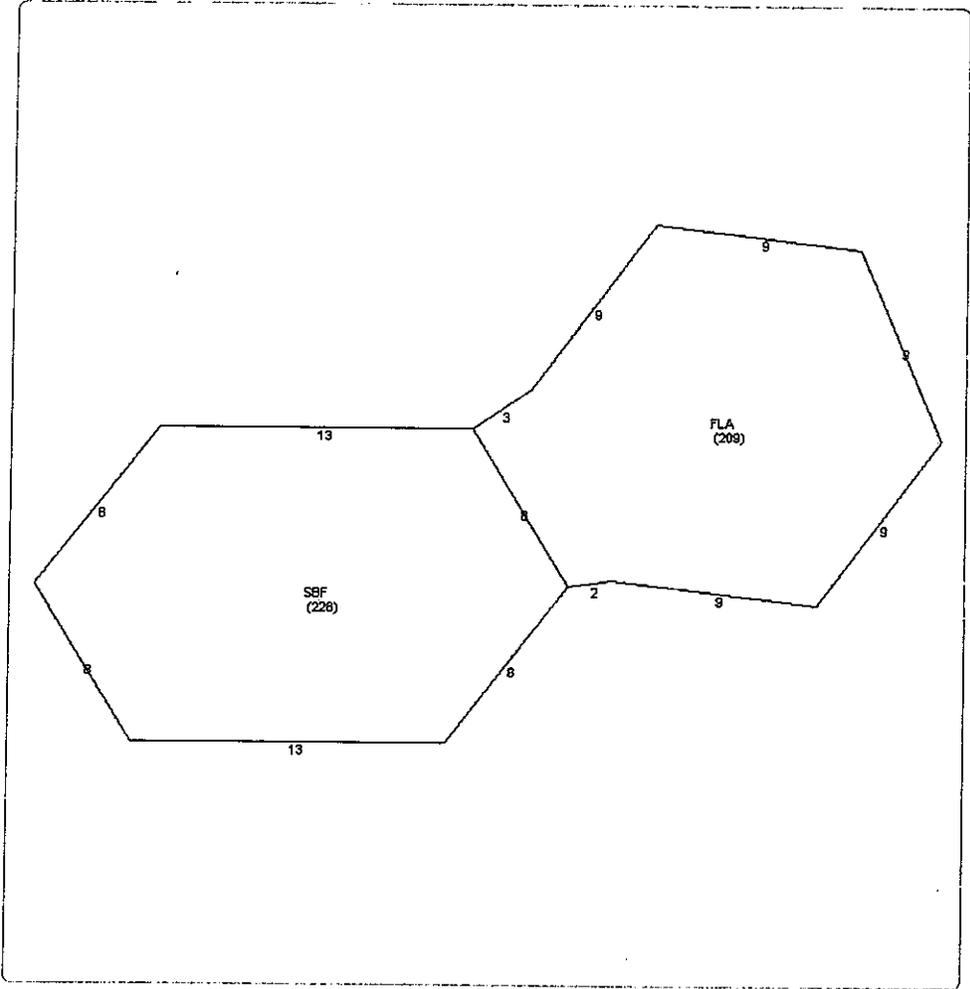
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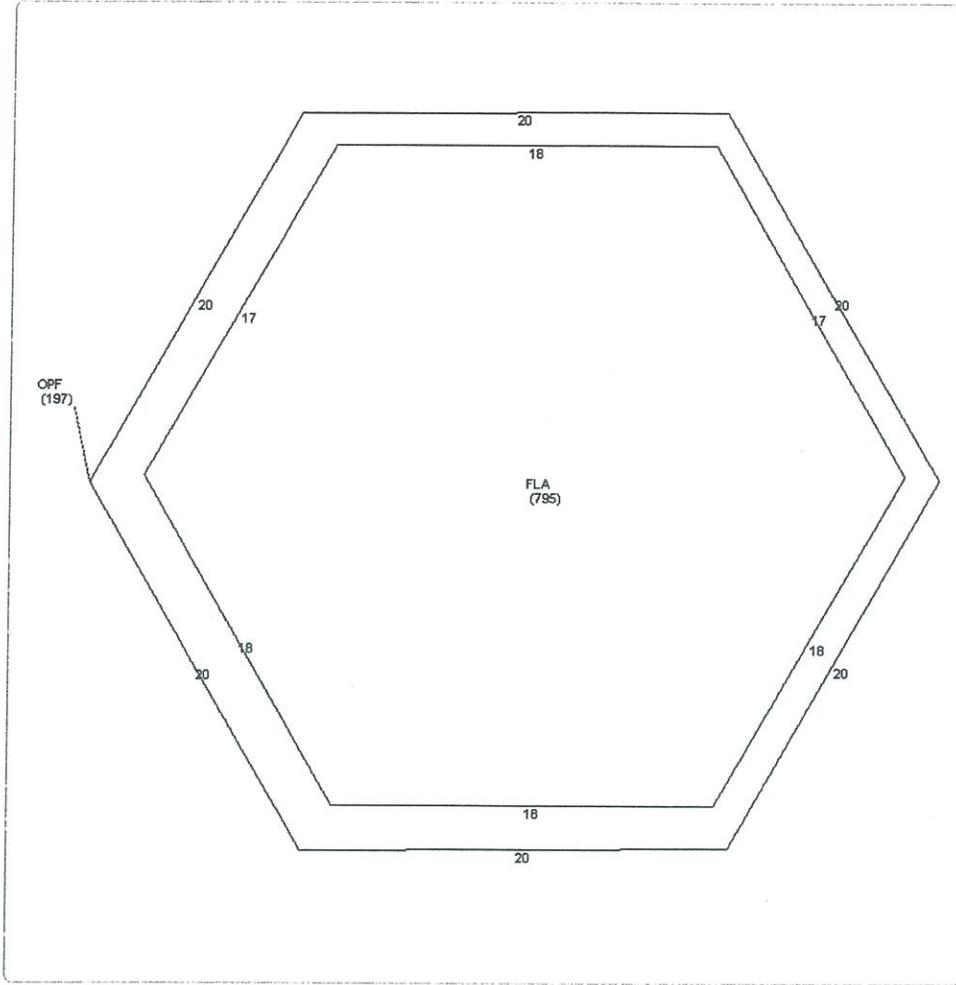
Sketches (click to enlarge)











Photos



Map



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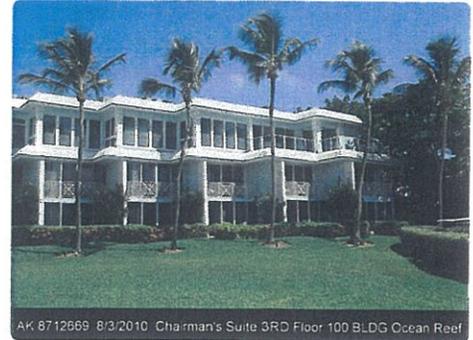
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Summary

Parcel ID 00569500-000096
 Account# 8712669
 Property ID 8712669
 Millage Group 500R
 Location 35 OCEAN REEF Dr, OCEAN REEF
 Address
 Legal Description OCEAN REEF PLAT 1 PB4-90 KEY LARGO PT OF TR D (AKA CHAIRMANS SUITE 3RD FLOOR 100 BLDG OCEAN REEF FROM SURVEY 7/85 KNOWN AS PARCEL 9) OR956-734/40 OR1038-2028/35 OR1038-2039/40 OR1038-2041/42 OR1105-1289/95 OR1651-246/51 OR2134-704/12 OR2518-787/94 OR2664-1325/34
 (Note: Not to be used on legal documents.)
 Neighborhood 2265
 Property Class CONDOMINIUM (0400)
 Subdivision OCEAN REEF NO 1 RESUBD AREA A
 Sec/Twp/Rng 07/59/41
 Affordable No
 Housing



Owner

HORNE JR CRESFUL WILLIAM
 24 Dockside Ln
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$2,645,570	\$2,645,570	\$2,645,570	\$2,645,570
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$0	\$0	\$0	\$0
= Just Market Value	\$2,645,570	\$2,645,570	\$2,645,570	\$2,645,570
= Total Assessed Value	\$2,645,570	\$2,645,570	\$2,645,570	\$2,645,570
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$2,620,570	\$2,620,570	\$2,620,570	\$2,620,570

Buildings

Building ID	60538	Exterior Walls	
Style		Year Built	1971
Building Type	CN_1 / CN_1	EffectiveYearBuilt	1971
Gross Sq Ft	2640	Foundation	
Finished Sq Ft	2640	Roof Type	
Stories		Roof Coverage	
Condition	AVERAGE	Flooring Type	
Perimeter	0	Heating Type	
Functional Obs	0	Bedrooms	1
Economic Obs	0	Full Bathrooms	0
Depreciation %	0	Half Bathrooms	0
Interior Walls		Grade	
		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	2,640	2,640	0
TOTAL		2,640	2,640	0

Sales

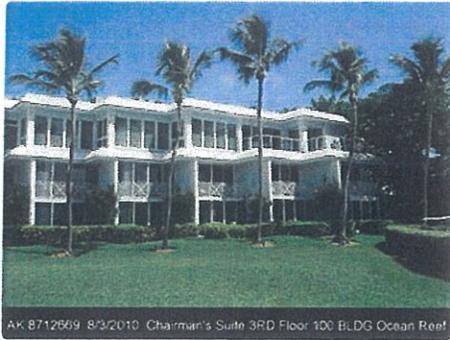
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
12/18/2013	\$3,590,800	Warranty Deed		2664	1325	30 - Unqualified	Improved
5/12/2011	\$3,575,000	Warranty Deed		2518	787	02 - Qualified	Improved
7/6/2005	\$2,200,000	Warranty Deed		2134	704	Q - Qualified	Improved
8/1/1989	\$1,050,000	Warranty Deed		1105	1289	Q - Qualified	Improved
1/1/1988	\$1,100,000	Warranty Deed		1038	2028	Q - Qualified	Improved
10/1/1985	\$276,000	Warranty Deed		956	734	Q - Qualified	Vacant

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
06301151	6/12/2006	8/28/2006	\$1		DEMOLITION OF 3RD STORY
06301152	6/12/2006	3/7/2007	\$246,814	Commercial	INTERIOR REMODEL RENOVATION 3RD FLOOR SUITE - NO EXPANSION OF FOOTPRINT

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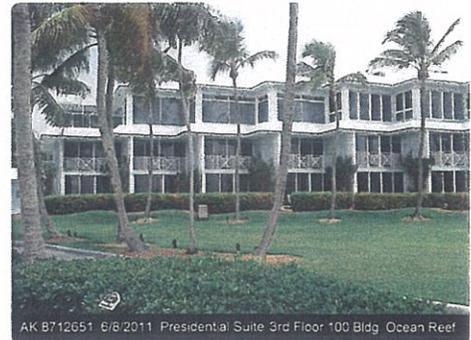
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Summary

Parcel ID 00569500-000095
 Account# 8712651
 Property ID 8712651
 Millage Group 500R
 Location 35 OCEAN REEF Dr, OCEAN REEF
 Address
 Legal OCEAN REEF PLAT 1 PB4-90 KEY LARGO PT OF TR D (AKA PRESIDENTIAL SUITE 3RD FLOOR 100 BLDG
 Description OCEAN REEF FROM SURVEY 7/85 KNOWN AS PARCEL 8) OR956-699/703 OR969-1502/06 OR1056-1284/89 OR1095-1217/23 OR1093-1773/79 OR1151-2025/30 OR1275-1941/47 CT OR1298-1260/69 OR1524-892/901 OR2604-1846/56 OR2678-142/51
 (Note: Not to be used on legal documents.)
 Neighborhood 2265
 Property Class CONDOMINIUM (0400)
 Subdivision OCEAN REEF NO 1 RESUBD AREA A
 Sec/Twp/Rng 07/59/41
 Affordable No
 Housing



Owner

[LUKIS LAWRENCE J](#)
 C/O ACCOUNTING RESOURCE GROUP INC
 601 Carlson Pkwy Ste 1120
 Minnetonka MN 55305

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$2,645,570	\$2,645,570	\$2,645,570	\$2,645,570
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$0	\$0	\$0	\$0
= Just Market Value	\$2,645,570	\$2,645,570	\$2,645,570	\$2,645,570
= Total Assessed Value	\$2,645,570	\$2,645,570	\$2,645,570	\$2,645,570
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$2,645,570	\$2,645,570	\$2,645,570	\$2,645,570

Buildings

Building ID 60100
 Style
 Building Type CN_2 / CN_2
 Gross Sq Ft 2700
 Finished Sq Ft 2700
 Stories
 Condition AVERAGE
 Perimeter 0
 Functional Obs 0
 Economic Obs 0
 Depreciation % 0
 Interior Walls
 Exterior Walls
 Year Built 1971
 EffectiveYearBuilt 1971
 Foundation
 Roof Type
 Roof Coverage
 Flooring Type
 Heating Type
 Bedrooms 1
 Full Bathrooms 0
 Half Bathrooms 0
 Grade
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	2,700	2,700	0
TOTAL		2,700	2,700	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/31/2014	\$5,000,000	Warranty Deed		2678	142	O1 - Qualified	Improved
11/20/2012	\$100	Warranty Deed		2604	1846	11 - Unqualified	Improved
6/1/1998	\$1,220,000	Warranty Deed		1524	0892	E - Unqualified	Improved
3/1/1994	\$760,000	Warranty Deed		1298	1260	M - Unqualified	Improved
10/1/1993	\$500,000	Certificate of Title		1275	1941	F - Unqualified	Improved
6/1/1988	\$675,000	Warranty Deed		1056	1284	Q - Qualified	Vacant
10/1/1985	\$376,400	Warranty Deed		956	699	Q - Qualified	Vacant

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
14301943	6/9/2014		\$465,000	Residential	2354 SQ FT INTERIOR REMODEL/REPAIR INCLUDING INTERIOR DEMO AND REMODEL.
14302196	5/8/2014		\$15,000	Residential	DEMOLITION OF 2354 SQ FT OF INTERIOR

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Map



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Summary

Parcel ID 00569500-000000
 Account# 1700347
 Property ID 1700347
 Millage Group 500R
 Location Address BEACH Rd, KEY LARGO
 Legal Description OCEAN REEF PLAT #1 PB4-90 KEY LARGO TR H & TR D OR435-855/861 OR1247-1856/1876
 (Note: Not to be used on legal documents.)
 Neighborhood 10011
 Property Class HOTEL/MOTEL (3900)
 Subdivision OCEAN REEF NO 1 RESUBD AREA A
 Sec/Twp/Rng 07/59/41
 Affordable Housing No



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$9,491,965	\$8,279,532	\$8,066,985	\$0
+ Market Misc Value	\$1,054,663	\$919,948	\$896,332	\$0
+ Market Land Value	\$10,546,628	\$9,199,480	\$8,963,316	\$10,236,927
= Just Market Value	\$21,093,256	\$18,398,960	\$17,926,633	\$10,236,927
= Total Assessed Value	\$6,384,284	\$5,803,895	\$5,276,269	\$4,796,608
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$21,093,256	\$18,398,960	\$17,926,633	\$10,236,927

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(3900)	173,653.00	Square Foot	0	0

Commercial Buildings

Style HOTELS/MOTEL A / 39A
 Gross Sq Ft 13,459
 Finished Sq Ft 10,392
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls BRICK with 26% REIN CONCRETE
 Quality 600 ()
 Roof Type
 Roof Material
 Exterior Wall1 BRICK
 Exterior Wall2 REIN CONCRETE
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1972
 Year Remodeled
 Effective Year Built 2006
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	2,656	0	0
FLA	FLOOR LIV AREA	10,392	10,392	0
GBF	GAR FIN BLOCK	411	0	0
TOTAL		13,459	10,392	0

Style HOTELS/MOTELA / 39A
 Gross Sq Ft 22,198
 Finished Sq Ft 17,385
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls CUSTOM
 Quality 600 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1967
 Year Remodeled
 Effective Year Built 1995

Code	Description	Sketch Area	Finished Area	Perimeter
CAN	CANOPY	3,810	0	0
OPX	EXC OPEN PORCH	660	0	0
FLA	FLOOR LIV AREA	17,385	17,385	0
CLP	LOAD PLATF M	235	0	0
SBF	UTIL FIN BLK	108	0	0
TOTAL		22,198	17,385	0

Style HOTEL/MOTEL B / 39B
 Gross Sq Ft 33,900
 Finished Sq Ft 31,084
 Perimeter 0
 Stories 4
 Interior Walls
 Exterior Walls C.B.S.
 Quality 600 ()
 Roof Type
 Roof Material,
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1967
 Year Remodeled
 Effective Year Built 1995

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	2,816	0	0
FLA	FLOOR LIV AREA	31,084	31,084	0
TOTAL		33,900	31,084	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
DET CABANA	1979	1980	1	1708 SF	5
DET CABANA	1979	1980	1	3985 SF	3
CONC PATIO	1975	1976	1	428 SF	2
COMM ELEVATOR	1979	2008	1	1 UT	5
COMM ELEVATOR	1979	2008	1	1 UT	5

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/1/1993	\$1	Warranty Deed		1247	1856	M - Unqualified	Improved

Permits

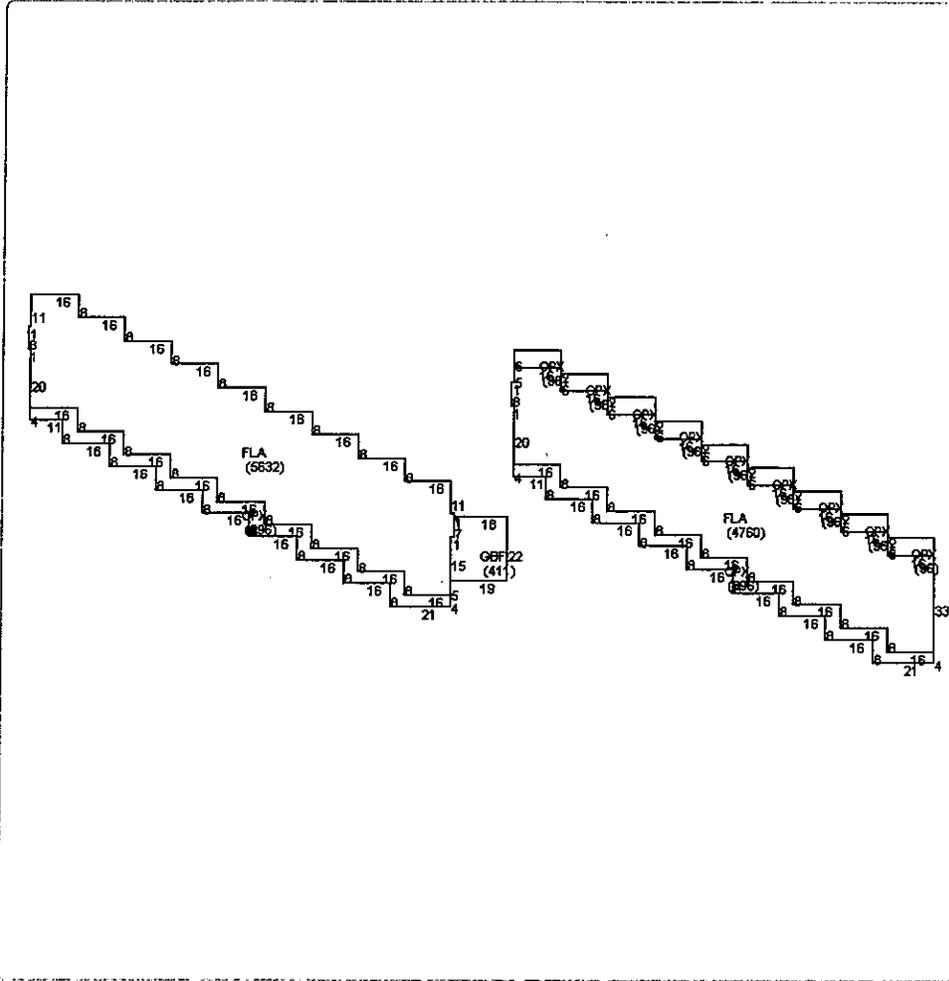
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
19400211	9/6/2019		\$350,000	Commercial	STRUCTURAL SPALLING REPAIRS TO EXISTING CONCRETE FOUNDATION PRECAST JOIST, CAST IN PLACE BEAMS BEAENEATH KITCHEN/DINNING ROOM, INSTALLATION OF PILE JACKS TO EXISTING PILES.
18400278	7/26/2018	8/28/2018	\$100,000	Commercial	INTERIOR REMODEL/REPAIR
17404124	7/21/2017	4/11/2018	\$150,000	Commercial	INT REMODEL/REPAIR
15403493	9/3/2015	7/28/2016	\$133,000	Commercial	INSTALL (43) WINDOWS & (2) DOORS
13302224	8/20/2013	10/11/2013	\$1	Commercial	INT / EXT REMODEL / REPAIR
08300052	3/28/2008		\$1	Commercial	INTERIOR EXTERIOR REMODEL
05305322	6/28/2006	12/31/2006	\$1	Commercial	INTERIOR / EXTERIOR RENOVATIONS
05301280	12/14/2005	12/31/2006	\$1		EXTERIOR RENOVATIONS

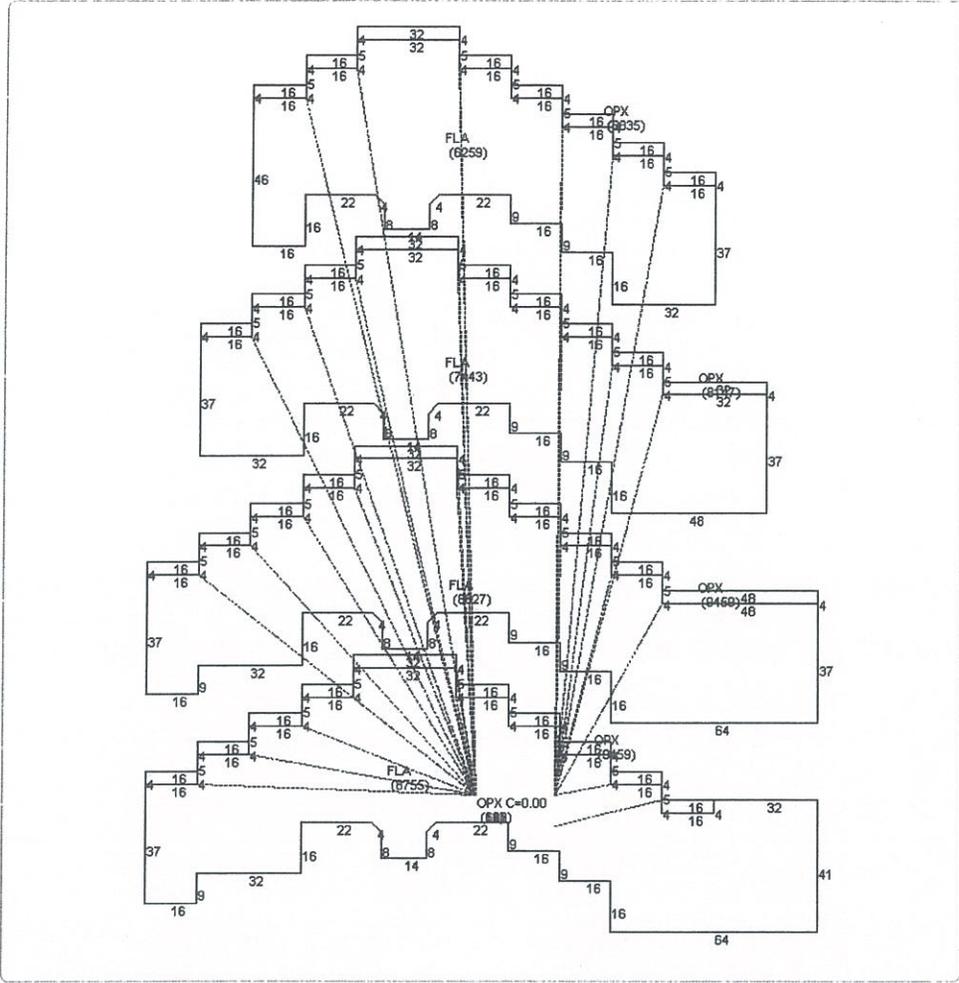
05304258	9/6/2005	3/7/2007	\$1	
05301282	6/20/2005	12/31/2006	\$1	
04004028	9/17/2004	1/1/2006	\$1	Commercial
04302212	8/17/2004	1/1/2005	\$1	
2305032	12/11/2002	1/1/2004	\$1	
2304689	10/25/2002	1/1/2003	\$1	Commercial
2303374	8/21/2002	1/1/2003	\$1	
02302790	7/12/2002	1/1/2004	\$1	

- WINDOW REPLACEMENT
- INTERIOR RENOVATIONS
- REMOVE/REPLACE TILE
- INTERIOR RENOVATIONS
- DECK
- AIR CONDITIONING
- LOUNGE RENOVATION
- INTERIOR DEMO

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Summary

Parcel ID 00569490-000000
 Account# 1700339
 Property ID 1700339
 Millage Group 500R
 Location Address BEACH Rd, KEY LARGO
 Legal Description OCEAN REEF PLAT #1 PB4-90 KEY LARGO PT TR C (.97 AC) OR435-855/861 OR1247-1856/1876
 (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property Class HOTEL/MOTEL (3900)
 Subdivision OCEAN REEF NO 1 RESUBD AREA A
 Sec/Twp/Rng 07/59/41
 Affordable Housing No



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$7,222,040	\$5,940,139	\$7,568,865	\$0
+ Market Misc Value	\$802,449	\$660,015	\$840,985	\$0
+ Market Land Value	\$8,024,490	\$6,600,155	\$8,409,850	\$12,385,759
= Just Market Value	\$16,048,979	\$13,200,309	\$16,819,700	\$12,385,759
= Total Assessed Value	\$5,760,100	\$5,236,455	\$4,760,414	\$4,327,649
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$16,048,979	\$13,200,309	\$16,819,700	\$12,385,759

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(3900)	2.21	Acreage	0	0

Commercial Buildings

Style HOTELS/MOTEL A / 39A
 Gross Sq Ft 44,514
 Finished Sq Ft 30,488
 Perimeter 0
 Stories 3
 Interior Walls
 Exterior Walls C.B.S.
 Quality 600 ()
 Roof Type
 Roof Material
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1984
 Year Remodeled
 Effective Year Built 2005
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CPX	CARPORT LATTIC	10,160	0	0
OPX	EXC OPEN PORCH	3,866	0	0
FLA	FLOOR LIV AREA	30,488	30,488	0
TOTAL		44,514	30,488	0

Style HOTELS/MOTELA / 39A
 Gross Sq Ft 13,784
 Finished Sq Ft 9,984
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls CUSTOM
 Quality 600 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1966
 Year Remodeled
 Effective Year Built 1995

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	3,800	0	0
FLA	FLOOR LIV AREA	9,984	9,984	0
TOTAL		13,784	9,984	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
ASPHALT PAVING	1979	1980	1	13600 SF	2

Sales

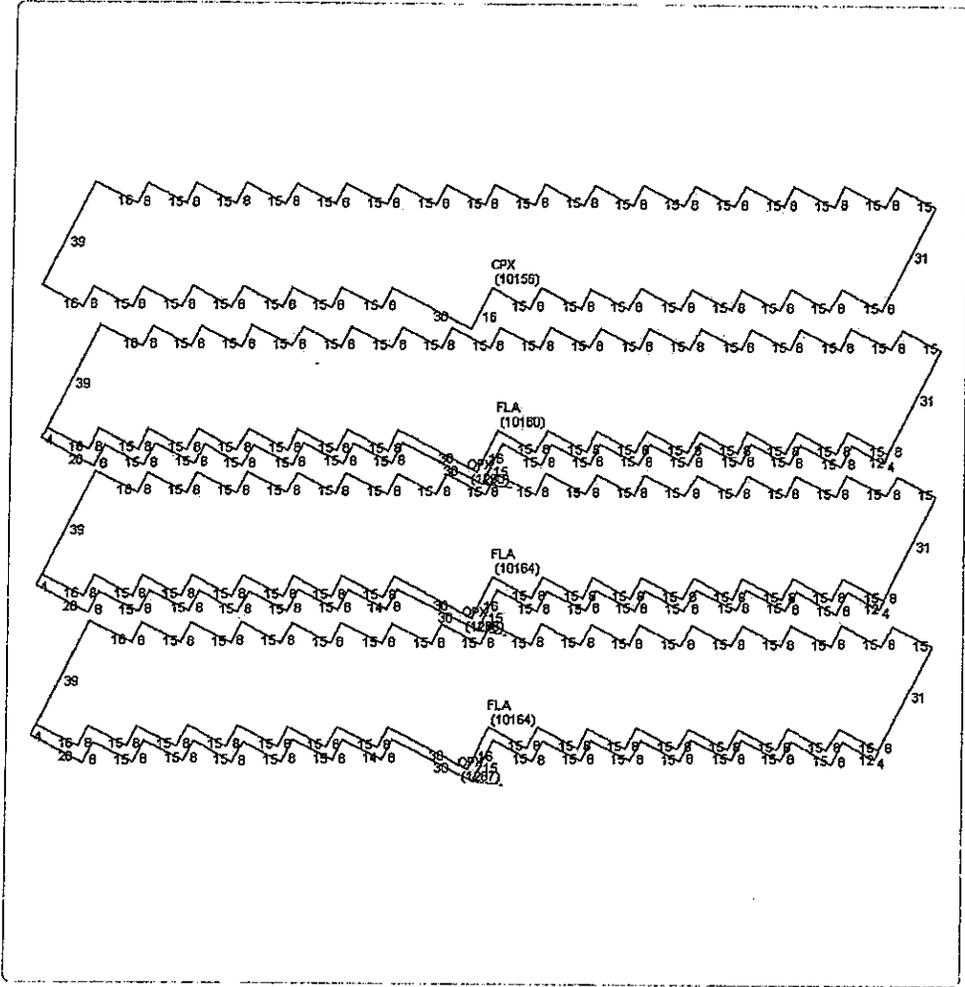
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/1/1993	\$1	Warranty Deed		1247	1856	M - Unqualified	Improved

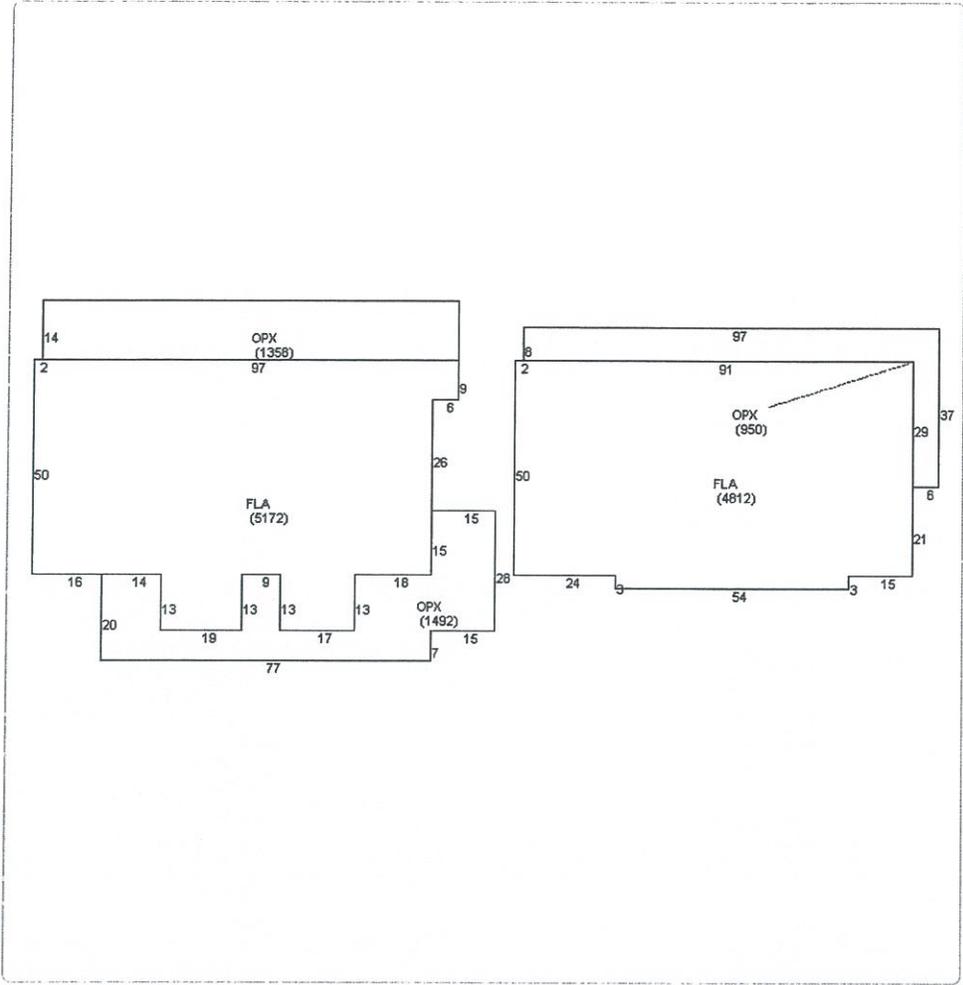
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
13301800	7/3/2013	10/4/2013	\$1		12,750 SQ FT INTERIOR REMODEL TO POMPANO BLDG & ROOMS
10302660	6/11/2010	10/8/2010	\$0		INTERIOR REMODEL
07304073	10/9/2007	1/1/2008	\$1		A/C REPLACEMENT
07303551	9/26/2007	12/13/2007	\$1		RE-ROOF WALKWAY TO METAL
07303489	9/4/2007	1/1/2009	\$1		RE-ROOF
04305028	12/7/2004	1/1/2005	\$1		INTERIOR REMODEL
04304182	9/22/2004	3/23/2005	\$1		REPLACE WINDOWS. DHC
04303808	8/23/2004	1/1/2005	\$1		REROOF RETAIL CENTER
02303580	11/7/2002	1/1/2004	\$1		INTERIOR REMODEL

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Summary

Parcel ID 00569470-000000
 Account# 1699870
 Property ID 1699870
 Millage Group 500R
 Location OCEAN REEF Dr, KEY LARGO
 Address
 Legal PT TR A OCEAN REEF PLAT NO 1 PB4-90 KEY LARGO OR435-855/61 OR1247-1856/76 OR2667-339/46
 Description OR2667-352/56 OR2673-2008/94 OR2900-2133/38 OR2918-2306/2313
 (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property HOTEL/MOTEL (3900)
 Class
 Subdivision OCEAN REEF NO 1 RESUBD AREA A
 Sec/Twp/Rng 07/59/41
 Affordable No
 Housing



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$4,460,169	\$4,125,901	\$4,125,901	\$0
+ Market Misc Value	\$642,009	\$546,755	\$552,124	\$0
+ Market Land Value	\$6,192,180	\$7,946,631	\$7,946,631	\$2,914,600
= Just Market Value	\$11,294,358	\$12,619,287	\$12,624,656	\$2,914,600
= Total Assessed Value	\$11,294,358	\$12,619,287	\$12,624,656	\$2,914,600
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$11,294,358	\$12,619,287	\$12,624,656	\$2,914,600

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(3900)	229,340.00	Square Foot	0	0

Commercial Buildings

Style HOTEL/MOTEL B / 39B
 Gross Sq Ft 31,018
 Finished Sq Ft 22,539
 Perimeter 2,322
 Stories 1
 Interior Walls
 Exterior Walls REIN CONC
 Quality 450 ()
 Roof Type FLAT OR SHED with 55% IRR/CUSTOM
 Roof Material MIN/PAINT CONC with 55% ASPHALT SHINGL
 Exterior Wall1 REIN CONC
 Exterior Wall2
 Foundation CONCR FTR
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2016
 Year Remodeled
 Effective Year Built 2016
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	4,406	0	874
FLA	FLOOR LIV AREA	22,539	22,539	788
OPF	OP PRCH FIN LL	280	0	94
PDO	PATIO DIN OPEN	2,552	0	356
SBF	UTIL FIN BLK	1,241	0	210
TOTAL		31,018	22,539	2,322

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
BRICK PATIO	1971	1972	1	5348 SF	1
ASPHALT PAVING	1975	1976	1	35000 SF	2
ASPHALT PAVING	1975	1976	1	88204 SF	3
CH LINK FENCE	1981	1982	1	27180 SF	1
WATER FEATURE	2004	2005	1	1 UT	5
CONC PATIO	2004	2005	1	1050 SF	1
CONC PATIO	2004	2005	1	175 SF	5
ASPHALT PAVING	2004	2005	1	20792 SF	2
CONC PATIO	2004	2005	1	3071 SF	2
CONC PATIO	2004	2005	1	800 SF	2
FENCES	2004	2005	1	994 SF	3
CH LINK FENCE	2007	2008	1	3700 SF	1
COMM ELEVATOR	2004	2005	1	1 UT	5
CUSTOM PATIO	2016	2017	0	3040 SF	1
CONC PATIO	2016	2017	0	320 SF	2

Sales

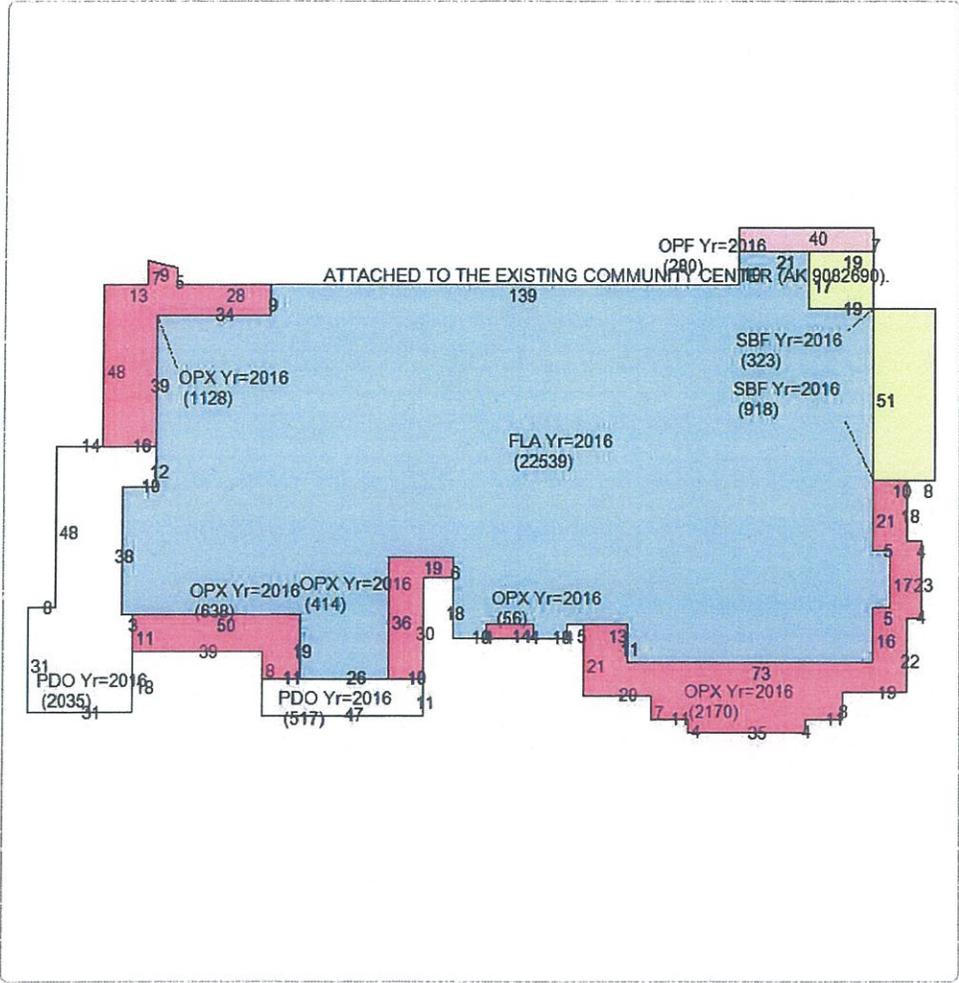
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
1/28/2014	\$100	Quit Claim Deed		2673	2088	11 - Unqualified	Improved
1/9/2014	\$100	Quit Claim Deed		2667	352	11 - Unqualified	Improved
1/9/2014	\$47,900	Warranty Deed		2667	339	30 - Unqualified	Improved
3/1/1993	\$1	Warranty Deed		1247	1856	M - Unqualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
15300432	6/22/2015	3/15/2016	\$5,000,000		30,165 SF INT/EXT REMODEL/REPAIR
15401962	5/5/2015	7/27/2015	\$100,000		DEMO 19,561 SF COMMERCIAL BLDG
08303054	8/22/2008	12/9/2008	\$1		RE-ROOF
07302961	9/17/2007	11/27/2008	\$1		REMOVE AND REPLACE FENCING
05303018	8/9/2005	3/7/2007	\$1		INTERIOR EXTERIOR REMODEL
05303088	7/27/2005	3/7/2007	\$1		ATF TENNIS COURTS, FENCE AND NETS
03303587	3/11/2004	1/7/2005	\$1		COMM BLDG-TOWN HALL
03303588	9/12/2003	1/1/2004	\$1		DECK REPAIR
9431745	10/1/1994	12/1/1996	\$1		DECK WALKWAY

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Sketches (click to enlarge)



Photos



Map



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No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

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Summary

Parcel ID 00081880-000100
 Account# 1090409
 Property ID 1090409
 Millage Group 500R
 Location 31 OCEAN REEF Dr, OCEAN REEF
 Address
 Legal 18 59 41 ISLAND OF KEY LARGO PB4-83 PT W1/2 OF NW1/4 (BOAT STORAGE AREA) G19-71 OR435-855/861 OR1247-1882/87Q/C
 Description (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property Class AIRPORT, MARINAS, BUS TERM (2000)
 Subdivision
 Sec/Twp/Rng 18/59/41
 Affordable No
 Housing



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$3,329,663	\$0	\$0	\$0
+ Market Misc Value	\$422,653	\$0	\$0	\$0
+ Market Land Value	\$5,304,301	\$4,184,136	\$4,184,136	\$4,184,136
= Just Market Value	\$9,056,617	\$4,184,136	\$4,184,136	\$4,184,136
= Total Assessed Value	\$4,602,549	\$4,184,136	\$4,184,136	\$4,184,136
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$9,056,617	\$4,184,136	\$4,184,136	\$4,184,136

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMM WATERFT MARINA (10WM)	178,596.00	Square Foot	0	0

Commercial Buildings

Style WAREHOUSE/MARINA C / 48C
 Gross Sq Ft 89,080
 Finished Sq Ft 89,080
 Perimeter 0
 Stories 3
 Interior Walls
 Exterior Walls METAL SIDING
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 METAL SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1970
 Year Remodeled
 Effective Year Built 1993
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	89,080	89,080	0
TOTAL		89,080	89,080	0

Style OFF BLDG-1 STY-B / 17B
 Gross Sq Ft 2,962
 Finished Sq Ft 2,357

Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls CUSTOM
 Quality 400 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1983
 Year Remodeled
 Effective Year Built 2001
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	605	0	0
FLA	FLOOR LIV AREA	2,357	2,357	0
TOTAL		2,962	2,357	0

Style TOURIST ATTRAC / 35C
 Gross Sq Ft 1,864
 Finished Sq Ft 1,576
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls CUSTOM
 Quality 400 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1983
 Year Remodeled
 Effective Year Built 2001
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
SPX	EXEC SC PORCH	288	0	0
FLA	FLOOR LIV AREA	1,576	1,576	0
TOTAL		1,864	1,576	0

Style TOURIST ATTRAC / 35C
 Gross Sq Ft 1,611
 Finished Sq Ft 1,286
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls CUSTOM
 Quality 400 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1984
 Year Remodeled
 Effective Year Built 2001
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	325	0	0
FLA	FLOOR LIV AREA	1,286	1,286	0
TOTAL		1,611	1,286	0

Yard Items

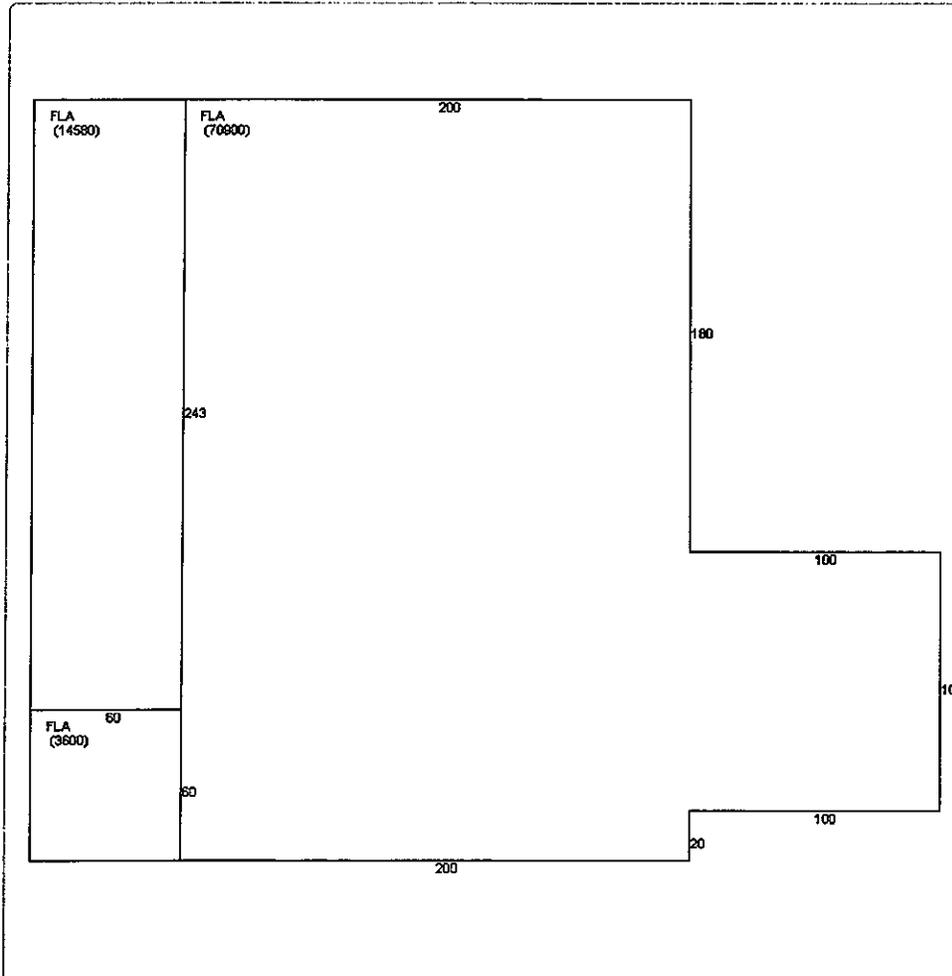
Description	Year Built	Roll Year	Quantity	Units	Grade
BOAT RAMP	1975	1976	1	416 SF	2
CH LINK FENCE	1980	1981	1	2500 SF	1
ASPHALT PAVING	1981	1982	1	12000 SF	2
CH LINK FENCE	1987	1988	1	3600 SF	1
SEAWALL	2011	2012	1	3180 SF	5
WOOD DECK	2016	2018	1	150 SF	1

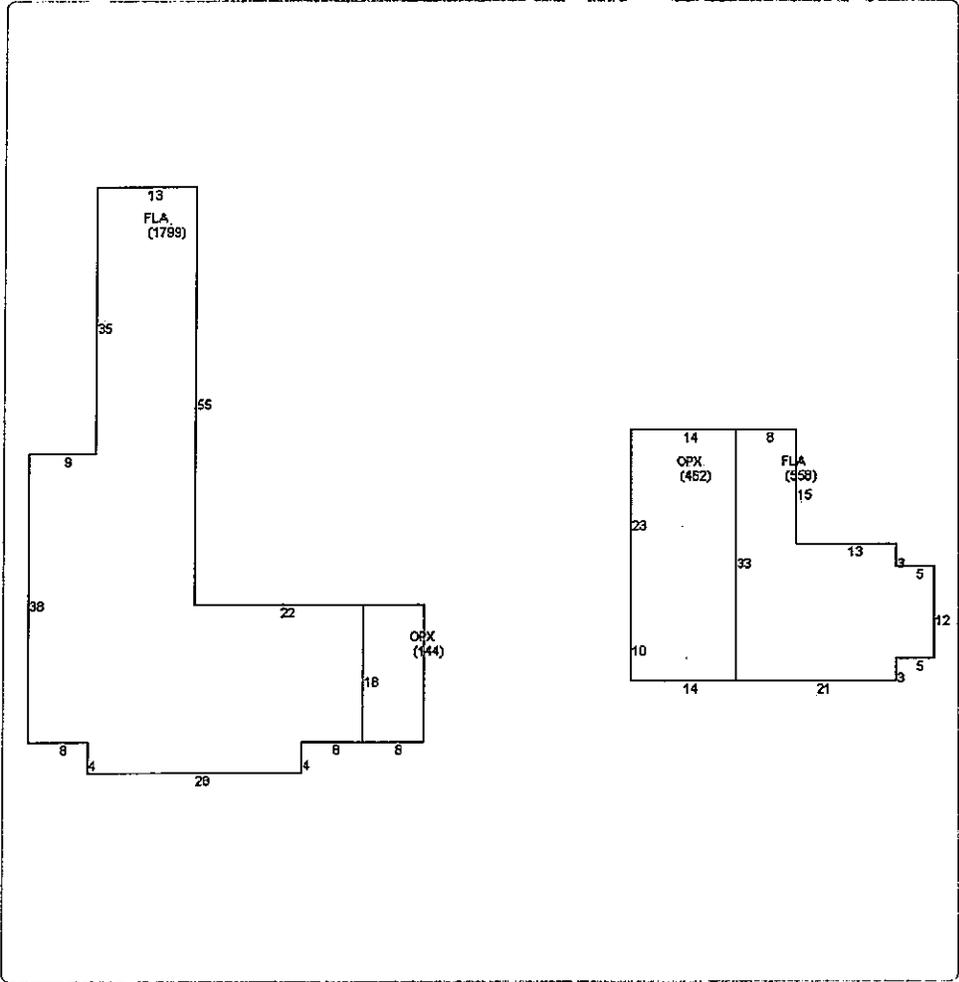
Permits

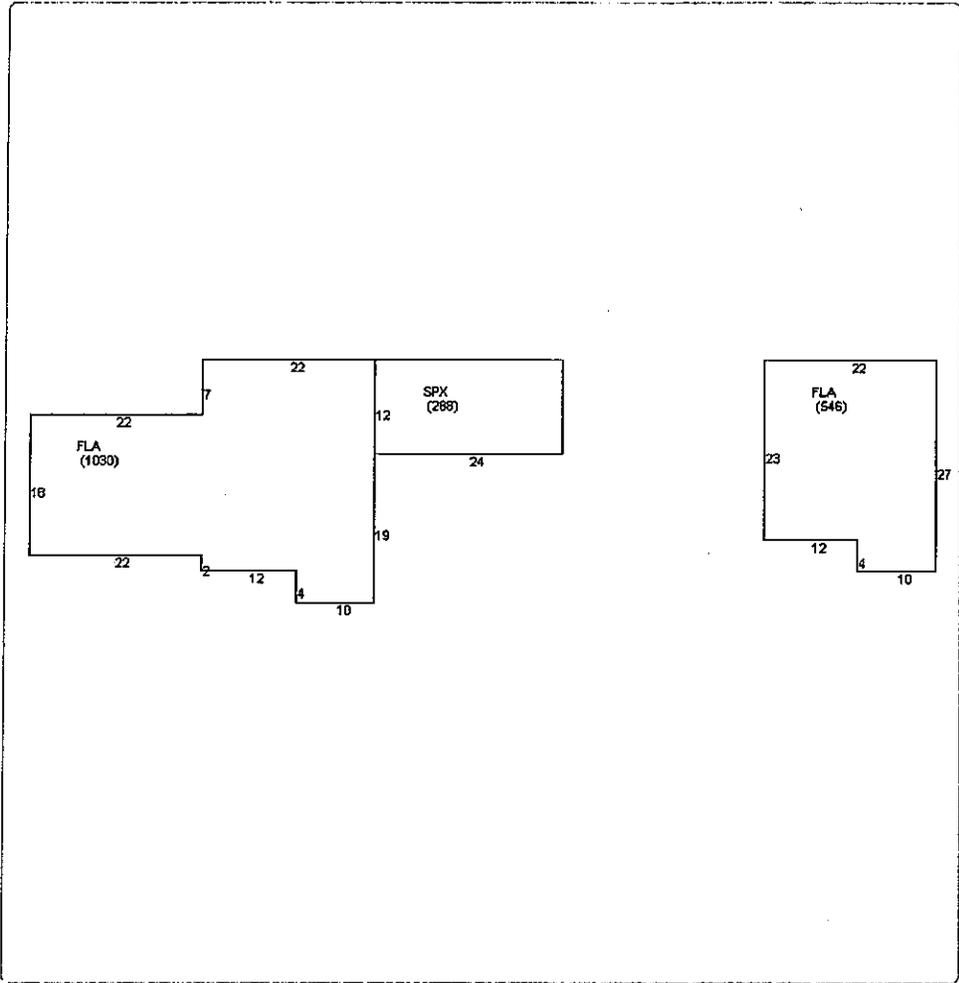
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
19400154	7/15/2019	3/17/2020	\$121,795	Commercial	INSTALL FOUR FENDER PILES, 230 SF FLOATING DOCK AND 365 SF FLOATING DOCK AND WOOD WALKWAY
16402012	7/8/2016	12/30/2016	\$30,000		
12304554	11/9/2012	2/1/2012	\$1		
11302200	5/19/2011	10/31/2011	\$1		SEAWALL REPAIR/CAP REPLACEMENT
11300631	2/28/2011	3/28/2011	\$1		A/C REPLACEMENT
10304722	9/3/2010	9/24/2010	\$1		A/C REPLACEMENT
09304134	10/26/2009	12/31/2010	\$1		CONCRETE CAP ON SEAWALL
09301955	6/23/2009	7/9/2009	\$1		REPLACE BOAT RACK
08302484	8/4/2008	11/26/2008	\$1		DEMOLITION INTERIOR OF EXISTING STORE
08301925	6/30/2008	12/9/2008	\$1		SEAWALL REPLACEMENT
07304132	2/13/2008	12/9/2008	\$1		REPLACE SEAWALL & FLOATING DOCK
9632922	12/1/1997	1/1/1998	\$1		COMM. RETAIL SPACE
9632923	12/1/1997	1/1/1998	\$1		COMM. RETAIL SPACE
9632922	7/1/1997	12/1/1997	\$1		COMM. RETAIL SPACE
9311410	11/1/1993	1/1/1996	\$1		INTERIOR RENOVATION
9311025	9/1/1993	1/1/1996	\$1		COMM. MISCL

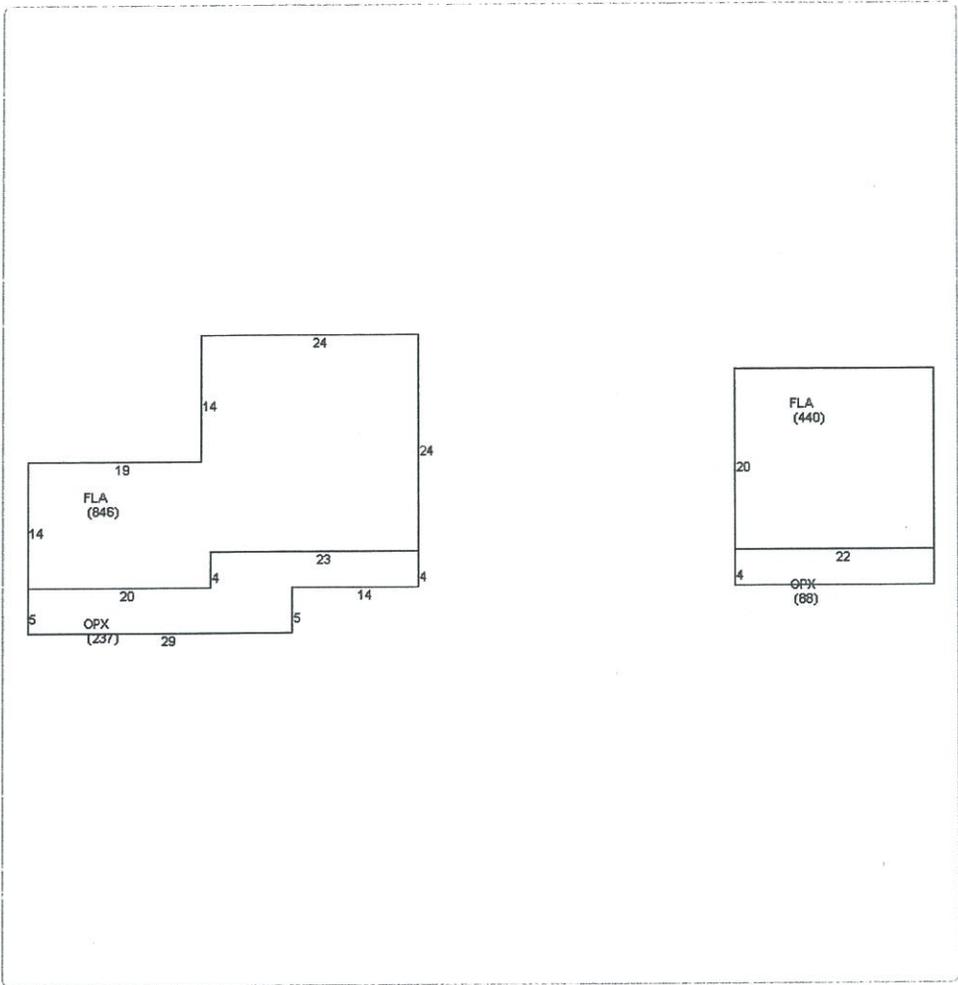
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Sketches (click to enlarge)









Photos



Map



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Summary

Parcel ID 00569482-000000
Account# 9104226
Property ID 9104226
Millage Group 500R
Location 650 BEACH Rd, OCEAN REEF
Address
Legal Description PARCEL OF LAND IN AREA A OF SEABOARD PROPERTIES INC PB4-83 PB4-90 (1.294 AC) (F/K/A YACHTSMANS INN CONDOMINIUM - WHICH HAS BEEN TERMINATED) OR2749-214/257(PLAN/TERMINATION) OR2847-2383/2441(PLAN/TERMINATION) OR2847-2442/2445QC OR2847-2446/2450QC OR2847-2451/2458 OR2858-1244/1303(PLAN/TERMINATION) OR2858-1239/1240(CERT/TERMINATION)
(Note: Not to be used on legal documents.)
Neighborhood 10010
Property Class HOTEL/MOTEL (3900)
Subdivision OCEAN REEF NO 1 RESUBD AREA A
Sec/Twp/Rng 18/59/41
Affordable Housing No

Owner

YACHTSMAN INN LAND LLC
 C/O ROBERT ANTHONY BOGDAN AGENT
 35 Ocean Reef Dr Ste 200
 Key Largo FL 33037

Valuation

	2019	2018
+ Market Improvement Value	\$0	\$0
+ Market Misc Value	\$0	\$0
+ Market Land Value	\$13,600,000	\$13,600,000
= Just Market Value	\$13,600,000	\$13,600,000
= Total Assessed Value	\$13,600,000	\$13,600,000
- School Exempt Value	\$0	\$0
= School Taxable Value	\$13,600,000	\$13,600,000

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMM WATERFT MARINA (10WM)	1.29	Acreage	0	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/31/2017	\$16,000,000	Warranty Deed	2117807	2847	2451	30 - Unqualified	Improved

Permits

Number ⇅	Date Issued ⇅	Date Completed ⇅	Amount ⇅	Permit Type ⇅	Notes ⇅
19400142	7/29/2019		\$10,247		INSTALL (8) IMPACT WINDOWS
18400067	3/20/2018	4/3/2018	\$6,200		INSTALL (8) WINDOWS
02300196	1/23/2002		\$29,100	Residential	
01302586	8/21/2001		\$29,100	Residential	

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Map



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Summary

Parcel ID 00081780-000300
 Account# 8557124
 Property ID 8557124
 Millage Group 500R
 Location Address 314 ANCHOR Dr, KEY LARGO
 Legal Description 7 59 41 OF KEY LARGO PB4-83 PT NW 1/4 OF NE 1/4 (3.79AC) OR806-715/17 OR2572-435/38
 (Note: Not to be used on legal documents.)
 Neighborhood 10011
 Property Class CLUB (7700)
 Subdivision
 Sec/Twp/Rng 07/59/41
 Affordable Housing No



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$1,224,638	\$1,144,200	\$1,152,488	\$1,249,345
+ Market Misc Value	\$378,453	\$352,798	\$349,241	\$357,887
+ Market Land Value	\$379,000	\$379,000	\$379,000	\$379,000
= Just Market Value	\$1,982,091	\$1,875,998	\$1,880,729	\$1,986,232
= Total Assessed Value	\$1,982,091	\$1,875,998	\$1,880,729	\$1,986,232
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,982,091	\$1,875,998	\$1,880,729	\$1,986,232

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL HIGHWAY (100H)	3.79	Acreage	0	0

Commercial Buildings

Style OFF BLDG MULT STY-A / 18A
 Gross Sq Ft 11,235
 Finished Sq Ft 10,551
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls CUSTOM with 0% C.B.S.
 Quality 300 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2 C.B.S.
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2015
 Year Remodeled
 Effective Year Built 2015
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	648	0	0
FLA	FLOOR LIV AREA	10,551	10,551	0
SBF	UTIL FIN BLK	36	0	0
TOTAL		11,235	10,551	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
ASPHALT PAVING	1979	1980	1	72000 SF	3
CONC PATIO	1989	1990	1	6708 SF	2
BRICK PATIO	1992	1993	1	7000 SF	4
ASPHALT PAVING	2007	2008	1	2600 SF	3
CH LINK FENCE	2007	2008	1	2636 SF	1
BRICK PATIO	2016	2018	0	1000 SF	1

Sales

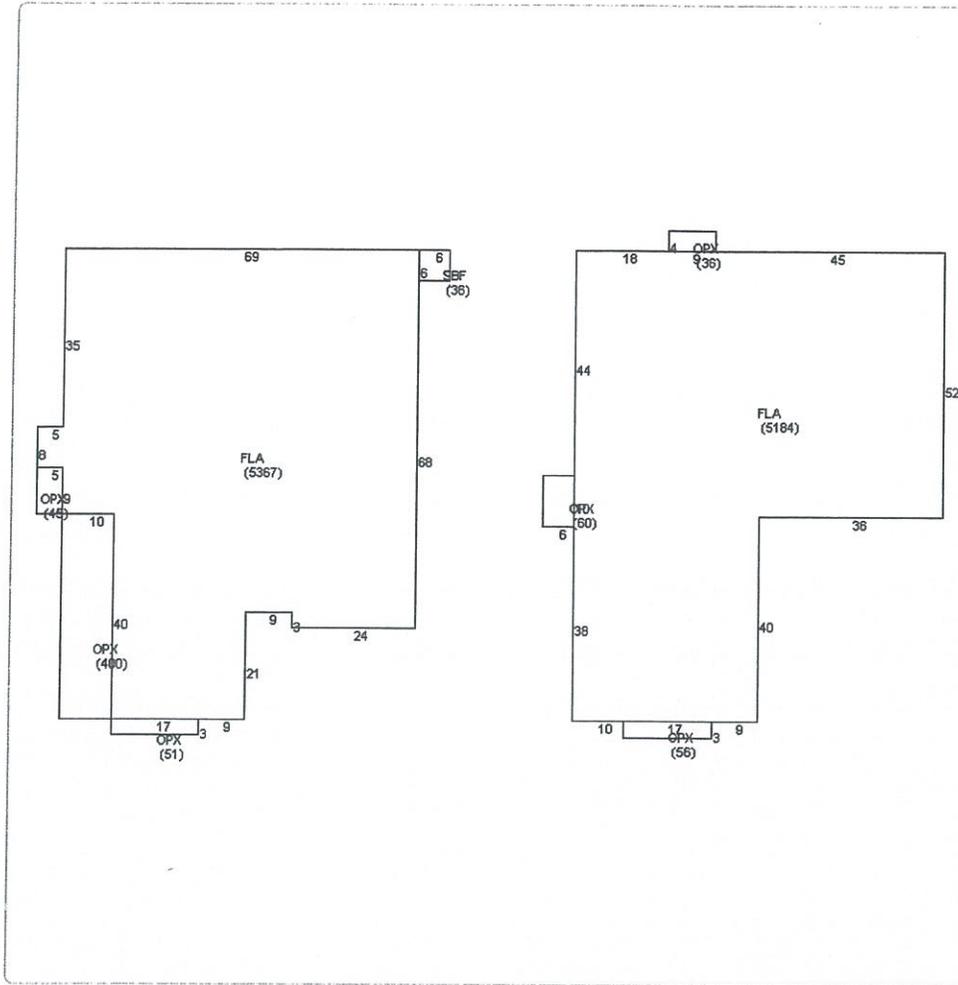
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
5/18/2012	\$1,310,100	Warranty Deed		2572	435	30 - Unqualified	Improved
2/1/1980	\$98,000	Warranty Deed		806	715	Q - Qualified	Vacant

Permits

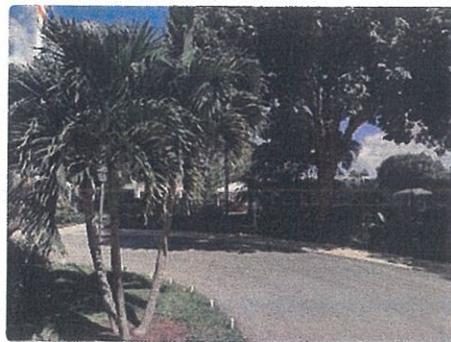
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
16406727	9/21/2016	4/10/2017	\$100,000		CONVERT EXISTING TENNIS COURTS TO PICKLE BALL COURTS. REPLACE ALL EXISTING POLES, FENCING AND WINDSCREEN. INSTALL NEW 4 FT FENCING ON COURTS.
16402866	4/28/2016	7/1/2016	\$12,000		NEW PAVERS/REPAIR EXISTING PAVERS
15405269	12/21/2015	7/28/2016	\$50,000		FOUNDATION/TENNIS LIGHTS & FOOTERS
14305145	5/13/2015	12/30/2015	\$2,000,000		REMODEL/REPAIR & ADDITION
15300430	2/12/2015	12/30/2015	\$60,000		PARTIAL DEMO AT TENNIS CENTER
07302408	7/24/2007	11/27/2008	\$1		FENCE (HEALTH CLUB)
06303187	6/19/2006	3/7/2007	\$1		INTERIOR/EXTERIOR RENOVATIONS
04-304573	10/28/2004	1/1/2005	\$6,828	Commercial	REPLACE FLOORING
04301700	4/23/2004	1/1/2005	\$1		RE-ROOF
302489	7/20/2000	1/1/2001	\$1		INTERIOR RENOVATIONS
9331050	7/1/1993	1/1/1996	\$15,000		REPLACE 600 SF STORAGE
9238148	11/1/1992	1/1/1996	\$24,000		7000SF BRICK PATIO
9236205	6/1/1992	1/1/1996	\$1		ADD'N COMMERCIAL
9236250	6/1/1992	1/1/1996	\$140,000		ADDITION

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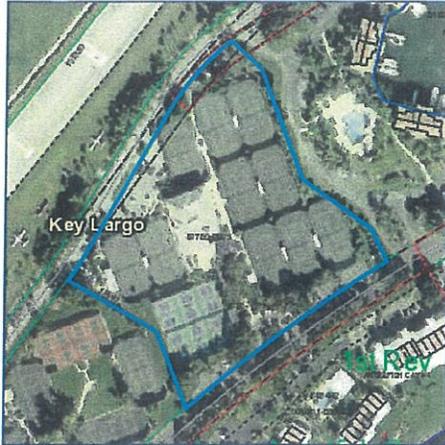
Sketches (click to enlarge)



Photos



Map



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Summary

Parcel ID 00081760-000100
 Account# 1090093
 Property ID 1090093
 Millage Group 500R
 Location Address 1 DOCKSIDE Ln, OCEAN REEF
 Legal Description 7 59 41 KEY LARGO PT SW1/4 OF SW1/4 OR419-525 OR425-1034 OR1247-1856/1876
 (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property Class SERVICE STATION (2600)
 Subdivision
 Sec/Twp/Rng 07/59/41
 Affordable Housing No



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$322,256	\$303,552	\$303,552	\$374,575
+ Market Misc Value	\$36,432	\$36,432	\$36,432	\$36,432
+ Market Land Value	\$854,545	\$606,060	\$606,060	\$606,060
= Just Market Value	\$1,213,233	\$946,044	\$946,044	\$1,017,067
= Total Assessed Value	\$1,040,648	\$946,044	\$946,044	\$943,770
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,213,233	\$946,044	\$946,044	\$1,017,067

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(2600)	23,310.00	Square Foot	0	0

Commercial Buildings

Style SERVICE STATION-A- / 26A
 Gross Sq Ft 2,201
 Finished Sq Ft 1,769
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls CUSTOM
 Quality 350 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1969
 Year Remodeled
 Effective Year Built 2005
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	432	0	0
FLA	FLOOR LIV AREA	1,769	1,769	0
TOTAL		2,201	1,769	0

Style WAREHOUSE/MARINA D / 48D

Gross Sq Ft 1,560
Finished Sq Ft 1,560
Perimeter 0
Stories 2
Interior Walls
Exterior Walls C.B.S.
Quality 300 (}
Roof Type
Roof Material
Exterior Wall1 C.B.S.
Exterior Wall2
Foundation
Interior Finish
Ground Floor Area
Floor Cover
Full Bathrooms 0
Half Bathrooms 0
Heating Type
Year Built 1994
Year Remodeled
Effective Year Built 2000
Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,560	1,560	0
TOTAL		1,560	1,560	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CONC PATIO	1975	1976	1	12000 SF	1

Sales

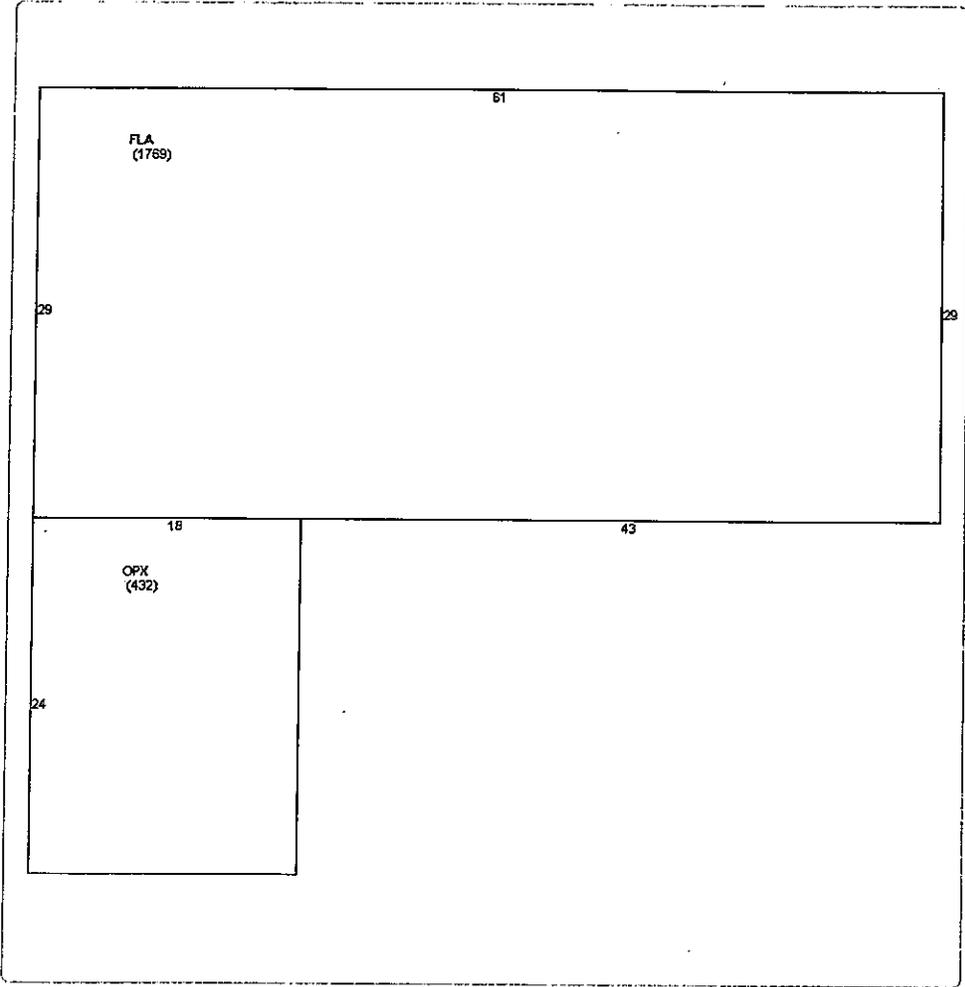
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/1/1993	\$1	Warranty Deed		1247	1856	M - Unqualified	Improved

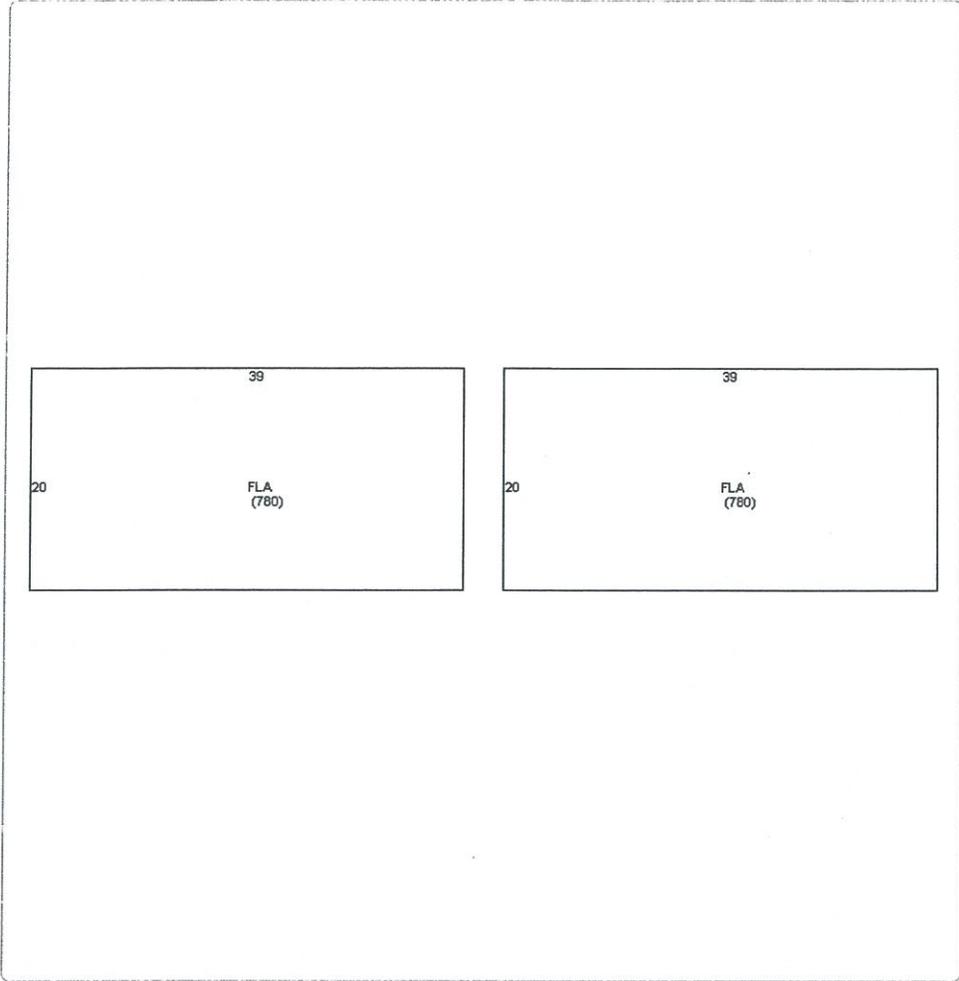
Permits

Number ↕	Date Issued ↕	Date Completed ↕	Amount ↕	Permit Type ↕	Notes ↕
13301701	7/30/2013		\$33,050	Commercial	GASTANK - IN GROUND

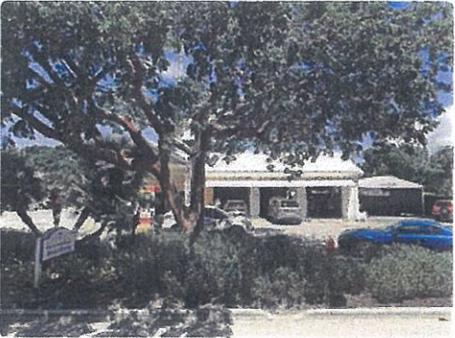
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Sketches (click to enlarge)

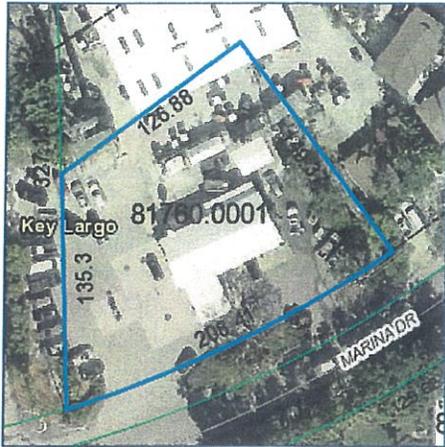




Photos



Map



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Summary

Parcel ID 00081760-000000
 Account# 1090085
 Property ID 1090085
 Millage Group 500R
 Location 31 OCEAN REEF Dr, OCEAN REEF
 Address
 Legal 7 59 41 KEY LARGO PB4-83 PT SW1/4 OF SW1/4 G19-71 OR298-535 OR297-471 OR435-855/861
 Description OR1247-1856/1876
 (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property Class STORE COMBO (1200)
 Subdivision
 Sec/Twp/Rng 07/59/41
 Affordable No
 Housing



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$4,012,798	\$4,012,798	\$4,012,798	\$4,012,798
= Just Market Value	\$4,012,798	\$4,012,798	\$4,012,798	\$4,012,798
= Total Assessed Value	\$4,012,798	\$4,012,798	\$4,012,798	\$4,012,798
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$4,012,798	\$4,012,798	\$4,012,798	\$4,012,798

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	20.76	Acreage	0	0
COMM WATERFT MARINA (10WM)	1.74	Acreage	0	0
COMM WATERFT MARINA (10WM)	1.20	Acreage	0	0
ENVIRONMENTALLY SENS (000X)	0.70	Acreage	0	0

Commercial Buildings

Style CLUBS/LDG/HALLS A / 77A
 Gross Sq Ft 19,351
 Finished Sq Ft 12,452
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls CUSTOM
 Quality 350 ()
 Roof Type IRR/CUSTOM
 Roof Material METAL
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation CONC PILINGS
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2000
 Year Remodeled 0
 Effective Year Built 2006
 Condition AVERAGE

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	6,050	0	0
OPX	EXC OPEN PORCH	586	0	0
FLA	FLOOR LIV AREA	12,452	12,452	0

PTO	PATIO	228	0	0
SBF	UTIL FIN BLK	35	0	0
TOTAL		19,351	12,452	0

Style WAREHOUSE/MARINAC / 48C
 Gross Sq Ft 1,640
 Finished Sq Ft 1,640
 Perimeter 0
 Stories 1
 Interior Walls NONE
 Exterior Walls C.B.S.
 Quality 250 ()
 Roof Type NONE
 Roof Material NONE
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation NONE
 Interior Finish NONE
 Ground Floor Area
 Floor Cover NONE
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1968
 Year Remodeled
 Effective Year Built 1995
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,640	1,640	0
TOTAL		1,640	1,640	0

Style SERV SHOPS ETC / 25C
 Gross Sq Ft 9,500
 Finished Sq Ft 8,000
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls METAL SIDING
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 METAL SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1978
 Year Remodeled
 Effective Year Built 1991
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	1,500	0	0
FLA	FLOOR LIV AREA	8,000	8,000	0
TOTAL		9,500	8,000	0

Style OFFICE BLD-1 STORY / 17C
 Gross Sq Ft 1,380
 Finished Sq Ft 1,156
 Perimeter 0
 Stories 1
 Interior Walls NONE
 Exterior Walls C.B.S.
 Quality 250 ()
 Roof Type GABLE/HIP
 Roof Material METAL
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish NONE
 Ground Floor Area
 Floor Cover NONE
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1948
 Year Remodeled
 Effective Year Built 1995
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,156	1,156	0
OPF	OP PRCH FINLL	224	0	0
TOTAL		1,380	1,156	0

Style OFFICE BLD-1 STORY / 17C
 Gross Sq Ft 472
 Finished Sq Ft 432
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls C.B.S.
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1968
 Year Remodeled
 Effective Year Built 1994
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	40	0	0
FLA	FLOOR LIV AREA	432	432	0
TOTAL		472	432	0

Style OFFICE BLD-1 STORY / 17C
 Gross Sq Ft 351
 Finished Sq Ft 351
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls C.B.S.
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1968
 Year Remodeled
 Effective Year Built 1994
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	351	351	0
TOTAL		351	351	0

Style 1STY STORE-B / 11B
 Gross Sq Ft 12,372
 Finished Sq Ft 10,302
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls INSULATED METAL
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 INSULATED METAL
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1968
 Year Remodeled
 Effective Year Built 1991
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	81	0	0
FLA	FLOOR LIV AREA	10,302	10,302	0
OPF	OP PRCH FIN LL	1,989	0	0
TOTAL		12,372	10,302	0

Style WAREHOUSE/MARINA B / 48B
 Gross Sq Ft 780
 Finished Sq Ft 780

Perimeter 118
 Stories 1
 Interior Walls
 Exterior Walls MIN WOOD SIDING
 Quality 250 ()
 Roof Type
 Roof Material ASPHALT SHINGL
 Exterior Wall1 MIN WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1976
 Year Remodeled
 Effective Year Built 1991
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	780	780	118
TOTAL		780	780	118

Style SHP CNTR-COMTY-A / 16A
 Gross Sq Ft 13,854
 Finished Sq Ft 10,038
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls AVE WOOD SIDING
 Quality 350 ()
 Roof Type
 Roof Material
 Exterior Wall1 AVE WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1975
 Year Remodeled
 Effective Year Built 1994
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	398	0	0
FLA	FLOOR LIV AREA	10,038	10,038	0
OPF	OP PRCH FIN LL	3,358	0	0
SBF	UTIL FIN BLK	60	0	0
TOTAL		13,854	10,038	0

Style RESTAURANT & CAFETR / 21C
 Gross Sq Ft 1,554
 Finished Sq Ft 1,554
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls AVE WOOD SIDING
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 AVE WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1985
 Year Remodeled
 Effective Year Built 1994
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,554	1,554	0
TOTAL		1,554	1,554	0

Style 1 STORY STORES / 11C
 Gross Sq Ft 4,000
 Finished Sq Ft 4,000
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls INSULATED METAL

Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 INSULATED METAL
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1980
 Year Remodeled
 Effective Year Built 1994
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,000	4,000	0
TOTAL		4,000	4,000	0

Style REST/CAFET-A- / 21A
 Gross Sq Ft 33,664
 Finished Sq Ft 21,048
 Perimeter 0
 Stories 3
 Interior Walls WD PANL/CUSTOM
 Exterior Walls CUSTOM with 43% C.B.S.
 Quality 350 ()
 Roof Type IRR/CUSTOM
 Roof Material METAL
 Exterior Wall1 CUSTOM
 Exterior Wall2 C.B.S.
 Foundation
 Interior Finish WD PANL/CUSTOM
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2006
 Year Remodeled
 Effective Year Built 2006
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
EUF	ELEV UNFIN FD	7,378	0	0
OPX	EXC OPEN PORCH	3,047	0	0
FLA	FLOOR LIV AREA	21,048	21,048	0
GBF	GAR FIN BLOCK	1,640	0	0
OUU	OP PR UNFIN UL	551	0	0
TOTAL		33,664	21,048	0

Style ELEC/TELEPHONE ETC C / 91C
 Gross Sq Ft 876
 Finished Sq Ft 432
 Perimeter 182
 Stories 1
 Interior Walls
 Exterior Walls C.B.S.
 Quality 150 ()
 Roof Type REINFORC CONC
 Roof Material MIN/PAINT CONC
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONC PILINGS
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2000
 Year Remodeled 0
 Effective Year Built 2000
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	432	432	84
OUF	OP PRCH FIN UL	12	0	14
SBU	UTIL UNFIN BLK	432	0	84
TOTAL		876	432	182

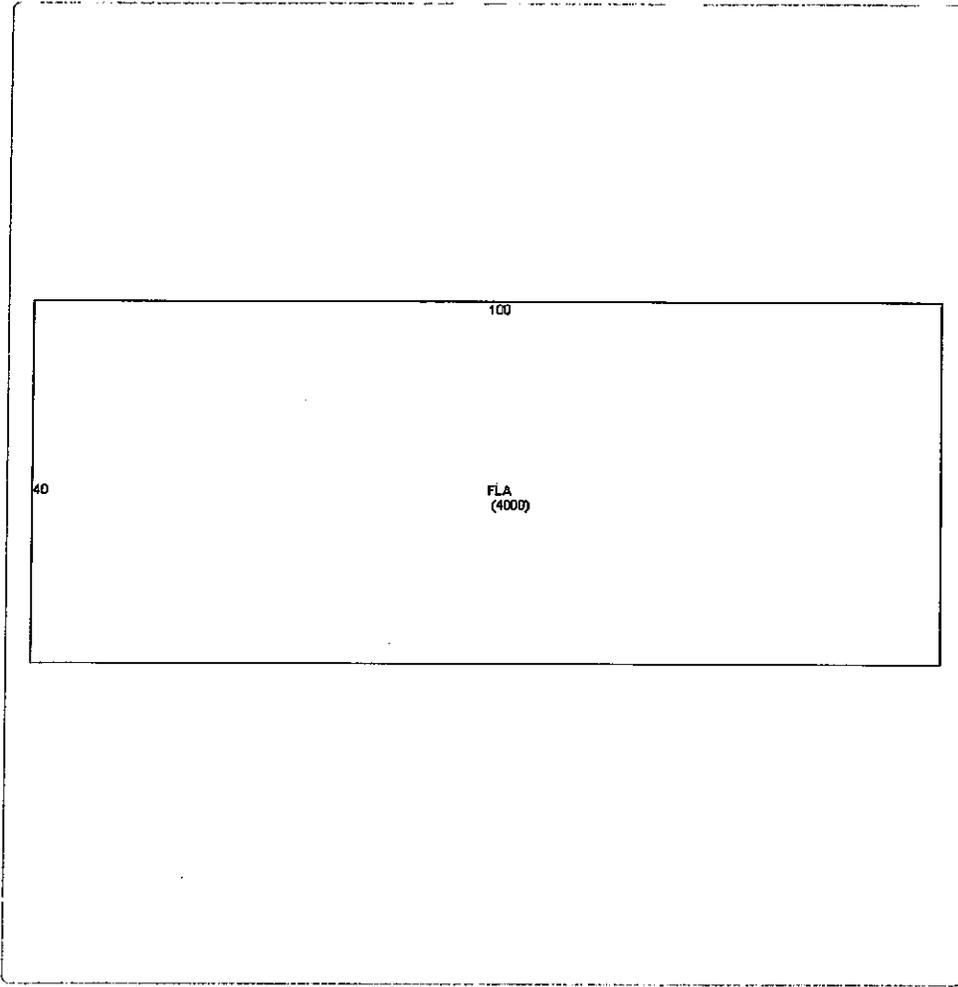
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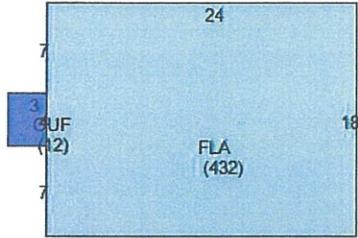
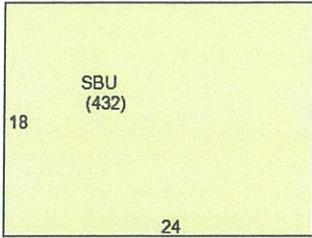
Description	Year Built	Roll Year	Quantity	Units	Grade
CONC PATIO	1967	1968	1	12500 SF	5
CUSTOM POOL	1971	1972	1	391 SF	2
CONC PATIO	1971	1972	1	698 SF	2
TIKI	1984	1985	1	468 SF	5

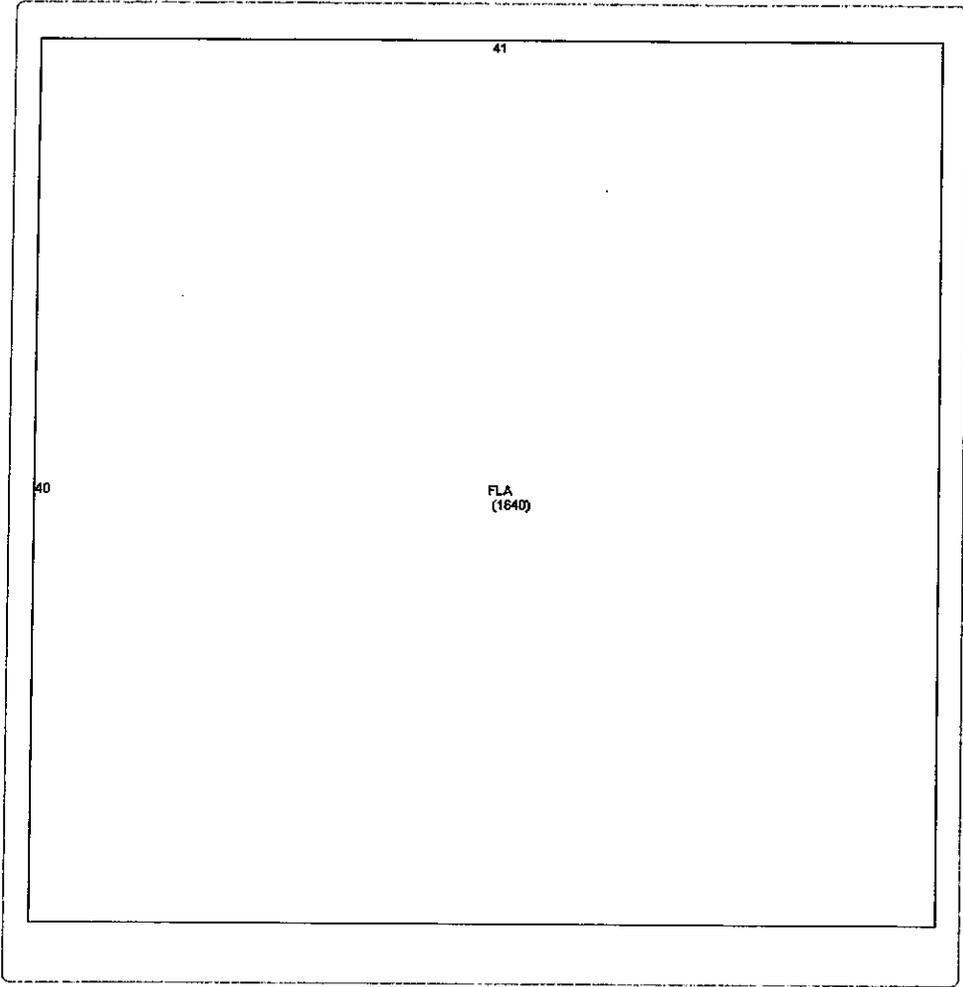
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(1554)

21

74



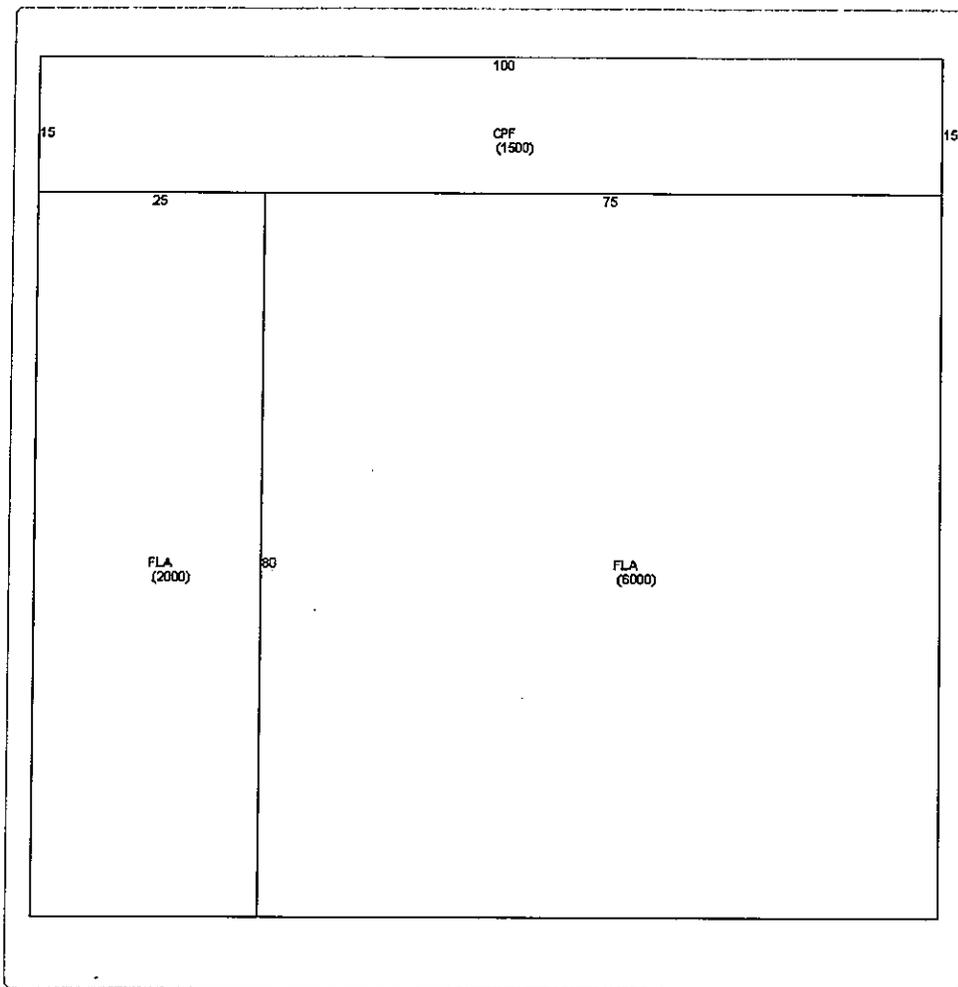


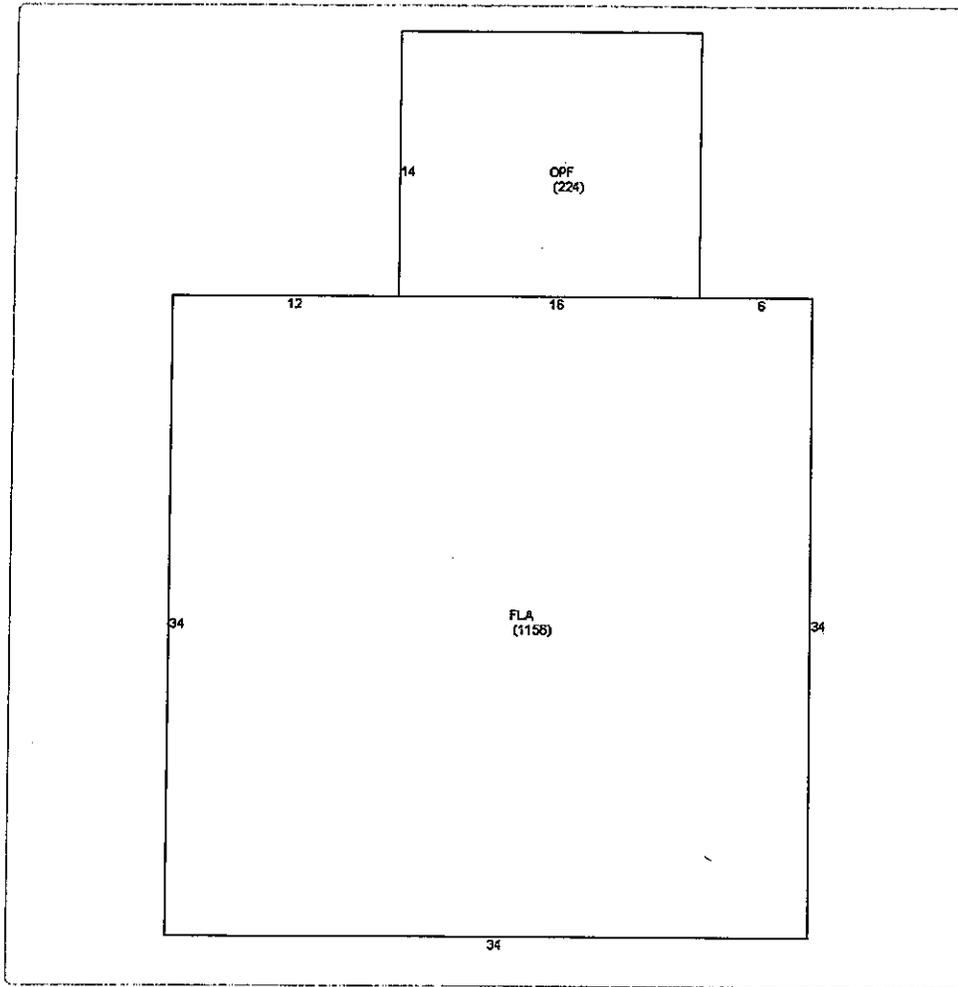


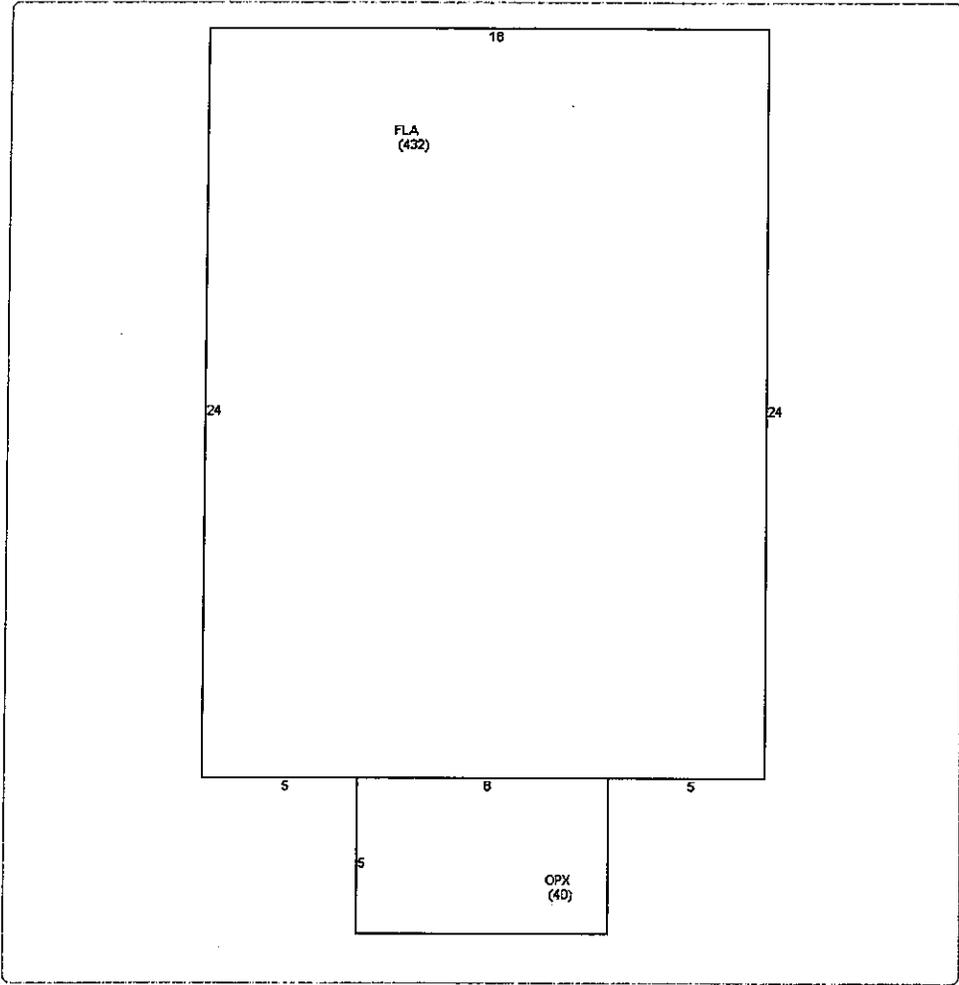
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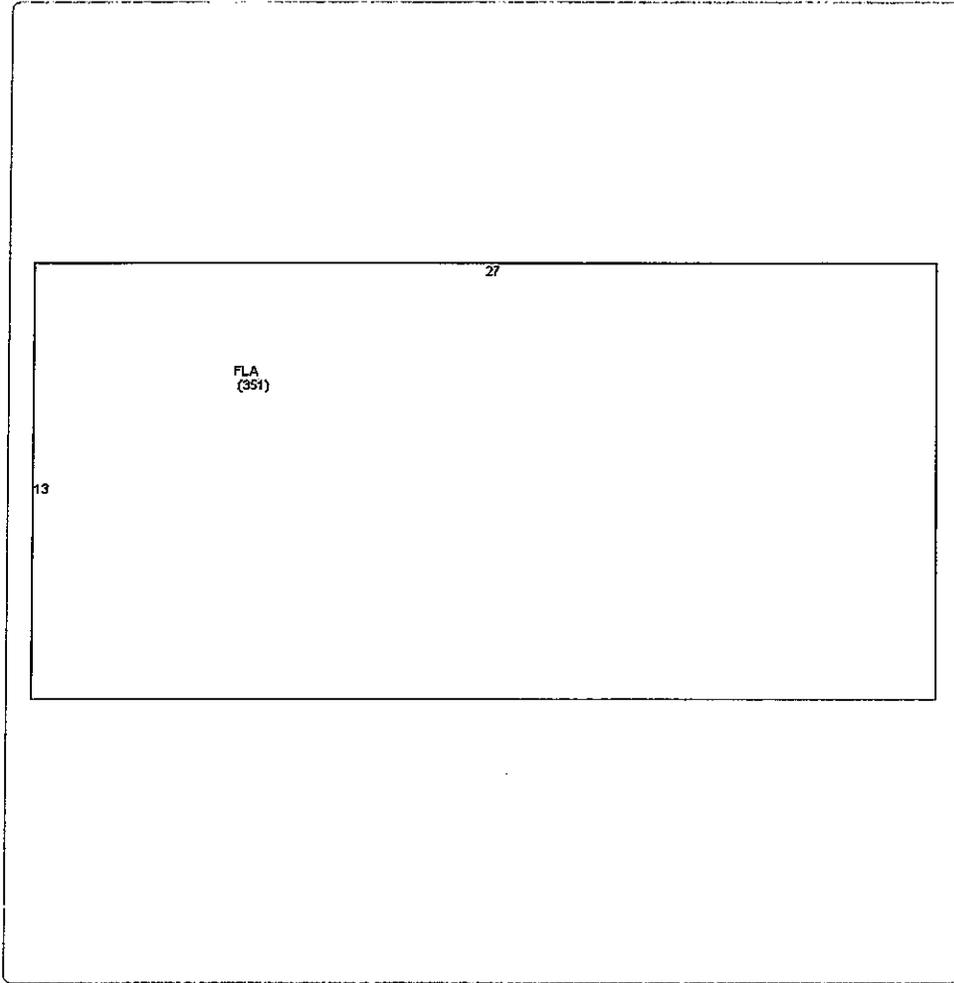
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FLA
(1640)





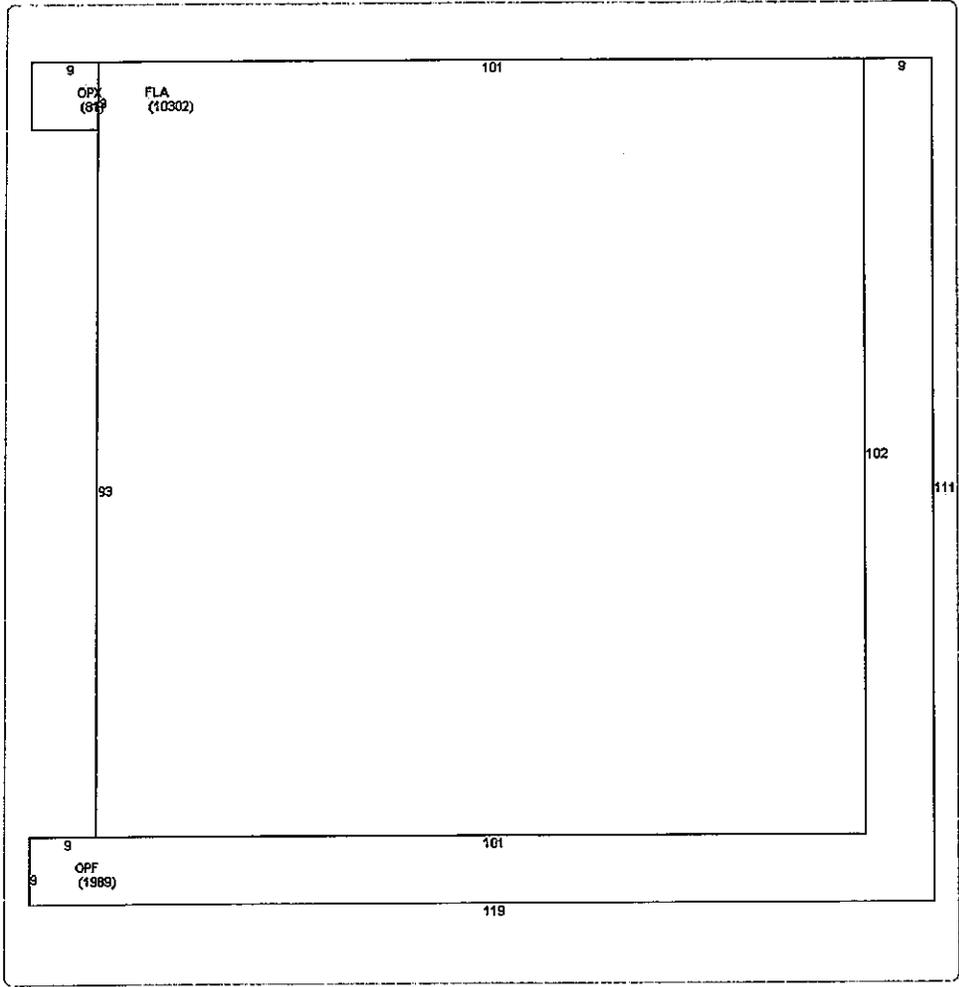




FLA
(351)

27

13

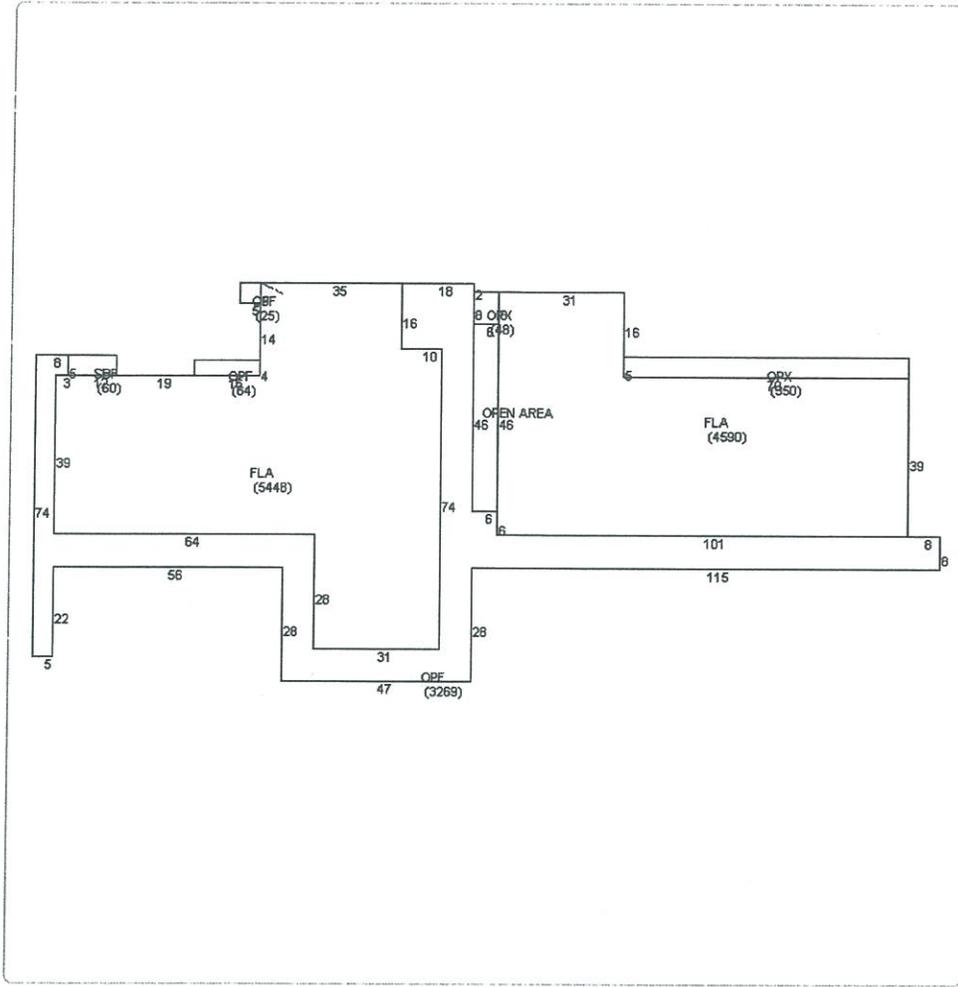


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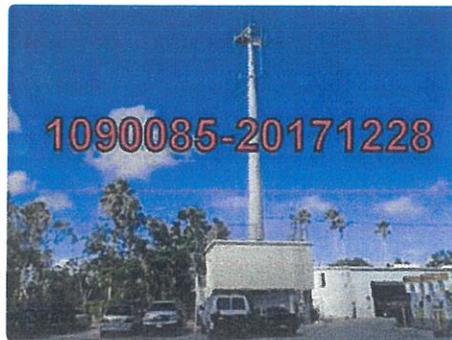
FLA Yr=1976
(780)

20

39



Photos



Map



TRIM Notice

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2019 Notices Only

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Summary

Parcel ID 00081740-000500
 Account# 9011663
 Property ID 9011663
 Millage Group 500R
 Location Address 35 OCEAN REEF Dr, OCEAN REEF
 Legal Description 7 59 41 ISLAND OF KEY LARGO PB4-83 PT NE 1/4 OF SW 1/4 OR1681-1741/45
 (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property Class MULTISTORY (1800)
 Subdivision
 Sec/Twp/Rng 07/59/41
 Affordable Housing No



Owner

O R BUSINESS CENTER LLC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$4,147,601	\$0	\$0	\$0
+ Market Misc Value	\$137,651	\$0	\$0	\$0
+ Market Land Value	\$1,929,500	\$6,838,736	\$6,838,736	\$6,838,736
= Just Market Value	\$6,214,752	\$6,838,736	\$6,838,736	\$6,838,736
= Total Assessed Value	\$6,214,752	\$6,838,736	\$6,838,736	\$6,838,736
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$6,214,752	\$6,838,736	\$6,838,736	\$6,838,736

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	103,237.00	Square Foot	0	0

Commercial Buildings

Style OFF BLDG MULT STY-A / 18A
 Gross Sq Ft 32,949
 Finished Sq Ft 30,766
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls C.B.S.
 Quality 500 ()
 Roof Type
 Roof Material
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2001
 Year Remodeled
 Effective Year Built 2010
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CPX	CARPOR LATTIC	711	0	0
OPX	EXC OPEN PORCH	1,472	0	0
FLA	FLOOR LIV AREA	30,766	30,766	0
TOTAL		32,949	30,766	0

Yard Items

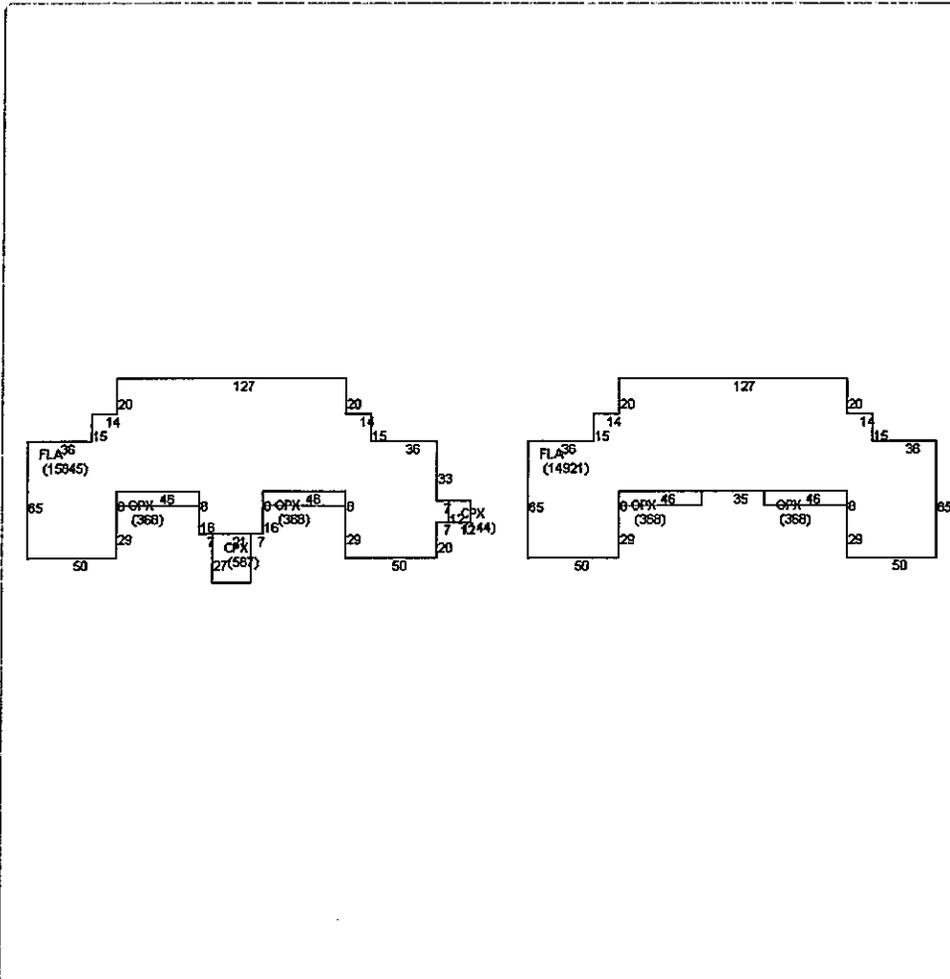
Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	2001	2002	1	144 SF	3
FENCES	2001	2002	1	400 SF	5
UTILITY BLDG	2001	2002	1	480 SF	5
ASPHALT PAVING	2001	2002	1	51100 SF	2
CONC PATIO	2001	2002	1	975 SF	2

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
19400227	8/13/2019		\$5,629	Commercial	TO REPLACE 3.5 TON A/C UNIT
19400153	8/5/2019		\$192,065	Commercial	INSTALL NEW ELECTRICAL SERVICE WITH 96 SQ FT ELEVATED CONCRETE PAD WITH STAIRS & RAILING,
18400211	6/22/2018	2/7/2019	\$30,000	Commercial	REMOVE WINDOW & INSTALL COMMERCIAL DOOR
16402014	5/2/2016	5/24/2016	\$45,000		INSTALL (1) DOOR/PAINT DOOR & TRIM
13303227	10/15/2013	3/5/2014	\$1		INT REMODEL/REPAIR
3300489	3/4/2003		\$1		INTERIOR BUILD OUT
1301400	7/2/2001		\$1	Commercial	INTERIOR REMODEL
0302445	9/19/2000		\$1	Commercial	OFFICE BUILDING
0302446	9/19/2000		\$1	Commercial	SITE WK, PAVING, DRAINAGE
0301938	5/31/2000		\$1	Commercial	DEMO STAFF HOUSING

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Sketches (click to enlarge)



Photos

9011663-20170106



Map



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Summary

Parcel ID 00081720-000600
 Account# 8867964
 Property ID 8867964
 Millage Group 500R
 Location Address VACANT LAND, KEY LARGO
 Legal Description 7 59 41 ISLAND OF KEY LARGO PT SE 1/4 OF NW 1/4 (DISPOSAL WELL FIELD) OR1344-1765/68
 (Note: Not to be used on legal documents.)
 Neighborhood 10011
 Property Class UTILITY (9100)
 Subdivision
 Sec/Twp/Rng 07/59/41
 Affordable Housing No

Owner

[NORTH KEY LARGO UTILITY CORP](#)
 24 DOCKSIDE LANE PMB 512
 KEY LARGO FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$48,000	\$48,000	\$48,000	\$48,000
= Just Market Value	\$48,000	\$48,000	\$48,000	\$48,000
= Total Assessed Value	\$48,000	\$48,000	\$48,000	\$48,000
- School Exempt Value	(\$48,000)	(\$48,000)	(\$48,000)	(\$48,000)
= School Taxable Value	\$0	\$0	\$0	\$0

Land

Land Use (9100)	Number of Units	Unit Type Acreage	Frontage	Depth
	0.24		0	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/1/1995	\$1	Warranty Deed		1344	1765	M - Unqualified	Improved

[View Taxes for this Parcel](#)

Map



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Summary

Parcel ID 00081720-000400
 Account# 8655037
 Property ID 8655037
 Millage Group 500R
 Location Address VACANT LAND, KEY LARGO
 Legal Description 7 59 41 ISLAND OF KEY LARGO PB4-83 PT OF SE 1/4 OF NW 1/4 (.73AC) OR897-2223/2225
 (Note: Not to be used on legal documents.)
 Neighborhood 10011
 Property Class UTILITY (9100)
 Subdivision
 Sec/Twp/Rng 07/59/41
 Affordable Housing No

Owner

FLORIDA KEYS AQUEDUCT AUTHORITY
 1100 Kennedy Dr
 Key West FL 33040

Valuation

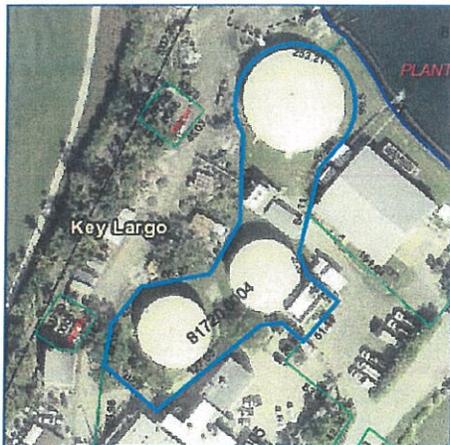
	2019	2018	2017	2016
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$146,000	\$146,000	\$146,000	\$146,000
= Just Market Value	\$146,000	\$146,000	\$146,000	\$146,000
= Total Assessed Value	\$13,765	\$12,514	\$11,377	\$10,343
- School Exempt Value	(\$146,000)	(\$146,000)	(\$146,000)	(\$146,000)
= School Taxable Value	\$0	\$0	\$0	\$0

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(9100)	0.73	Acreage	0	0

[View Taxes for this Parcel](#)

Map



No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Yard Items, Exemptions, Sales, Permits, Sketches (click to enlarge), Photos, TRIM Notice.

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Summary

Parcel ID 00081720-000000
 Account# 1089991
 Property ID 1089991
 Millage Group 500R
 Location 100 COUNTRY CLUB Rd, OCEAN REEF
 Address
 Legal 7 59 41 ISLAND OF KEY LARGO PB4-83 PT SE 1/4 OF NW1/4 G62-114/15 OR435-855/56 OR517-361E
 Description OR571-919Q OR594-631Q OR897-2228/29E OR1247-1856/76 OR1952-1866/68E OR2846-1053/57 OR2846-1058/60 OR2846-1070E
 (Note: Not to be used on legal documents.)
 Neighborhood 10010
 Property Class SERVICE SHOPS (2500)
 Subdivision
 Sec/Twp/Rng 07/59/41
 Affordable No
 Housing



Owner

OCEAN REEF CLUB INC
 35 Ocean Reef Dr
 Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$1,175,185	\$1,175,185	\$1,175,185	\$1,175,185
= Just Market Value	\$1,175,185	\$1,175,185	\$1,175,185	\$1,175,185
= Total Assessed Value	\$1,175,185	\$1,175,185	\$1,175,185	\$1,175,185
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,175,185	\$1,175,185	\$1,175,185	\$1,175,185

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	3.00	Acreage	0	0
(3800)	20.28	Acreage	0	0

Commercial Buildings

Style OFFICE BLD-1 STORY / 17C
 Gross Sq Ft 1,200
 Finished Sq Ft 1,200
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls AVE WOOD SIDING
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 AVE WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1943
 Year Remodeled
 Effective Year Built 1991
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,200	1,200	0
TOTAL		1,200	1,200	0

Style OFF BLDG-1 STY-D / 17D

Gross Sq Ft 858
 Finished Sq Ft 343
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls AVE WOOD SIDING
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 AVE WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1943
 Year Remodeled
 Effective Year Built 1991
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	343	343	0
PTO	PATIO	515	0	0
TOTAL		858	343	0

Style WAREHOUSE/MARINA A / 48A
 Gross Sq Ft 3,514
 Finished Sq Ft 3,514
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls MIN WOOD SIDING
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 MIN WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1943
 Year Remodeled
 Effective Year Built 1991
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	3,514	3,514	0
TOTAL		3,514	3,514	0

Style WAREHOUSE/MARINA D / 48D
 Gross Sq Ft 780
 Finished Sq Ft 780
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls C.B.S.
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1960
 Year Remodeled
 Effective Year Built 1994
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	780	780	0
TOTAL		780	780	0

Style ELEC/TELEPHONE ETC C / 91C
 Gross Sq Ft 5,682
 Finished Sq Ft 4,640
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls C.B.S.
 Quality 250 ()

Roof Type
 Roof Material
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1973
 Year Remodeled
 Effective Year Built 1994
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,640	4,640	0
OUF	OP PRCH FIN UL	1,042	0	0
TOTAL		5,682	4,640	0

Style FOOD PROCESSING-A- / 46A
 Gross Sq Ft 21,108
 Finished Sq Ft 19,547
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls METAL SIDING
 Quality 3000
 Roof Type
 Roof Material
 Exterior Wall1 METAL SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1999
 Year Remodeled
 Effective Year Built 2000
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	19,547	19,547	0
CLP	LOAD PLATFM	1,125	0	0
OUF	OP PRCH FIN UL	436	0	0
TOTAL		21,108	19,547	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
UTILITY BLDG	1975	1976	1	100 SF	4
UTILITY BLDG	1975	1976	1	120 SF	4
CONC PATIO	1975	1976	1	1680 SF	2
UTILITY BLDG	1975	1976	1	192 SF	2
CONC PATIO	1975	1976	1	240 SF	2
ASPHALT PAVING	1975	1976	1	43050 SF	2
CONC PATIO	1975	1976	1	650 SF	2
UTILITY BLDG	1984	1985	1	100 SF	2
UTILITY BLDG	1997	1998	1	120 SF	2
CONC PATIO	2000	2001	1	1020 SF	2
UTILITY BLDG	2004	2005	1	200 SF	5

Sales

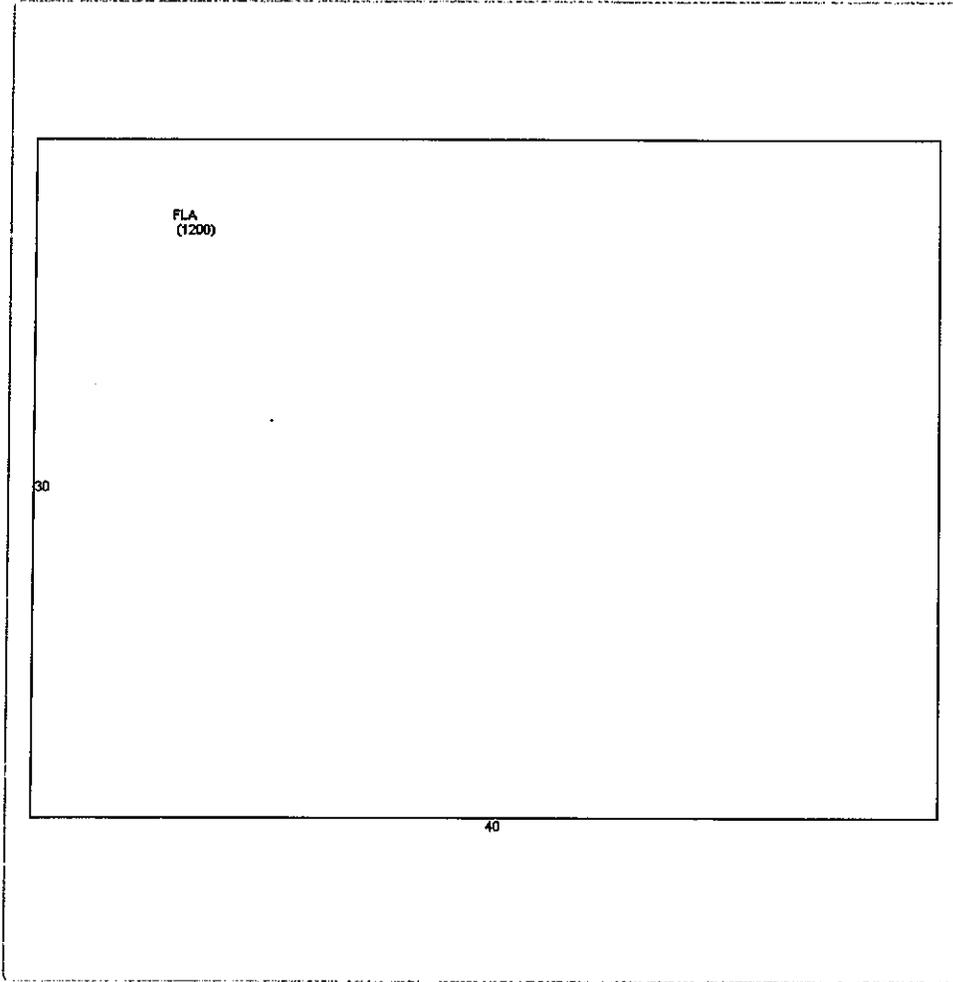
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/3/2017	\$5,200	Warranty Deed	2116595	2846	1058	20 - Unqualified	Improved
3/3/2017	\$225,200	Warranty Deed	2116594	2846	1059	20 - Unqualified	Improved
3/1/1993	\$1	Warranty Deed		1247	1856	M - Unqualified	Improved

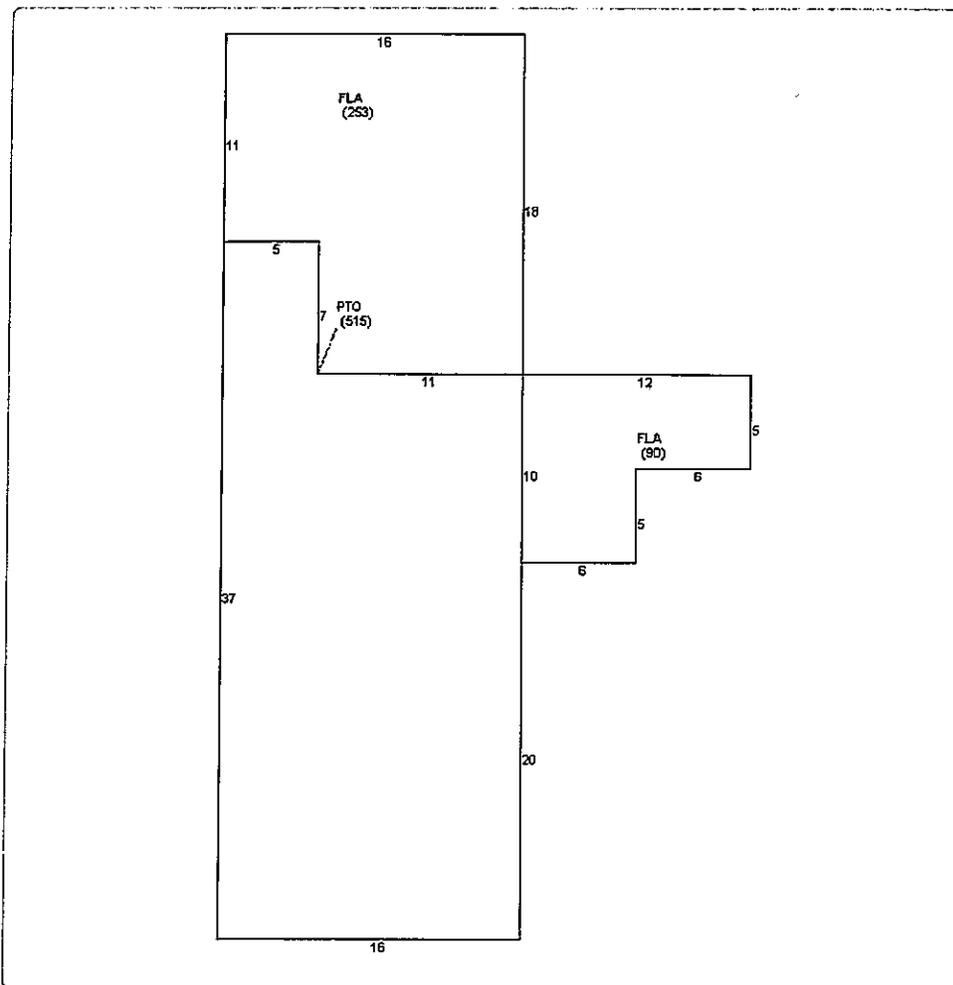
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18400046	3/7/2018	4/26/2018	\$84,000	Commercial	RE-ROOF - METAL (Hurricane IRMA)
17404311	2/16/2018		\$210,000	Commercial	RE-ROOF (Hurricane IRMA)
17404274	12/22/2017	3/29/2019	\$103,500	Commercial	MAINTENANCE BLDG - INTERIOR DEMO (Hurricane IRMA)
08303649	3/5/2009	6/22/2012	\$1		CONSTRUCT NEW PRE-ENGINEERED METAL BLDG.
07303906	10/30/2007	12/9/2008	\$1		DEMOLITION AND REPLACEMENT OF PUMP HOUSE
05303899	7/28/2005	3/7/2007	\$1		REMOVE/REPLACE 3 ROOF TOP A/C PACKAGE UNITS WITH 2 6 TON AND 1 TEN TON UNITS
4300468	5/5/2004	12/31/2004	\$1		CONCRETE SLAB, DHC
3303241	9/17/2003	12/31/2004	\$1		CONCRETE PUMP HOUSE, DHC
0030225	2/1/2000	12/31/2000	\$1		CONCRETE SLAB FOR DUMPSTE
9830093	5/7/1998	3/30/1999	\$1		WAREHOUSE

[View Taxes for this Parcel](#)

Sketches (click to enlarge)





FLA
(3514)

41

4

9

14

3

68

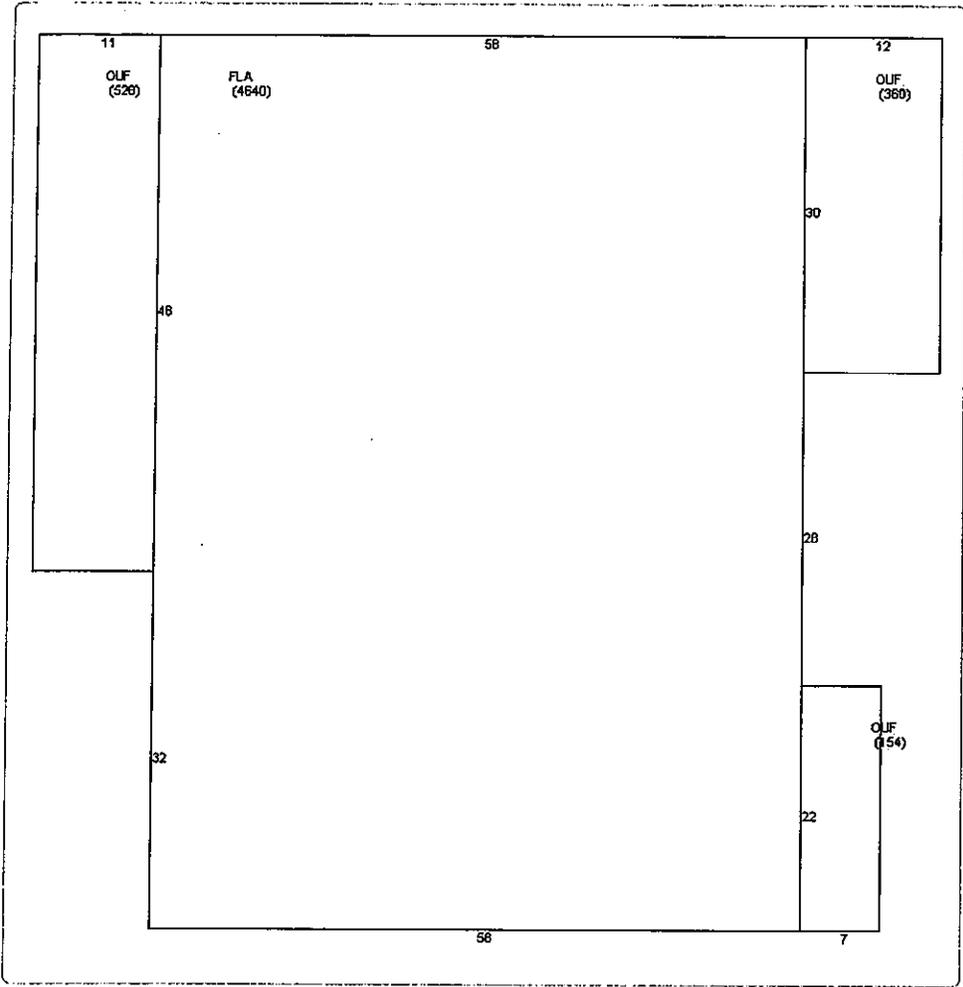
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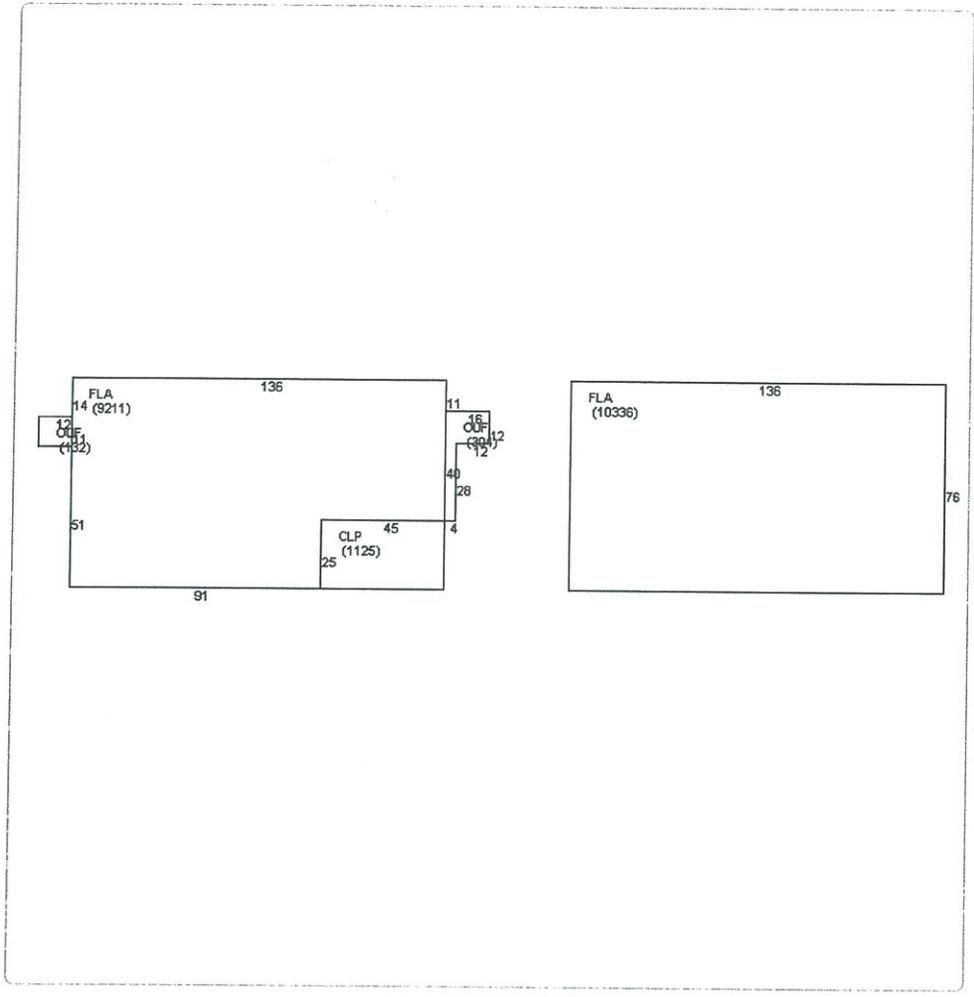
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FLA
(780)

20

39

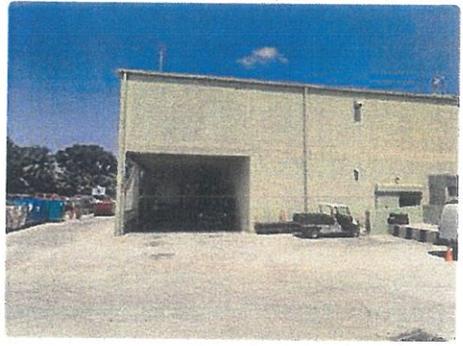




Photos



1089991-20120622



Map



TRIM Notice

Trim Notice

2019 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the [User Privacy Policy](#) and [GDPR Privacy Notice](#)

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Summary

Parcel ID 00081710-000000
 Account# 1089061
 Property ID 1089061
 Millage Group 500R
 Location 120 NIRVANA Ln, OCEAN REEF
 Address
 Legal 7 59 41 ISLAND OF KEY LARGO PB4-83 PT GOV LT 4 AND PT SW1/4 (9.70 AC) G19-71 G55-68/69 G55-105/106 G67-441 G68-172 OR297-471 OR298-535 OR435-855/861 OR571-919QC OR594-631QC OR1020-1158 OR1247-1856/1876 OR1339-255/258 OR2680-522/524Q/C
 Description
 (Note: Not to be used on legal documents.)
 Neighborhood 10011
 Property Class CLUB (7700)
 Subdivision
 Sec/Twp/Rng 07/59/41
 Affordable No
 Housing



Owner

OCEAN REEF CLUB INC
 C/O ACCOUNTING DEPARTMENT
 35 Ocean Reef Dr Ste 200
 Key Largo FL 33037

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$2,836,229	\$2,836,229	\$2,836,229	\$2,836,229
= Just Market Value	\$2,836,229	\$2,836,229	\$2,836,229	\$2,836,229
= Total Assessed Value	\$2,836,229	\$2,836,229	\$2,836,229	\$2,836,229
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$2,836,229	\$2,836,229	\$2,836,229	\$2,836,229

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	9.70	Acreage	0	0

Commercial Buildings

Style S.F.R. - R1 / R1
 Gross Sq Ft 1,032
 Finished Sq Ft 1,032
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls WD FRAME
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 WD FRAME
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1958
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,032	1,032	0
TOTAL		1,032	1,032	0

Style S.F.R. - R1 / R1
 Gross Sq Ft 1,035
 Finished Sq Ft 768

Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls WD FRAME
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 WD FRAME
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1958
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	768	768	0
OPF	OP PRCH FIN LL	15	0	0
PUF	SC PRCH FIN UL	252	0	0
TOTAL		1,035	768	0

Style S.F.R. - R1 / R1
 Gross Sq Ft 1,497
 Finished Sq Ft 1,345
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls WD FRAME
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 WD FRAME
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1963
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,345	1,345	0
OPF	OP PRCH FIN LL	152	0	0
TOTAL		1,497	1,345	0

Style S.F.R. - R1 / R1
 Gross Sq Ft 1,032
 Finished Sq Ft 816
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls WD FRAME
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 WD FRAME
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1958
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	816	816	0
PUF	SC PRCH FIN UL	216	0	0
TOTAL		1,032	816	0

Style OFFICE BLD-1 STORY / 17C
 Gross Sq Ft 1,057
 Finished Sq Ft 634
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL

Exterior Walls MIN WOOD SIDING with 38% C.B.S.
 Quality 250 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 MIN WOOD SIDING
 Exterior Wall2 C.B.S.
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1963
 Year Remodeled
 Effective Year Built 1985

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	634	634	0
OPF	OP PRCH FIN LL	25	0	0
SPF	SC PRCH FIN LL	216	0	0
SBF	UTIL FIN BLK	182	0	0
TOTAL		1,057	634	0

Style APARTMENTS / 03C
 Gross Sq Ft 1,688
 Finished Sq Ft 1,316
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls MIN WOOD SIDING
 Quality 250 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 MIN WOOD SIDING
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1963
 Year Remodeled
 Effective Year Built 1985

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	372	0	0
FLA	FLOOR LIV AREA	1,316	1,316	0
TOTAL		1,688	1,316	0

Style S.F.R. - R1 / R1
 Gross Sq Ft 1,032
 Finished Sq Ft 1,032
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls WD FRAME
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 WD FRAME
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1958
 Year Remodeled
 Effective Year Built 1985

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,032	1,032	0
TOTAL		1,032	1,032	0

Style APARTMENTS / 03C
 Gross Sq Ft 51,608
 Finished Sq Ft 51,016
 Perimeter 0
 Stories 3
 Interior Walls
 Exterior Walls CUSTOM with 33% INSULATED METAL
 Quality 300 ()
 Roof Type

Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2 INSULATED METAL
 Foundation CONCR FTR
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2007
 Year Remodeled
 Effective Year Built 2007
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	592	0	0
FLA	FLOOR LIV AREA	51,016	51,016	0
TOTAL		51,608	51,016	0

Style OFF BLDG-1 STY-D / 17D
 Gross Sq Ft 8,651
 Finished Sq Ft 7,811
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls INSULATED METAL
 Quality 200 ()
 Roof Type
 Roof Material
 Exterior Wall1 INSULATED METAL
 Exterior Wall2
 Foundation CONC PILINGS
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2007
 Year Remodeled
 Effective Year Built 2008
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	7,811	7,811	0
CLP	LOAD PLATFM	434	0	0
PTO	PATIO	406	0	0
TOTAL		8,651	7,811	0

Style OFF BLDG-1 STY-D / 17D
 Gross Sq Ft 10,129
 Finished Sq Ft 8,420
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls METAL SIDING with 19% INSULATED METAL
 Quality 200 ()
 Roof Type
 Roof Material
 Exterior Wall1 METAL SIDING
 Exterior Wall2 INSULATED METAL
 Foundation CONC PILINGS
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2007
 Year Remodeled
 Effective Year Built 2008
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	8,420	8,420	0
OPF	OP PRCH FIN LL	1,097	0	0
PTO	PATIO	612	0	0
TOTAL		10,129	8,420	0

Style R8 / R8
 Gross Sq Ft 12,523
 Finished Sq Ft 9,106
 Perimeter 0
 Stories 2
 Interior Walls DRYWALL
 Exterior Walls C.B.S.
 Quality 500 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 C.B.S.

Exterior Wall2
 Foundation CONCR FTR
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover CONCS/B GRND
 Full Bathrooms 8
 Half Bathrooms 0
 Heating Type FCD/AIR DUCTED
 Year Built 1964
 Year Remodeled
 Effective Year Built 2000
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	9,106	9,106	0
OPF	OP PRCH FIN LL	1,545	0	0
SPF	SC PRCH FIN LL	1,773	0	0
SBF	UTIL FIN BLK	99	0	0
TOTAL		12,523	9,106	0

Style S.F.R. - R1 / R1
 Gross Sq Ft 584
 Finished Sq Ft 560
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls C.B.S. with 4% WD FRAME
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 C.B.S.
 Exterior Wall2 WD FRAME
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type
 Year Built 1958
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	560	560	0
OPF	OP PRCH FIN LL	24	0	0
TOTAL		584	560	0

Style WAREHOUSE/MARINA D / 48D
 Gross Sq Ft 592
 Finished Sq Ft 560
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls MIN WOOD SIDING
 Quality 250 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 MIN WOOD SIDING
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1958
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	560	560	0
OPF	OP PRCH FIN LL	32	0	0
TOTAL		592	560	0

Style S.F.R. - R1 / R1
 Gross Sq Ft 626
 Finished Sq Ft 576
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls WD FRAME
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 WD FRAME
 Exterior Wall2
 Foundation CONC BLOCK

Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type
 Year Built 1958
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	576	576	0
OPF	OP PRCH FIN LL	50	0	0
TOTAL		626	576	0

Style S.FR. - R1 / R1
 Gross Sq Ft 476
 Finished Sq Ft 448
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls WD FRAME
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 WD FRAME
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type
 Year Built 1963
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	448	448	0
OPF	OP PRCH FIN LL	28	0	0
TOTAL		476	448	0

Style S.FR. - R1 / R1
 Gross Sq Ft 476
 Finished Sq Ft 448
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls WD FRAME
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 WD FRAME
 Exterior Wall2
 Foundation CONC BLOCK
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover PLYWD/PR BD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type
 Year Built 1958
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	448	448	0
OPF	OP PRCH FIN LL	28	0	0
TOTAL		476	448	0

Style OFFICE BLD-1 STORY / 17C
 Gross Sq Ft 1,057
 Finished Sq Ft 933
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls MIN WOOD SIDING
 Quality 250 ()
 Roof Type
 Roof Material
 Exterior Wall1 MIN WOOD SIDING
 Exterior Wall2
 Foundation CONC PILINGS
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0

Half Bathrooms 0
 Heating Type
 Year Built 1958
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	933	933	0
OPF	OP PRCH FIN LL	99	0	0
PTO	PATIO	25	0	0
TOTAL		1,057	933	0

Style R9 / R9
 Gross Sq Ft 5,040
 Finished Sq Ft 4,200
 Perimeter 0
 Stories 1
 Interior Walls DRYWALL
 Exterior Walls C.B.S.
 Quality 500 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONCRETE SLAB
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover CONC S/B GRND
 Full Bathrooms 9
 Half Bathrooms 0
 Heating Type
 Year Built 1964
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,200	4,200	0
OPF	OP PRCH FIN LL	786	0	0
SBF	UTIL FIN BLK	54	0	0
TOTAL		5,040	4,200	0

Style APARTMENTS / APT
 Gross Sq Ft 43,316
 Finished Sq Ft 32,656
 Perimeter 0
 Stories 13
 Interior Walls DRYWALL
 Exterior Walls C.B.S.
 Quality 250 ()
 Roof Type PRESTRESS CONC
 Roof Material MIN/PAINT CONC
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONC PILINGS
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover CONC ABOVE GRD
 Full Bathrooms 89
 Half Bathrooms 0
 Heating Type
 Year Built 1984
 Year Remodeled
 Effective Year Built 1985
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	756	0	0
FLA	FLOOR LIV AREA	32,656	32,656	0
OPF	OP PRCH FIN LL	6,004	0	0
SBF	UTIL FIN BLK	3,900	0	0
TOTAL		43,316	32,656	0

Style OFF BLDG MULT STY-B / 18B
 Gross Sq Ft 16,876
 Finished Sq Ft 9,480
 Perimeter 0
 Stories 2
 Interior Walls DRYWALL
 Exterior Walls C.B.S.
 Quality 300 ()
 Roof Type PRESTRESS CONC
 Roof Material MIN/PAINT CONC
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONC PILINGS
 Interior Finish DRYWALL
 Ground Floor Area
 Floor Cover CONC ABOVE GRD

Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 2015
 Year Remodeled
 Effective Year Built 2015
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	4,704	0	0
OPX	EXC OPEN PORCH	2,626	0	0
FLA	FLOOR LIV AREA	9,480	9,480	0
SBF	UTIL FIN BLK	66	0	0
TOTAL		16,876	9,480	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/1/1993	\$1	Warranty Deed		1247	1856	M - Unqualified	Improved

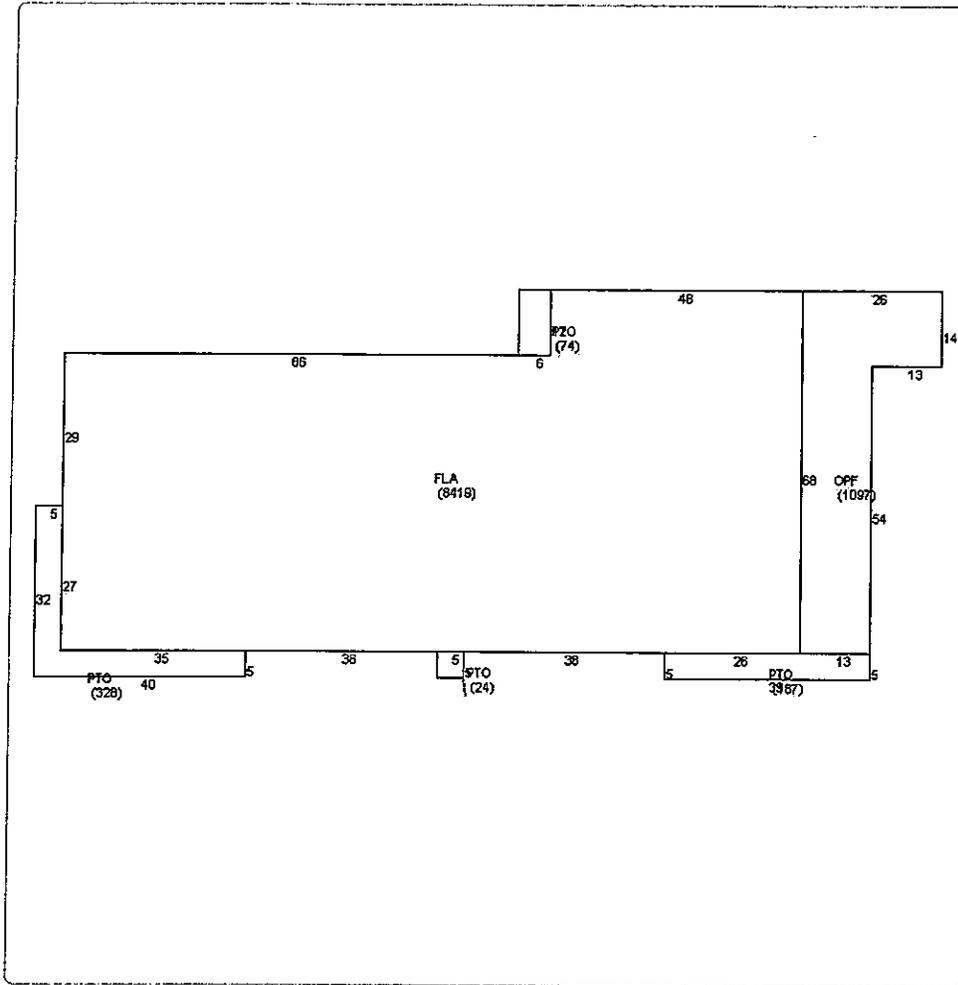
Permits

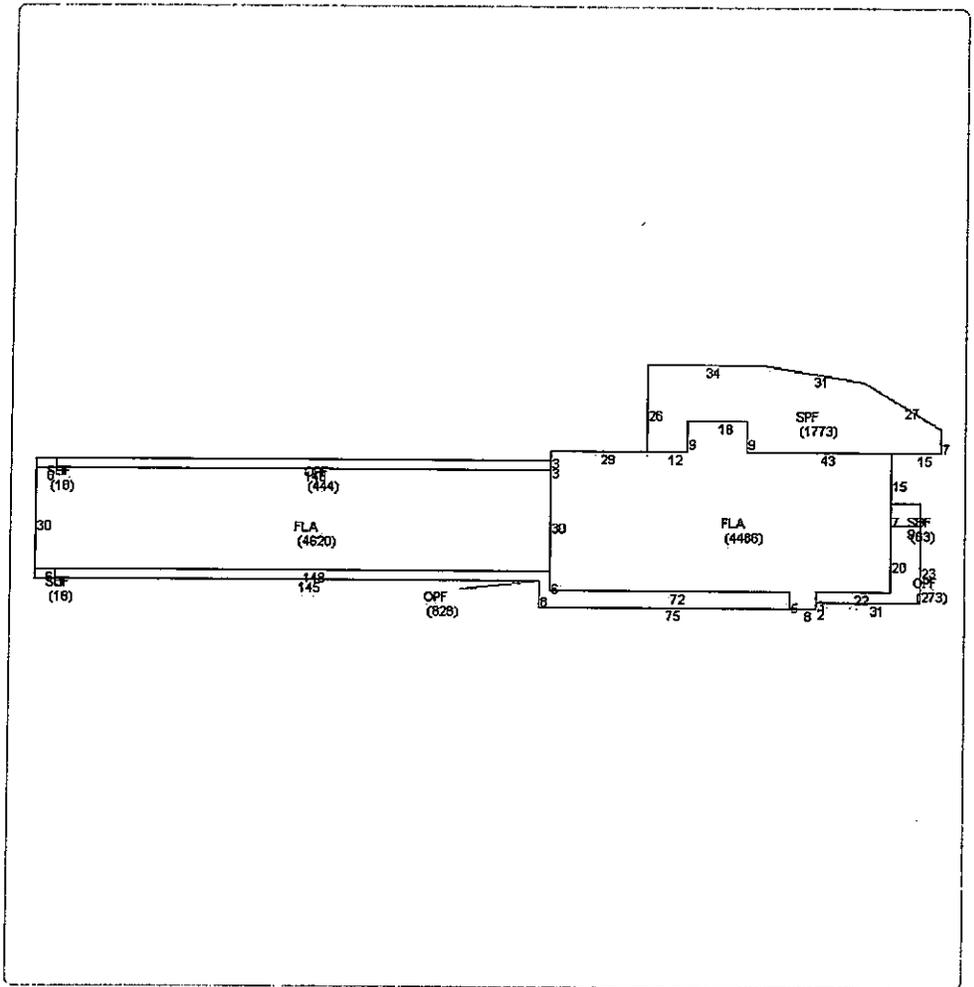
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18400296	8/14/2018		\$8,300	Commercial	YACHTELA-5 RE-ROOF - TIMBERLINE HD ASPHALT SHINGLE
18400297	8/14/2018	11/8/2018	\$9,400	Commercial	YACHTELA-10 RE-ROOF - TIMBERLINE HD ASPHALT SHINGLE
18400298	8/14/2018	4/6/2019	\$9,000	Commercial	YACHTELA-9 RE-ROOF - TIMBERLINE HD ASPHALT SHINGLE
18400299	8/14/2018	11/8/2018	\$15,400	Commercial	YACHTEL B-3 RE-ROOF - TIMBERLINE HD ASPHALT SHINGLE
18400300	8/14/2018	11/8/2018	\$7,850	Commercial	YACHTELA-3 RE-ROOF - TIMBERLINE HD ASPHALT SHINGLE
17404288	4/24/2018	5/17/2018	\$2,400	Commercial	INSTALL 303 LF WOOD FENCE
17404310	2/16/2018	9/26/2018	\$136,000	Commercial	
17404312	1/4/2018	1/25/2018	\$12,600	Commercial	RE-ROOF - ASPHALT ROOF SINGLE
17404313	12/20/2017	2/21/2018	\$12,600	Commercial	RE-ROOF - SHINGLES (Hurricane IRMA)
16406491	10/13/2016	11/29/2016	\$95,430		PLUMBING FOR MARINA PUMPOUT SYSTEM, KEYED FOR NO VALUE CHANGE, ASSIGNED TO WRONG AK?
16406496	10/13/2016	11/29/2016	\$190,855	Commercial	PLUMBING LINES FOR PUMPOUT AT MARINA, MIS-ASSIGNED PERMIT, KEYED FOR NO VALUE CHANGE.
16404838	7/8/2016	8/8/2016	\$40,000		INTERIOR REMODEL/REPAIR
16400410	2/22/2016		\$8,100		RE-ROOF - SHINGLE
16400411	2/22/2016		\$8,100		RE-ROOF - SHINGLE
14301193	7/29/2014	2/4/2015	\$1		NEW COMMERCIAL BLDG - HR/MARINA DRIVE
12304633	12/3/2012	3/6/2013	\$1		REPLACE ROOF
12304634	12/3/2012	3/6/2013	\$8,100	Commercial	NEW ROOF
07304978	3/18/2008	10/14/2008	\$1	Commercial	NEW COMMERCIAL BLDG - UNIT #1
08301006	3/18/2008	10/14/2008	\$1	Commercial	NEW COMMERCIAL BLDG #2
07301099	4/4/2007	11/9/2007	\$1		FOUNDATION/STAFF HOUSING
07300539	3/30/2007	11/9/2007	\$1		DEMOLITION OF STAFF HOUSING

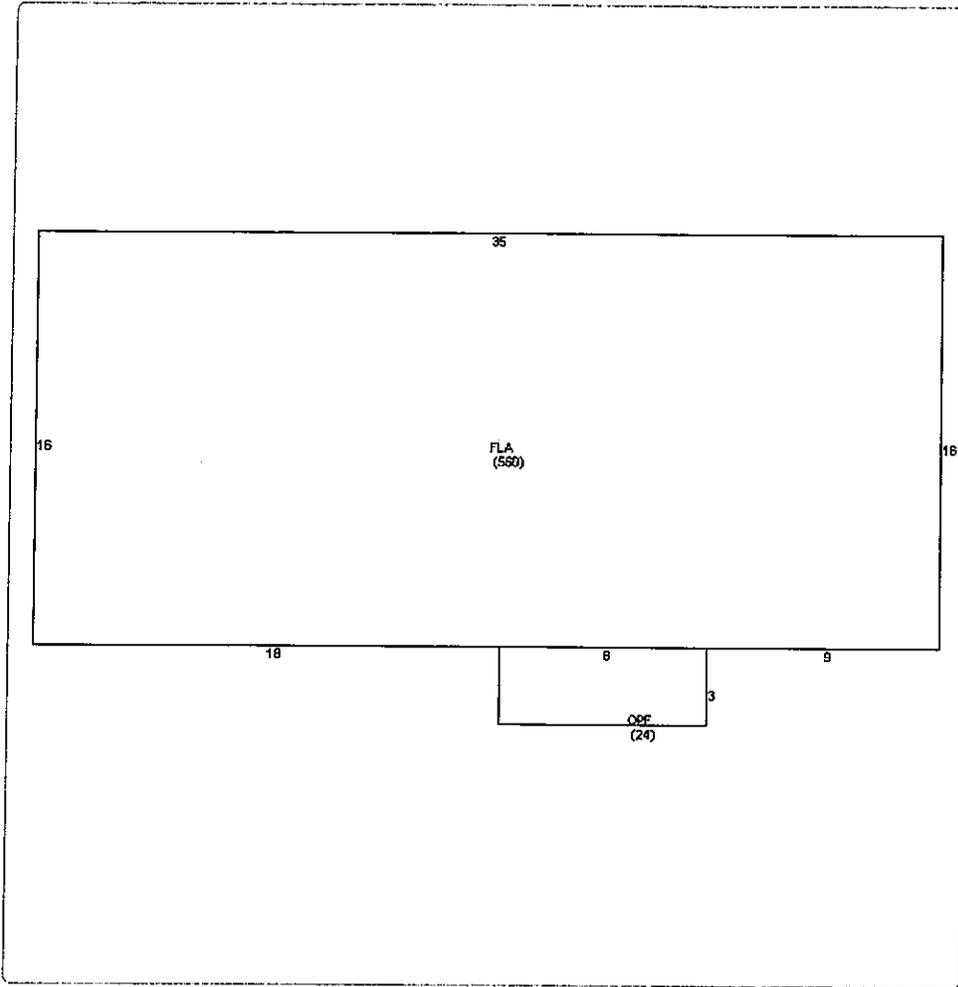
[View Taxes for this Parcel](#)

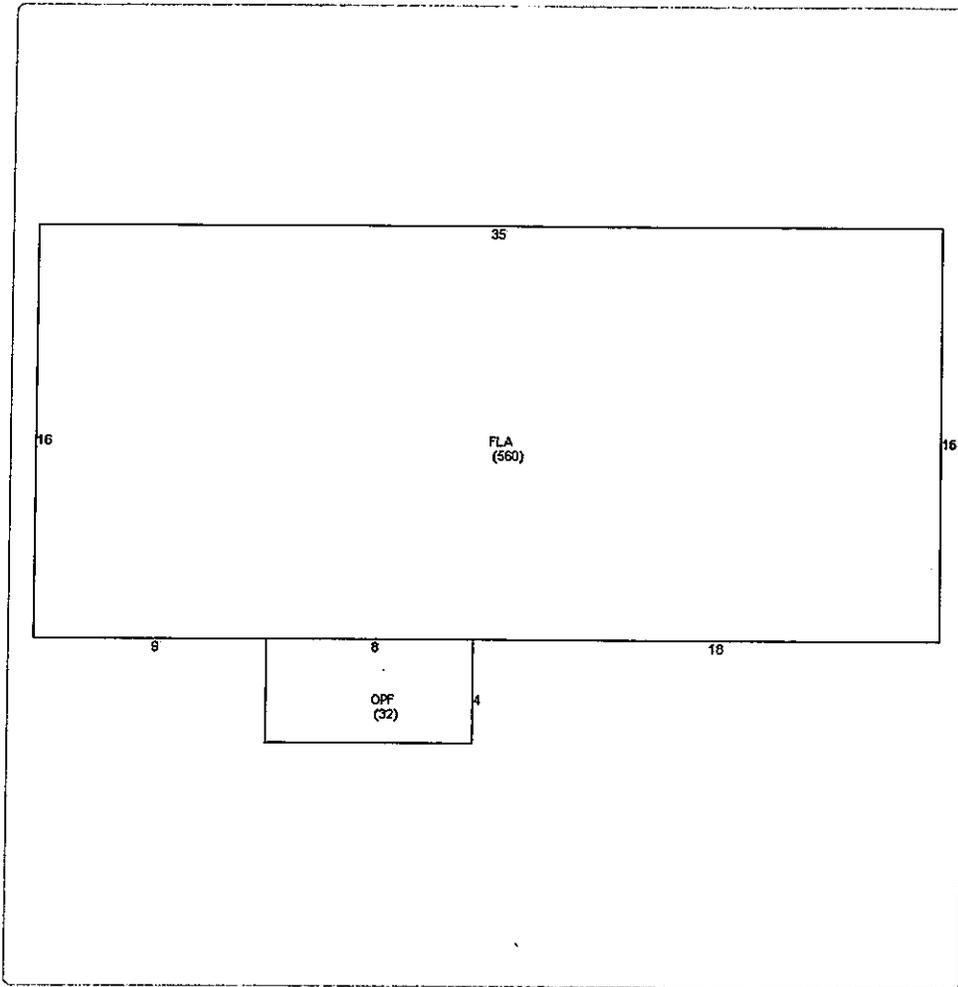
Sketches (click to enlarge)

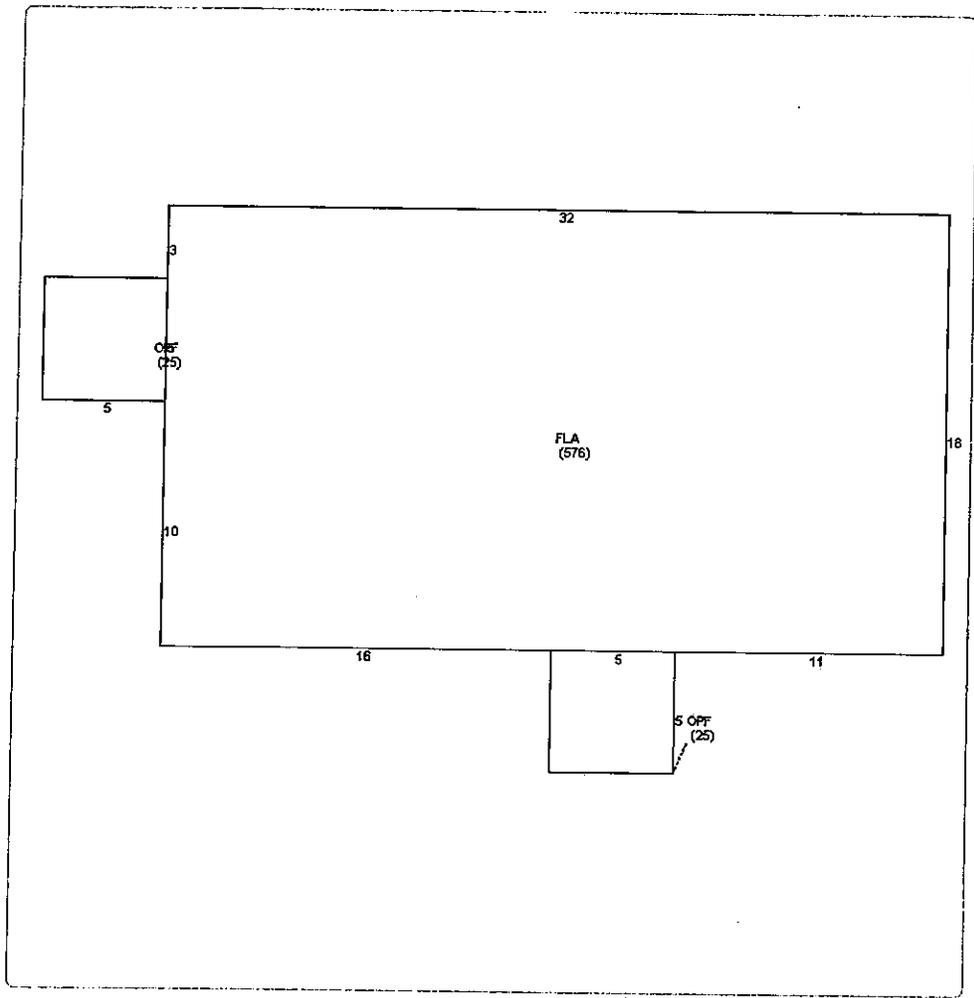
FLA
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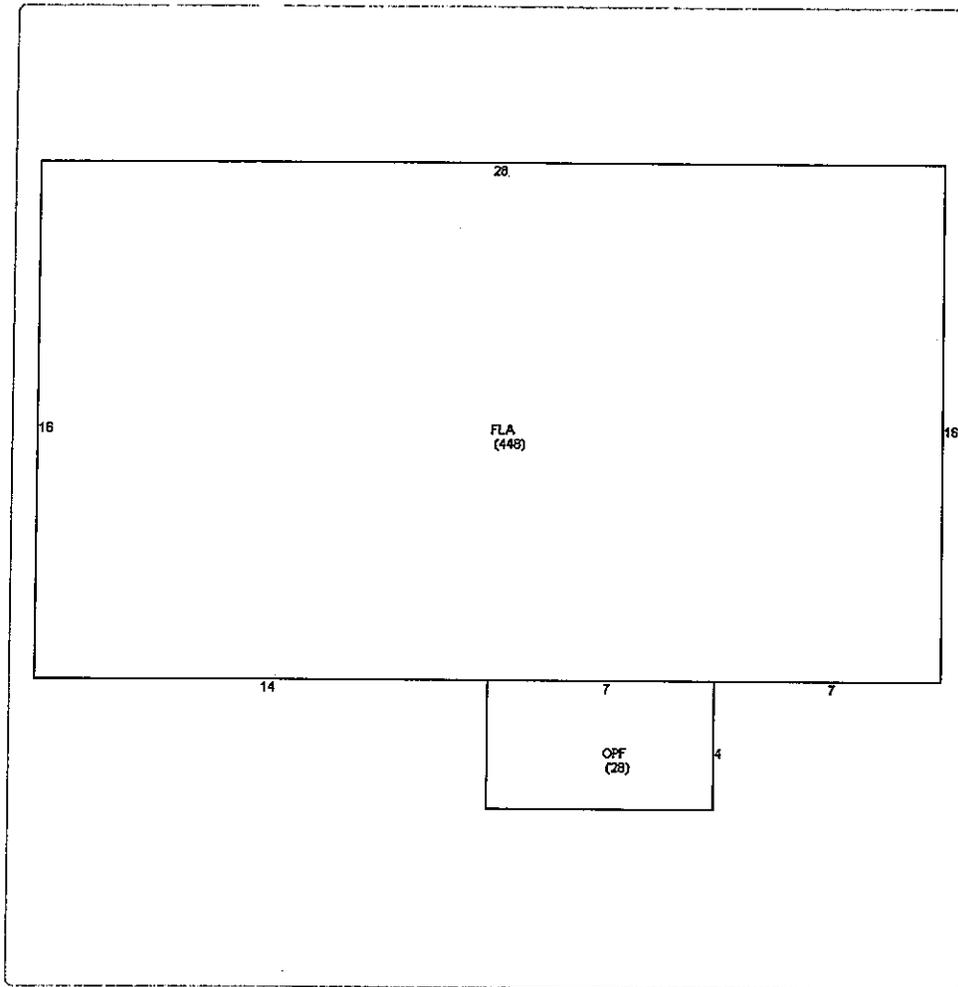


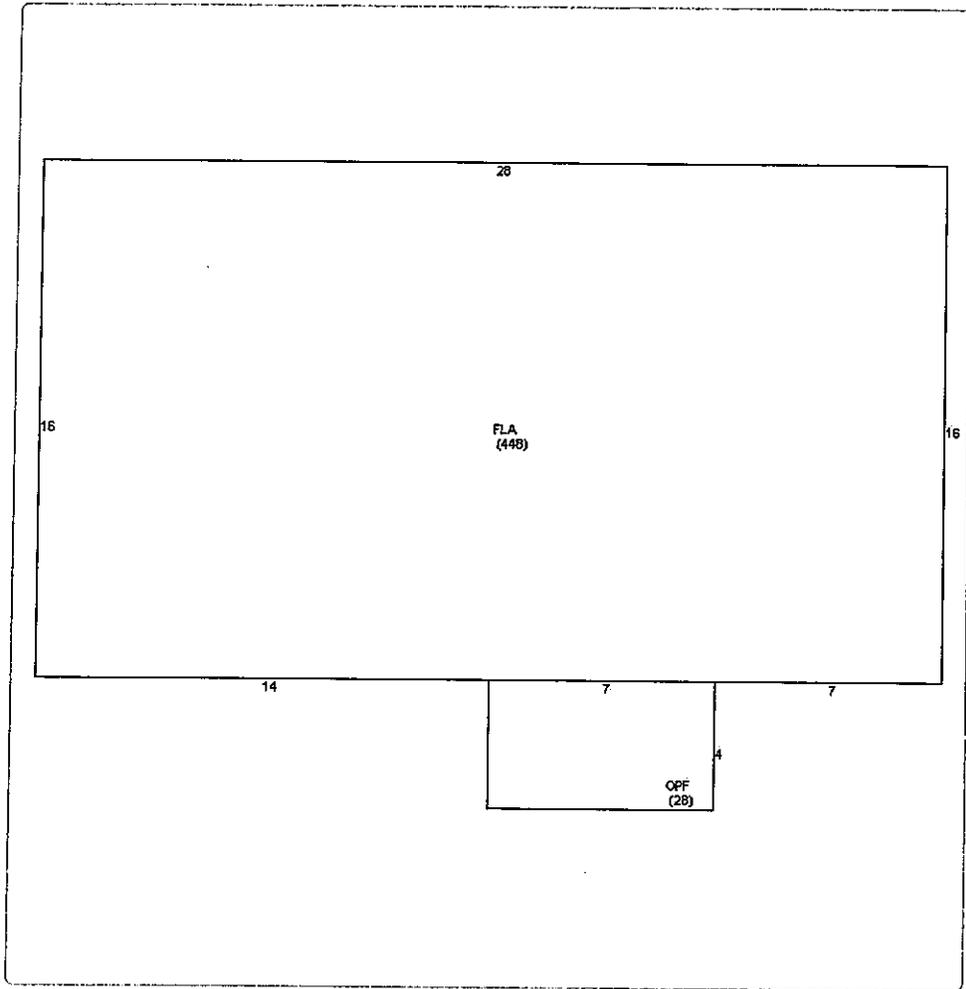


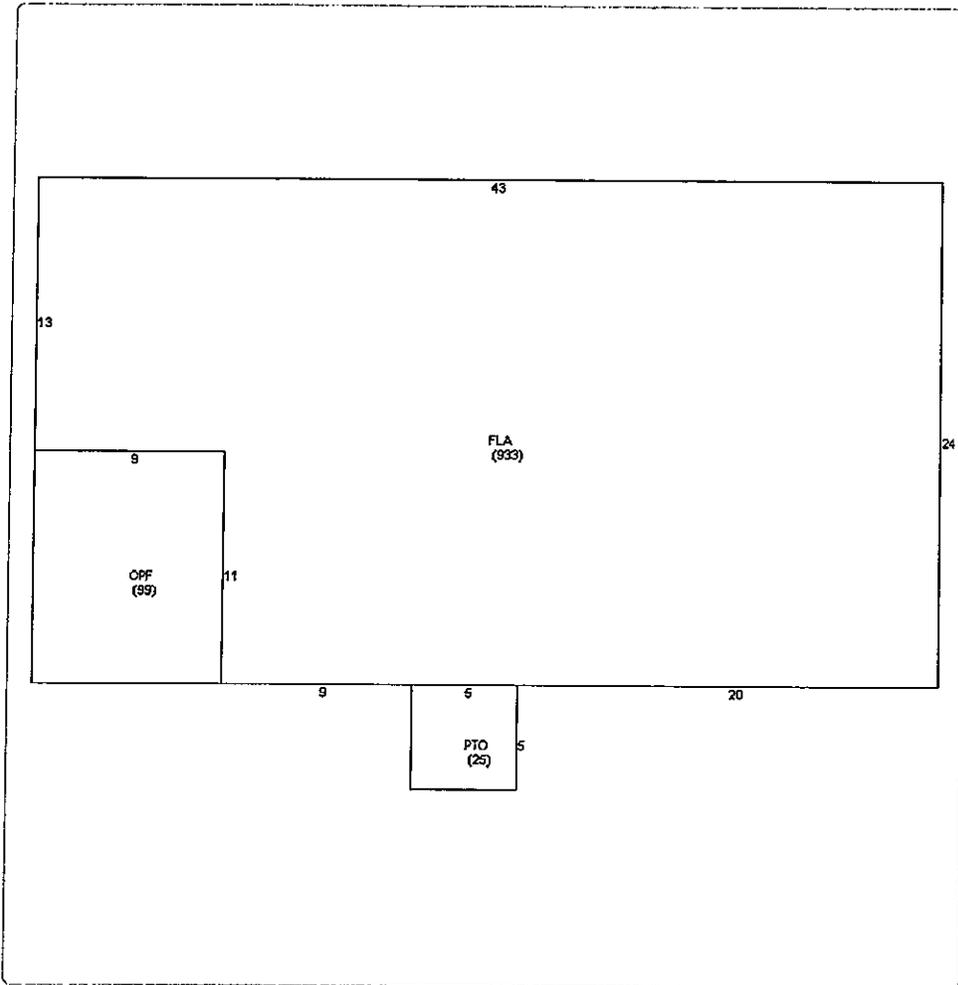


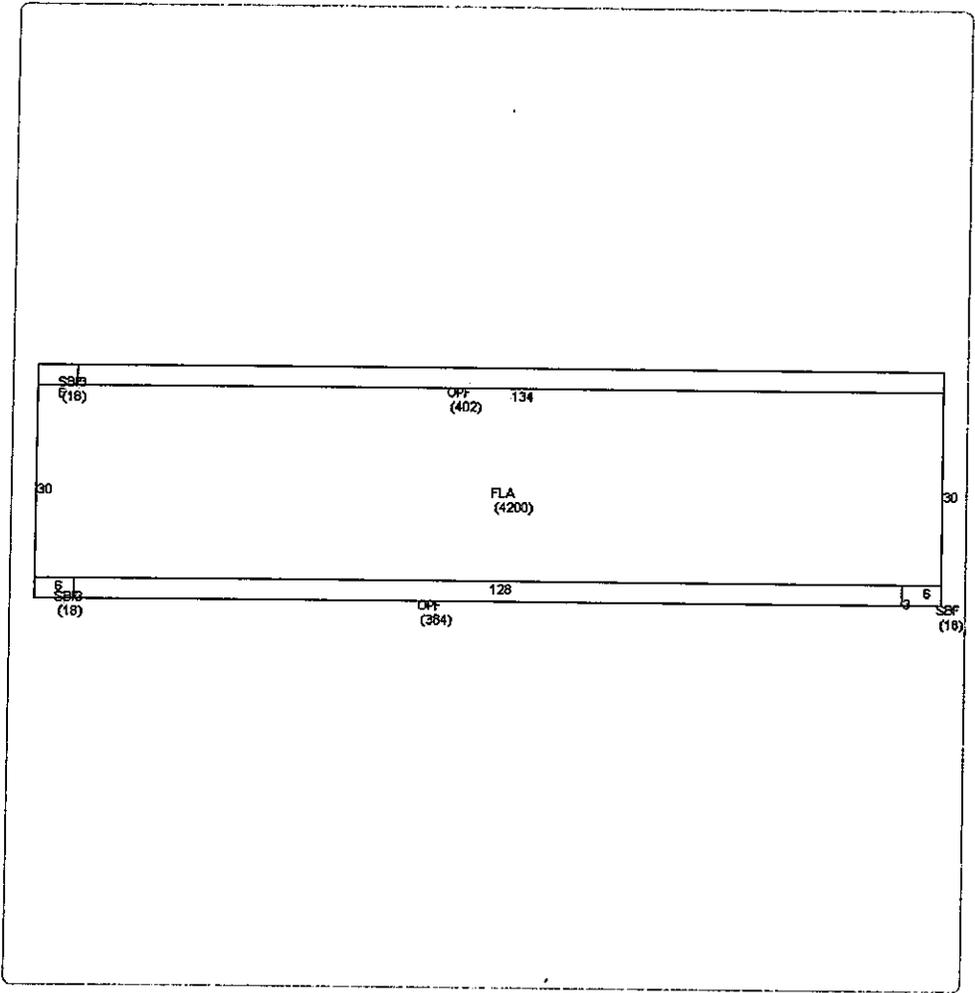


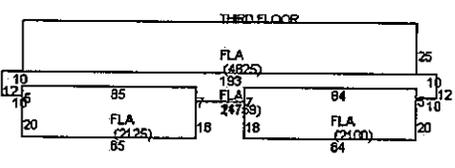
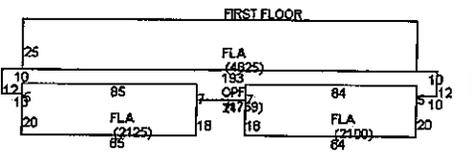
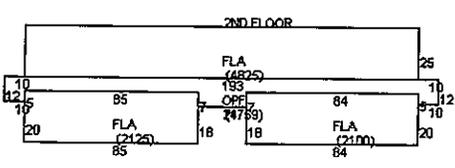
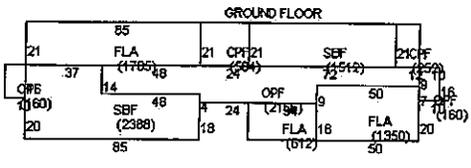


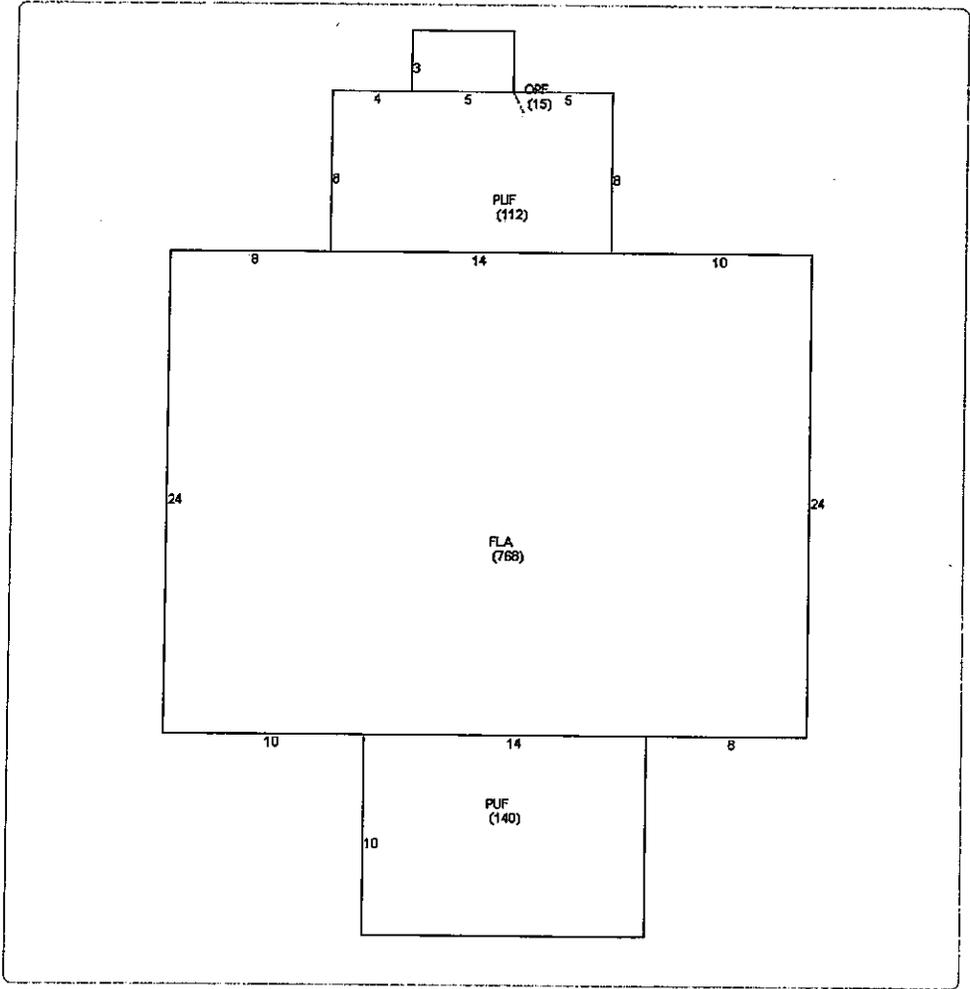


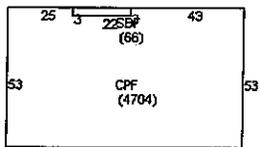




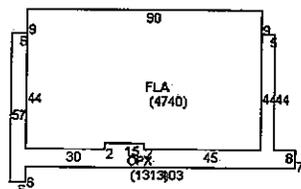




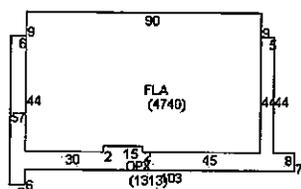




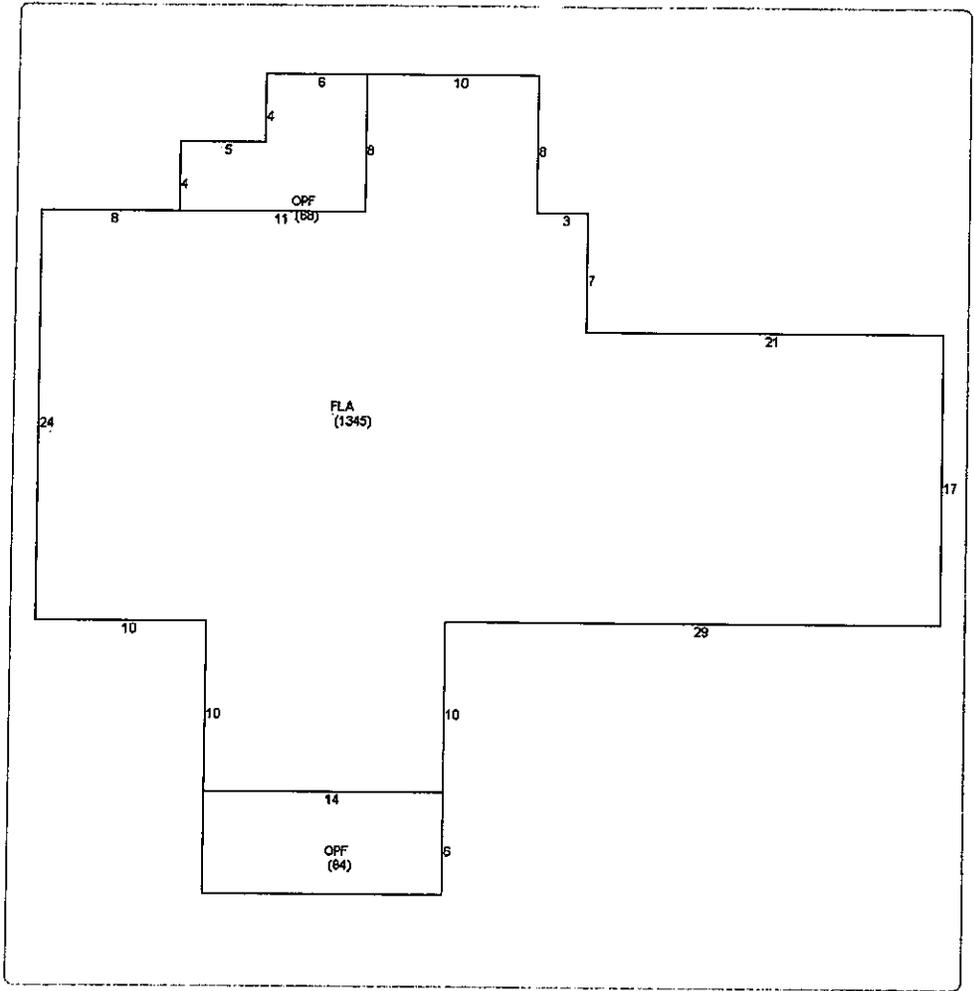
GROUND FLOOR

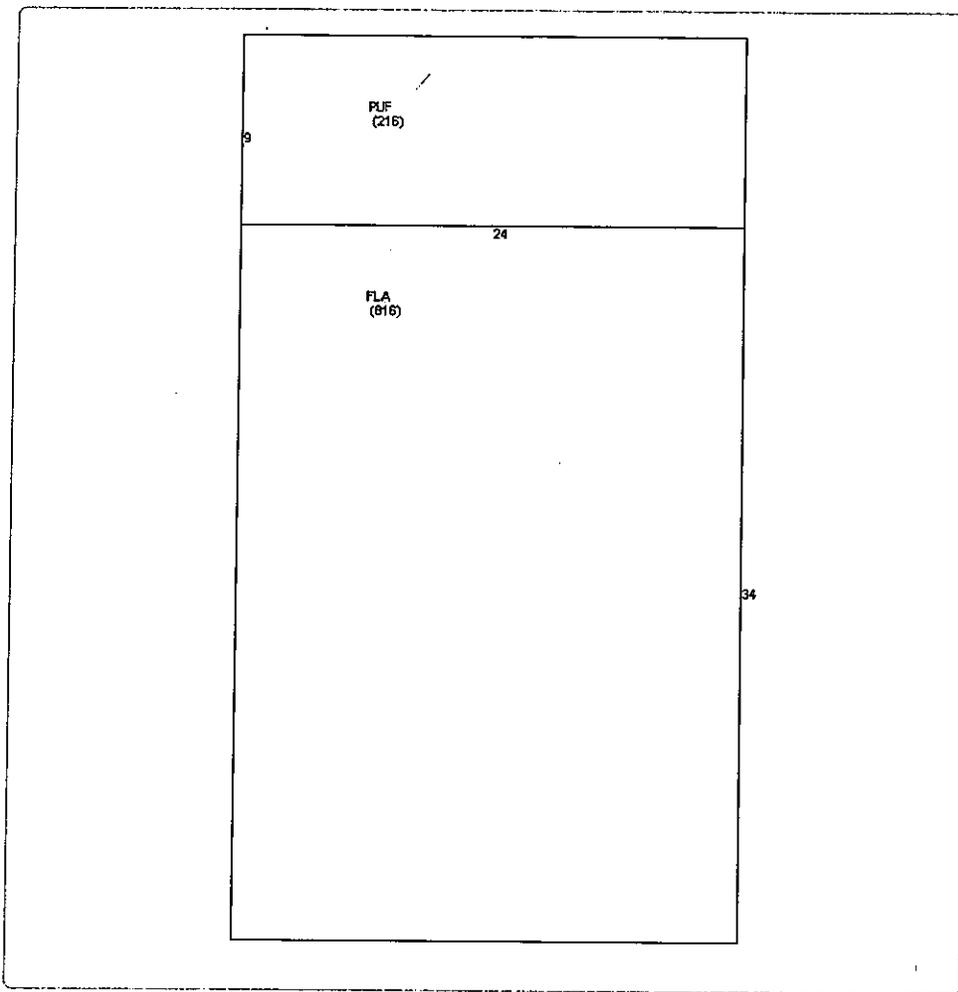


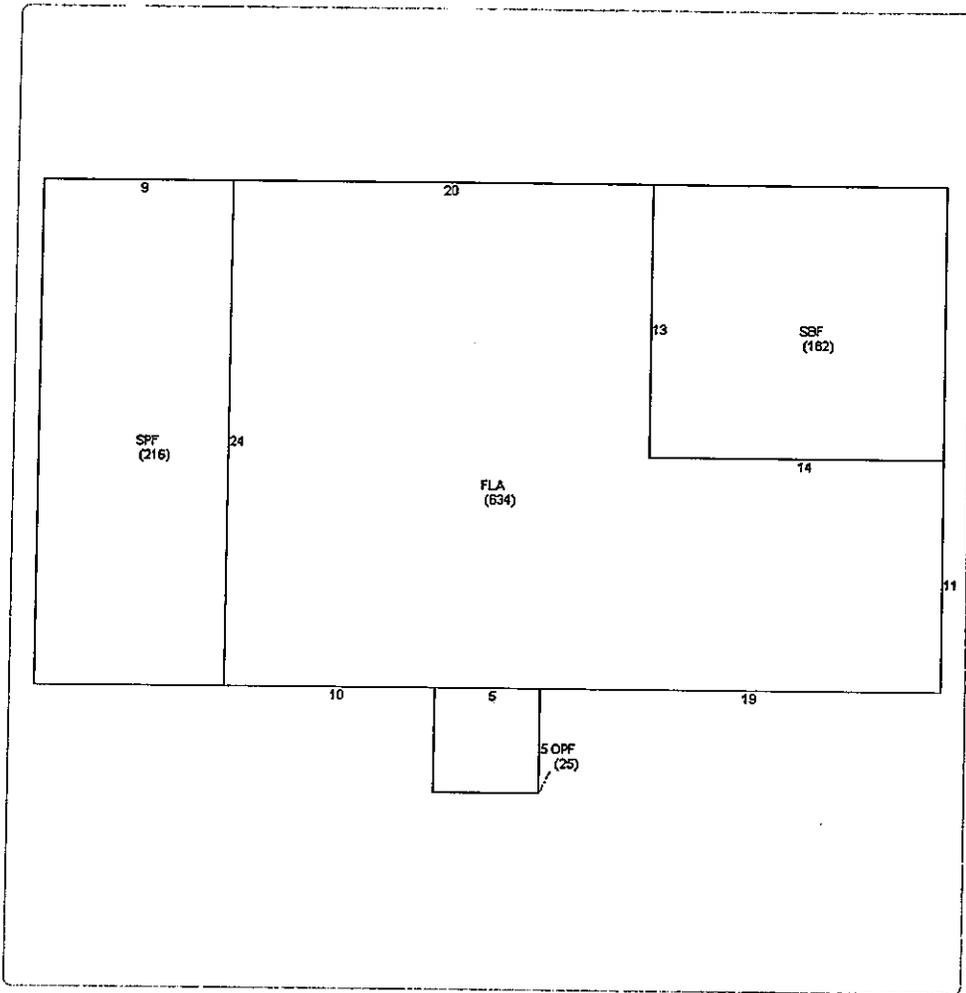
FIRST FLOOR

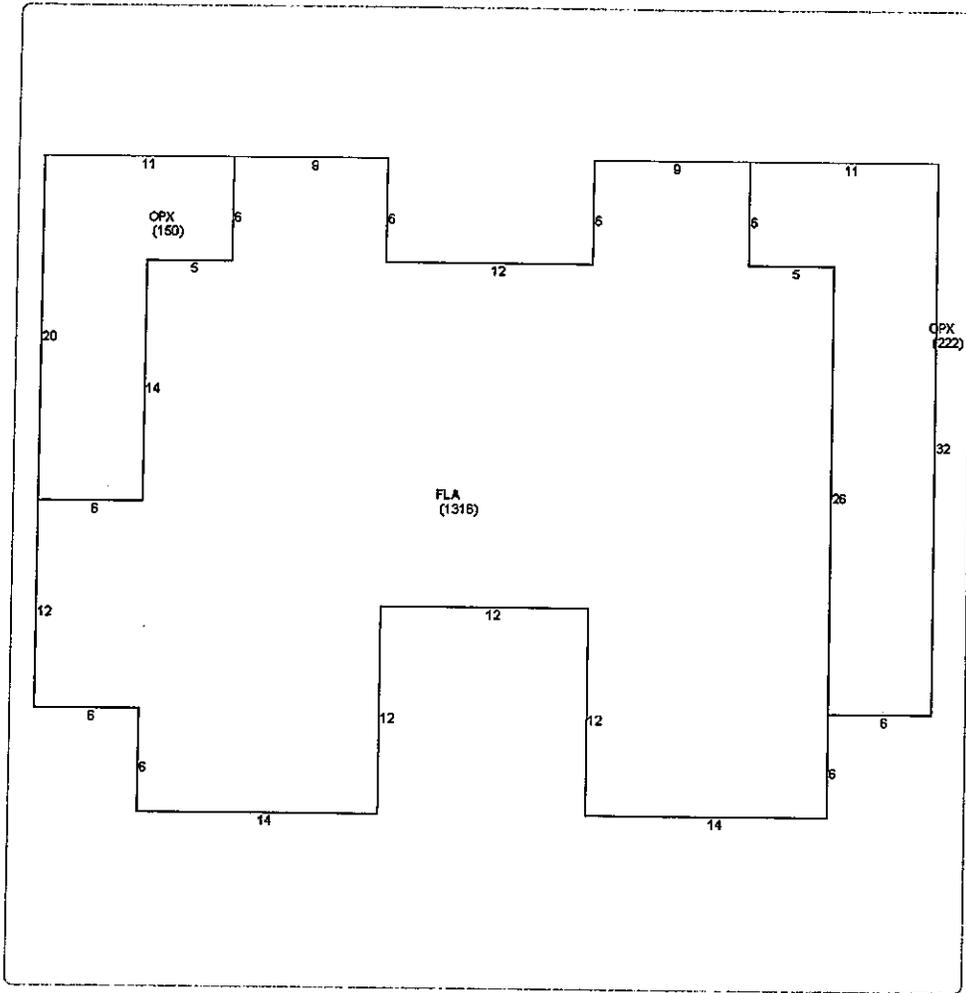


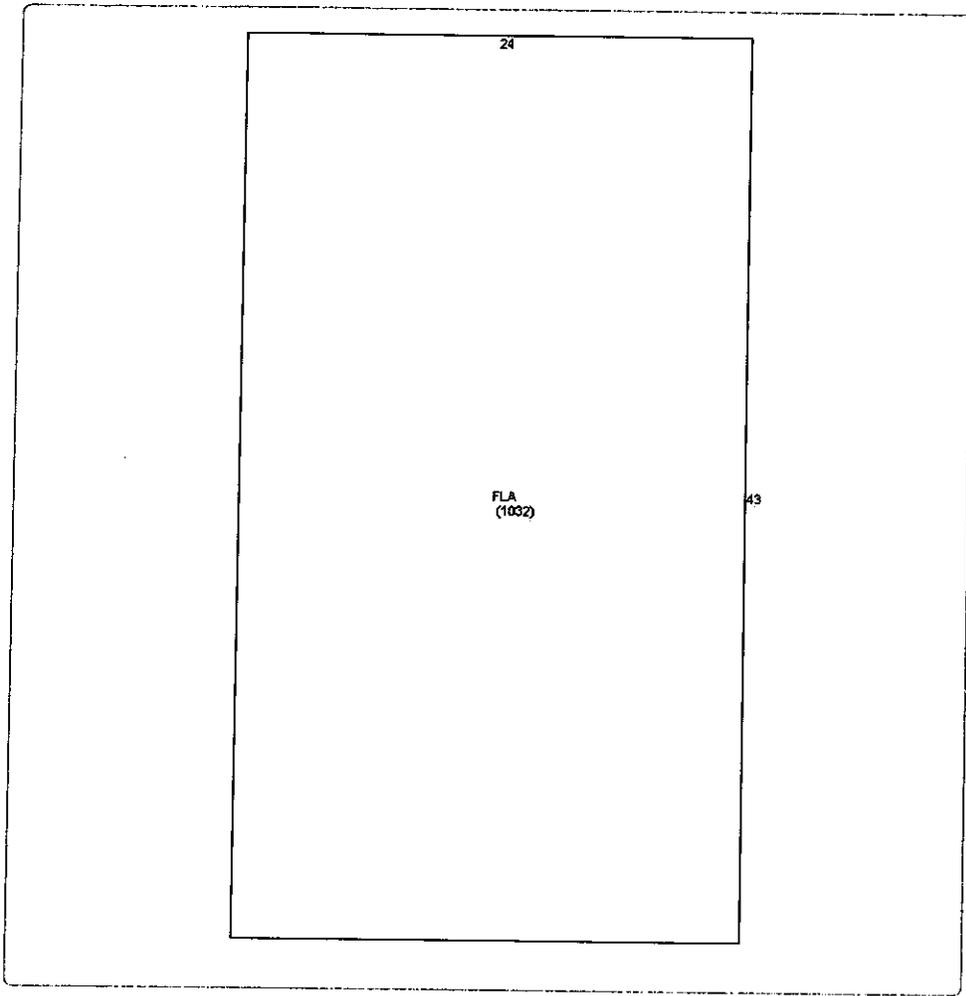
2ND FLOOR

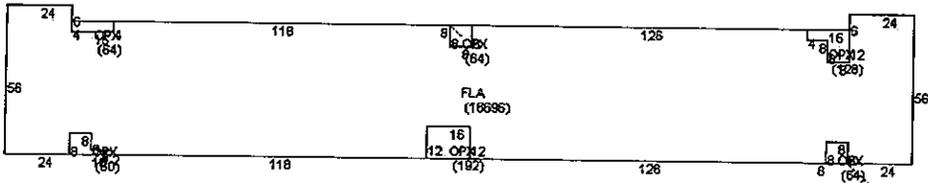
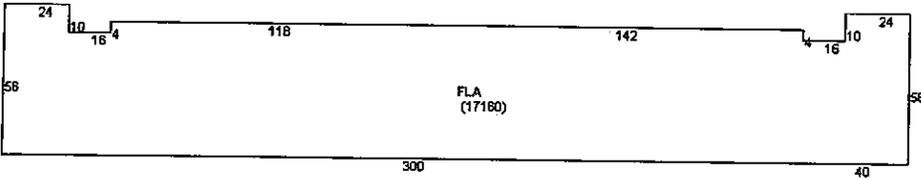
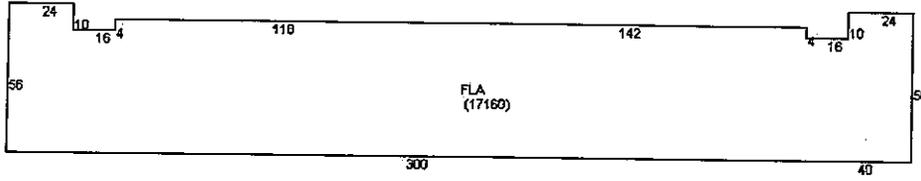


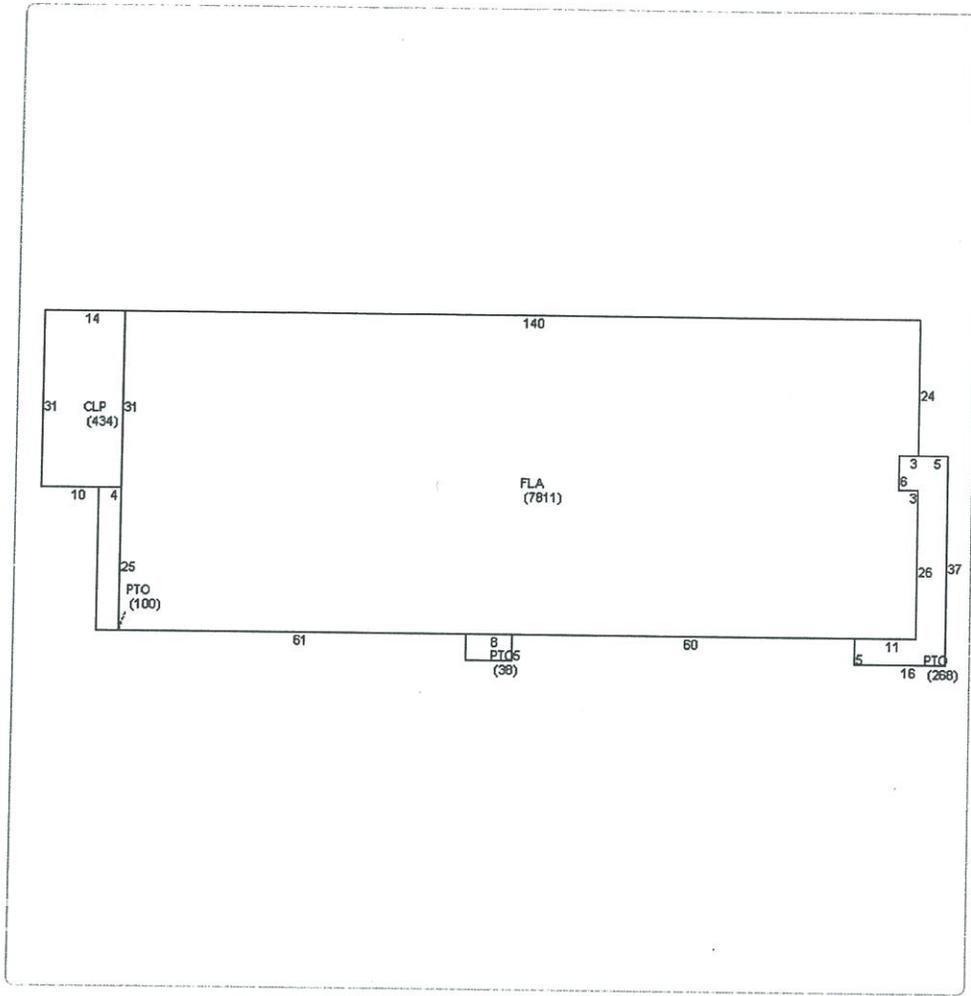












Photos



Map



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2019 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Yard Items, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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Overview



Legend

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Parcel ID	00573630-002600	Alternate ID	1710695	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	13/59/40	Class	CLUB		C/O ACCOUNTING DEPT
Property Address	395 S HARBOR Dr				35 Ocean Reef Dr Ste 200
	KEY LARGO				Key Largo, FL 33037
District	500R				
Brief Tax	HARBOR COURSE SEC 2 OCEAN REEF PLAT NO 13 PB7-5 KEY LARGO TRACT C & PT TR A HARBOR COURSE S SEC 1 OR PLAT #14				
Description	PB7-9 OR856-1810/1811 OR881-1943 OR881-2002/13(SUB-LEASE) OR1247-1891/94(ASSN) OR1417-1599/601				
	(Note: Not to be used on legal documents)				

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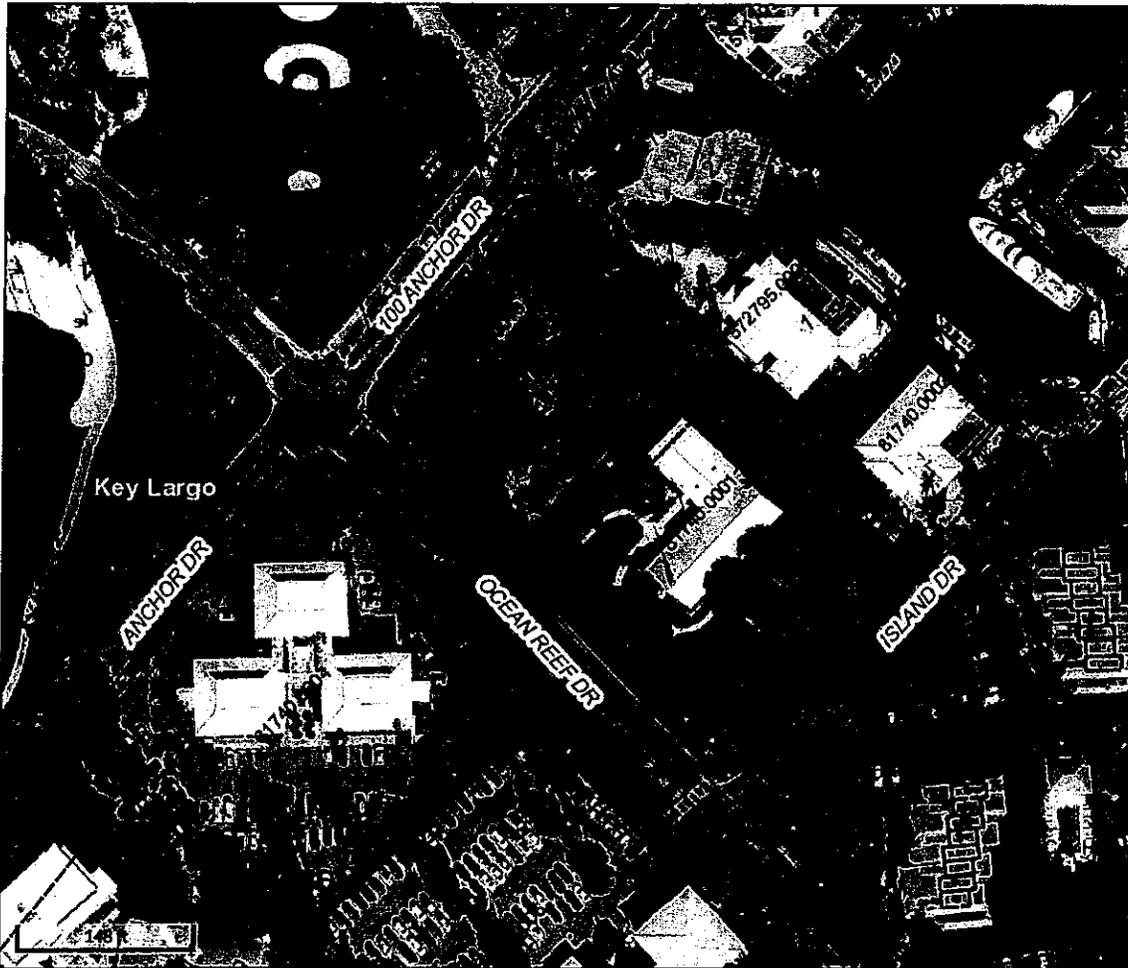
Legend

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Parcel ID	00572797-003600	Alternate ID	1709620	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	13/59/40	Class	CLUB		35 Ocean Reef Dr
Property Address	100 ANCHOR Dr				Key Largo, FL 33037
	KEY LARGO				
District	500R				
Brief Tax	HARBOR COURSE SEC ONE OCEAN REEF PLAT 13 PB7-3 PT TRACT A (36.62AC) OR714-723 OR721-587 OR856-1810/11 OR1060-				
Description	527/33 OR1247-1856/76 OR2907-1347/48				
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Parcel ID	00572795-001000	Alternate ID	1709051	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	PRIVATE HOSPITAL		C/O PRESIDENT
Property Address	30 OCEAN REEF Dr				35 Ocean Reef Dr Ste 200
	KEY LARGO				Key Largo, FL 33037
District	500R				
Brief Tax Description	ANCHOR DRIVE SUBDIVISION OCEAN REEF PLAT NO 10 KEY LARGO PB6-118 TRACT A OR968-1943/44 OR968-1945 OR2177-724/26 OR2205-271/79EASMENT				
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Parcel ID	00570460-000000	Alternate ID	1703745	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	HOTEL/MOTEL		35 Ocean Reef Dr
Property Address	90 ANDROS Rd				Key Largo, FL 33037
	KEY LARGO				
District	500R				
Brief Tax Description	OCEAN REEF PLAT NO1 AMD KEY LARGO PB5-72 TRACT G OR288-513 OR435-855/861 OR1247-1856/1876				
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Parcel ID	00570450-000000	Alternate ID	1703737	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	SINGLE FAMILY RESID		C/O ACCOUNTING DEPARTMENT
Property Address	101 ANDROS Rd				35 Ocean Reef Dr Ste 200
	OCEAN REEF				Key Largo, FL 33037
District	500R				
Brief Tax	BK 10 LT 16 OCEAN REEF PLAT #1 AMD KEY LARGO PB5-72 OR456-757/758 SEE DEATH CERTIFICATE IN UNRECORDED FILE OR844-				
Description	1268D/C OR1015-251/67WILL CASE#87-201-CP-10 OROR1049-2363/68PR OR1049-2369/71 OR1253-1674/75 OR1688-143/45				
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Parcel ID	00569510-000000	Alternate ID	1700355	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	HOTEL/MOTEL		35 Ocean Reef Dr
Property Address	90 ANDROS Rd				Key Largo, FL 33037
	KEY LARGO				
District	500R				
Brief Tax Description	OCEAN REEF PLAT #1 PB4-90 KEY LARGO TR E OR435-855/861 OR1247-1856/1876				
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Parcel ID	00569500-000095	Alternate ID	8712651	Owner Address	LUKIS LAWRENCE J
Sec/Twp/Rng	07/59/41	Class	CONDOMINIUM		C/O ACCOUNTING RESOURCE GROUP INC
Property Address	35 OCEAN REEF Dr				601 Carlson Pkwy Ste 1120
	OCEAN REEF				Minnetonka, MN 55305
District	500R				
Brief Tax	OCEAN REEF PLAT 1 PB4-90 KEY LARGO PT OF TR D (AKA PRESIDENTIAL SUITE 3RD FLOOR 100 BLDG OCEAN REEF FROM SURVEY				
Description	7/85 KNOWN AS PARCEL 8) OR956-699/703 OR969-1502/06 OR1056-1284/89 OR1095-1217/23 OR1093-1773/79 OR1151-2025/30				
	OR1275-1941/47CT OR1298-1260/69 OR1524-892/901 OR2604-1846/56 OR2678-142/51				
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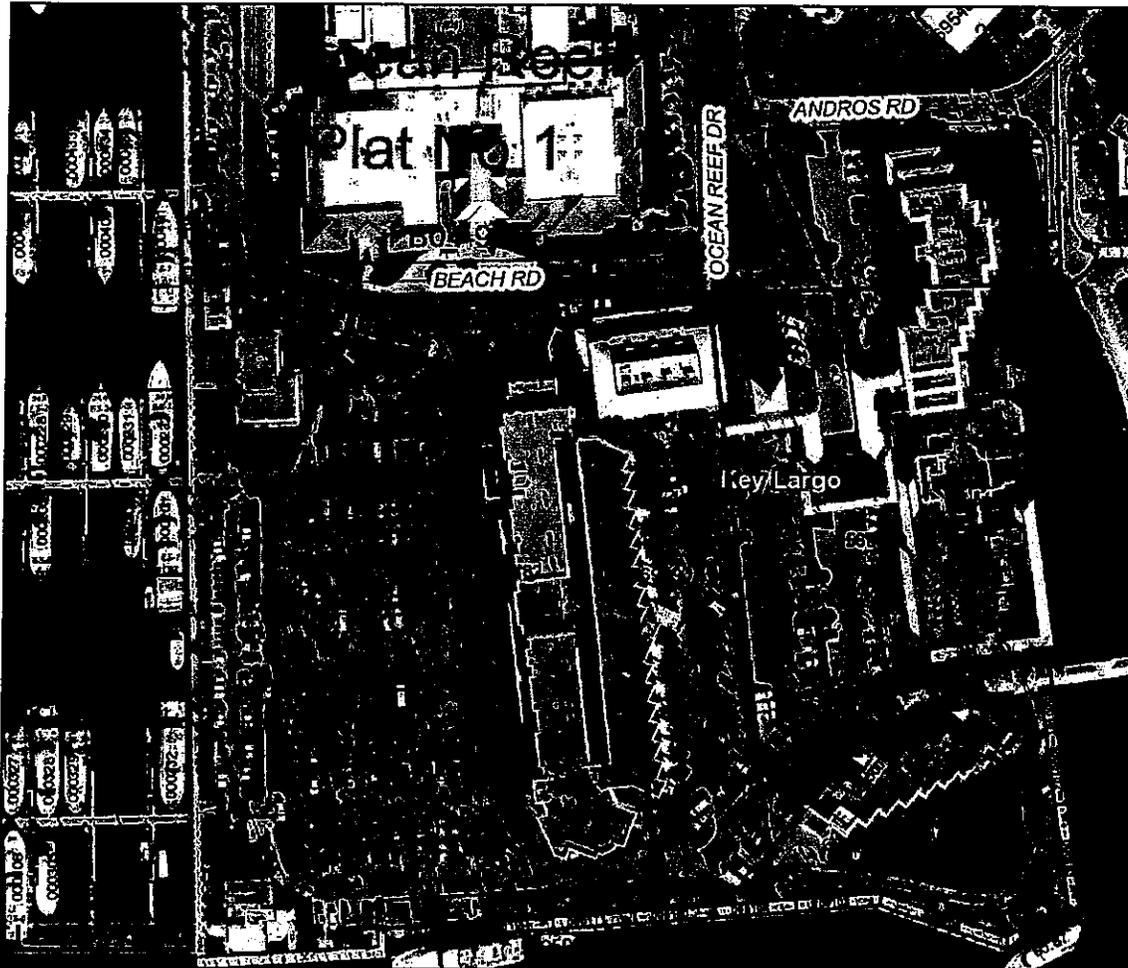
Legend

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Parcel ID	00569500-000000	Alternate ID	1700347	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	HOTEL/MOTEL		35 Ocean Reef Dr
Property Address	BEACH Rd				Key Largo, FL 33037
	KEY LARGO				
District	500R				
Brief Tax Description	OCEAN REEF PLAT #1 PB4-90 KEY LARGO TR H & TR D OR435-855/861 OR1247-1856/1876				
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Parcel ID	00569490-000000	Alternate ID	1700339	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	HOTEL/MOTEL		35 Ocean Reef Dr
Property Address	BEACH Rd				Key Largo, FL 33037
	KEY LARGO				
District	500R				
Brief Tax Description	OCEAN REEF PLAT #1 PB4-90 KEY LARGO PT TR C (.97 AC) OR435-855/861 OR1247-1856/1876				
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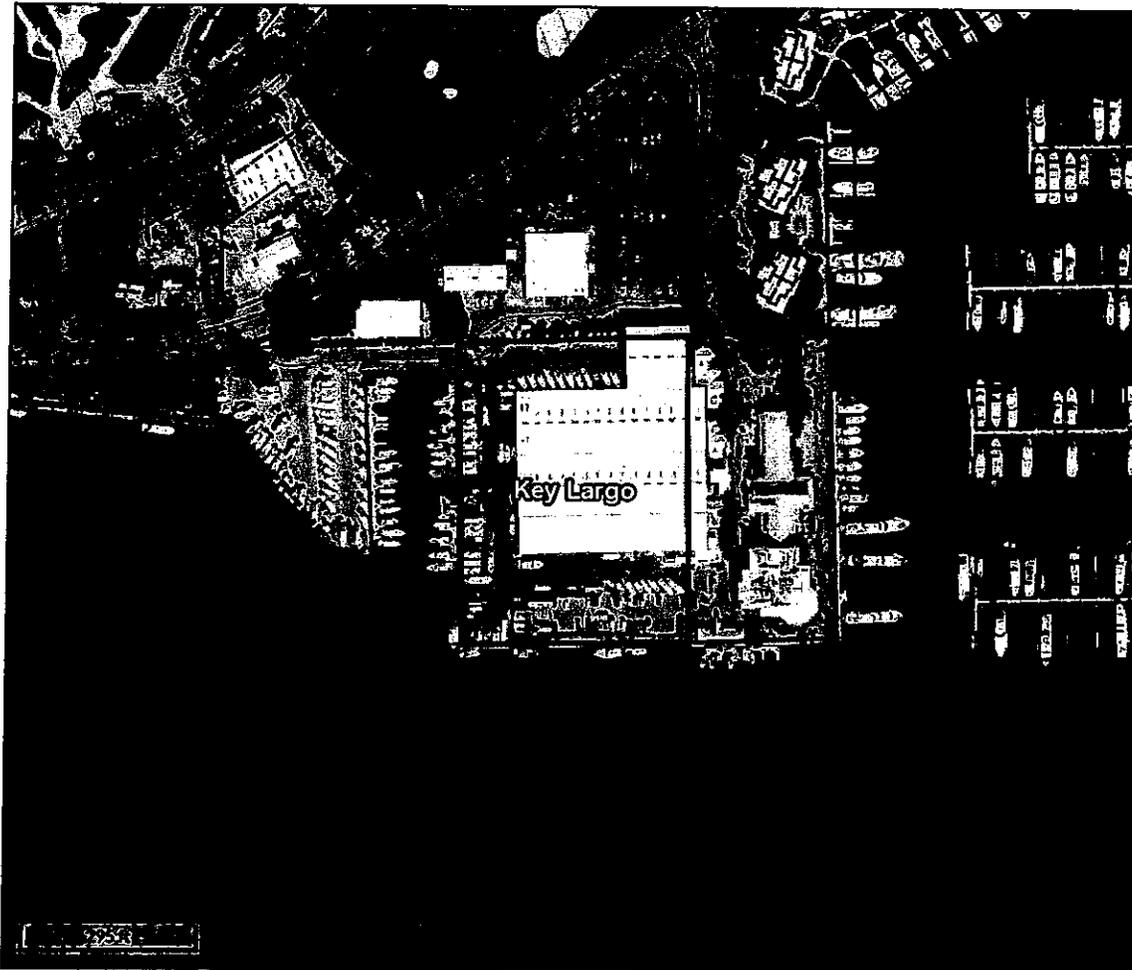
Legend

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Parcel ID	00569470-000000	Alternate ID	1699870	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	HOTEL/MOTEL		35 Ocean Reef Dr
Property Address	OCEAN REEF Dr				Key Largo, FL 33037
	KEY LARGO				
District	500R				
Brief Tax	PT TR A OCEAN REEF PLAT NO 1 PB4-90 KEY LARGO OR435-855/61 OR1247-1856/76 OR2667-339/46 OR2667-352/56 OR2673-				
Description	2008/94 OR2900-2133/38 OR2918-2306/2313				
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Parcel ID	00081880-000100	Alternate ID	1090409	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	18/59/41	Class	AIRPORT, MARINAS, BUS TERM		35 Ocean Reef Dr
Property Address	31 OCEAN REEF Dr				Key Largo, FL 33037
	OCEAN REEF				
District	500R				
Brief Tax	18 59 41 ISLAND OF KEY LARGO PB4-83 PT W1/2 OF NW1/4 (BOAT STORAGE AREA) G19-71 OR435-855/861 OR1247-				
Description	1882/87Q/C				
	(Note: Not to be used on legal documents)				

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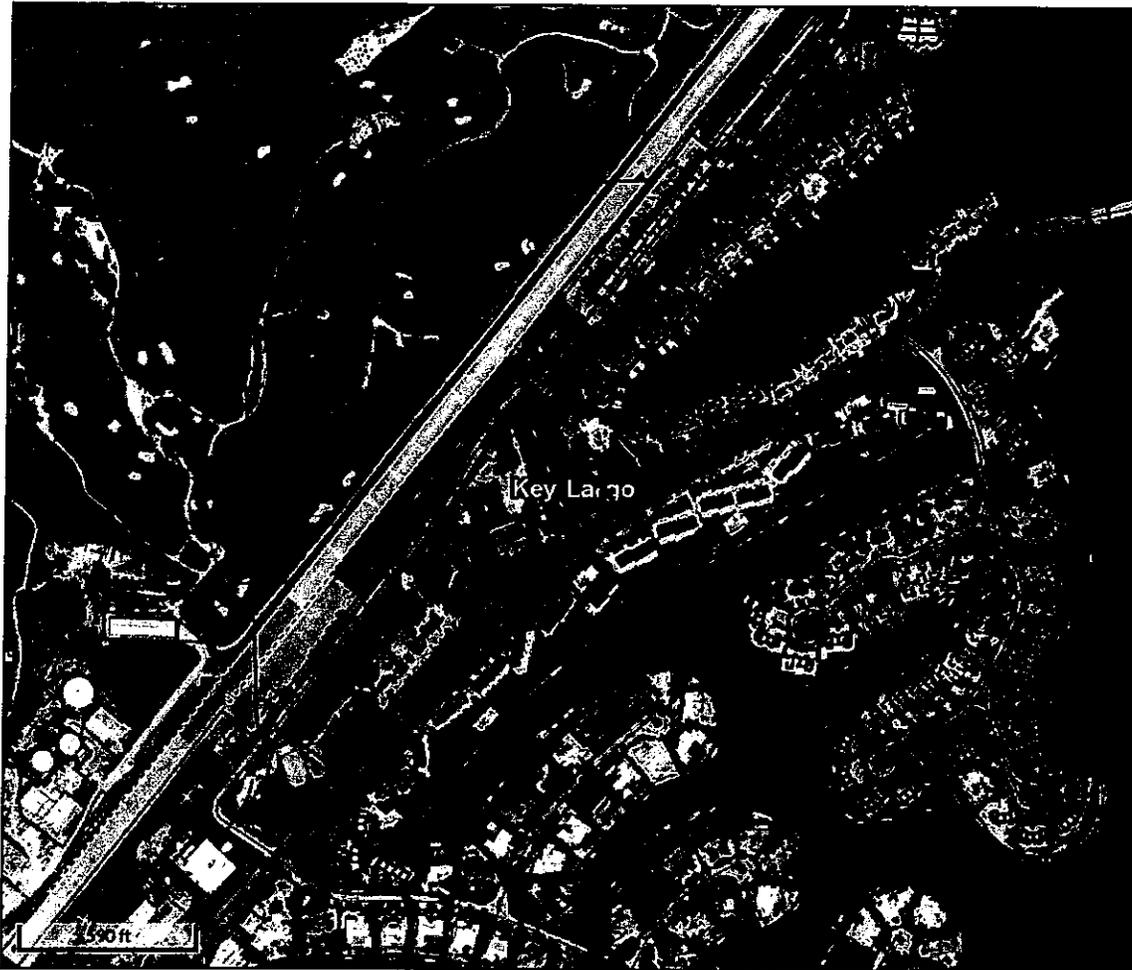


Legend

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Parcel ID	00569482-000000	Alternate ID	9104226	Owner Address	YACHTSMAN INN LAND LLC
Sec/Twp/Rng	18/59/41	Class	HOTEL/MOTEL		C/O ROBERT ANTHONY BOGDAN AGENT
Property Address	650 BEACH Rd				35 Ocean Reef Dr Ste 200
	OCEAN REEF				Key Largo, FL 33037
District	500R				
Brief Tax Description	PARCEL OF LAND IN AREA A OF SEABOARD PROPERTIES INC PB4-83 PB4-90 (1.294 AC) (F/K/A YACHTSMANS INN CONDOMINIUM - WHICH HAS BEEN TERMINATED)				
	OR2749-214/257(PLAN/TERMINATION) OR2847-2383/2441(PLAN/TERMINATION) OR2847-2442/2445QC OR2847-2446/2450QC OR2847-2451/2458 OR2858-1244/1303(PLAN/TERMINATION) OR2858-1239/1240(CERT/TERMINATION)				
	(Note: Not to be used on legal documents)				

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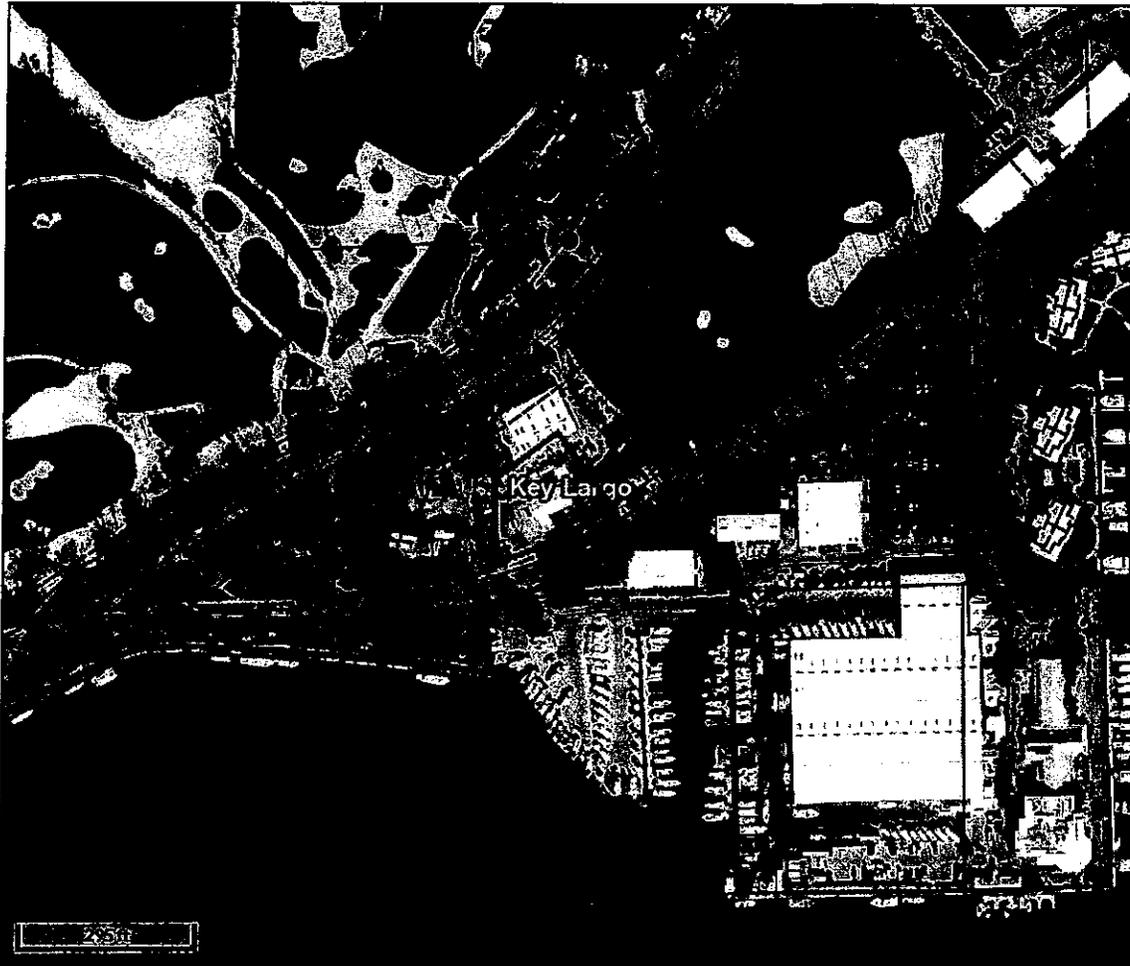
Legend

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Parcel ID	00081780-000300	Alternate ID	8557124	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	CLUB		35 Ocean Reef Dr
Property Address	314 ANCHOR Dr				Key Largo, FL 33037
	KEY LARGO				
District	500R				
Brief Tax Description	7 59 41 OF KEY LARGO PB4-83 PT NW 1/4 OF NE 1/4 (3.79AC) OR806-715/17 OR2572-435/38				
	(Note: Not to be used on legal documents)				

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Overview



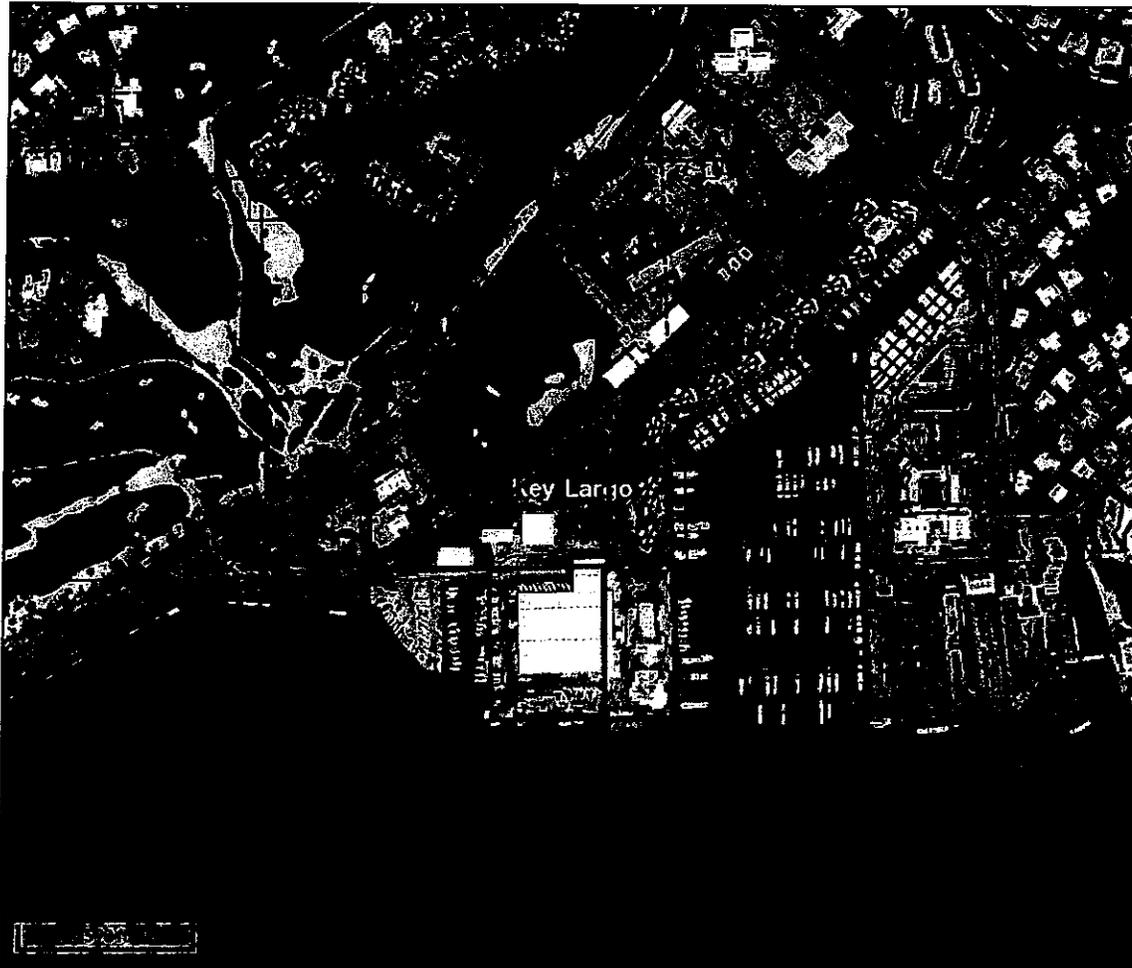
Legend

- Centerline
- ... Easements
- Hooks
- Lot Lines
- Road Center
- Rights of Way
- Shoreline
- ☐ Condo Building
- Key Names
- ☐ Subdivisions
- ☐ Parcels

Parcel ID	00081760-000100	Alternate ID	1090093	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	SERVICE STATION		35 Ocean Reef Dr
Property Address	1 DOCKSIDE Ln				Key Largo, FL 33037
	OCEAN REEF				
District	500R				
Brief Tax Description	7 59 41 KEY LARGO PT SW1/4 OF SW1/4 OR419-525 OR425-1034 OR1247-1856/1876				
	(Note: Not to be used on legal documents)				

Date created: 5/20/2020
 Last Data Uploaded: 5/20/2020 2:34:35 AM

Developed by  **Schneider**
 GEOSPATIAL



Overview



Legend

-  Centerline
-  Easements
-  Hooks
-  Lot Lines
-  Road Center
-  Rights of Way
-  Shoreline
-  Condo Building
-  Key Names
-  Subdivisions
-  Parcels

Parcel ID	00081760-000000	Alternate ID	1090085	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	STORE COMBO		35 Ocean Reef Dr
Property Address	31 OCEAN REEF Dr				Key Largo, FL 33037
	OCEAN REEF				
District	500R				
Brief Tax Description	7 59 41 KEY LARGO PB4-83 PT SW1/4 OF SW1/4 G19-71 OR298-535 OR297-471 OR435-855/861 OR1247-1856/1876				
	(Note: Not to be used on legal documents)				

Date created: 5/20/2020
 Last Data Uploaded: 5/20/2020 2:34:35 AM

Developed by  **Schneider**
 GEOSPATIAL



Overview



Legend

- Centerline
- ... Easements
- Hooks
- Lot Lines
- Road Center
- Rights of Way
- Shoreline
- Condo Building
- Key Names
- Subdivisions
- Parcels

Parcel ID	00081740-000500	Alternate ID	9011663	Owner Address	O R BUSINESS CENTER LLC
Sec/Twp/Rng	07/59/41	Class	MULTISTORY		35 Ocean Reef Dr
Property Address	35 OCEAN REEF Dr				Key Largo, FL 33037
	OCEAN REEF				
District	500R				
Brief Tax Description	7 59 41 ISLAND OF KEY LARGO PB4-83 PT NE 1/4 OF SW 1/4 OR1681-1741/45				
	(Note: Not to be used on legal documents)				

Date created: 5/20/2020
 Last Data Uploaded: 5/20/2020 2:34:35 AM

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 GEOSPATIAL



Overview



Legend

- Centerline
- ... Easements
- Hooks
- Lot Lines
- Road Center
- Rights of Way
- Shoreline
- ☐ Condo Building
- Key Names
- ☐ Subdivisions
- ☐ Parcels

Parcel ID	00081720-000600	Alternate ID	8867964	Owner Address	NORTH KEY LARGO UTILITY CORP
Sec/Twp/Rng	07/59/41	Class	UTILITY		24 DOCKSIDE LANE PMB 512
Property Address	VACANT LAND				KEY LARGO, FL 33037
	KEY LARGO				
District	500R				
Brief Tax Description	7 59 41 ISLAND OF KEY LARGO PT SE 1/4 OF NW 1/4 (DISPOSAL WELL FIELD) OR1344-1765/68				
	(Note: Not to be used on legal documents)				

Date created: 5/20/2020
 Last Data Uploaded: 5/20/2020 2:34:35 AM

Developed by  **Schneider**
 GEOSPATIAL



Overview



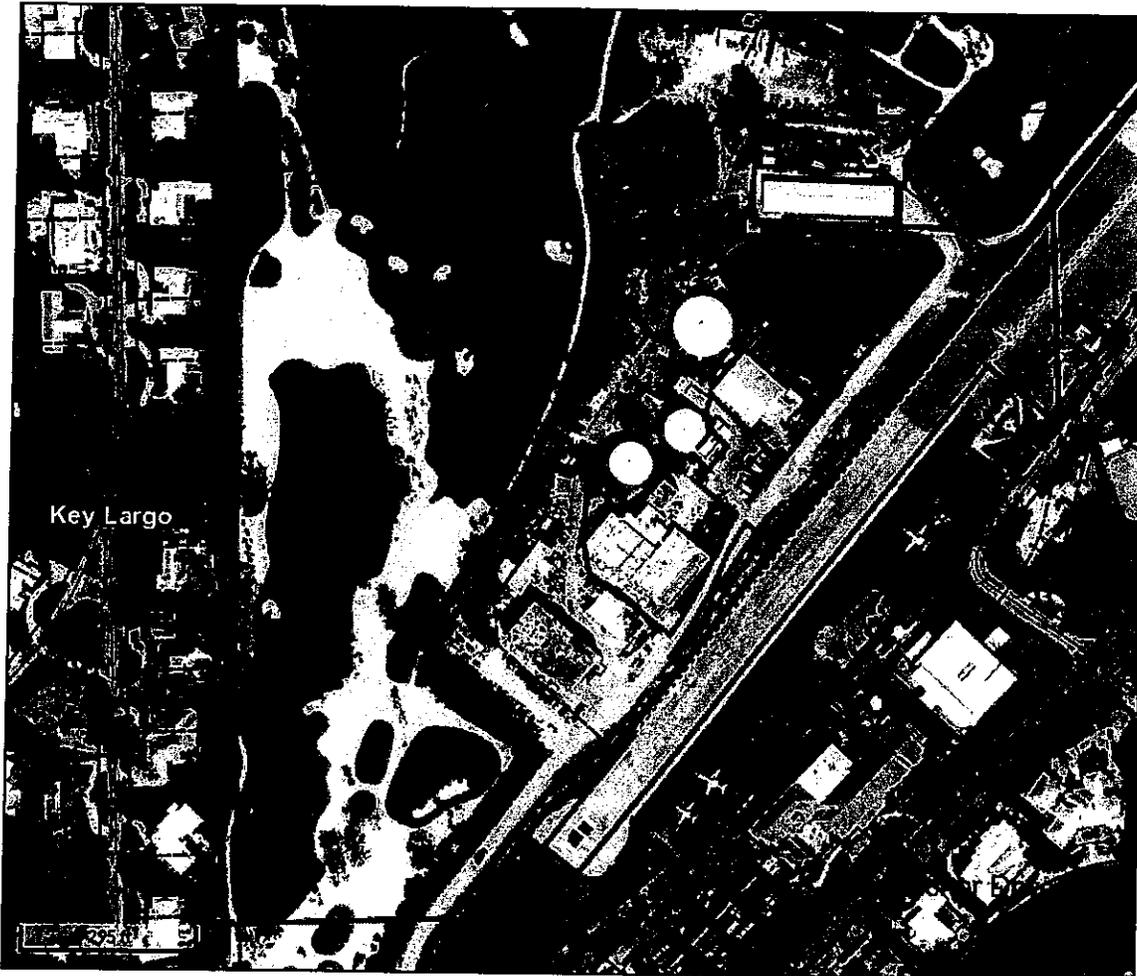
Legend

- Centerline
- ... Easements
- Hooks
- Lot Lines
- Road Center
- Rights of Way
- Shoreline
- ☐ Condo Building
- Key Names
- ☐ Subdivisions
- ☐ Parcels

Parcel ID	00081720-000400	Alternate ID	8655037	Owner Address	FLORIDA KEYS AQUEDUCT AUTHORITY
Sec/Twp/Rng	07/59/41	Class	UTILITY		1100 Kennedy Dr
Property Address	VACANT LAND				Key West, FL 33040
	KEY LARGO				
District	500R				
Brief Tax Description	7 59 41 ISLAND OF KEY LARGO PB4-83 PT OF SE 1/4 OF NW 1/4 (.73AC) OR897-2223/2225				
	(Note: Not to be used on legal documents)				

Date created: 5/20/2020
 Last Data Uploaded: 5/20/2020 2:34:35 AM

Developed by  **Schneider**
 GEOSPATIAL



Overview



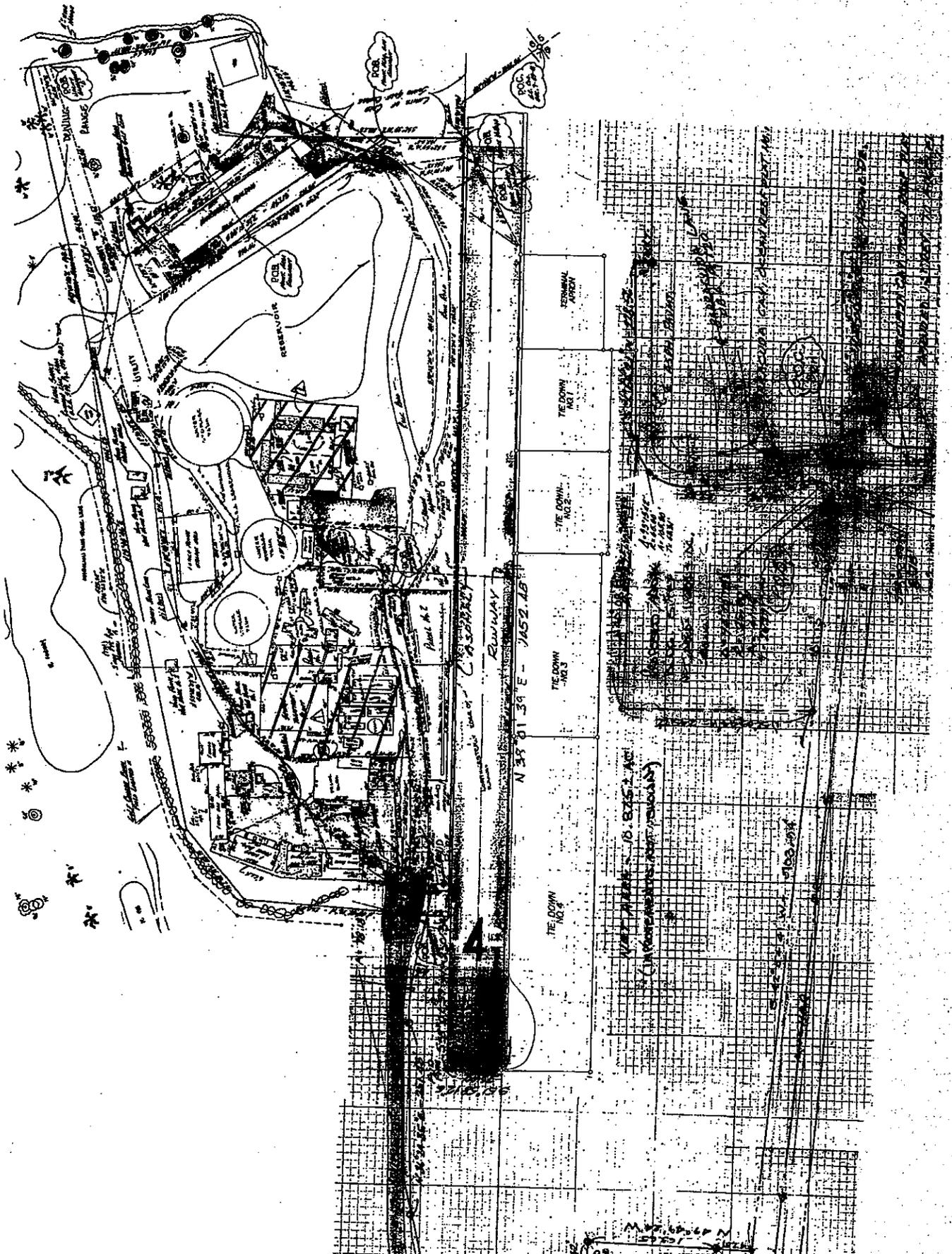
Legend

- Centerline
- ... Easements
- Hooks
- Lot Lines
- Road Center
- Rights of Way
- Shoreline
- ☐ Condo Building
- Key Names
- ☐ Subdivisions
- ☐ Parcels

Parcel ID	00081720-000000	Alternate ID	1089991	Owner Address	OCEAN REEF CLUB INC
Sec/Twp/Rng	07/59/41	Class	SERVICE SHOPS		35 Ocean Reef Dr
Property Address	100 COUNTRY CLUB Rd				Key Largo, FL 33037
	OCEAN REEF				
District	500R				
Brief Tax	7 59 41 ISLAND OF KEY LARGO PB4-83 PT SE 1/4 OF NW1/4 G62-114/15 OR435-855/56 OR517-361E OR571-919Q OR594-631Q				
Description	OR897-2228/29E OR1247-1856/76 OR1952-1866/68E OR2846-1053/57 OR2846-1058/60 OR2846-1070E				
	(Note: Not to be used on legal documents)				

Date created: 5/20/2020
 Last Data Uploaded: 5/20/2020 2:34:35 AM

Developed by  **Schneider**
 GEOSPATIAL



PROPOSED

PAVEMENT REHABILITATION FOR THE RESORT OFFICE BUILDING

AND

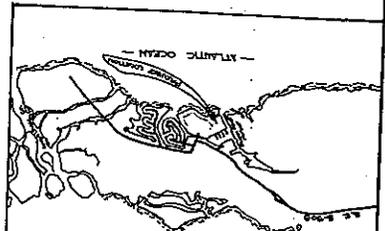
PARKING LAYOUT FOR THE POMPANO WING

OCEAN REEF CLUB
KEY LARGO, MONROE COUNTY, FLORIDA

PREPARED BY:

TASK ENGINEERS, INC.
CONSULTING ENGINEERS AND SURVEYORS
MATERIALS TESTING
MIAMI 33139-3384

ON SKETCH
N.T.S.

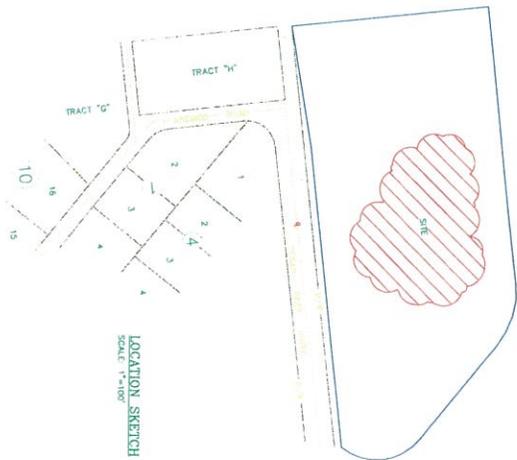
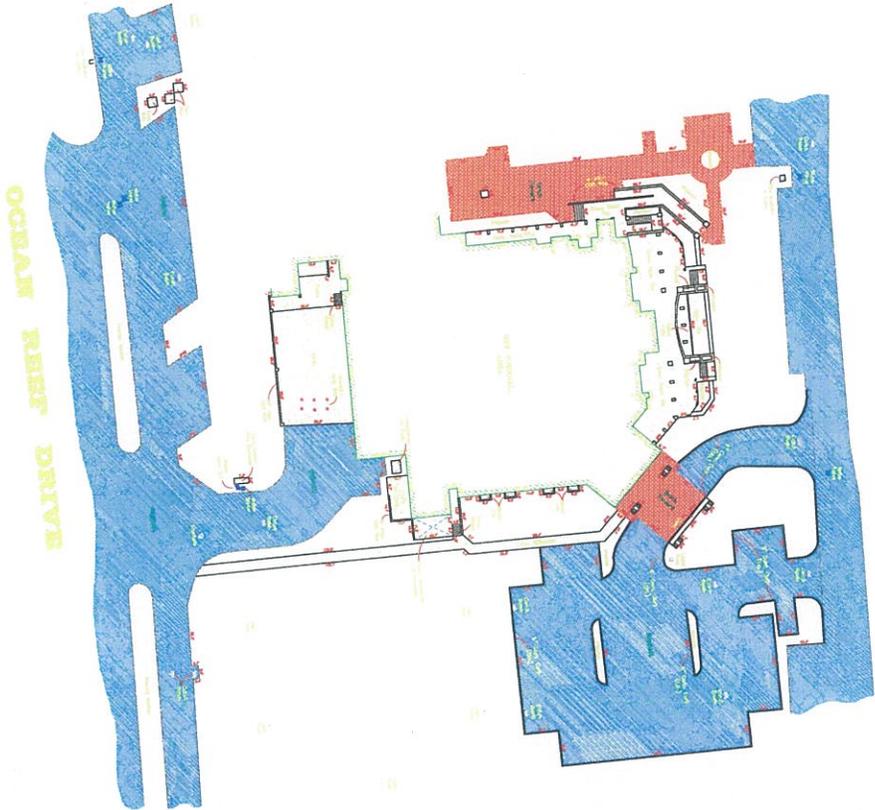


JOSEPH A. STEINKOCHER
Reg. Engineer No. 10792
Reg. Land Surveyor No. 3026
State of Florida

OCEAN REEF CLUB
KEY LARGO, MONROE COUNTY
TASK ENGINEER
CONSULTING ENGINEERS AND
MATERIALS TESTING
MIAMI 33139-3384
DATE: 5/14/74
JOB NO. 200-539
SHEET 1 OF 1

SPECIAL PURPOSE SURVEY

AS-BUILT OCEAN REEF TOWNHALL



DATE: 10/10/01
BY: [Signature]

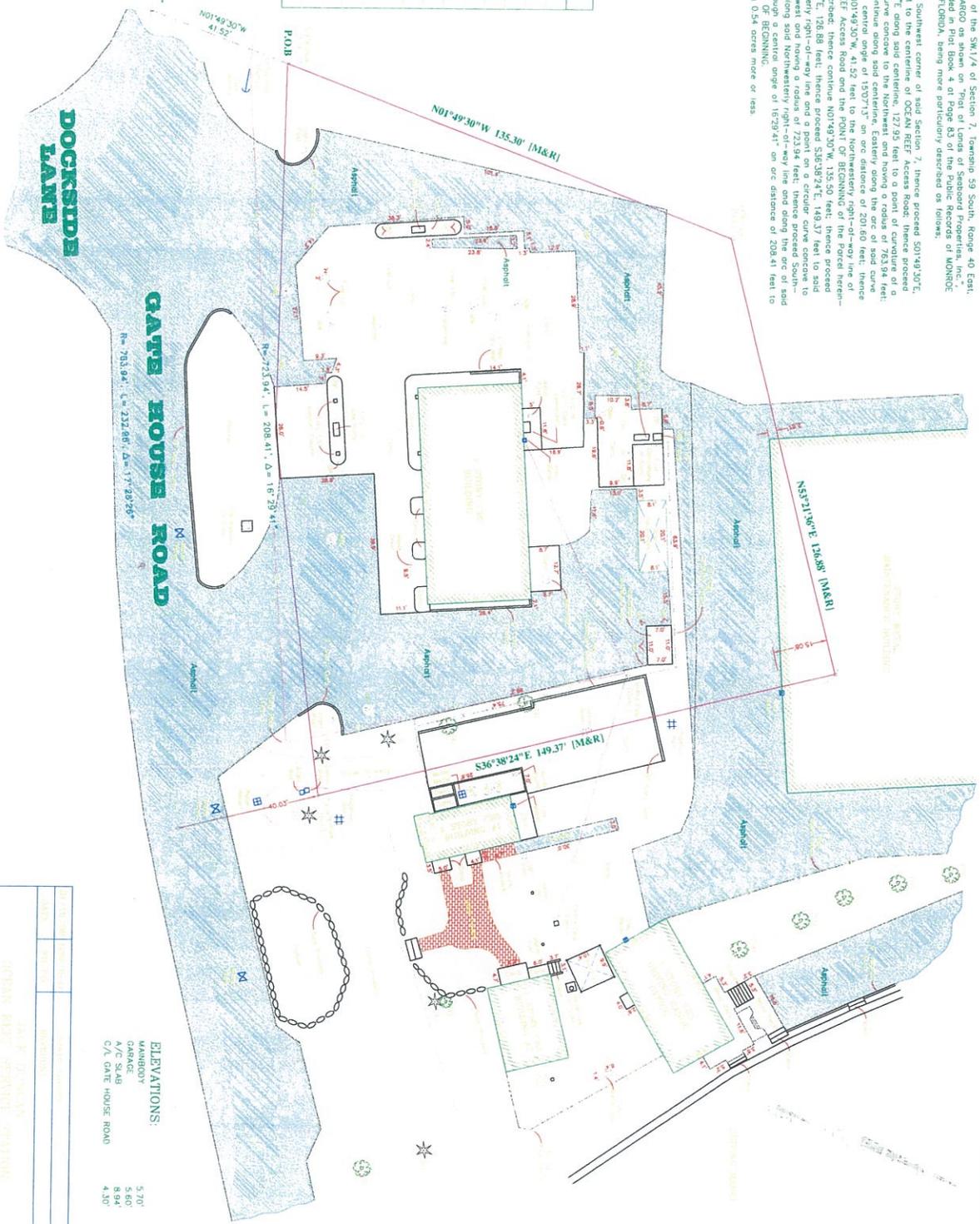
NO.	DESCRIPTION	DATE	BY

TASK SURVEYORS INC.
 1700 N. PIMA AVENUE, SUITE 100, TUCSON, ARIZONA 85712
 (520) 791-1111
 WWW.TASKSURVEYORS.COM

LEGAL DESCRIPTION

A portion of the SW 1/4 of Section 7, Township 59 South, Range 40 East, N89°12'21" W, 123.30 feet to a point of curvature of a circular curve concave to the left. Thence along said curve through a central angle of 15°07'13" on a radius of 201.60 feet; thence proceed N01°49'30"W, 41.52 feet to the Northwest right-of-way line of the subject property. Thence along said Northwest right-of-way line of the subject property to the Point of Beginning of the Parcel herein. Thence proceed N01°49'30"W, 135.50 feet; thence proceed N83°37'46"E, 126.88 feet; thence N01°49'30"W, 135.50 feet to said Northwest right-of-way line and a point on a circular curve Northwest along said Northwest right-of-way line and along the arc of said curve through a central angle of 16°29'41" on a radius of 208.41 feet to the Point of Beginning of the Parcel herein. Thence proceed S01°49'30"E, N89°12'21" W, 123.30 feet to a point of curvature of a circular curve concave to the left. Thence along said curve through a central angle of 15°07'13" on a radius of 201.60 feet; thence proceed N01°49'30"W, 41.52 feet to the Northwest right-of-way line of the subject property. Thence along said Northwest right-of-way line of the subject property to the Point of Beginning of the Parcel herein. Thence proceed N01°49'30"W, 135.50 feet; thence proceed N83°37'46"E, 126.88 feet; thence N01°49'30"W, 135.50 feet to said Northwest right-of-way line and a point on a circular curve Northwest along said Northwest right-of-way line and along the arc of said curve through a central angle of 16°29'41" on a radius of 208.41 feet to the Point of Beginning of the Parcel herein. Thence proceed S01°49'30"E, N89°12'21" W, 123.30 feet to a point of curvature of a circular curve concave to the left. Thence along said curve through a central angle of 15°07'13" on a radius of 201.60 feet; thence proceed N01°49'30"W, 41.52 feet to the Northwest right-of-way line of the subject property. Thence along said Northwest right-of-way line of the subject property to the Point of Beginning of the Parcel herein. Thence proceed N01°49'30"W, 135.50 feet; thence proceed N83°37'46"E, 126.88 feet; thence N01°49'30"W, 135.50 feet to said Northwest right-of-way line and a point on a circular curve Northwest along said Northwest right-of-way line and along the arc of said curve through a central angle of 16°29'41" on a radius of 208.41 feet to the Point of Beginning of the Parcel herein. Containing 0.24 acres more or less.

No.	Name	Diameter (inches)	Height (feet)	Spread (feet)
1	Palm	36"	12.0'	12.0'
2	Palm	10"	12.0'	6.0'
3	Palm	48"	15.0'	18.0'
4	Gumbo Limbo	18"	10.0'	8.0'
5	Gumbo Limbo	12"	11.0'	8.0'
6	Unknown	24"	12.0'	8.0'
7	Unknown	12"	20.0'	12.0'
8	Palm	24"	30.0'	6.0'
9	Unknown	24"	18.0'	12.0'
10	Unknown	24"	20.0'	15.0'
11	Unknown	24"	20.0'	15.0'
12	Unknown	24"	20.0'	15.0'
13	Unknown	24"	20.0'	15.0'
14	Unknown	24"	20.0'	15.0'



ELEVATIONS:
 WATER 5.70'
 GARAGE 2.00'
 A/C SLAB 8.94'
 C/L GATE HOUSE ROAD 4.30'

TASK SURVEYORS INC.
 17300 SW 67TH AVENUE, MIAMI, FLORIDA 33157
 TEL: (305) 253-3028 FAX: (305) 255-5839
 CERTIFICATE OF AUTHORIZATION No.0004687

NO.	DATE	DESCRIPTION
1	11/11/11	FIELD SURVEY
2	11/11/11	OFFICE SURVEY
3	11/11/11	FIELD SURVEY
4	11/11/11	OFFICE SURVEY
5	11/11/11	FIELD SURVEY
6	11/11/11	OFFICE SURVEY
7	11/11/11	FIELD SURVEY
8	11/11/11	OFFICE SURVEY
9	11/11/11	FIELD SURVEY
10	11/11/11	OFFICE SURVEY

LEGAL DESCRIPTION - Ingress/Easement

A Parcel of Land lying in the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

Commence at the SE corner of the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

thence N07°03'03"W along the West line of the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, a distance of 145.20 feet; thence N82°25'19"E for a distance of 88.50 feet to the POINT OF BEGINNING; thence S87°43'40"W for a distance of 81.06 feet; thence N07°03'03"W for a distance of 22.58 feet to the POINT OF BEGINNING. All of the above described land containing 1.438 ac. ± or 0.03 acres more or less.

WETLANDS AREA LEGAL DESCRIPTION

A Parcel of Land lying in the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

Commence at the SE corner of the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

thence N07°03'03"W along the West line of the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, a distance of 145.20 feet; thence N82°25'19"E for a distance of 88.50 feet to the POINT OF BEGINNING; thence S87°43'40"W for a distance of 81.06 feet; thence N07°03'03"W for a distance of 22.58 feet to the POINT OF BEGINNING. All of the above described land containing 17.483,918 ac. ±.

LEGAL DESCRIPTION - CONSERVATION AREA

A Parcel of Land lying in the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

Commence at the SE corner of the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

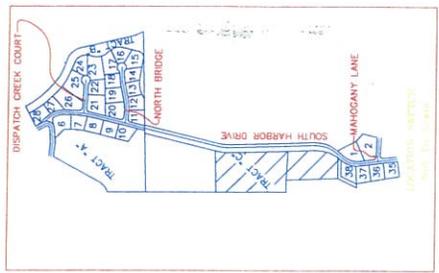
thence N07°03'03"W along the West line of the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, a distance of 145.20 feet; thence N82°25'19"E for a distance of 88.50 feet to the POINT OF BEGINNING; thence S87°43'40"W for a distance of 81.06 feet; thence N07°03'03"W for a distance of 22.58 feet to the POINT OF BEGINNING. All of the above described land containing 70.274 ac. ±.

FOOTCUT WITH

A Parcel of Land lying in the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

Commence at the SE corner of the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

thence N07°03'03"W along the West line of the SE 1/4 of Section 13, Township 59 South, Range 40 East, Monroe County, Florida, a distance of 145.20 feet; thence N82°25'19"E for a distance of 88.50 feet to the POINT OF BEGINNING; thence S87°43'40"W for a distance of 81.06 feet; thence N07°03'03"W for a distance of 22.58 feet to the POINT OF BEGINNING. All of the above described land containing 17.483,918 ac. ±.



LEGAL DESCRIPTION

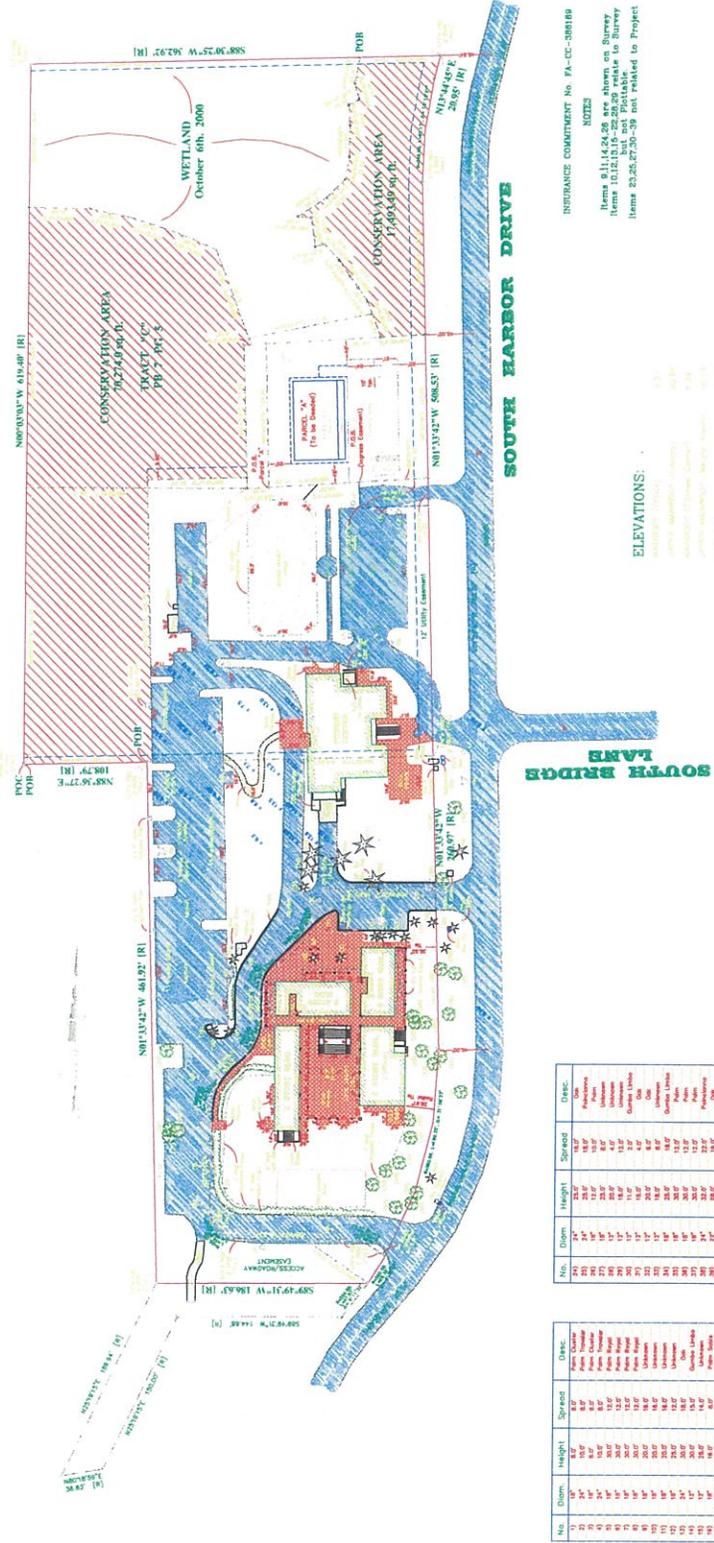
Tract 13, C of Harbor Course Section Two, Ocean Reef Plat TOGETHER WITH A portion of the NE 1/4 of Section 24, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

Commence at the NW corner of the NE 1/4 of Section 24, Township 59 South, Range 40 East, Monroe County, Florida, more particularly described as follows:

thence N07°03'03"W along the West line of the NE 1/4 of Section 24, Township 59 South, Range 40 East, Monroe County, Florida, a distance of 108.79 feet to the POINT OF BEGINNING; thence S87°43'40"W for a distance of 81.06 feet; thence N07°03'03"W for a distance of 22.58 feet to the POINT OF BEGINNING. All of the above described land containing 7.6350 acres, more or less.

NO.	DATE	DESCRIPTION
1	10/11/2000	...
2	10/11/2000	...
3	10/11/2000	...
4	10/11/2000	...
5	10/11/2000	...
6	10/11/2000	...
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8	10/11/2000	...
9	10/11/2000	...
10	10/11/2000	...
11	10/11/2000	...
12	10/11/2000	...
13	10/11/2000	...
14	10/11/2000	...
15	10/11/2000	...
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46	10/11/2000	...
47	10/11/2000	...
48	10/11/2000	...
49	10/11/2000	...
50	10/11/2000	...

TASK SURVEYORS INC.
 FROM THE FIELD OFFICE, MOBILE, ALABAMA
 REGISTERED PROFESSIONAL SURVEYORS
 STATE OF ALABAMA



INSURANCE COMMITMENT No. FA-CC-386888

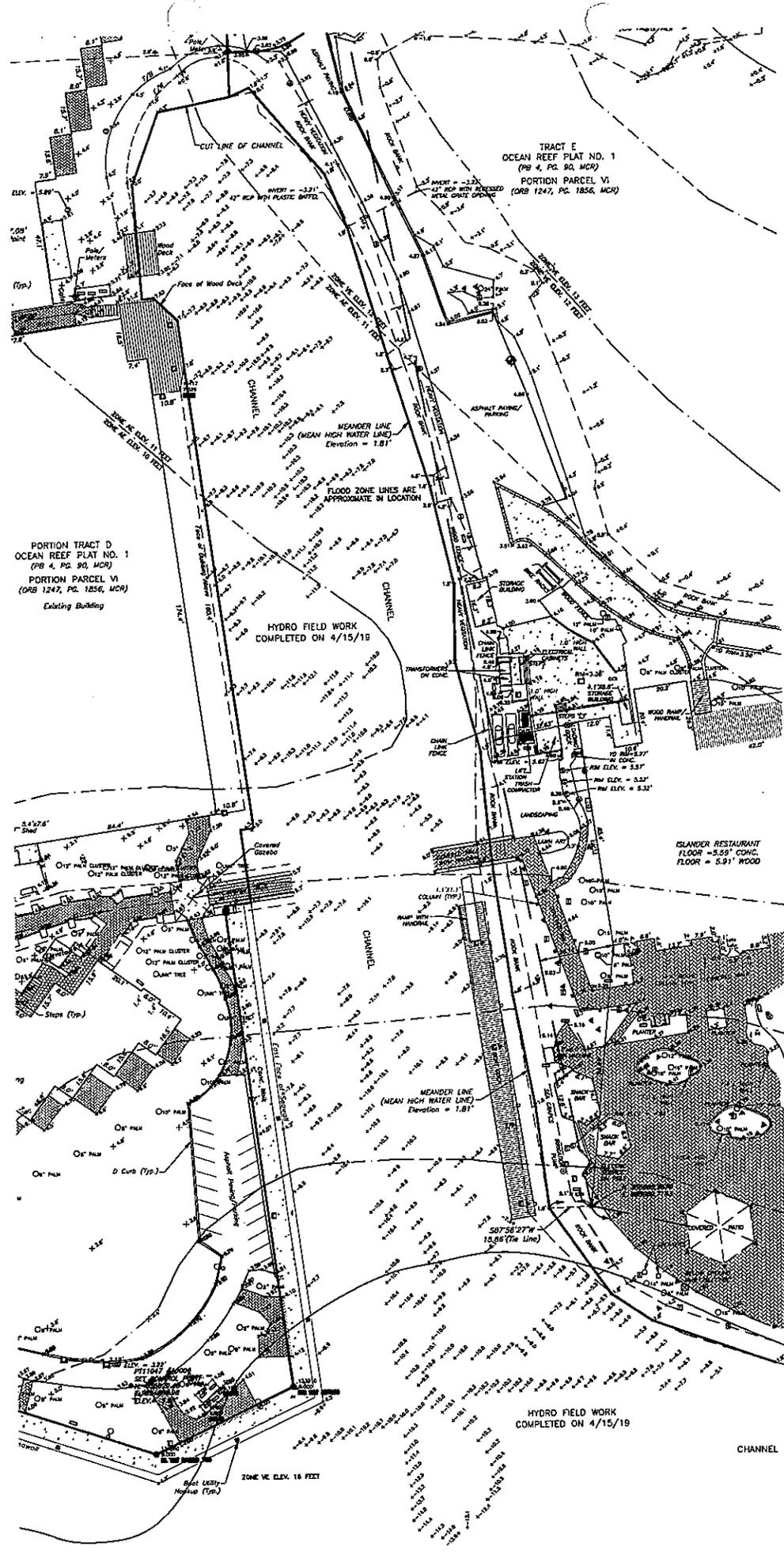
NOTES

Items 6, 11, 14, 24, 28 are shown on Survey Items 10, 12, 13, 15, 20, 29, 30 relate to Survey Items 23, 26, 27, 30-39 not related to Project

ELEVATIONS:

NO.	DATE	DESCRIPTION
1	10/11/2000	...
2	10/11/2000	...
3	10/11/2000	...
4	10/11/2000	...
5	10/11/2000	...
6	10/11/2000	...
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45	10/11/2000	...
46	10/11/2000	...
47	10/11/2000	...
48	10/11/2000	...
49	10/11/2000	...
50	10/11/2000	...

NO.	DATE	HEIGHT	SPREAD	DIST.
1	10/11/2000	8.0'	18.0'	18.0'
2	10/11/2000	8.0'	18.0'	18.0'
3	10/11/2000	8.0'	18.0'	18.0'
4	10/11/2000	8.0'	18.0'	18.0'
5	10/11/2000	8.0'	18.0'	18.0'
6	10/11/2000	8.0'	18.0'	18.0'
7	10/11/2000	8.0'	18.0'	18.0'
8	10/11/2000	8.0'	18.0'	18.0'
9	10/11/2000	8.0'	18.0'	18.0'
10	10/11/2000	8.0'	18.0'	18.0'
11	10/11/2000	8.0'	18.0'	18.0'
12	10/11/2000	8.0'	18.0'	18.0'
13	10/11/2000	8.0'	18.0'	18.0'
14	10/11/2000	8.0'	18.0'	18.0'
15	10/11/2000	8.0'	18.0'	18.0'
16	10/11/2000	8.0'	18.0'	18.0'
17	10/11/2000	8.0'	18.0'	18.0'
18	10/11/2000	8.0'	18.0'	18.0'
19	10/11/2000	8.0'	18.0'	18.0'
20	10/11/2000	8.0'	18.0'	18.0'
21	10/11/2000	8.0'	18.0'	18.0'
22	10/11/2000	8.0'	18.0'	18.0'
23	10/11/2000	8.0'	18.0'	18.0'
24	10/11/2000	8.0'	18.0'	18.0'
25	10/11/2000	8.0'	18.0'	18.0'
26	10/11/2000	8.0'	18.0'	18.0'
27	10/11/2000	8.0'	18.0'	18.0'
28	10/11/2000	8.0'	18.0'	18.0'
29	10/11/2000	8.0'	18.0'	18.0'
30	10/11/2000	8.0'	18.0'	18.0'
31	10/11/2000	8.0'	18.0'	18.0'
32	10/11/2000	8.0'	18.0'	18.0'
33	10/11/2000	8.0'	18.0'	18.0'
34	10/11/2000	8.0'	18.0'	18.0'
35	10/11/2000	8.0'	18.0'	18.0'
36	10/11/2000	8.0'	18.0'	18.0'
37	10/11/2000	8.0'	18.0'	18.0'
38	10/11/2000	8.0'	18.0'	18.0'
39	10/11/2000	8.0'	18.0'	18.0'
40	10/11/2000	8.0'	18.0'	18.0'
41	10/11/2000	8.0'	18.0'	18.0'
42	10/11/2000	8.0'	18.0'	18.0'
43	10/11/2000	8.0'	18.0'	18.0'
44	10/11/2000	8.0'	18.0'	18.0'
45	10/11/2000	8.0'	18.0'	18.0'
46	10/11/2000	8.0'	18.0'	18.0'
47	10/11/2000	8.0'	18.0'	18.0'
48	10/11/2000	8.0'	18.0'	18.0'
49	10/11/2000	8.0'	18.0'	18.0'
50	10/11/2000	8.0'	18.0'	18.0'



TRACT E
OCEAN REEF PLAT NO. 1
(PB 4, PG. 90, MCR)
PORTION PARCEL VI
(ORB 1247, PG. 1856, MCR)

PORTION TRACT D
OCEAN REEF PLAT NO. 1
(PB 4, PG. 90, MCR)
PORTION PARCEL VI
(ORB 1247, PG. 1856, MCR)
Existing Building

HYDRO FIELD WORK
COMPLETED ON 4/15/19

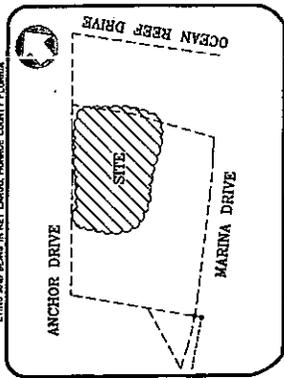
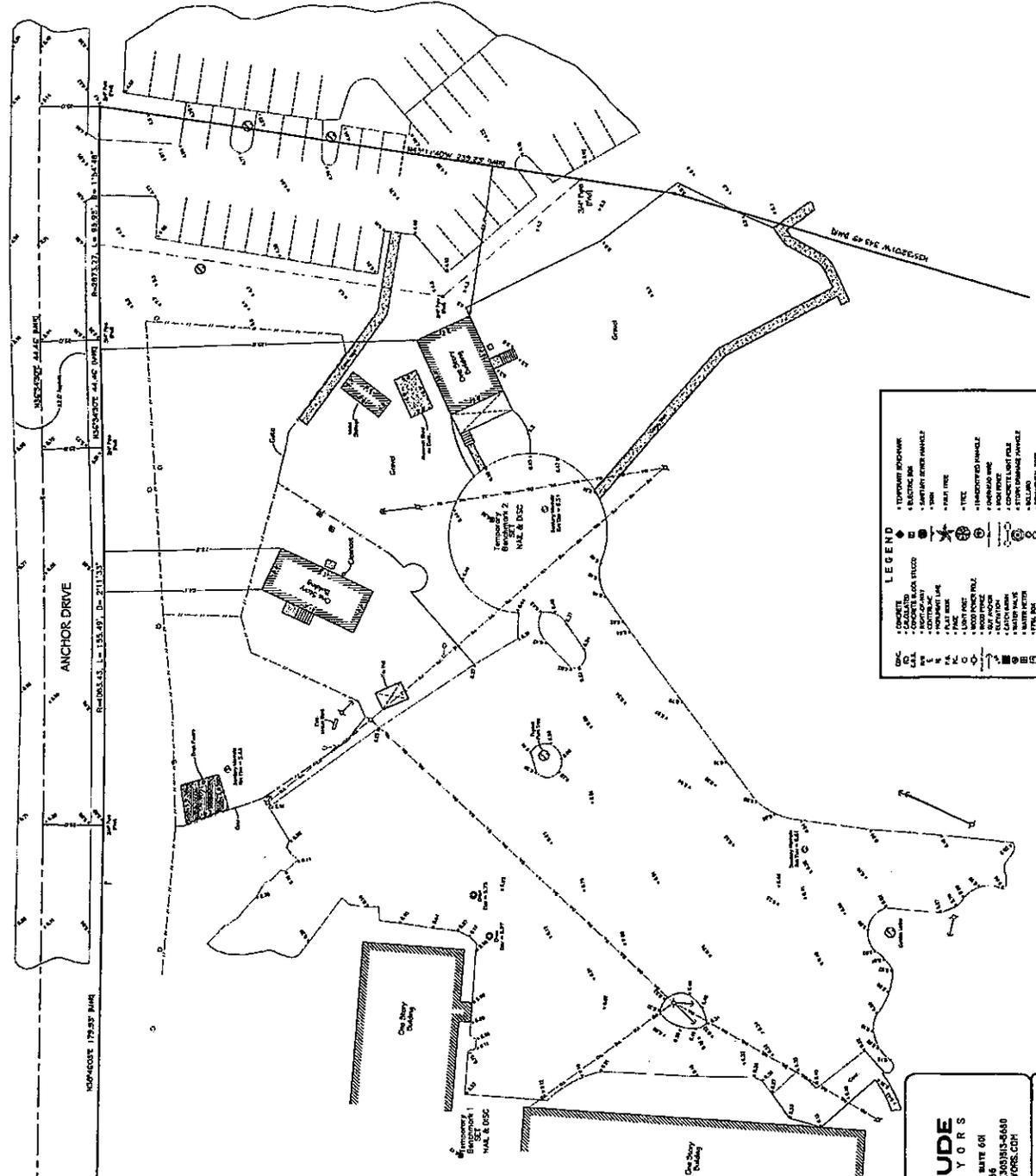
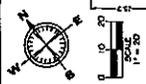
ISLANDER RESTAURANT
FLOOR = 5.59' CONC.
FLOOR = 5.91' WOOD

HYDRO FIELD WORK
COMPLETED ON 4/15/19

CHANNEL

ZONE VE ELEV. 16 FEET

TOPOGRAPHIC SURVEY PHASE 1 AND 2



LOCATION MAP
NOT TO SCALE

PROJECT DESCRIPTION:

The site is located on the east side of Anchor Drive, between Anchor Drive and Ocean Reef Drive. The site is approximately 1.5 acres in size and is currently vacant. The site is bounded to the north by Ocean Reef Drive, to the east by Marina Drive, to the south by Anchor Drive, and to the west by Anchor Drive. The site is located in the unincorporated area of the County of Volusia, State of Florida. The site is located in the unincorporated area of the County of Volusia, State of Florida. The site is located in the unincorporated area of the County of Volusia, State of Florida.

LOCAL JURISDICTIONS:

The site is located in the unincorporated area of the County of Volusia, State of Florida. The site is located in the unincorporated area of the County of Volusia, State of Florida. The site is located in the unincorporated area of the County of Volusia, State of Florida. The site is located in the unincorporated area of the County of Volusia, State of Florida.

ADDITIONAL NOTES:

The site is located in the unincorporated area of the County of Volusia, State of Florida. The site is located in the unincorporated area of the County of Volusia, State of Florida. The site is located in the unincorporated area of the County of Volusia, State of Florida. The site is located in the unincorporated area of the County of Volusia, State of Florida.

DATE:

11/11/2011

PROJECT NO.:

11111

SCALE:

1" = 30'

DATE:

11/11/2011

LEGEND

1	TEMPORARY BENCHMARK
2	PERMANENT BENCHMARK
3	CONCRETE BLOCK STRUCTURE
4	CONCRETE SLAB STRUCTURE
5	CEMENT FINISH
6	PAVEMENT
7	ASPHALT DRIVE
8	GRAVEL DRIVE
9	GRAVEL DRIVE
10	GRAVEL DRIVE
11	GRAVEL DRIVE
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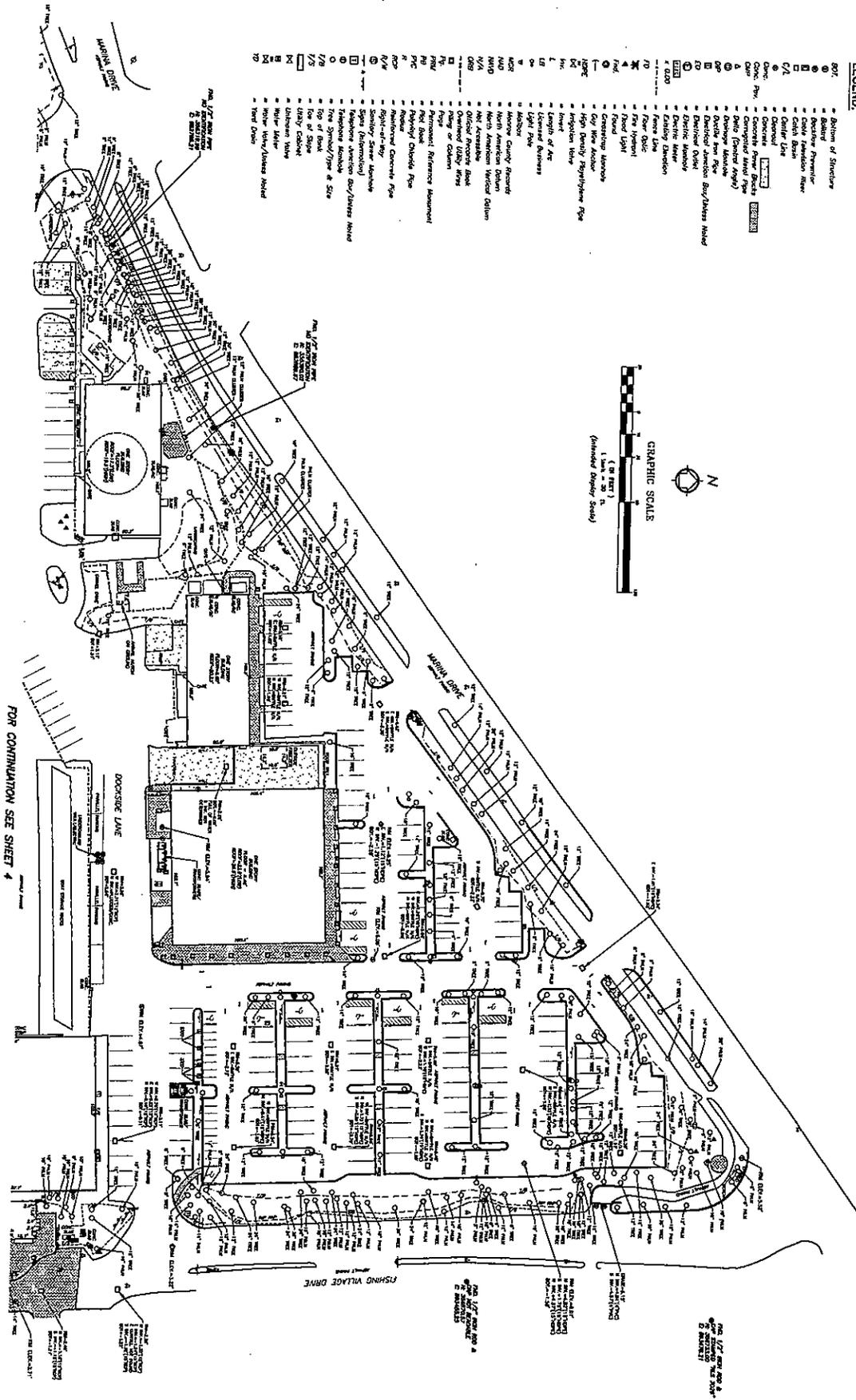
LONGITUDE SURVEYORS
 3900 NW 79TH AVENUE, SUITE 601
 PHOENIX, ARIZONA 85042-2403
 WWW.LONGITUDESURVEYORS.COM

JOB NO.: 13143 DRAWN BY: ROC
 FIELD BOOK: 1236/5A, & 6FF SHEET 1 OF 1

SKETCH OF SURVEY WITH TREES

LEGEND:

- 907. Bottom of Structure
- 908. Bottom of Foundation
- 909. Bottom of Footing
- 910. Bottom of Sill
- 911. Bottom of Wall
- 912. Bottom of Slab
- 913. Bottom of Deck
- 914. Bottom of Floor
- 915. Bottom of Ceiling
- 916. Bottom of Roof
- 917. Bottom of Ground
- 918. Bottom of Water
- 919. Bottom of Sewer
- 920. Bottom of Gas
- 921. Bottom of Electric
- 922. Bottom of Telephone
- 923. Bottom of Cable
- 924. Bottom of Fire
- 925. Bottom of Gas
- 926. Bottom of Sewer
- 927. Bottom of Electric
- 928. Bottom of Telephone
- 929. Bottom of Cable
- 930. Bottom of Fire
- 931. Bottom of Gas
- 932. Bottom of Sewer
- 933. Bottom of Electric
- 934. Bottom of Telephone
- 935. Bottom of Cable
- 936. Bottom of Fire
- 937. Bottom of Gas
- 938. Bottom of Sewer
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- 940. Bottom of Telephone
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- 942. Bottom of Fire
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- 944. Bottom of Sewer
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- 946. Bottom of Telephone
- 947. Bottom of Cable
- 948. Bottom of Fire
- 949. Bottom of Gas
- 950. Bottom of Sewer
- 951. Bottom of Electric
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- 954. Bottom of Fire
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- 972. Bottom of Fire
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- 977. Bottom of Cable
- 978. Bottom of Fire
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- 987. Bottom of Electric
- 988. Bottom of Telephone
- 989. Bottom of Cable
- 990. Bottom of Fire
- 991. Bottom of Gas
- 992. Bottom of Sewer
- 993. Bottom of Electric
- 994. Bottom of Telephone
- 995. Bottom of Cable
- 996. Bottom of Fire
- 997. Bottom of Gas
- 998. Bottom of Sewer
- 999. Bottom of Electric
- 1000. Bottom of Telephone



ELEVATIONS SHOWN HEREON
ARE ON NORTH AMERICAN
VERTICAL DATUM 1988.

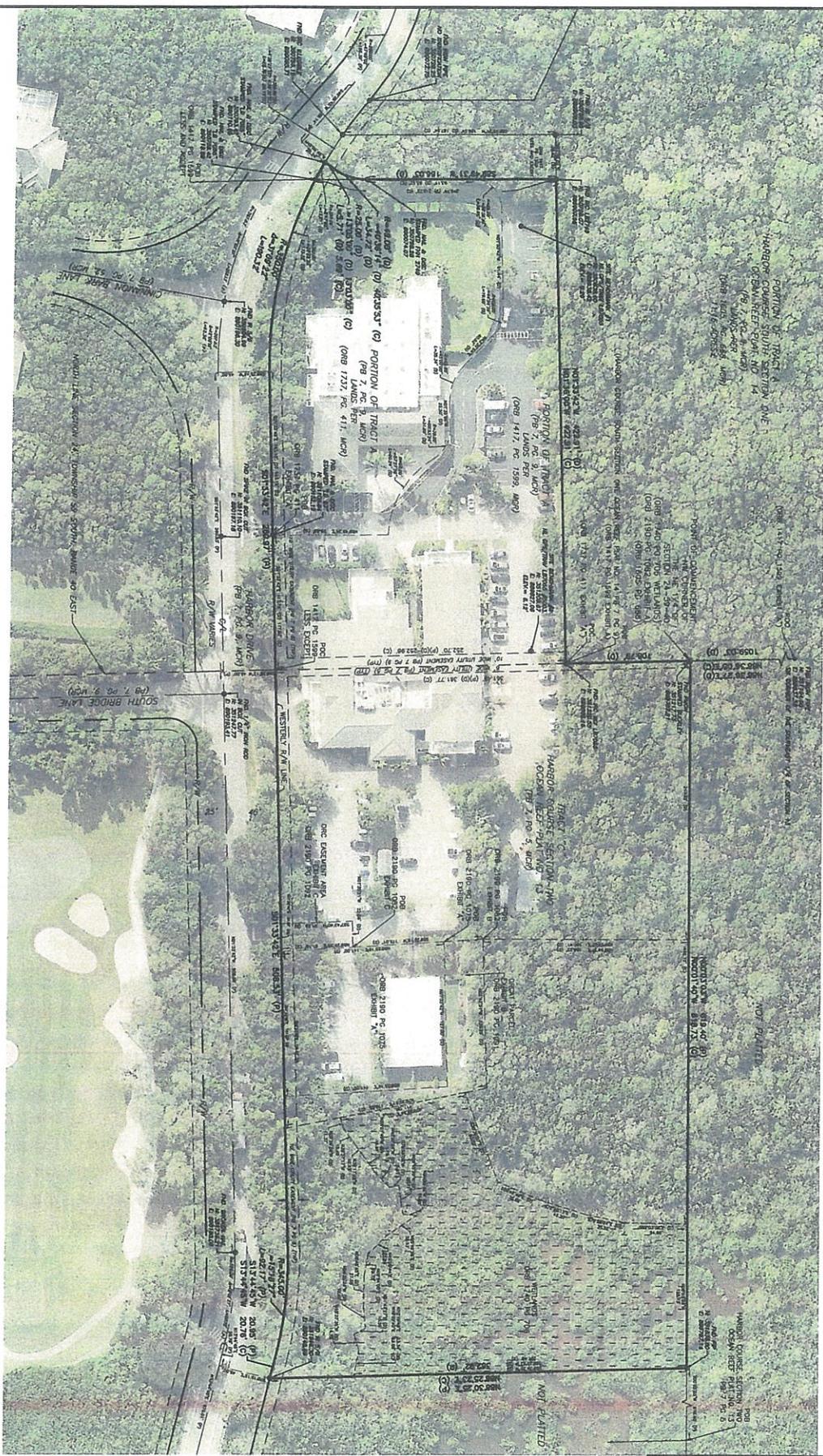
FOR CONTINUATION SEE SHEET 4

BOUNDARY/TOPOGRAPHIC SURVEY	CAD C:\working\wp\don.denson\dms14597\	DATE	04/27/13
SECTION 18, TOWNSHIP 59 S, RANGE 41 E	REF C:\working\wp\don.denson\dms14597\MG01	JOB	314115355.03
AS PREPARED FOR	PLD JF	FR/PC	53/45-79
MONROE COUNTY, FLORIDA	OFF MNG, RB	DATE	04/27/13
	CDR EN	SHEET	5 OF 5
		DWG	153501_TPOD
		DATE	
		REVISIONS	
			877

WGI
Wantman Group, Inc.

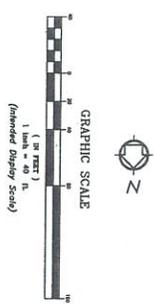
Engineering • Planning • Surveying • Environmental
888 West Avenue, Suite 100 West Palm Beach, FL 33411
(561) 800-3300 • FAX (561) 800-3300
CDR/ENR/REG. PROFESSIONAL ENGINEER NO. 18,795
FLORIDA • NOV. 27, 2008 • 0444

BOUNDARY SURVEY



- LEGEND:**
- (C) Calculated
 - E Center Line
 - (D) Dashed
 - (P) Pinned
 - (R) Right-of-Way
 - ORW Official Reserve Bank
 - R/W Right-of-Way
 - W/W

ELEVATIONS SHOWN HEREON
ARE ON NATIONAL GEODETIC VERTICAL DATUM OF
1929.



BOUNDARY & TOPOGRAPHIC SURVEY
ORC FITNESS CENTER
 SECTION 13&24, TOWNSHIP 59 S, RANGE 40 E
 AS PREPARED FOR
OCEAN REEF CLUB INC.

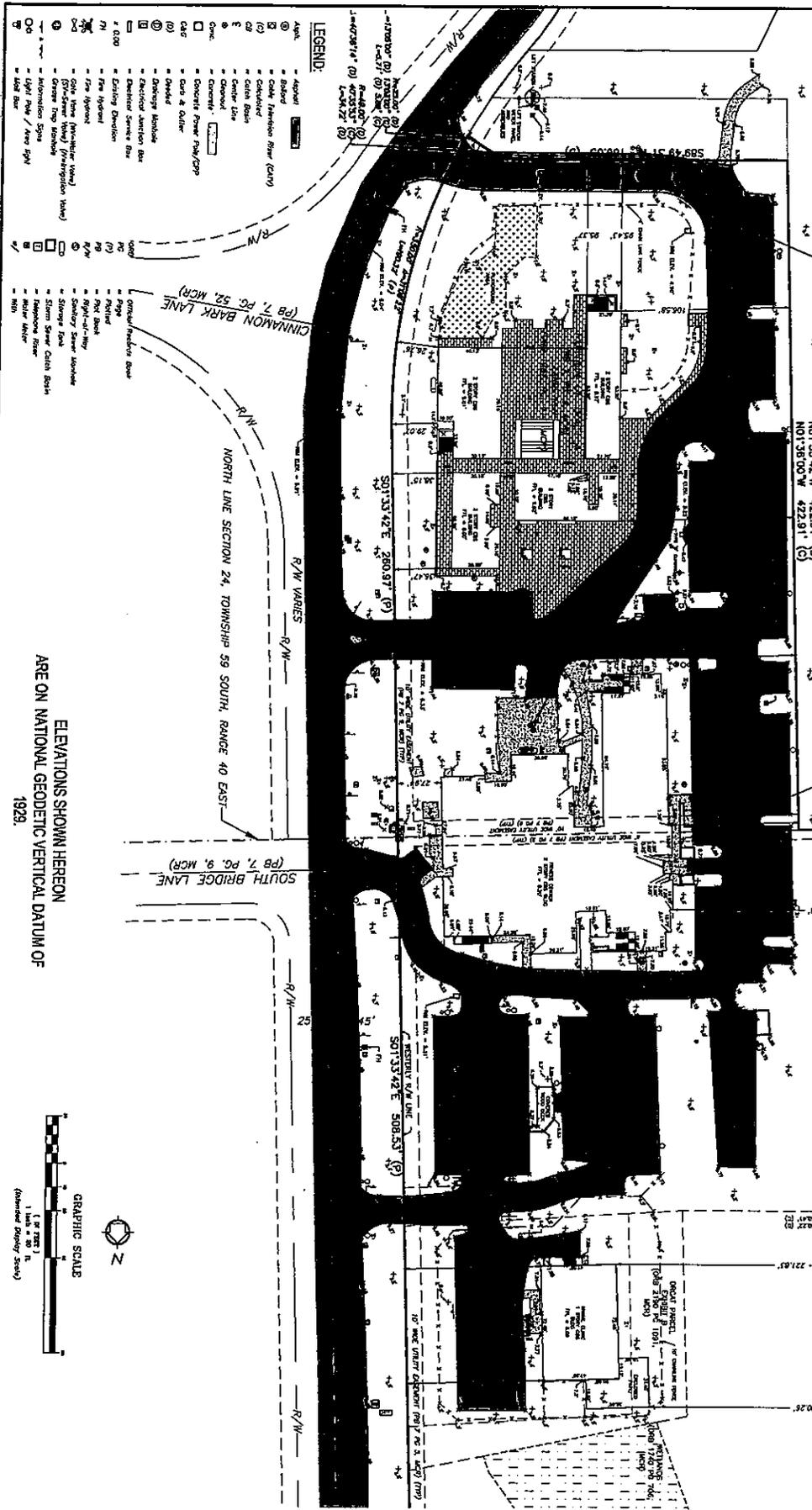
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REF	C:\Users\Don.Denson\appdata\Local\Temp\AcPublish_13980\WDST		
PLD	CW	FB./PC. 591/55-77	JOB 31411535.08
OFF	DAO		DATE FEB 17 2017
CHK	ERM	SHEET 2 OF 3	DWG 153508_Boundary Survey

WGI
Wantman Group, Inc.
 Engineering • Planning • Surveying • Environmental
 2035 VISTA PARKWAY, SUITE 100, WEST PALM BEACH, FL 33411
 (561) 805-2300 PHONE (561) 887-1110 FAX
 CERTIFICATE OF AUTHORIZATION NO. LB 7005
 ORLANDO - PORT ST. LUCIE - TAMPA
 www.wantgroup.com

TOPOGRAPHIC SURVEY

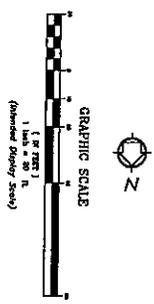
PORTION OF TRACT A
HARBOR COURSE SOUTH SECTION ONE
OCEAN REEF PLAT NO. 14
(Pg 7, Pg. 9, MCR)
LANDS PER
(ORB 1605, Pg. 668, MCR)
11.16 ACRES±

TRACT "C"
HARBOR COURSE SECTION TWO
OCEAN REEF PLAT NO. 13
(Pg 7, Pg. 5, MCR)



- LEGEND:**
- ▲ Station
 - Bench Mark
 - Bench Mark (2010)
 - Bench Mark (2011)
 - Bench Mark (2012)
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ELEVATIONS SHOWN HEREON
ARE ON NATIONAL GEODETIC VERTICAL DATUM OF
1929.



CD	C:\working\p\m\mason\05541821		
RD	C:\working\p\m\mason\05541821\001		
FLD	CH	FR/Pg. 51/55-77	JOB 31411535-08
OFF	DAD		DATE 1/03/2017
CD	EDW	SHEET 2 OF 3	DWG 153508_Topographic Survey

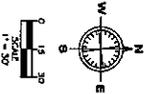
WGI

Wantman Group, Inc.

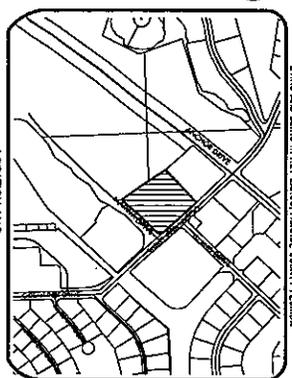
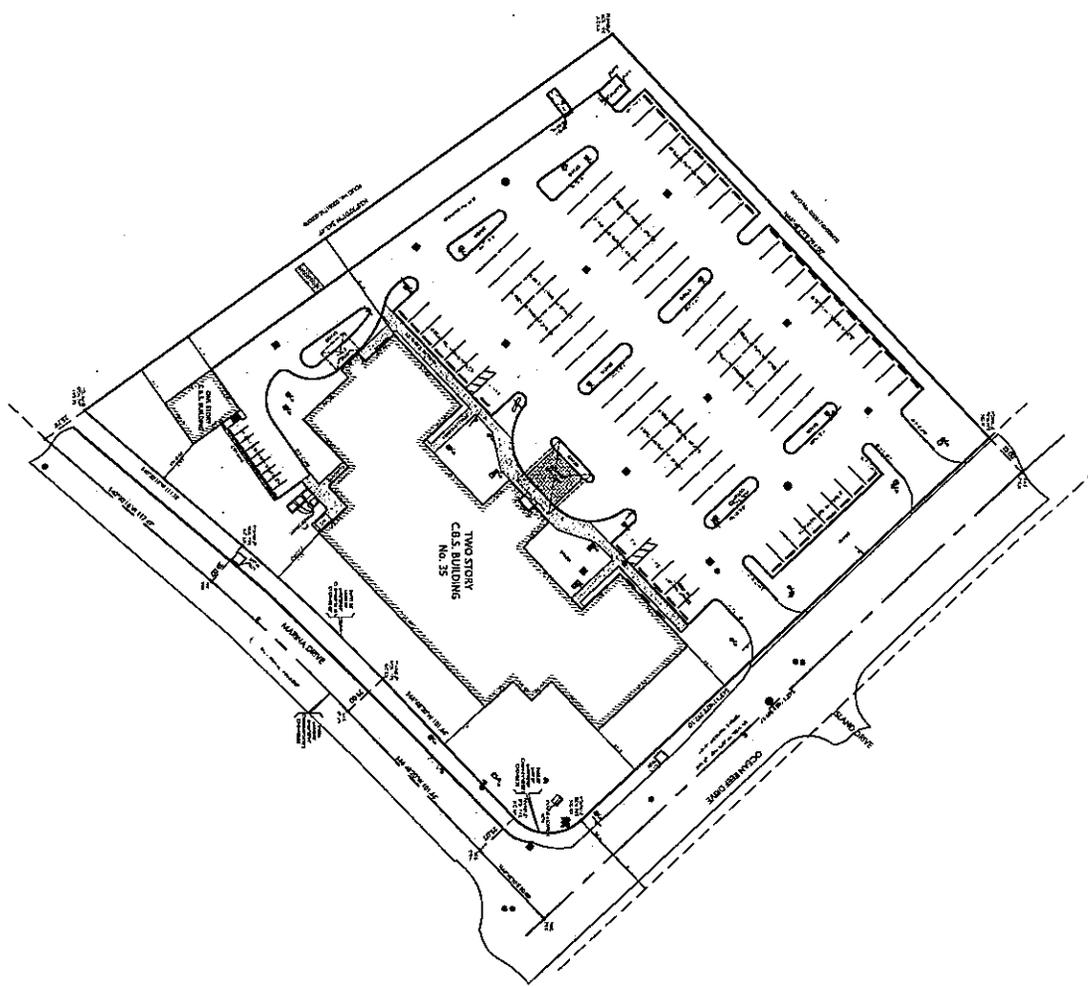
Engineering • Planning • Surveying • Environmental

2638 WEST PARKWAY, SUITE 100, WEST PALM BEACH, FL 33411
ORLANDO 888-222-7888 MIAMI 305-444-1115
CERTIFICATE OF AUTHORITY: 00011715
ORLANDO - PO BOX 1200, MIAMI - PO BOX 1200
www.wgi.com

MAP OF BOUNDARY SURVEY



LEGEND	
1. UNDEVELOPED LAND	1. UNDEVELOPED LAND
2. EXISTING BUILDING	2. EXISTING BUILDING
3. EXISTING DRIVEWAY	3. EXISTING DRIVEWAY
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LONGITUDE
SURVEYORS

7915 NW 27TH AVENUE, SUITE 375
CORAL, FL. 33166
PHONE: (305) 443-9912 FAX: (305) 516-5680
WWW.LONGITUDESURVEYORS.COM

JOB NO.: 14182.L00 DRAWN BY: G.P.
FIELD BOOK: EFB SHEET 1 OF 1

SECTION 27 - TOWNSHIP 29 SOUTH - RANGE 41 EAST
LYING AND BEING IN DEE LARUE, HENRIE COUNTY, FLORIDA

SECTION 27

The map of the property shown here was prepared by the Surveyor on or about 12/20/2012.

RECORDS INFORMATION

This map was recorded in the Public Records of Henrie County, Florida, on 12/20/2012, at 10:00 AM, and is subject to the provisions of the Florida Statutes, Chapter 689, and the provisions of the Florida Constitution, Article X, Section 10, which provide that the recording of a deed or other instrument in the Public Records of a county in Florida does not constitute notice of the instrument to any person who is not a party to the instrument.

ADDITIONAL INFORMATION

This map was prepared by the Surveyor on or about 12/20/2012, and is subject to the provisions of the Florida Statutes, Chapter 689, and the provisions of the Florida Constitution, Article X, Section 10, which provide that the recording of a deed or other instrument in the Public Records of a county in Florida does not constitute notice of the instrument to any person who is not a party to the instrument.

DISCLAIMER

The Surveyor does not warrant the accuracy of the information shown on this map, and the Surveyor does not accept any liability for any errors or omissions in this map, or for any consequences arising from the use of this map.

CONSENT

The Surveyor has prepared this map in accordance with the provisions of the Florida Statutes, Chapter 689, and the provisions of the Florida Constitution, Article X, Section 10, and the Surveyor has prepared this map in accordance with the provisions of the Florida Statutes, Chapter 689, and the provisions of the Florida Constitution, Article X, Section 10.

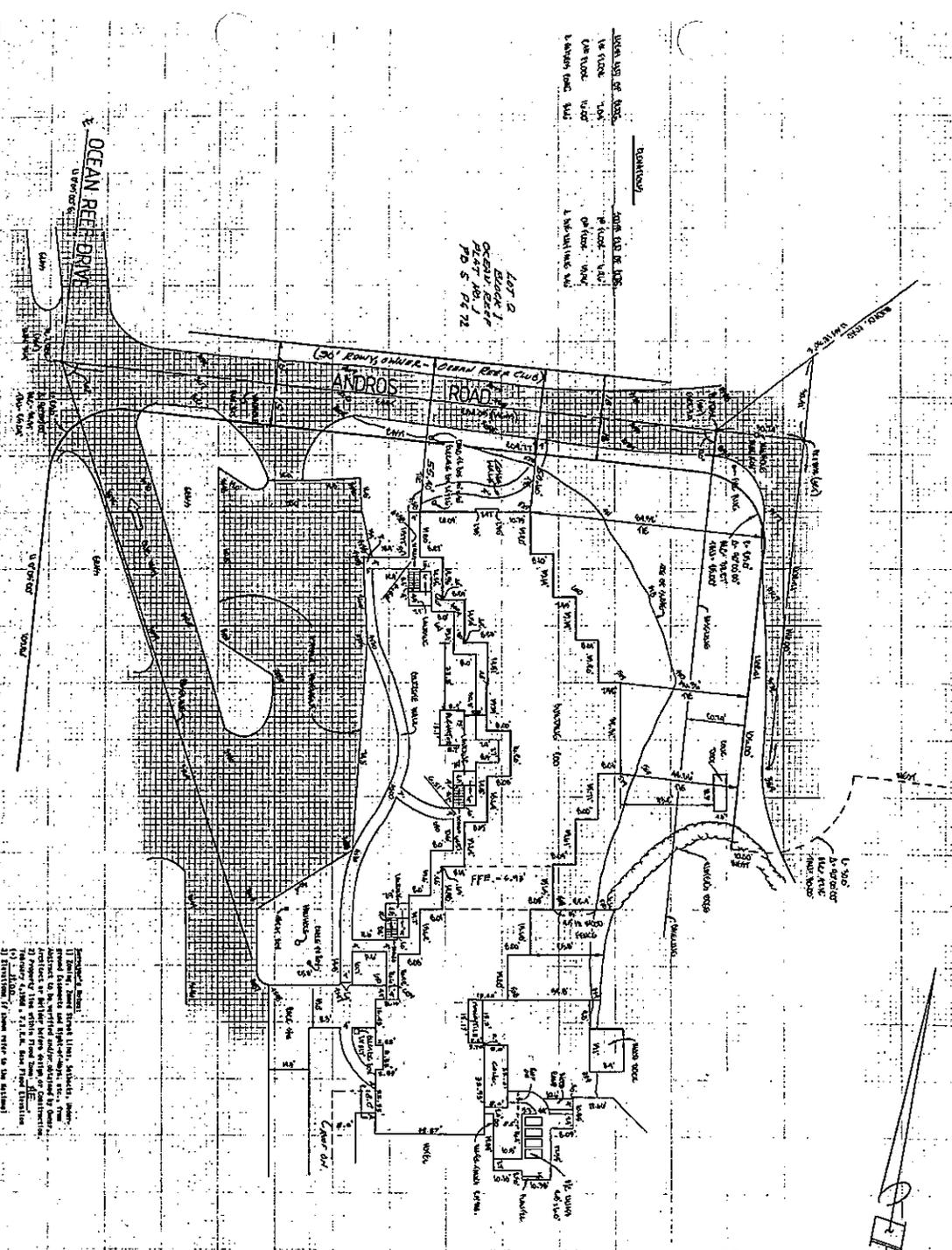
ACKNOWLEDGMENT

The Surveyor has prepared this map in accordance with the provisions of the Florida Statutes, Chapter 689, and the provisions of the Florida Constitution, Article X, Section 10, and the Surveyor has prepared this map in accordance with the provisions of the Florida Statutes, Chapter 689, and the provisions of the Florida Constitution, Article X, Section 10.

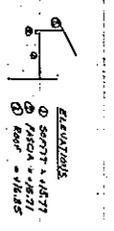
NOTICE

This map was prepared by the Surveyor on or about 12/20/2012, and is subject to the provisions of the Florida Statutes, Chapter 689, and the provisions of the Florida Constitution, Article X, Section 10, which provide that the recording of a deed or other instrument in the Public Records of a county in Florida does not constitute notice of the instrument to any person who is not a party to the instrument.

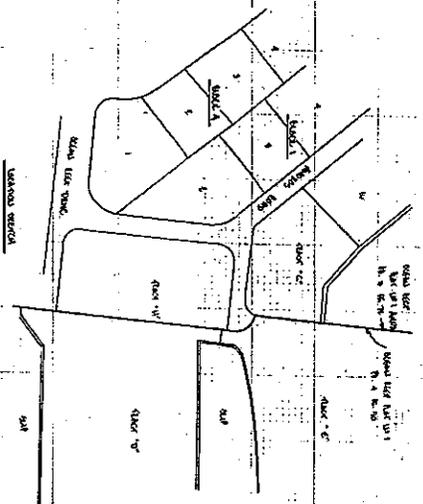
1. SOUTH SIDE OF ROAD
 2. NORTH SIDE OF ROAD
 3. EAST SIDE OF ROAD
 4. WEST SIDE OF ROAD
 5. INTERSECTION OF ROADS
 6. END OF ROAD
 7. BEGINNING OF ROAD
 8. CENTER OF ROAD
 9. CORNER OF ROAD
 10. POINT OF VIEW



- Proposed Building:**
1. Foundation, footings, walls, slabs, etc., to be placed in accordance with the approved plans and specifications.
 2. Framing, including roof, floor, and wall framing, to be placed in accordance with the approved plans and specifications.
 3. Exterior finish, including stucco, brick, or other approved material, to be placed in accordance with the approved plans and specifications.
 4. Interior finish, including drywall, plaster, or other approved material, to be placed in accordance with the approved plans and specifications.
 5. Mechanical, electrical, and plumbing systems to be installed in accordance with the approved plans and specifications.
 6. Heating and air conditioning system to be installed in accordance with the approved plans and specifications.
 7. Fire protection system, including fire alarm and fire extinguishers, to be installed in accordance with the approved plans and specifications.
 8. Other systems, including security and communication systems, to be installed in accordance with the approved plans and specifications.



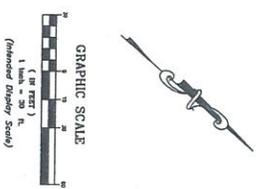
ELEVATIONS
 1. SECTION 1 - 1/8" = 1'
 2. SECTION 2 - 1/8" = 1'
 3. SECTION 3 - 1/8" = 1'
 4. SECTION 4 - 1/8" = 1'
 5. SECTION 5 - 1/8" = 1'
 6. SECTION 6 - 1/8" = 1'
 7. SECTION 7 - 1/8" = 1'
 8. SECTION 8 - 1/8" = 1'
 9. SECTION 9 - 1/8" = 1'
 10. SECTION 10 - 1/8" = 1'



I, **John A. Smith**, Architect
 Registered Professional Architect No. 10112
 State of Florida
 My Commission Expires 12/31/2014

DATE	12/15/13
SCALE	1/8" = 1'
PROJECT	ANDROS ROAD
OWNER	ANDROS ROAD DEVELOPMENT, INC.
DESIGNER	JOHN A. SMITH ARCHITECT
CONTRACT NO.	13-001
PROJECT NO.	13-001
DATE OF ISSUE	12/15/13
DATE OF REVISION	
DATE OF CLOSURE	
DATE OF COMPLETION	
DATE OF INSPECTION	
DATE OF SIGNATURE	
DATE OF SEALING	
DATE OF EXPIRATION	

SKETCH OF SURVEY



- LEGEND:**
- LB = Licensed Business
 - ORR = Official Record Book
 - PG = Page
 - PG = Plat Book
 - DR = Deed Book
 - Q/W = Right of Way
 - C/L = Centerline
 - (D) = Dashed or Partial Dimension
 - (O) = Field Measurement
 - PRM = Permanent Reference Monument
 - No. = Number
 - = Wall or Pipe
 - = Concrete Monument
 - = Iron Rod
 - = Markable Marker
 - = Light Pole
 - = Markable Sanitary Sewer
 - = Sanitary Sewer Valve
 - = Fire Plug Box
 - = Meter Flow Inverter
 - = Cable TV Service Box
 - = Driveway Markable
 - = Electric Service Box
 - = Utility Service Cabinet
 - = Meter Valve
 - = Meter Meter
 - = Telephone Repeater
 - = Markable Telephone
 - = Firehydrant

BOUNDARY SURVEY OCEAN REEF TENNIS CENTER AS PREPARED FOR OCEAN REEF CLUB INC.		CAD S:\11411440.00 Ocean Reef Team Hall & Tennis Center\WGS Survey\Drawings\AutoCAD\ REF S:\11411440.00 Ocean Reef Team Hall & Tennis Center\WGS Survey\Drawings\AutoCAD\W001			
FLD	SM	FB/PG	539 #1 /S-15	JOB#	4111199.08
GFF	RB			DATE	03/04/14
CHK	EM	SHEET	2 OF 2	DWG	14400_BND_TENNIS
				DATE:	REVISIONS:
				BY:	

WGI
Wantman Group, Inc.
Engineering ♦ Planning ♦ Surveying ♦ Environmental
2035 VISTA PARKWAY, SUITE 100, WEST PALM BEACH, FL 33411
TEL: 561-833-2320 FAX: 561-833-8711
CENTRAL OFFICE: 11111 N.W. 11TH AVENUE, SUITE 100, WEST PALM BEACH, FL 33411
WWW.WANTMANGROUP.COM

SKETCH OF SURVEY



LEGEND:

- LB = Licensed Business
- DRB = Official Records Book
- PC = Pole
- PD = Plat Book
- DB = Deed Book
- Q/W = Right of Way
- C/L = Centerline
- (D) = Deeded or Partial Dimension
- (O) = Scheduled Dimension from Field Measurement
- (C) = Permanent Reference Monument
- PLM = Monument
- No. = Number
- = Nail or Pipe
- = Concrete Monument
- = Iron Rod
- = Machine Nail
- = Light Pole
- = Monolete Survey Stake
- = Stationary Survey Stake
- = Iron Nail Box
- = Road Flow Arrow
- = Color TV Service Box
- = Drainage Structure
- = Electric Service Box
- = Utility Service Cabinet
- = Meter Valve
- = Meter Meter
- = Telephone Pedestal
- = Monolete Telephone
- = Transformer



BOUNDARY SURVEY
OCEAN REEF TENNIS CENTER
 AS PREPARED FOR
OCEAN REEF CLUB INC.

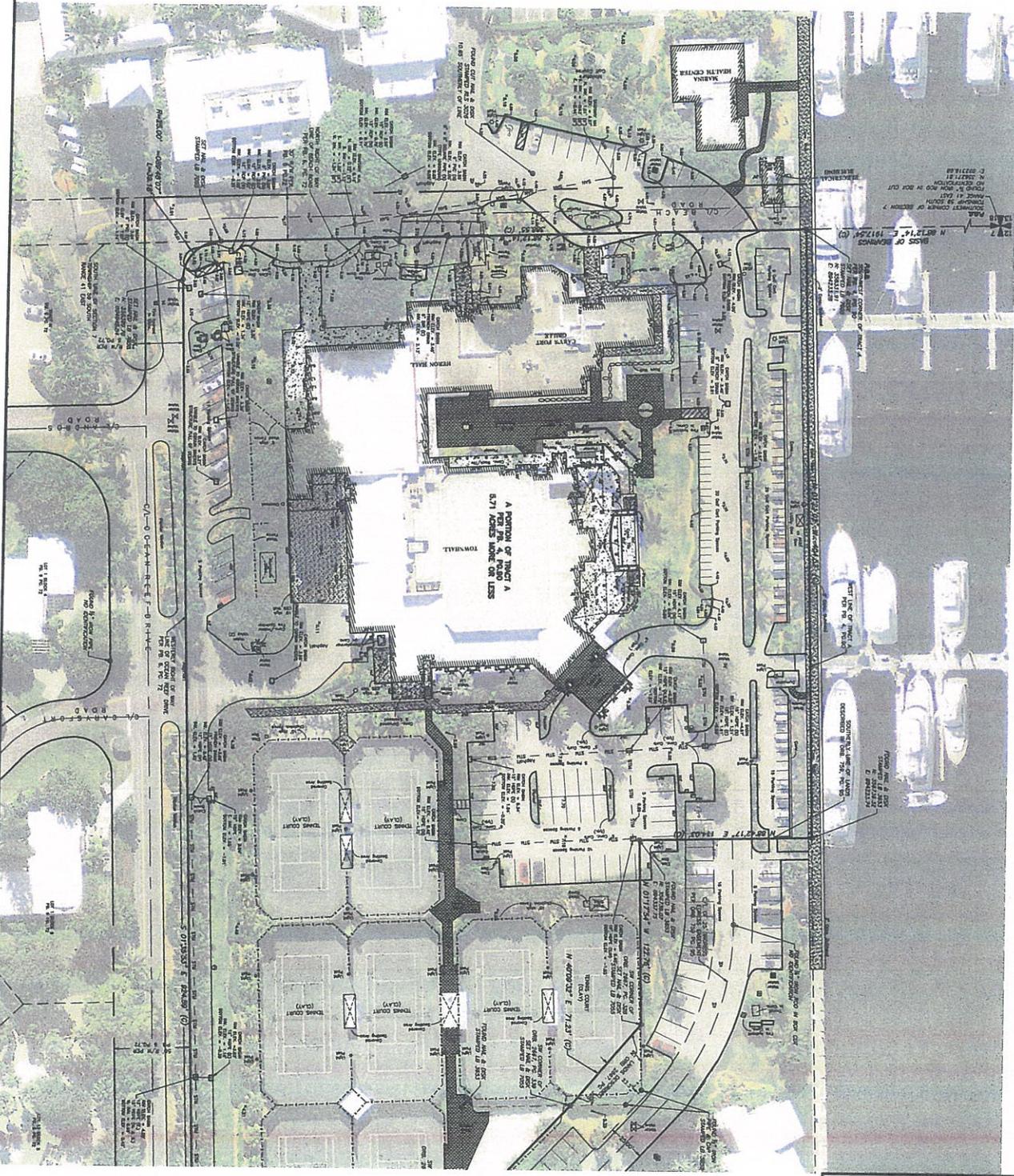
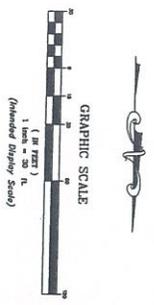
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OFF	RB			DATE	03/04/14
CHK	EM	SHEET	2 OF 2	DWG	14400_BND_TENNIS
DATE:		REVISIONS:		BT:	

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 2333 VISTA PARKWAY, SUITE 100, WEST PALM BEACH, FL 33411
 (561) 808-3200 phone (561) 887-1110 fax
 CERTIFICATE OF ACHIEVEMENT NO. 148 384
 550 N. W. 11th St. Suite 100
 ORLANDO - PORT ST. LUCIE - TAMPA
 www.wantmangroup.com

SKETCH OF SURVEY

LEGEND:

- LB = Licensed Business
- ORR = Official Records Book
- PC = Page
- PS = Plat Book
- DB = Deed Book
- R/W = Right of Way
- C/A = Certificate
- (D) = Deeded or Platted Dimension
- (C) = Calculated Dimension From
- = Raw Measurement
- PRM = Permanent Reference Monument
- Nb. = Number
- = Nail or Pipe
- = Concrete Monument
- = Iron Rod
- = Wooden Meter
- = Light Pole
- = Manhole Sanitary Sewer
- = Sanitary Sewer Valve
- = Fire Fuel Box
- = Back Flow Preventer
- = Cold TV Service Box
- = Driveway Manhole
- = Driveway Structure
- = Electric Service Box
- = Utility Service Cabinet
- = Meter Valve
- = Water Meter
- = Firehouse Hydrant
- = Manhole Telephone
- = Transformer
- = Conduit
- = Metal Flower
- = Building
- = Chain Station
- = Section Corner



SEE SHEET 3 OF 3

BOUNDARY SURVEY
OCEAN REEF TOWN HALL SITE
 AS PREPARED FOR
OCEAN REEF CLUB INC.

CAD	S:\11411440.00 Ocean Reef Town Hall & Tennis Center\WG Survey\Drawings\AutoCAD\		
REF	S:\11411440.00 Ocean Reef Town Hall & Tennis Center\WG Survey\Drawings\AutoCAD\W001		
FLD	SM	FB, P/C	4086 11411440.00
APP	RB	539 #1 5-15	DATE 03/04/14
CHKD	EM	SHEET 2 OF 3	DWG 14400_BND_TOWNHALL

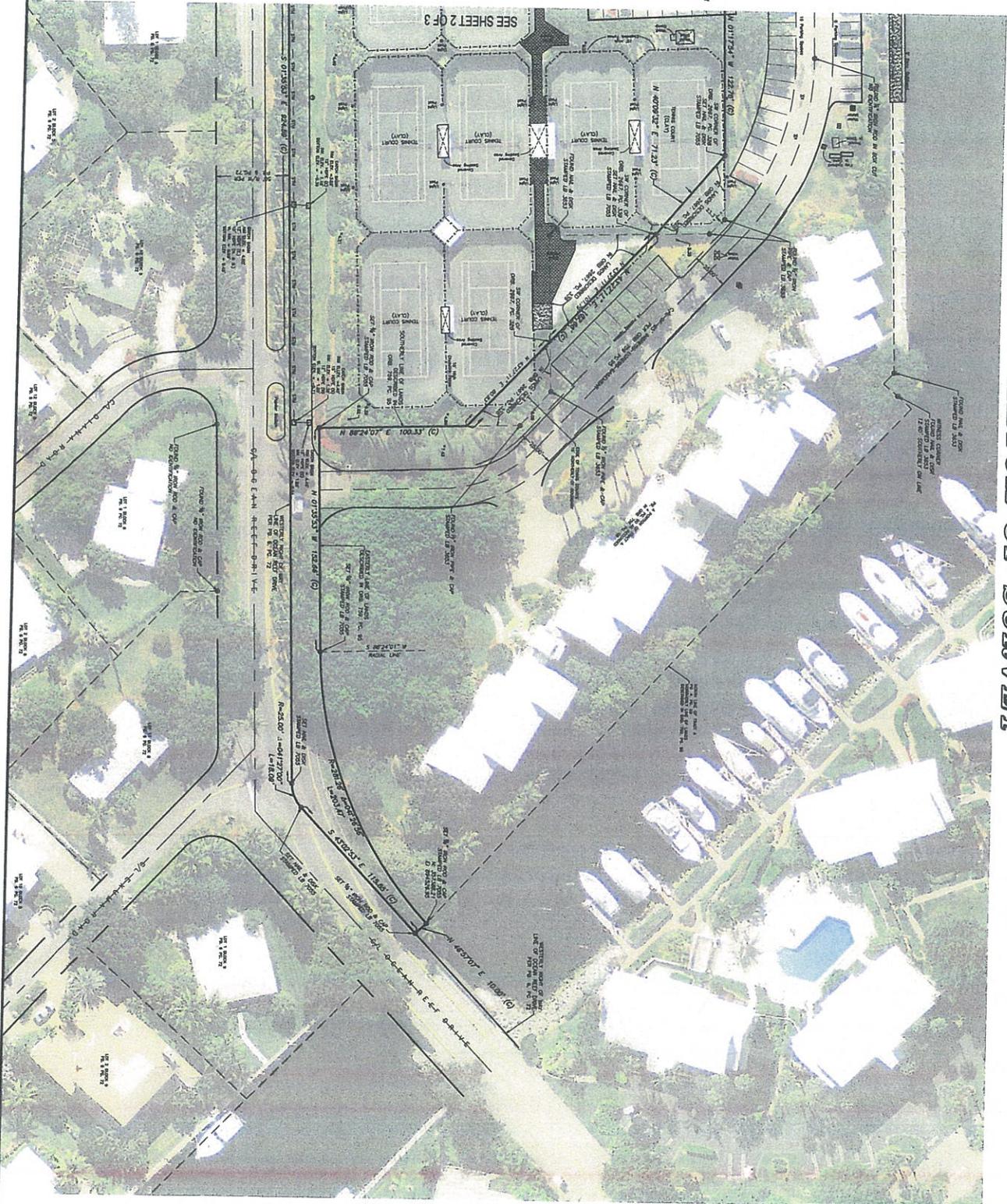
DATE:	REVISIONS:	BY:

WGI
Wantman Group, Inc.
 Engineering • Planning • Surveying & Environmental
 2525 VISTA PARKWAY, SUITE 100, WEST PALM BEACH, FL 33411
 (888) 809-3320 PHONE (561) 687-1110 FAX
 CERTIFICATE OF AUTHORIZATION No. LC 7003
 ORLANDO - PORT ST. LUCE - TAMPA
 www.wantmangroup.com

SKETCH OF SURVEY

LEGEND:

- LB = Licensed Business
- ORR = Official Records Book
- PC = Pole
- FR = Flag
- DR = Drive Stake
- M/W = right of Way
- C/A = Contiguous
- (D) = Dashed or Partial Dimension
- (F) = Field Measurement
- (P) = Permanent Reference Measurement
- NO = Number
- MC = Metal or Pipe
- CC = Concrete Monument
- IR = Iron Rod
- MR = Marble Marker
- LP = Light Pole
- MS = Marble Cemetery Marker
- SS = Secondary Survey Value
- WR = Wire Nail Bar
- RF = Rock Flag Replacer
- CS = Cable TV Service Box
- DM = Drainage Manhole
- ES = Electric Service Box
- US = Utility Service Cabinet
- WV = Water Valve
- MA = Meter Meter
- FP = Fireplug Protection
- MT = Manhole Telephone
- TR = Transformer
- CR = Concrete
- RF = Rock Power
- BA = Bailing
- CB = Catch Basin
- SC = Section Corner



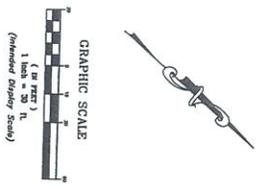
BOUNDARY SURVEY
 OCEAN REEF TOWN HALL SITE
 AS PREPARED FOR
 OCEAN REEF CLUB INC.

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OFF	RB	DATE	05/10/14		
CKD	EM	SHEET	3 OF 3	DWG	14400_BND_TOWNHALL

DATE:	REVISIONS:	BY:

WGI
 Wantman Group, Inc.
 Engineering • Planning • Surveying • Environmental
 2035 VISTA PARKWAY, SUITE 100, WEST PALM BEACH, FL 33411
 (561) 939-3220 JMW 0513 103-1119
 CERTIFICATE OF AUTHORIZATION NO. LB 7005
 ORLAWS - PORT ST. LUCIE - TWP#1
 www.wantmangroup.com

SKETCH OF SURVEY



- LEGEND:**
- LB — Licensed Business
 - DBS — Official Records Book
 - PC — Pipe
 - PS — Post Stake
 - DB — Dead Block
 - W/W — Right of Way
 - C/L — Centerline
 - (C) — Dashed or Polled Dimension
 - (C/D) — Calculated Dimension from
 - (C/D) — Permanent Reference Monument
 - RMU —
 - NO — Number
 - Nail or Pipe
 - Concrete Monument
 - Iron Rod
 - Marble Nail
 - Light Pole
 - Marble Boundary Stake
 - Stony Stake Mark
 - Wire Nail Box
 - Rock Flag Pressure
 - Cable TV Service Box
 - Drainage Manhole
 - Drainage Structure
 - Electric Service Box
 - Utility Service Cabinet
 - Water Valve
 - Water Meter
 - Telephone Pedestal
 - Access Telephone
 - Transformer

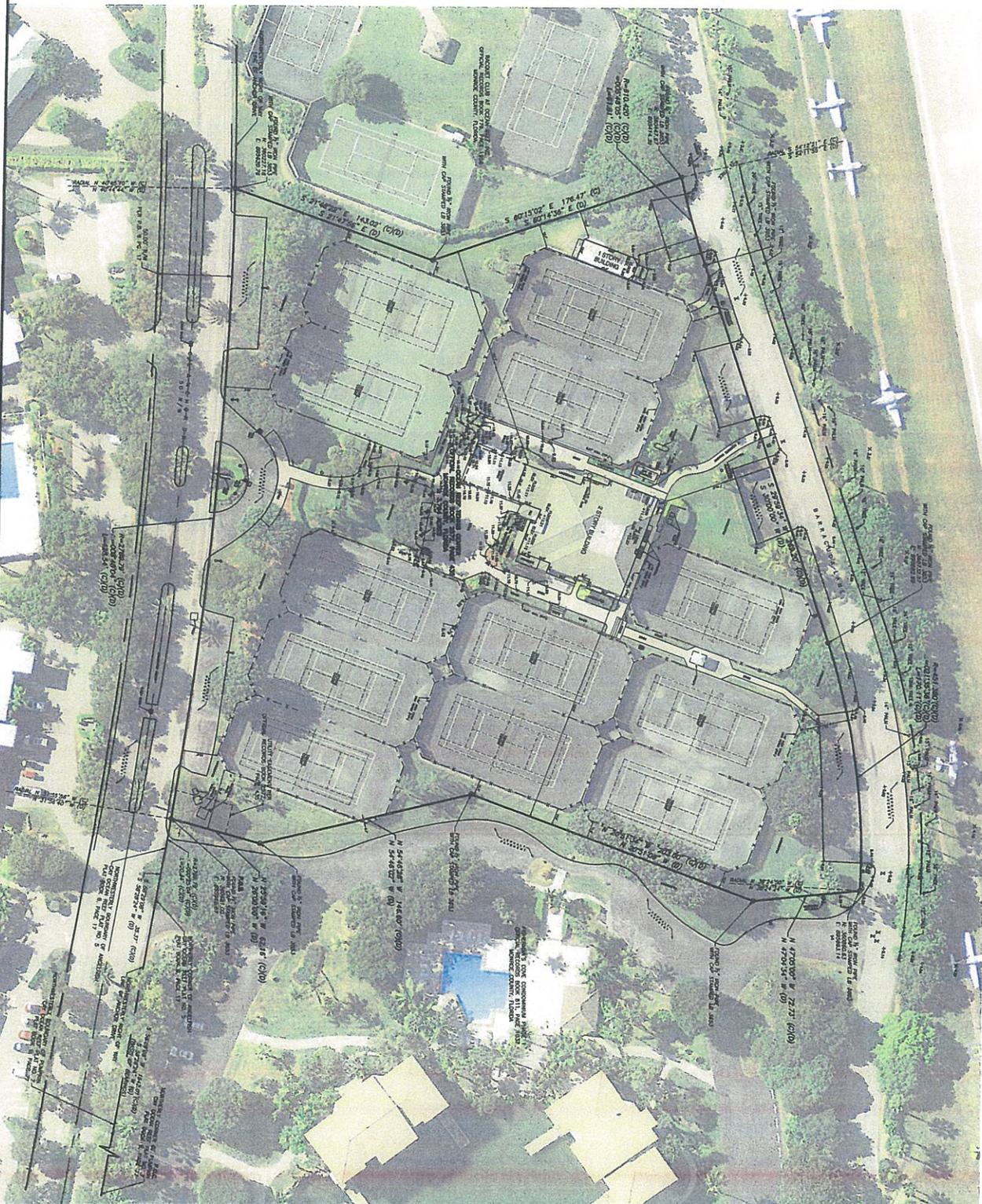
BOUNDARY SURVEY
OCEAN REEF TENNIS CENTER
 AS PREPARED FOR
OCEAN REEF CLUB INC.

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JCB	41111199.08
DATE	03/04/14
CDG	EM
SHEET	2 OF 2
DWG	14400_BND_TENNIS

DATE:	REVISIONS:	BY:

WGI
Wantman Group, Inc.
 Engineering • Planning • Surveying • Environmental
 2020 VERA AVENUE, SUITE 300, WEST PALM BEACH, FL 33411
 (561) 959-2320 phone (561) 687-1110 fax
 CERTIFICATE OF AUTHORIZATION LA 3433
 ORLANDO - PORT ST. LUCE - TAMPA
 www.wantmangroup.com

SKETCH OF SURVEY



- LEGEND:**
- LB = Lowest Boundary
 - OB = Official Records Book
 - FB = Flag
 - FB = First Book
 - DB = Deed Book
 - R/W = Right of Way
 - C/L = Centerline
 - (D) = Deeded or Fictitious Dimension
 - (C) = Calculated Dimension From
 - RA = Read Measurement
 - RM = Permanent Reference Monument
 - Nb. = Number
 - = Hat or Pipe
 - = Concrete Monument
 - = Iron Rod
 - = Machine Bolt
 - = Light Pole
 - = Machine Survey Stake
 - = Survey Stake, White
 - = Iron Nail Box
 - = Rock Flag Monument
 - = Cable TV Service Box
 - = Drainage Manhole
 - = Drainage Structure
 - = Electric Service Box
 - = Utility Service Cabinet
 - A = Meter Valve
 - = Meter Meter
 - = Telephone Pole/Post
 - = Machine Telephone
 - = Postmarker



BOUNDARY SURVEY
OCEAN REEF TENNIS CENTER
 AS PREPARED FOR
OCEAN REEF CLUB INC.

CAD	S:\11411440.00 Ocean Reef Town Hall & Tennis Center\WD Survey\Drawings\AutoCAD\
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DWG	14400_BND_TENNIS

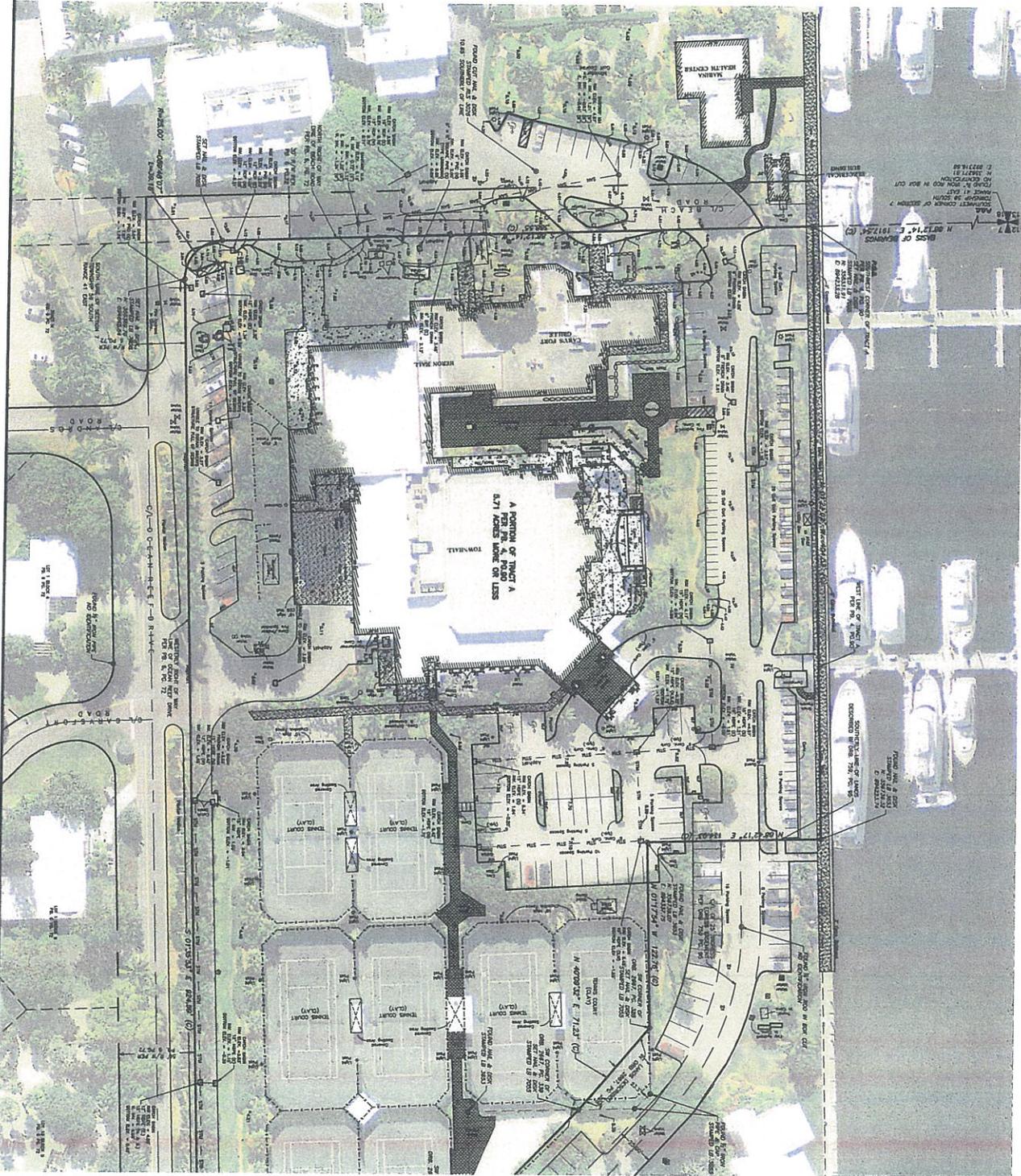
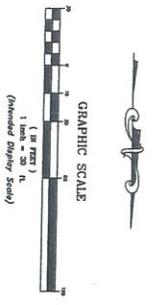
DATE:	REVISIONS:	BY:

WGI
Wantman Group, Inc.
 Engineering • Planning • Surveying • Environmental
 2035 VISTA PALMWAY, SUITE 100, WEST PALM BEACH, FL 33411
 (561) 909-2320 phone (561) 687-1110 fax
 CERTIFICATE OF ACCREDITATION No. 03 7022
 ORLANDO - PORT ST. LUCE - TAMPA
 www.wantman.com

SKETCH OF SURVEY

LEGEND:

- LT = Licensed Business
- ORR = Official Records Book
- PG = Page
- PR = Plat Book
- DR = Deed Book
- R/W = Right of Way
- C/L = Centerline
- (C) = Centered or Platted Dimension
- (D) = Observed Dimension From Field Measurement
- (A) = Permanent Reference Monument
- Ms. = Monument Number
- = Nail or Pipe
- = Concrete Monument
- = Iron Rod
- = Marble Marker
- = Marble Sighting Stone
- = Light Pole
- = Sighting Slew Valve
- = Wire Pin Box
- = Race Flag Pylon
- = Code TV Service Box
- = Drainage Manhole
- = Electric Service Box
- = Utility Service Cabinet
- = Meter Valve
- = Meter Meter
- = Transformer
- = Manhole
- = Manhole
- = Transformer
- = Concrete
- = Brick Paver
- = Driveway
- = Catch Basin
- = Section Corner



SEE SHEET 3 OF 3

BOUNDARY SURVEY
OCEAN REEF TOWN HALL SITE
 AS PREPARED FOR
OCEAN REEF CLUB INC.

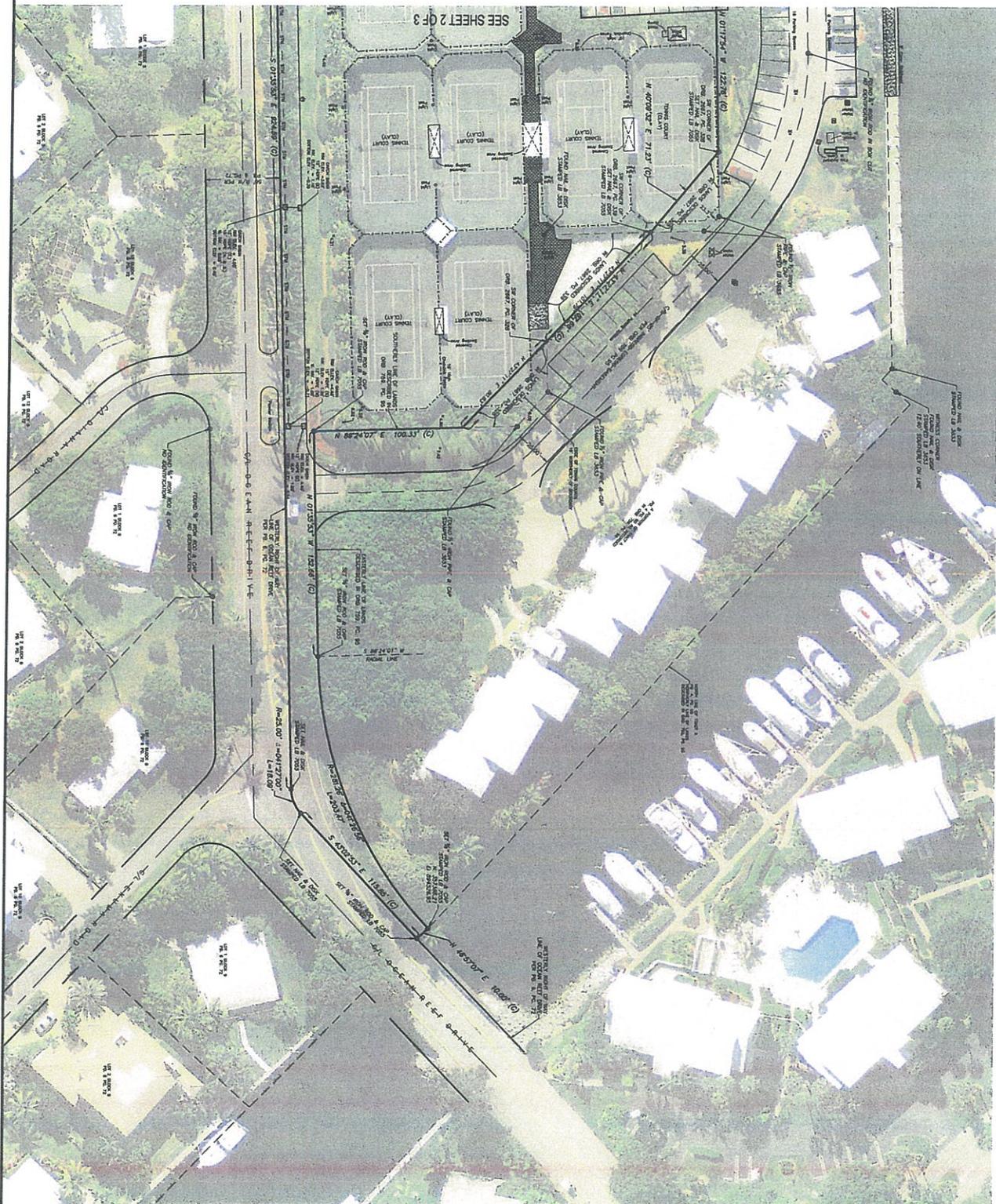
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OFF	RB	339 #1 / 3-13	DATE 03/04/14		
CHK	EM	SHEET 2 OF 3	DWG 14400_BND_TOWNHALL	DATE:	REVISIONS:

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Wantman Group, Inc.
 Engineering • Planning • Surveying • Environmental
 2035 West Palmway, Suite 100, West Palm Beach, FL 33411
 (561) 809-2200 phone (561) 671-1100 fax
 CERTIFICATE OF AUTHORIZATION No. 18 7055
 OR-LAND - P.O. BOX 51 - WUCO - FL 34987
 www.wantmangroup.com

SKETCH OF SURVEY

LEGEND:

- LB = Licensed Business
- ORR = Official Records Book
- PC = Pipe
- PS = Post Stake
- DS = Dred Stake
- R/W = Right of Way
- C/L = Centerline
- (C) = Center of Righted Dimension
- (D) = Field Measurement
- PRM = Permanent Reference Monument
- No. = Number
- = Asst or Pipe
- = Concrete Monument
- = Iron Rod
- = Metal Stake
- = Light Pole
- = Monument Survey Stake
- = Iron Nail Box
- = Back Flow Preventer
- = Cable TV Service Box
- = Drainage Manhole
- = Drainage Structure
- = Electric Service Box
- = Utility Service Cabinet
- = Meter Valve
- = Meter Water
- = Manhole Flange/Well
- = Manhole Flange/Well
- = Transformer
- = Concrete
- = Back Flow
- = Backing
- = Catch Basin
- = Section Corner

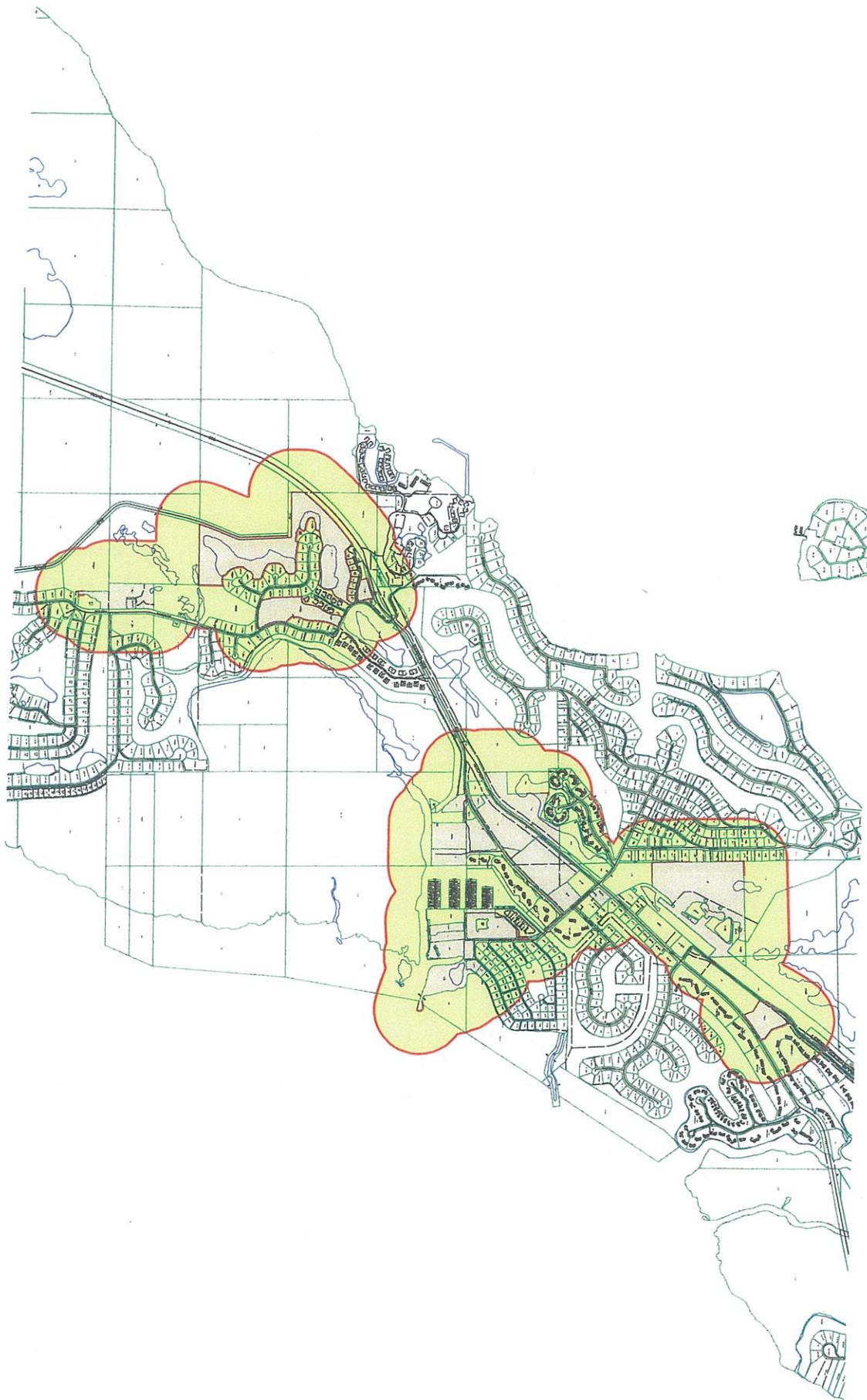


BOUNDARY SURVEY
OCEAN REEF TOWN HALL SITE
 AS PREPARED FOR
OCEAN REEF CLUB INC.

CAD	S:\11411440.00 Ocean Reef Town Hall & Tennis Center\WG Survey\Drawings\AutoCAD\
REF	S:\11411440.00 Ocean Reef Town Hall & Tennis Center\WG Survey\Drawings\AutoCAD\
FLD DS	FB/PC
QFF RB	339 #1 /3-15
CHD EM	DATE 05/10/14
	DWG 14400_BND_TOWNHALL
	SHEET 3 OF 3

DATE:	REVISIONS:	BY:

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 2335 VISTA PARKWAY, SUITE 100, WEST PALM BEACH, FL 33411
 (561) 800-2500 ext. 6811 887-1110 fax
 CERTIFICATE OF AUTHORIZATION No. 1002
 ORLANDO - PORT ST. LUCE - TAMPA
 www.wantmangroup.com



ID	NAME	ADD1	ADD2	CITY	UNIT	STATE	COUNTRY	ZIP
1	570070.00000000 1 EXUMA ROAD LLC	224 Saint Charles Way		York	Ste 290	PA	US	17402
2	569471.00610300 103 MARINA LLC	4600 S Syracuse St		Denver	Floor 11	CO	US	80237
3	81712.00180000 15 MARINA DRIVE UNIT B LLC	C/O RAYMOND J MCROY	124 CHERRY VALLEY AVE	Garden City		NY	US	11530
4	569442.00020200 16 ANCHOR DRIVE INC	31 Ocean Reef Dr		Key Largo	Ste A201	FL	US	33037
5	569480.00032400 2 J'S PROPERTIES LLC	PO Box 1089		Conway		AR	US	72033
6	569471.00620700 2017 WALDEN TENANCY BY THE ENTIRETY TRUST 07/20/2017	C/O WALDEN MICHAEL S	111 Beach Rd	Key Largo		FL	US	33037
7	573670.00100000 21 HARBOR ISLAND DR LLC	AND AMY S CO-TRUSTEES	Unit 207	Boca Raton		FL	US	33429
8	81714.00030000 22 MARINA VILLAGE LLC	C/O SHIMM KENNETH L	PO Box 1831	Chicago		IL	US	60632
9	570580.00000000 22 OCEAN REEF LLC	4141 S Pulaski Rd		Lloyd Harbor		NY	US	11743
10	573630.00190000 24 DISPATCH CREEK LLC	240 Southdown Rd		Livonia	Ste 200C	MI	US	48152
11	573630.00200000 25 DISPATCH LLC	17800 Laurel Park Dr		Durham		NC	US	27705
12	573690.00030000 3 MAHOGANY LLC	4900 W Cornwallis Rd		Miami	Ste 200	FL	US	33131
13	572798.00030000 3 SOUTH HARBOR LP	1390 Brickell Ave		Cochranville		PA	US	19330
14	572797.00350000 30 DILLY TREE LLC	4635 Newark Rd		Alexandria		OH	US	43001
15	569730.00000000 305 CARYSFORT ROAD LLC	5652 Morse Rd		Marblehead		MA	US	01945
16	569650.00000000 309 CARYSFORT ROAD LLC	PO Box 40		Marblehead		MA	US	01945
17	569513.00073000 308 MARLIN LANE LLC	PO Box 40		Key Largo		FL	US	33037
18	573651.00160000 31 HARBOUR GREEN LLC	24 Dockside Ln		Boca Raton	Unit 404	FL	US	33433
19	81711.00180000 34 OCEAN REEF DRIVE CH2C LLC	21218 Saint Andrews Blvd		Boston		MA	US	02116
20	573690.00350000 355 SOUTH HARBOR DEVELOPERS LLC	2 Commonwealth Ave		Key Biscayne	Ste 3A	FL	US	33149
21	573690.00360000 365 SOUTH HARBOR DEVELOPERS LLC	50 W Mashta Dr		Key Biscayne	Ste 3A	FL	US	33149
22	573690.00380000 385 SOUTH HARBOR DEVELOPERS LLC	50 W Mashta Dr		Key Biscayne	Ste 3A	FL	US	33149
23	569780.00000000 402 CARYSFORT LLC	24 Dockside Ln		Key Largo	# 459	FL	US	33037
24	569880.00000000 409 CARYSFORT LLC	801 Elderberry Way		Boca Raton		FL	US	33486
25	571010.00000000 41A LAKESIDE LANE LLC	4520 East West Hwy		Bethesda	Ste 200	MD	US	20814
26	573651.00230000 45 HARBOR GREEN LLC	19840 Foggy Bottom Rd		Bluemont		VA	US	20135
27	81711.00360000 4E CAY HARBOR LLC	4520 East West Hwy		Bethesda	Ste 200	MD	US	20814
28	569513.00060800 530 MASHTA LLC	530 Mashta Dr		Key Biscayne		FL	US	33149
29	569511.00331100 53A ANGELFISH CAY LLC	31 Whitestone Ln		Rochester		NY	US	14618
30	569511.00331400 54B ANCHOR DRIVE LLC	4995 Hammock Lake Dr		Coral Gables		FL	US	33156
31	569511.00331800 56 ANCHOR DRIVE LLC	56 Anchor Dr		Key Largo	Unit B	FL	US	33037
32	569511.00332200 58B ANCHOR LLC	333 International Dr		Buffalo		NY	US	14221
33	569513.00060400 6 CRESCENT DRIVE LLC	PO Box 817		Farmingdale		NY	US	07727
34	569750.00000000 6 PAGES LLC	2250 E Maya Palm Dr		Boca Raton		FL	US	33432
35	81780.00020700 7 BARRACUDA LLC	7 Barracuda Ln		Key Largo		FL	US	33037
36	80020.00020900 9 SOUTH MARINA LLC	240 Crandon Blvd		Key Biscayne		FL	US	33149
37	569480.00040700 9348-1786 QUEBEC INC	2806 RICHELIEU ST		BELOEIL	Ste 250	FL	US	JG2C9
38	569471.00610400 9348-1786 QUEBEC INC	2806 RICHELIEU St		Beloeil		CA	Canada	JG 2C9
39	569850.00000000 AARON INVESTMENT PROPERTIES LLC	C/O AARON BONNIE B	27 Channel Cay	Key Largo		FL	US	33037
40	569442.00021000 ABAGAIL MARTHA LLC	1230 Route 73		Mount Laurel		NJ	US	08054
41	80020.00022300 ABANTO CYNTHIA S DECLARATION OF TRUST 11/21/2014	23 S Island Dr		Key Largo		FL	US	33037

42	570720.00000000	ABBEY STEPHEN P REVOCABLE TRUST 12/20/2013	7270 Cardinal Ln	Chagrin Falls	OH	US	44022
43	569442.00032800	AC47B LLC	31 Ocean Reef Dr	Key Largo	FL	US	33037
44	569511.00330300	ACS6A LLC	C/O GRANDIS LESLIE A 120 E HILLCREST AVE	Richmond	VA	US	23226
45	569513.00071000	AC-71B TRUST 4/25/2003	C/O SUTTON VICKI 520 N CHURCH	Charlotte	NC	US	28202
46	569435.00030000	ACHESON MICHAEL H TRUST 5/7/1973	C/O FIRST STATE TRUST COMPANY TRUSTEE PKWY STE 120	Wilmington	DE	US	19803
47	81713.00090000	ACM REAL ESTATE HOLDING LLC	8360 W Flagler St	Miami	FL	US	33144
48	81711.00330000	ADAMS DAVID B	1395 Lands End Rd	Lantana	FL	US	33462
49	572793.00070400	ADAMS DAVID H REV TRUST 01/26/2015	1150 5th Ave	New York	NY	US	10128
50	569442.00012200	ADAMS JENNIFER ALLOWAY	1 Delavue Rd	Yardley	PA	US	19067
51	569513.00073500	AKHTAR AMER	24 Dockside Ln	Key Largo	FL	US	33037
52	80020.00024700	ALANDT PAUL	2000 Brush St	Detroit	MI	US	48226
53	80020.00028900	ALANDT PAUL	2000 Brush St	Detroit	MI	US	48226
54	80020.00028700	ALANDT PAUL D	2000 Brush St	Detroit	MI	US	48226
55	80020.00025900	ALLEN JOAN H REVOCABLE TRUST 6/25/2009	24 Dockside Ln	Key Largo	FL	US	33037
56	569442.00020500	ALU MEDICAL INC	570 Marquesa Dr	Coral Gables	FL	US	33156
57	572795.00050000	ANCHOR DRIVE HOLDINGS LLC	C/O GREENE AMANDA AND THOMAS 72 GOETZE ST	BAYHEAD	NJ	US	08742
58	572797.00240000	ANDERTON JAMES F	2555 Eagle Island Rd	Boyer City	MI	US	49712
59	569480.00043200	ANGELA ONE BOATING INC	6185 NW 33rd Ave	Boca Raton	FL	US	33496
60	570740.00000000	ANGELFISH 34 LLC	201 NE 1st Ave	Delray Beach	FL	US	33444
61	569442.00021700	ANGELFISH 34 LLC	C/O SLPA INC	Delray Beach	FL	US	33444
62	569442.00021800	ANGELFISH CAY 24B LLC	1346 SW Mulberry Way	Boca Raton	FL	US	33486
63	569442.00021900	ANGELFISH CAY 25 LLC	C/O KENNEDY JAMES	Malvern	PA	US	19355
64	569442.00010700	ANGELFISH CAY 7 LLC	3059 Grand Ave	Miami	FL	US	33133
65	569442.00020400	ANGELFISH EQUITY LLC	648 E Vine Ct	Sturgeon Bay	WI	US	54235
66	569511.00332900	ANGELFISH PROPERTY LLC	62 Anchor Dr	Key Largo	FL	US	33037
67	569511.00333500	ANGELFISH LLC	102 Camilo Ave	Coral Gables	FL	US	33134
68	80020.00030100	ANGLERS CLUB HOMEOWNERS	50 Club House Rd	Key Largo	FL	US	33037
69	80020.00026500	ANGLERS CLUB INC	50 Club House Rd	Key Largo	FL	US	33037
70	80020.00027000	ANGLERS CLUB MEMBERS	50 Club House Rd	Key Largo	FL	US	33037
71	80020.00030000	ANGLERS CLUB MEMBERS ASSOCIATION INC	50 Club House Rd	Key Largo	FL	US	33037
72	569480.00042800	AQUA KAT LLC	101 Zebulon Ct	Rocky Mount	NC	US	27804
73	81712.00280000	ARBIL PROPERTIES INC	C/O GONZALEZ MIGUEL M P O BOX N- 6103 Aqua Ave	NASSAU	BS	US	33141
74	573720.00490000	ARGUELLO LUIS	PO Box 2701	Miami Beach	FL	US	11937
75	572793.00010200	ARKELL ROSALIE	225 Arvida Pkwy	East Hampton	NY	US	33156
76	81712.00190000	ARIMAS JOSE J	52 Marlin Ln	Miami	FL	US	33037
77	569513.00061600	ARONOFF ROMA C	C/O STRUNK PATRICIA LYNN 50 CLUB HOUSE RD	Key Largo	FL	US	33037
78	80020.00023500	ASPEN GROVE CAPITAL MANAGEMENT LLC	LYNN	Key Largo	FL	US	33037
79	81690.00021700	AUSTIN RICHARD T	5 Woodhill Rd	Louisville	KY	US	40207
80	569511.00333600	AVALLONE CAROLINE J	204 Trenton Blvd	Sea Girt	NJ	US	08750
81	570420.00000000	BABCOCK KATHY J TRUST 2/10/1989	PO Box 189	Grandville	MI	US	49468

121	80050.00010000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
122	80070.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
123	80010.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
124	573670.00590100	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
125	80100.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
126	80120.00010000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
127	79990.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
128	81880.00030000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
129	81940.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
130	81800.00010000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
131	81820.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399

132	80740.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealt h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
133	80190.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	Commonwealt h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
134	80030.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	Commonwealt h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
135	80160.00000000	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	Commonwealt h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
136	80200.00030200	BOT T1IF	C/O DEP, DIVISION OF STATE LANDS	Commonwealt h Blvd Mail Station 108 3900	Tallahassee	FL	US	32399
137	569471.00620200	BOTICA MATTHEW	141 Beach Rd	Commonwealt h Blvd Mail Station 108 3900	Key Largo	FL	US	33037
138	569442.00031600	BOTY LLC	5659 Virginia Beach Blvd	Commonwealt h Blvd Mail Station 108 3900	Norfolk	VA	US	23502
139	81711.00200000	BOYD DOUGLAS J	5124 Arrowhead Ln	Commonwealt h Blvd Mail Station 108 3900	Plano	TX	US	75093
140	570710.00000000	BOZEMAN DONALD	9 Boone Trl	Commonwealt h Blvd Mail Station 108 3900	Severna Park	MD	US	21146
141	569480.00041400	BPK PROPERTIES LLC	107 WYNFIELD Ln	Commonwealt h Blvd Mail Station 108 3900	New Hope	PA	US	18938
142	81691.00080000	BRAINARD ROBERT	12 Landings	Commonwealt h Blvd Mail Station 108 3900	Key Largo	FL	US	33037
143	573630.00180000	BRANDT DEBRA ANN 2016 TRUST 4/15/2016	1152 Windslow Cir	Commonwealt h Blvd Mail Station 108 3900	Crystal Lake	IL	US	60014
144	572797.00380400	BREWSTER PRISCILLA	10 Crocus Pl	Commonwealt h Blvd Mail Station 108 3900	Saint Paul	MIN	US	55102
145	573650.00020000	BROEMAN CHARLES W II REVOCABLE TRUST 7/15/2015	30 S Harbor Dr	Commonwealt h Blvd Mail Station 108 3900	Key Largo	FL	US	33037
146	569480.00042400	BROGAN JAMES	7230 S Polo Ridge Dr	Commonwealt h Blvd Mail Station 108 3900	Littleton	CO	US	80128
147	80020.00020300	BROOKS CARROLL C REVOCABLE TRUST 10/31/2007	730 2nd Ave	Commonwealt h Blvd Mail Station 108 3900	Minneapolis	MN	US	55402
148	573650.000400500	BROOKS NEAL PALMER SR DEC OF TRUST 05/27/2009	15720 SW 264th St	Commonwealt h Blvd Mail Station 108 3900	Homestead	FL	US	33031
149	573650.000401400	BROOKS NEAL PALMER SR DEC OF TRUST 05/27/2009	15720 SW 264th St	Commonwealt h Blvd Mail Station 108 3900	Homestead	FL	US	33031
150	81712.00090000	BROUSSARD BRUCE D REV TRUST 01/15/2019	1604 Cherokee Rd	Commonwealt h Blvd Mail Station 108 3900	Louisville	KY	US	40205
151	572797.00230000	BROWN BARBARA E	18 Caloosa Rd	Commonwealt h Blvd Mail Station 108 3900	Key Largo	FL	US	33037
152	81780.00021000	BROWN BARRACUDA LLC	240 NW 76th Dr	Commonwealt h Blvd Mail Station 108 3900	Gainesville	FL	US	32607
153	572793.00041800	BROWN FAMILY REVOCABLE TRUST 3/16/10 AMD 10/30/2018	C/O MAX DOUGLAS BROWN AND MARY	Commonwealt h Blvd Mail Station 108 3900	7575 LAKE ST APT ZA	IL	US	60305
154	81711.00370000	BROWN JANET K REVOCABLE TRUST AGR 3/20/1992	5 Cromwell Ct	Commonwealt h Blvd Mail Station 108 3900	RIVER FOREST	CT	US	06475
155	81712.00040000	BROYHILL MARKHAM HUNT	PO Box 500	Commonwealt h Blvd Mail Station 108 3900	Lenoir	NC	US	28645
156	572797.00170000	BRUNO KIM A REVOCABLE TRUST 9/19/2012	21457 Crestfalls Ct	Commonwealt h Blvd Mail Station 108 3900	Boca Raton	FL	US	33428

157	572797.00360100	BRUNO KIM A REVOCABLE TRUST 9/19/2012	21457 Crestfalls Ct	Boca Raton	FL	US	33428
158	569480.00043100	BUCKTHAL W PAUL	900 S Lincoln St	Amarillo	TX	US	79101
159	80020.00021900	BUERMANN ERIC	19 S Island Dr	Key Largo	FL	US	33037
160	569480.00022800	BURKE SCOTT A	38 Royal Ann Dr	Englewood	CO	US	80111
161	569511.00333300	BURTON DONALD	2720 47th St	Lighthouse Point	FL	US	33064
162	81713.00100000	C AND M REAL PROPERTIES LTD	C/O ENRIQUEZ MARIA C	Coral Gables	FL	US	33146
163	569442.00011400	C V STARR & CO INC	399 Park Ave	New York	NY	US	10022
164	569513.00061100	CAICEDO HERNANDO	19667 Turnberry Way	Miami	FL	US	33180
165	572797.00360200	CALDWELL CHARLES C LIVING TRUST 3/12/2008	3806 NW 46th St	Oklahoma City	OK	US	73112
166	573651.00250000	CALLAWAY LINDA M REVOCABLE TRUST 12/20/2007	4772 S Lake Dr	Boynton Beach	FL	US	33436
167	80020.00024100	CALLSEN CHRISTIAN E	157 HUDSON ST	HUDSON	OH	US	44236
168	572793.00060800	CAMAJI INC	5959 Collins Ave	Miami Beach	FL	US	33140
169	569480.00040400	CAMPO FERNANDO J	5655 SW 81st Ter	Miami	FL	US	33143
170	570680.00000000	CANIDA WILLIAM J	6900 Mira Flores Ave	Coral Gables	FL	US	33143
171	569720.00000000	CAPITAL PROPERTIES OF RALEIGH III LLC	3724 National Dr	Raleigh	NC	US	27612
172	569540.00000000	CARD PROPERTIES LLC	24 Dockside Ln	Key Largo	FL	US	33037
173	81730.00010000	CARD SOUND GOLF CLUB INC	100 Country Club Rd	Key Largo	FL	US	33037
174	81780.00010000	CARD SOUND GOLF CLUB INC	100 Country Club Rd	Key Largo	FL	US	33037
175	81790.00010000	CARD SOUND GOLF CLUB INC	100 Country Club Rd	Key Largo	FL	US	33037
176	81720.00020000	CARD SOUND GOLF CLUB INC	100 Country Club Rd	Key Largo	FL	US	33037
177	81720.00010000	CARD SOUND GOLF CLUB INC	100 Country Club Rd	Key Largo	FL	US	33037
178	80020.00026800	CART SARAH AUSTELL FAMILY TR AMD RESTATED 6/2/2011	24 Dockside Ln	Key Largo	FL	US	33037
179	573651.00170000	CARVILL ANDREW KERR	800 Michigan Ave	Chicago	IL	US	60611
180	569511.00332400	CARYSFORT HOLDINGS LLC	40 Marville Rd	Fayetteville	NY	US	13066
181	572797.00320000	CASA DEZ LLC	835 Belle Meade Island Dr	Miami	FL	US	33138
182	569480.00021400	CASTELLANOS ALEJANDRO	815 Slaters Ln	Alexandria	VA	US	22314
183	81711.00010000	CAY HARBOR IA LLC	19840 Foggy Bottom Rd	Bluemont	VA	US	20135
184	81711.00380000	CAY HARBOR ORC LLC	1420 Rocky Ridge Dr	Roseville	CA	US	95661
185	81711.00210000	CAY HARBOR REEF LLC	13555 Fiji Way	Marina del Rey	CA	US	90292
186	81711.00250000	CCK PROPERTIES LLC	83 Fairfield Rd	Greenwich	CT	US	06830
187	81780.00020500	CENTER MEETING ASSOCIATES LLC	300 Water St	Wilmington	DE	US	19801
188	572797.00380100	CENTURION PROPERTIES INC	11 Partridge Rd	Etna	NH	US	03750
189	569480.00042200	CHAMBERS 33037 LLC	31 Ocean Reef Dr	Key Largo	FL	US	33037
190	569480.00032900	CHAMBERS 33037 LLC	31 OCEAN REEF DR	Key Largo	FL	US	33037
191	572797.00400200	CHAMBERS RICHARD F	31 Ocean Reef Dr	Key Largo	FL	US	33037
192	569471.00620100	CHANEY CAROLYN REVOCABLE TRUST 12/16/2010	141 Beach Rd	Key Largo	FL	US	33037
193	569410.00000000	CHANEY WILLIAM R REVOCABLE TRUST 12/16/2010	40 Island Dr	Key Largo	FL	US	33037
194	81711.00320000	CHANEY WILLIAM R TRUST 12/16/2010	40 Island Dr	Key Largo	FL	US	33037
195	570060.00000000	CHANIN RICHARD B	9104 Broad St	Boca Raton	FL	US	33434
196	572793.00040600	CHARLES ATWOOD COMPANY	136 Michigan Ave	Kalamazoo	MI	US	49007
197	569610.00000000	CHARMING C'S LLC	24 Dockside Ln	Key Largo	FL	US	33037

198	573650.00401300	CHASE-CHAN MARINA INVESTMENTS LLC	2 Caloosa Rd	Key Largo	FL	US	33037
199	569442.00022200	CHIAPPY LUIS G	880 Jeronimo Dr	Coral Gables	FL	US	33146
200	569480.00021100	CHONY OR11 LLC	20900 NE 30th Ave	Miami	FL	US	33180
201	572793.00010900	CILLEY JONATHAN H JR	52 Lakeside Ln	Key Largo	FL	US	33037
202	569480.00030700	CLARK BETTY DAVIS CHILDRENS TRUST 3/4/2016	ONE ST LOUIS ST	MOBILE	AL	US	36602
203	569480.00022100	CLARKE THOMAS	580 Washington St	Wellesley	MA	US	02482
204	569480.00010900	CLARKE THOMAS J	580 Washington St	Wellesley	MA	US	02482
205	569480.00033100	CLC REALTY TR 9/30/1998	C/O LETENDRE GERALD TRUSTEE	Bedford	NH	US	03110
206	569442.00022600	COCHAB INVESTMENTS LLC	748 Jacaranda Cir	Hillsborough	CA	US	94010
207	572793.00011200	COFFMAN TOM M	1725 Lands End Rd	Lantana	FL	US	33462
208	570020.00000000	COHEN JEFFREY H	10 Exuma Rd	Key Largo	FL	US	33037
209	569442.00023200	COIN ACCEPTORS INC	300 Hunter Ave	Saint Louis	MO	US	63124
210	569442.00023000	COIN ACCEPTORS INC	300 Hunter Ave	Saint Louis	MO	US	63124
211	572793.00040300	COLEMAN ELIZABETH N TRUST RESTATED 9/22/14	3 Lakeside Ln	Key Largo	FL	US	33037
212	569511.00333400	COMFER REEF PROPERTY	637 Almeria Ave	Coral Gables	FL	US	33134
213	572792.00010300	COMMOCLEAN LTD	PO BOX FL 617	FLATTS	BERMUDA	BM	FLBX
214	572793.00040700	CONLEY MICHAEL A REVOCABLE TRUST 9/22/2006	9611 Carriage Rd	Kensington	MD	US	20895
215	569480.00040600	CONNELLEE CLARK D JR	3205 Cool Branch Rd	Churchville	MD	US	21028
216	573630.00210000	CONNOR JAYMEL REVOCABLE TRUST 6/26/2014	4045 Church Point Rd	Virginia Beach	VA	US	23455
217	569480.00021300	COOK REVOCABLE TRUST 06/28/1989	C/O COOK CHARLES E AND PAMELA A CO-TRUSTEES DR # C101-194	Key Largo	FL	US	33037
218	573670.00110000	COPELAND DARRYL W	22 Harbor Island Dr	Key Largo	FL	US	33037
219	81711.00230000	COPPEDGE JOHN B REVOCABLE TRUST 2/9/06	1147 Pilot Boy	Wadmalaw Island	SC	US	29487
220	569511.00330900	COSETTE DAN J TRUST 07/24/09	1100 S Marymount Rd	Salina	KS	US	67401
221	572793.00100600	COSTAS BARBARA S REV TR 7/19/2010	24 Dockside Ln	Key Largo	FL	US	33037
222	569810.00000000	COTTAGE 405 LLC	C/O DOLBEN 150 PRESIDENTIAL	Woburn	MA	US	01801
223	80020.00023900	COUZENS JOHN M	378 N Lafayette St	Denver	CO	US	80218
224	572797.00310000	COVINGTON CHRISTOPHER	126 Coles Island Rd	Gloucester	MA	US	01930
225	569513.00072100	COVINGTON CHRISTOPHER H	99 Summer St	Boston	MA	US	02110
226	81714.00080000	COWAN JOSEPH W	10711 Greenspring Ave	Lutherville Timonium	MD	US	21093
227	569442.00011300	COXHEAD STEPHEN F	PO Box 143539	Coral Gables	FL	US	33114
228	572793.00070100	CRISP CARA SUE TRUST 12/12/1985	C/O BECKER FRED TRUSTEE PO BOX 1070	Marion	IL	US	62959
229	572793.00080500	CRISP CAROLE JO TRUST 12/12/1985	C/O BECKER FRED TRUSTEE PO BOX 1070	Marion	IL	US	62959
230	572792.00010000	CRISP CHERYL JEAN TRUST 12/12/1985	C/O BECKER FRED PO BOX 1070	Marion	IL	US	62959
231	572793.00080700	CRISP CYNTHIA ANN TRUST 12/12/1985	C/O BECKER FRED TRUSTEE PO BOX 1070	Marion	IL	US	62959
232	572793.00060100	CRISP REALTY COMPANY	PO Box 1070	Marion	IL	US	62959
233	573651.00290000	CRISP REALTY COMPANY	PO Box 1070	Marion	IL	US	62959
234	81690.00020800	CROSSGROVE PROPERTY FAMILY TRUST	C/O CROSSGROVE ALEC 430 WESTMOUNT	SUDBURY	ONTARIO	CA	P3A 5Z8
235	81780.00021200	CROWN CREDIT COMPANY LTD	40 WASHINGTON St	New Bremen	OH	US	45869

236	573650.00402000	CSMC HOLDINGS INC	1840 W Fawcett Rd	Winter Park	FL		32789
237	80020.00020600	CURRY CHARLOTTE T	6 S Marina Dr	Key Largo	FL		33037
238	81780.00020200	D AND B ECUYER REALTY	2 Barracuda Ln	Key Largo	FL		33037
239	569513.00072700	DABNEY FREDERICK	2 Westham Pkwy	Henrico	VA		23229
240	569442.00031800	DAGNY 42B LLC	411 N New River Dr	Fort Lauderdale	FL	Apt 102	33301
241	81711.00170000	DALE JERRY M	6455 SW 122nd Ave	Miami	FL		33183
242	569511.00030700	DALIA PHYLLIS E	24 Dockside Ln	Key Largo	FL		33037
243	569480.00040500	DARNALL FAMILY LLC	16 Hazel St	Key Largo	FL		33037
244	572793.00030700	DAVIDE ANTHONY	8841 105th St	Miami	FL		33176
245	573720.00510000	DAVIDSON THOMAS N JR	14822 MISSISSAUGA RD	CHELTENHAM	ON		L7C 1WS
246	81712.00130000	DBI PROPERTIES/ORC LLC	3700 Cahaba Beach Rd	Birmingham	AL		35242
247	569480.00020400	DE QUESADA ALEJANDRO	8408 Benjamin Rd	Tampa	FL		33634
248	81690.00020600	DE SOUSA EDGAR K	PO Box 687	Rumson	NJ		07760
249	572793.00040900	DE VILLIERS DAVID H JR	42 Woodward Ln	Lutherville	MD		21093
250	572793.00080100	DECARDENAS JORGE	5125 Donatello St	Coral Gables	FL		33146
251	572793.00100100	DEL VECCHIO CHARLES F	1330 NE 103rd St	Miami Shores	FL		33138
252	81712.00160000	DELLIGATTI MICHAEL J	118 Riding Trail Ln	Pittsburgh	PA		15215
253	573651.00210000	DEMCHAK WILLIAM	5564 Aylesboro Ave	Pittsburgh	PA		15217
254	569480.00020800	DEMCHAK WILLIAM S	C/O PNC FINANCIAL	Pittsburgh	PA		15222
255	81711.00160000	DEMNERLY FRANK R	216 E Oak Ave	Moorestown	NJ		08057
256	80020.00020100	DENISON KENELM W RESIDENCE TRUST 1	C/O DENISON VICKI TRUSTEE	Key Largo	FL		33037
257	80020.00022100	DENNIS QUALIFIED PERSONAL RESIDENCE TRUST	1 S MARINA DR	Key Largo	FL		33037
258	572793.00070600	6/24/2008	C/O DENNIS ROBERT F AND 21 Ferry	Atlanta	GA		30305
259	569441.00640000	DEPASCALE EDWARD J	Landing NW Ln	Mendham	NJ		07945
260	81712.00060000	DEVAN ENTERPRISES CORPORATION	27 Pembroke Dr	Tampa	FL		33634
261	80020.00021100	DEWEY CHRISTOPHER C TRUST 5/3/2018	PO BOX 75069 RPO	BOLTON	ONTARIO		L7E 1HG
262	573651.00050000	DEWEY MANAGEMENT TR 2/5/2003	BOLTON SOUTH	Key Largo	FL		33037
263	80020.00026900	DICKE JAMES F II	11 S Marina Dr	Key Largo	FL		33037
264	572797.00110000	D'IGNAZIO MICHAEL OWSLEY	9 Harbour Green Dr	New Bremen	OH		45869
265	81693.00100000	DIXON KENNETH O	40 S Washington St	Oxford	PA		19363
266	81714.00070000	DOCKSIDE 24 LLC	560 Bethel Rd	Key Largo	FL		33037
267	570540.00000000	DOOLAN TODD H	24 Dockside Ln	Trent Woods	NC		28562
268	569480.00010800	DOROTHEA KAREN LISENBY LLC	4905 Trent Woods Dr	South Freeport	ME		04078
269	569480.00010700	DOROTHEA KAREN LISENBY LLC	PO Box 411	Green Cove Springs	FL	# 7194	32043
270	80020.00021300	DORSEY JEFFREY A	411 Walnut St	Green Cove Springs	FL	# 7194	32043
271	79980.00010000	DOT/ST.OF FL	411 Walnut St	Key Largo	FL		33037
272	573630.00010000	DOW GIL LLC	13 S Marina Dr	TALLAHASSEE	FL		32399
273	569480.00030900	DS-9 LLC	(STATE OF FLORIDA)	Henrico	VA		23238
274	570100.00000000	DUFF EDWARD F	607 S Gaskins Rd	Miami	FL		33137
275	80020.00029200	DUFF THOMAS	C/O FAIRHOLME	Key Largo	FL		33037
276	573690.00037000	DUKE GROUP	5 Ekuma Rd	Key Largo	FL		33037
			92 E Lake Rd	Philadelphia	PA		19130
			C/O DAY AND ZIMMERMANN				
			1500 SPRING GARDEN ST				

277	81690.00021900	DURKIN PATRICIA A	24A Fishermans	Key Largo	FL	US	33037
278	573651.00330000	DWIGHT HEATHER B REVOCABLE TRUST 11/17/2006	700 Crosswind Rd	Charlotte	VT	US	05445
279	569513.00060700	EAGLE KATHLEEN M REVOCABLE INTERVIVOS TR 9/20/2007	44 Marlin Ln	Key Largo	FL	US	33037
280	570790.00000000	EAGLES BEST LLC	53 State St NIXON	Boston	MA	US	02109
281	569442.00011500	EASA LAURENCE J	PEABODY PL 1414 22nd St	Washington	DC	US	20037
282	569480.00011800	EBER STEVEN & BEATRIZ LIVING TRUST 6/28/2017	9365 BALADA ST	CORAL GABLES	FL	US	33156
283	573630.00170000	ECUYER ROBERT EDWARD	22 Dispatch Creek Ct	Key Largo	FL	US	33037
284	569660.00000000	EFD INVESTMENT LLC	2193 Jones Rd	Winchester	VA	US	22602
285	572710.00000000	EFD INVESTMENT LLC	2193 Jones Rd	Winchester	VA	US	22602
286	573651.00030000	EGAN CYNTHIA LEE	24 Dockside Ln	Key Largo	FL	US	33037
287	569513.00071500	EGB PARTNERS LP	6141 SUNSET DR STE 100	South Miami	FL	US	33143
288	573630.00230000	EGB PARTNERS LP	6141 Sunset Dr	South Miami	FL	US	33143
289	573720.00540000	EISENBREY JOHN R	1 Bassett Ave	Rehoboth Beach	DE	US	19971
290	569500.00010800	ELAINE J WOLD LLC	C/O BAYVIEW LEASING CORPORATION	Boca Raton	FL	US	33432
291	569500.00010900	ELAINE J WOLD LLC	C/O BAYVIEW LEASING CORPORATION	Boca Raton	FL	US	33432
292	569480.00042700	ELENBAAS NANETTE LIV TR 10/27/1998	1515 S FEDERAL HWY	Key Largo	FL	US	33037
293	569480.00010100	ELENBAAS NANETTE S LIVING TRUST 10/27/1998	1515 S FEDERAL HWY	Key Largo	FL	US	33037
294	569500.00010600	ELIOT HOTEL ASSOCIATES LIMITED PARTNERSHIP	24 Dockside Ln	Key Largo	FL	US	33037
295	81690.00022700	ELLIOTT MARY JO	76 Hyde Ave	Newton	MA	US	02458
296	572792.00010200	ELLIS CHRISTOPHER	925 Harvest Dr	Blue Bell	PA	US	19422
297	570620.00000000	ELLIS EDWARD H III	900 Bestgate Rd	Annapolis	MD	US	21401
298	569511.00333100	ELSON STEPHEN	14 Country Club Rd	Key Largo	FL	US	33037
299	81711.00080000	ENK WILLIAM A	7260 116th St	Pinecrest	FL	US	33156
300	573650.00402700	ENTENMANN CHARLES E	PO Box 24203	Blue Springs	MO	US	64013
301	81690.00020500	ERNST CHARLES A	PO Box 612	Brightwaters	NY	US	11718
302	572798.00020000	ERSEK KRISTINA B	206 Avon Rd	Haverford	PA	US	19041
303	569710.00000000	ETHINGTON PATRICIA B QUAL PER RES TR 11/15/2011	1010 Revolutionary Dr 1850 Midland Trl	West Chester	PA	US	19382
304	572793.00150000	FAIRWAY LAKES ASSOCIATION INC	C/O MARQUIS ASSOCIATION	Shelbyville	KY	US	40065
305	572793.00130000	FAIRWAY LAKES ASSOCIATION INC	Dr Ste C303 C/O CSI MANAGEMENT SERVICES	Key Largo	FL	US	33037
306	572793.00140000	FAIRWAY LAKES ASSOCIATION INC	Dr Ste C303 C/O MARQUIS ASSOCIATION	Key Largo	FL	US	33037
307	572791.00150000	FAIRWAY LAKES ASSOCIATION INC	Dr Ste C303 C/O MARQUIS ASSOCIATION	Key Largo	FL	US	33037

308	572793.00120000	FAIRWAY LAKES ASSOCIATION INC	C/O MARQUIS ASSOCIATION	31 Ocean Reef Dr Ste C303	Key Largo	FL	US	33037
309	571040.00000000	FAIRWAY PROPERTY MANAGERS INC	24 Dockside Ln	Key Largo	FL	US	33037	
310	569442.00023600	FAIRWAY PROPERTY MANAGERS INC	24 Dockside Ln	Key Largo	FL	US	33037	
311	573651.00340000	FAIST NANCY SUE SELF DECLARATION TRUST	31 Ocean Reef Dr	Key Largo	FL	US	33037	
312	569480.00043300	FAJT MIROSLAV M TRUSTEE UNDER AGREEMENT	24 Dockside Ln	Key Largo	FL	US	33037	
313	569480.00042600	FAJT MIROSLAV M TRUSTEE UNDER AGREEMENT	24 Dockside Ln	Key Largo	FL	US	33037	
314	570160.00000000	FALK ROBERT I	11 Exuma Rd	Key Largo	FL	US	33037	
315	570140.00000000	FALK ROBERT I	11 Exuma Rd	Key Largo	FL	US	33037	
316	569480.00010600	FARBOLIN GREG	200 Cessna Blvd	Port Orange	FL	US	32128	
317	81693.00150000	FARERI-WIEBEL MICHELLE	16 Fox Run Rd	Sparta	NJ	US	07871	
318	572793.00041200	FASH DOUGLAS	1134 Marble Way	Boca Raton	FL	US	33432	
319	572793.00010300	FASSBINDER JEFFREY	1633 Stardance Cir	Longmont	CO	US	80504	
320	80020.00022400	FAUBER MARGARET A RESTATEMENT TRUST	24 Dockside Ln	Key Largo	FL	US	33037	
321	569442.00021200	FAY MICHAEL T	4900 SW 74th Ter	Miami	FL	US	33143	
322	81711.00110000	FEHLHABER REAL ESTATE FAMILY PARTNERSHIP 1	C/O TRION CENTER	Fort Lauderdale	FL	US	33309	
323	81711.00030000	FERGER JANE D	70 Pumpkin Cay Rd	Key Largo	FL	US	33037	
324	81690.00021800	FERNANDEZ FERNANDO LUIS TRUST AGREEMENT	540 Tivoli Ave	Coral Gables	FL	US	33143	
325	569480.00031600	FETNER HAROLD A	C/O FETNER MANAGEMENT	New York	NY	US	10017	
326	80020.00023100	FIDELITONE INC	1260 Karl Ct	Wauconda	IL	US	60084	
327	80020.00021200	FIDELITONE INC	1260 Karl Ct	Wauconda	IL	US	60084	
328	570400.00000000	FINDLAY DAVID	26 Skyridge Rd	Greenwich	CT	US	06831	
329	569480.00042300	FINK KYLE	265 Elk Spring Trl	Edwards	CO	US	81632	
330	569480.00032700	FINN NEIL A AND CELIA LIVING TRUST 8/28/1987	2800 Island Blvd	Aventura	FL	US	33160	
331	569513.00073300	FISCHER MARLENE K	6417 Lybrook Dr	Bethesda	MD	US	20817	
332	80020.00026300	FISHER CHRISTINA S QPRT	PO Box 472	Lake Forest	IL	US	60045	
333	80020.00025100	FISHER RUSSELL W TRUSTEE	PO Box 472	Lake Forest	IL	US	60045	
334	570780.00000000	FL 388 LLC	4915 Pine Tree Dr	Boynton Beach	FL	US	33436	
335	572793.00010400	FL468 LLC	345 Eisenhower Pkwy	Livingston	NJ	US	07039	
336	572793.00090300	FIDC PROPERTIES LLC	38A Lakeside Ln	Key Largo	FL	US	33037	
337	81712.00210000	FLEET SAMUEL H	1 Brookfield Ct	East Greenwich	RI	US	02818	
338	569442.00031700	FLEITAS ROBERTO F	908 Paradiso Ave	Coral Gables	FL	US	33146	
339	80020.00022000	FLIPPIN FRED L	24 Dockside Ln	Key Largo	FL	US	33037	
340	80200.00020000	FLORIDA KEYS AQUEDUCT	1100 Kennedy Dr	Key West	FL	US	33040	
341	81720.00040000	FLORIDA KEYS AQUEDUCT AUTHORITY	1100 Kennedy Dr	Key West	FL	US	33040	
342	79980.00010100	FLORIDA KEYS ELECTRIC COOPERATIVE ASSOCIATION	91630 OVERSEAS Hwy	Tavernier	FL	US	33070	
343	569442.00023400	FLOYD JOHN F	24 Dockside Ln	Key Largo	FL	US	33037	

344	573651.00200000	FMT LLC	1527 Scenery Ridge Dr	Pittsburgh	PA		US	15241
345	569442.00020300	FOLEY STEPHEN X JR	485 Holland Ct	Lake Forest	IL		US	60045
346	569442.00020800	FONVILLE BRIAN	41521 Belvidere St	Harrison Township	MI		US	48045
347	569480.00043000	FOSTER JAMES B REV TRUST 05/12/2008	PO Box 306	Charlotte	VT		US	05445
348	572797.00380600	FOSTER MARY MCCOLLUM REV TRUST 7/1/2008	6 Torchwood Ln	Key Largo	FL		US	33037
349	572793.00041500	FOSTER PHYLLIS S REVOCABLE TRUST 06/13/1989	31 Ocean Reef Dr	Key Largo	FL	# C101-197	US	33037
350	572793.00100500	FOVEL CAROLYN W TRUST 12/27/2010	900 Adams Crossing	Cincinnati	OH	Ste 10600	US	45202
351	569480.00031400	FRANCESCA'S LLC	1 Osprey Ln	Key Largo	FL		US	33037
352	572797.00400600	FRAZIER DIANA H TRUST OF JUNE 2000	31 Ocean Reef Dr	Key Largo	FL	Ste C101	US	33037
353	81693.00070000	FRESHLEY FRED R	340 Atterbury Blvd	Hudson	OH		US	44236
354	569415.00030000	FRIEDMAN EDWINA BAGWELL	321 Starlight	Natchitoches	LA		US	71457
355	569480.00041600	FS16 LLC	35 Ocean Reef Dr	Key Largo	FL	Ste 145	US	33037
356	572792.00060300	FUISZ ROBERT E	180 Green Pond Rd	Bethlehem	PA		US	18020
357	573670.00020000	FURNARI GERALD D	948 Krome Ave	Homestead	FL		US	33030
358	81691.00020000	FUTCH CLARKE	465 Round Hill Rd	Greenwich	CT		US	06831
359	81693.00080000	GABRIEL RICHARD P	8 Hanson Rd	Darien	CT		US	06820
360	81690.00020300	GALLARDO JOHN PAUL	1025 Alhambra Cir	Coral Gables	FL		US	33134
361	81693.00160000	GARCES ROBERT D	388 Moorings	Key Largo	FL		US	33037
362	81690.00020400	GARCIA ANDREW J JR	7766 Apple Tree Cir	Orlando	FL		US	32819
363	569480.00022000	GB DOCK LLC	7 Perky Rd	Key Largo	FL		US	33037
364	573651.00220000	GEALUX SOUTH LLC	148 Stallings Island St	Bluffton	SC		US	29910
365	572797.00340000	GELLER ALAN	31 Ocean Reef Dr	Key Largo	FL		US	33037
366	569442.00010100	GERRARD MICHAEL L REV LIV TR 3/13/2019	4931 SW 75th Ln	Key Largo	FL	# C101-110	US	33037
367	573650.000400600	GERSHON ROGER M	4 Depeyster Ave	Miami	FL		US	33143
368	572793.00090600	GIES BRIAN	1709 Granada Blvd	Tenafly	NJ		US	07670
369	572797.00120000	GIFFORD JOHN F	86 Colbourne	Coral Gables	FL		US	33134
370	569471.00610100	GILBERT MICKEY	141 Beach Rd	Brookline	MA		US	02445
371	572793.00060200	GLIDDEN ROBERT D	5707 Glen iris Dr	Key Largo	FL	101	US	33037
372	569442.00031100	GLORVIGEN INVESTMENTS GROUP LLC	200 1st Ave	Clarence Center	NY		US	14032
373	569513.00070300	GOLDBERG MARLA	31 Wayne Ave	Grand Rapids	MI		US	55744
374	569480.00030600	GOLDSMITH HERMAN	320 Dolphin Dr	Atlantic Beach	NY		US	11509
375	569442.00020600	GOLDSTEIN JEFFREY	64 Glenwood Rd	Woodmere	NY		US	11598
376	570890.00000000	GOLF DREAMS REALTY LLC	1880 Abbotsford Green Dr	Colts Neck	NJ		US	07722
377	572797.20380100	GOLF MANOR I CONDOMINIUM ASSOCIATION INC	9 Torchwood Ln	Powell	OH		US	43065
378	572793.00041700	GOOCH BARBARA L REVOCABLE TRUST 10/1/2003	24 Dockside Ln	Key Largo	FL	PMB 23	US	33037
379	81712.00250000	GOOD ANSWER II LLC	24 Dockside Ln	Key Largo	FL		US	33037
380	81713.00030000	GOOD ANSWER II LLC	24 Dockside Ln	Key Largo	FL		US	33037
381	569480.00033000	GOODMAN H GREG	3314 Huffman Mill	Lexington	KY	Unit 1	US	40511
382	80020.00020500	GORDY ELIZABETH S TRUST 4/17/2012	5 S Marina Dr	Key Largo	FL		US	33037
383	569511.00330600	GOW FAMILY ORC TRUST 5/14/13	C/O GOW SUSAN TRUSTEE	TORONTO ON	ON	103 CORTLEIGH BLVD	CA	M4R 1K7
384	81711.00070000	GPFP OCEAN REEF LLC	PO Box 460	Ocean City	MD		US	21843

385	572793.00100800	GRAEBE KURTIS F REVOCABLE TRUST 3/1/2001	309 Lake Lorraine Dr	Swansea	IL	US	62226
386	571270.00000000	GRASSO RICHARD	PO Box 385	Locust Valley	NY	US	11560
387	572793.00030200	GRAYBILL JAN L	3526 Rome Ct	Orefield	PA	US	18069
388	81693.00040000	GREENBERG FISHERMAN'S COVE HOLDINGS LLC	950 Park Ave	New York	NY	US	10028
389	572793.00070200	GREENBERG PHILIP R	10048 125th St	Miami	FL	US	33176
390	569480.00031000	GREENSHIELDS SIMON TW AND JULENE M FAM TR 07/29/00	246 Whipstick Rd	Wilton	CT	US	06897
391	81780.00020800	GROOM SUSAN REV TR 6/19/2006	4 Cache Cay Dr	Vero Beach	FL	US	32963
392	569442.00030400	GROSS ANTHONY J	1 Tyler Ct	Medford	NJ	US	08055
393	572797.00380800	GROSS JOAN DIANE REVOCABLE TRUST 5/18/1995	3000 Island Blvd	Aventura	FL	US	33160
394	573651.00260000	GROTE THOMAS JR	8105 Kroger Farm Rd	Cincinnati	OH	US	45243
395	569511.00331000	GUERRIERI DANIEL	52B Anchor Dr	Key Largo	FL	US	33037
396	80020.00024300	GUMAER LUCIA G	PO Box 30478	Sea Island	GA	US	31561
397	81711.00150000	GUTIERREZ RICARDO	4209 Santa Maria St	Coral Gables	FL	US	33146
398	569690.00000000	GUTIERREZ TERESA MARIA	21 Tahiti Beach Island Rd	Miami	FL	US	33143
399	81690.00022200	GUYTON BRADLEY C	217 Wiltshire Ln	Severna Park	MD	US	21146
400	572797.00381000	G'VAN INVESTMENTS INC	10900 NW 21st St	Miami	FL	US	33172
401	81712.00080000	GW REALTY ASSOCIATES II LP	6216 Sheaff Ln	Fort Washington	PA	US	19034
402	571060.00000000	HACKBARTH PM 2008 TR 1/13/2009	30 Bay Ridges Rd	Key Largo	FL	US	33037
403	569480.00040200	HACKMAN JOHN E	4901 Bay Cir	Orange Beach	AL	US	36561
404	569513.00071200	HALPRYN DAVID G	1025 Kane Concourse	Bay Harbor Islands	FL	US	33154
405	569511.00330100	HAMILTON MARTINA REVOCABLE TRUST AGREEMENT 5/4/11	48 Anchor Dr	Key Largo	FL	US	33037
406	572797.00250000	HANNOCH JAMES C 2019 TRUST 10/16/2019	24 Dockside Ln	Key Largo	FL	US	33037
407	571300.00000000	HARBOR DOG LLC	12 Piedmont	Atlanta	GA	US	30305
408	573651.00280000	HARBOR GREEN REALTY LLC	1525 S Ocean Dr	Fort Lauderdale	FL	US	33316
409	573651.00070000	HARCO DISTRIBUTORS INC	1328 Old Post Rd	Havre de Grace	MD	US	21078
410	572797.00400300	HARDWOOD HAMMOCK 3 LLC	31 Angelfish Cay Dr	Key Largo	FL	US	33037
411	571030.00000000	HART CHRISTOPHER K	67 Ledgeways	Wellesley	MA	US	02481
412	569480.00010500	HARTER REAL ESTATE INVESTMENT GROUP LLC	600 N Washington St	Naperville	IL	US	60563
413	573650.00401000	HARTER REAL ESTATE INVESTMENT GROUP LLC	600 N Washington St	Naperville	IL	US	60563
414	572797.00290000	HARTMANN DEBORAH A	24 Dilly Tree	Key Largo	FL	US	33037
415	570120.00000000	HARTZ CHARLES M	7 Exuma Rd	Key Largo	FL	US	33037
416	570700.00000000	HASTINGS FRANK CURTIS	3636 Lake Mendota Dr	Madison	WI	US	53705
417	569480.00030300	HAUGLAND WILLIAM	11 COMMERCIAL St	Plainview	NY	US	11803
418	572793.00070300	HAYWARD WALLACE M	22 Lakeside Ln	Key Largo	FL	US	33037
419	570030.00000000	HAZARD LUCY P	102 Valley Rd	New Canaan	CT	US	06840
420	573651.00090000	HEALEY ANN S TRUST AG 3/2/2011	17 Harbour Green Dr	Key Largo	FL	US	33037
421	572793.00010800	HEILPERN PERSONAL RESIDENCE TRUST 9/20/2007	161 Wampum Ln	West Islip	NY	US	11795
422	570920.00000000	HEIM JANICE L REV TRUST 12/29/2005	21 Rotary Dr	Summit	NJ	US	07901

423	573651.00240000	HELKATYK TRUST	C/O BRUNO NANCY L TRUSTEE 4301 N Ocean Blvd Ph 4	Boca Raton	FL		US	33431
424	569471.00620500	HEMPLEMAN PHILIP	111 Beach Rd	Key Largo	FL	Unit 207	US	33037
425	569442.00030800	HENDRICKS JAMES W	31 Jean La Fitte Dr	Key Largo	FL		US	33037
426	569442.00011900	HENN BARBARA J	20 Card Sound Rd	Key Largo	FL		US	33037
427	569442.00012100	HENN BARBARA J	20 Card Sound Rd	Key Largo	FL		US	33037
428	572793.00080400	HENNEBERRY WILLIAM	30 Lakeside Ln	Key Largo	FL	Unit B	US	33037
429	570810.00000000	HENRICH HAROLD R JR	24 Dockside Ln	Key Largo	FL		US	33037
430	569513.00070900	HENRIQUEZ MARIO E	777 Brickell Ave	Miami	FL	Ste 1010 # 414	US	33131
431	569570.00000000	HERSON GERALD	24 Dockside Ln	Key Largo	FL		US	33037
432	569480.00023100	HERSON GERALD	15525 Frederick Rd	Derwood	MD		US	20855
433	569480.00023200	HERSON JERRY	15525 Frederick Rd	Derwood	MD		US	20855
434	569511.00332100	HERTZMAN JOSEPH H	4321 Barbour Ln	Louisville	KY		US	40241
435	81690.00021000	HEWETT LYNN H	616 BRUSH GROVE	AURORA	ONTARIO		CA	LAG 0L4
436	569442.00031900	HIGH TIDE RE I LLC	7901 4th St	St Petersburg	FL	Ste 300	US	33702
437	572792.00060400	HIGHER GROUND HOLDINGS OF FL LLC	4650 Johnston Pkwy	Cleveland	OH		US	44128
438	572793.00060500	HILBERG HENRY S JR	6934 Miami Ave	Cincinnati	OH	Ste 22	US	45243
439	569480.00022600	HILLMAN DAVID H	5700 Fern Hill Run	McLean	VA	205	US	22101
440	81711.00350000	HILLYER CURTIS	24 Dockside Ln	Key Largo	FL		US	33037
441	80020.00029500	HILTON JOHN A	60 Edgewater Dr	Coral Gables	FL	Apt 7A	US	33133
442	572793.00060300	HOFF MARY BARBARA REVOCABLE TRUST 7/14/1989	24 Dockside Ln	Key Largo	FL		US	33037
443	572797.00100000	HOLBROOK RANDY	1523 Berwyn Rd	La Fayette	NY		US	13084
444	573670.00030000	HOLBROOK RANDY J SR	1519 Berwyn Rd	La Fayette	NY		US	13084
445	573651.00310000	HOLL JOSEPH A	6 Harbour Green Dr	Key Largo	FL		US	33037
446	573651.00180000	HOME FURNISHING CENTER LLC	6431 Nonwood St	Mission Hills	KS		US	66208
447	81693.00140000	HOOD DONALD C	450 Riverside Dr	New York	NY		US	10027
448	573650.00402400	HOOG ROBERT C	18540 Fishing Hawk Ln	Loxahatchee	FL		US	33470
449	569480.00041300	HOPKINS CARTER W REV TRUST 9/29/1965	PO Box 644396	Vero Beach	FL		US	32964
450	572797.00220000	HOPKINS SUSAN R REV TRUST AGR 4/3/1997	PO Box 644396	Vero Beach	FL		US	32964
451	569500.00009600	HORNE CRESFUL WILLIAM JR	24 Dockside Ln	Key Largo	FL		US	33037
452	569480.00040300	HOYT BRADLEY A	1907 Wayzata Blvd	Wayzata	MN	Ste 250	US	55391
453	569480.00022400	HUBBARD ROBERT	1175 Quinlan Ave	Lakeland	MN		US	55043
454	573650.00400100	HUBBARD STANLEY E REVOCABLE TRUST 5/17/2006	4909 Guadalupe Trl	Albuquerque	NM		US	87107
455	569740.00000000	HUBBARD STANLEY E REVOCABLE TRUST 5/17/2006	4909 Guadalupe Trl	Albuquerque	NM		US	87107
456	572795.00040000	HUBBARD VIRGINIA ANNE	303 Woodlawn Ave	Saint Paul	MN		US	55105
457	569513.00072300	HUBBELL JUDITH A TRUST 3/11995	1250 Medinah Dr	Itasca	IL		US	60143
458	80020.00025200	HUDSON CAROL K TRUST AMD 10/14/03	50 Club House Rd	Key Largo	FL		US	33037
459	81711.00240000	HUEY REVOCABLE TRUST	4000 Miramar Ave	Dallas	TX		US	75205
460	573651.00150000	HUGE-JENSEN PER	526 Queen St	Alexandria	VA		US	22314
461	80020.00026200	HUGHES LIVING TRUST 5/11/2006	563 2nd St	Sonoma	CA		US	95476
462	572793.00040400	HUMMEL REV TR AGR 2/15/2007	C/O HUMMEL ROBERT P TRUSTEE	Key Largo	FL	24 Dockside Ln	US	33037
463	80020.00022500	HUMMINGBIRD SOUTH LLC	24 Dockside Ln	Key Largo	FL		US	33037

464	571250.00000000	HUNTERSVILLE ROAD INVESTORS LP	300 Winding Way	Batesville	IN	Ste 200	US	47006
465	569442.00023100	HUNTLEY & BURGESS LLC	7145 Bridlewood Dr	Painesville	OH		US	44077
466	573651.00080000	ISHAM JOHN	4523 Wayland Dr	Nashville	TN		US	37215
467	571240.00000000	IZZO ANTHONY J	4853 Cordell Ave	Bethesda	MD	Ph 6	US	20814
468	569480.00010200	J R AND R L L C	8245 Oakwood Ave	Munster	IN		US	46321
469	81690.00020900	JAAG INVESTMENTS INC	23 LESMILL RD STE 301	TORONTO	ON		CA	M383P6
470	81711.00270000	JACOBS JOHN W	2640 E Mel Currie Rd	Bloomington	IN		US	47408
471	569513.00060100	JAG INVESTMENTS LLC	9385 Gallardo St	Coral Gables	FL		US	33156
472	572793.00030600	JARED TODD W REVOCABLE TRUST AMENDED AND RESTATE 6/6/2007	811 Cavalier Dr	Virginia Beach	VA		US	23451
473	573650.00400200	JD-SD INVESTMENTS LTD	4201 Churchill Downs Dr	Austin	TX		US	78746
474	569480.00040100	JEFFREYS BRUCE W	24 Dockside Ln	Key Largo	FL		US	33037
475	569513.00072800	JERKOVICH JOAN MYERS	539 Upper Mill Heights Dr	Salina	KS		US	67401
476	80020.00028500	JJ KLAC 85 ASSOCIATES LLC	40 WASHINGTON St	New Bremen	OH		US	45869
477	572793.00030800	JOHASKY AMELIA B REV LIVING TRUST 06/02/2014	2817 NE 24th Pl	Fort Lauderdale	FL		US	33305
478	569471.00610500	JOHNS MARGARET M	8044 Montgomery Rd	Cincinnati	OH	Ste 480	US	45236
479	569471.00630400	JOHNSON DAVID	1512 Larimer St	Denver	CO	Ste 100	US	80202
480	570730.00000000	JOHNSON DOREEN MCCONNELL TR AGR 4/28/1997	1 Country Club Rd	Key Largo	FL		US	33037
481	80020.00024500	JOHNSON FRANCESCA A REVOCABLE TRUST 10/5/2006	2024 Sanctuary Ter	Key Largo	FL		US	33037
482	570900.00000000	JOHNSON PETER A	1 Bay Ave	Oyster Bay	NY		US	11771
483	573650.00402100	JOHNSON RICHELLE R REV TRUST 04/07/2016	27 Cinnamon Bark Ln	Key Largo	FL		US	33037
484	569480.00012400	JOHNSTON FBO WILLIAM D TR 6/3/1988	211 S Rose St	Kalamazoo	MI		US	49007
485	569500.00010100	JOHNSTON LAWRENCE R	1775 W State St	Boise	ID	Unit 362	US	83702
486	569500.00010200	JOHNSTON LAWRENCE R	1775 W State St	Boise	ID	Unit 362	US	83702
487	572221.00570000	JOHNSTON LINDA E 2001 TRUST 2/22/2001	28 HALFWAY Rd	Key Largo	FL		US	33037
488	569480.00011700	JOHNSTON WILLIAM D	211 S Rose St	Kalamazoo	MI		US	49007
489	81710.00010000	JOHNSTON WILLIAM D 1988 TR UAD 06/03/88	211 S Rose St	Kalamazoo	MI		US	49007
490	569480.00012200	JOHNSTON WILLIAM D 1988 TRUST 6/3/1988	211 S Rose St	Kalamazoo	MI		US	49007
491	569442.00010900	JOSEPH BRADLEY K REV TR 6/9/2014	8 Anchor Dr	Kalamazoo	MI		US	49007
492	569442.00010500	JOSEPH RICHARD S	2887 Alpine Ter	Key Largo	FL	Unit A	US	33037
493	569480.00040900	JOSEPH RONALD G	1116 Leafree Ct	Cincinnati	OH		US	45208
494	569480.00031500	JOSEPH RONALD G	1116 Leafree Ct	Cincinnati	OH		US	45208
495	569480.00010300	JR AND R LLC	1425 Augusta Way	Dyer	OH		US	45208
496	572793.00070500	JUDY MARIA OLGA REV TR AGREE 08/14/1974	24 Lakeside Ln	Key Largo	FL	Unit A	US	46311
497	81712.00150000	KACHMARK GEORGE S	6526 Saint Partin Pl	Belle Isle	FL		US	33037
498	569511.00330400	KAHN FAMILY TRUST 10/21/2013	C/O KAHN JOSHUA DELANSEN AND ELAZABETH PIRTLE	Hillsborough	CA	1048 Whitwell Rd	US	94010
499	570010.00000000	KAMELA KAST KROUSKOS REV TRUST 8/24/2019	5 Diana Rd	Key Largo	FL		US	33037
500	573651.00390000	KAMFIJORD KAREN V TRUST AG 9/19/2000	22 Harbour Green Dr	Key Largo	FL		US	33037
501	573670.00090000	KANTOR BRADLEY	20 Harbor Island Dr	Key Largo	FL		US	33037
502	572793.00041600	KAPLAN JAMES L	3240 Muirfield	Weston	FL		US	33332

503	569442.00032500	KAPLAN JUDITH ANNE TRUST 2/5/1993	80 E Sir Francis Drake Blvd	Larkspur	CA	US	94939
504	569480.00030500	KARL STEPHANIE 2012 FAMILY TRUST 12/27/2012	24 Docksides Ln	Key Largo	FL	US	33037
505	569511.00332000	KAROL SUSAN V	57 Anchor Dr	Key Largo	FL	US	33037
506	569513.00061000	KATLIN ANDREW	1314 E Las Olas Blvd	Fort Lauderdale	FL	US	33301
507	569590.00000000	KATLIN ANDREW	1314 E Las Olas Blvd	Fort Lauderdale	FL	US	33301
508	570970.00000000	KATZ JUNE H	PO Box 270	Stroudsburg	PA	US	18360
509	573650.00401500	KAUFMAN DAVID LAMPI	4307 Ocean Front Ave	Virginia Beach	VA	US	23451
510	80020.00029300	KAZMAIER PATRICIA H REVOCABLE TRUST 5/5/1989	24 Docksides Ln	Key Largo	FL	US	33037
511	572797.00380900	KB AND P REAL ESTATE INC	9 Torchwood Ln	Key Largo	FL	US	33037
512	569442.00031000	KELLOM MARC	7416 Van Tuyl Pkwy	McKinney	TX	US	75070
513	80020.00023700	KELLY L PATRICK	2200 N Greenway Dr	Coral Gables	FL	US	33134
514	80020.00023600	KELLY NICHOLAS D	640 Arvida Pkwy	Miami	FL	US	33156
515	80020.00025800	KENDALL LINDA GORDON REV LIV TR 12/28/1960	1627 Hill Rd	Novato	CA	US	94947
516	572797.00270000	KENISON ROBERT W	22 Caloosa Rd	Key Largo	FL	US	33037
517	570630.00000000	KENNEDY BEN S JR	705 S Ocean Blvd	Boca Raton	FL	US	33432
518	570440.00000000	KENTCO LIMITED PARTNERSHIP	C/O KENT JOHN VINCENT AND OLIVIA	Vernon Hills	IL	US	60061
519	569550.00000000	KENTCO LIMITED PARTNERSHIP	C/O KENT RICHARD AND PATRICIA	Vernon Hills	IL	US	60061
520	573670.00010000	KEY LARGO GRACAT FAMILY TRUST	C/O FISCHER C TRUSTEE	Cape Canaveral	FL	US	32920
521	569480.00031800	KEY LARGO MARINE LLC	11409 Coyote Ct	Sterling	VA	US	20165
522	81691.00070000	KIBEL ADAM	300 E 34th St	New York	NY	US	10016
523	569480.00021900	KINNEY D BROOKE	24 Docksides Ln	Key Largo	FL	US	33037
524	571300.00010000	KINNEY SARINA FLEISCHER TRUST 9/24/2001	27 Bay Ridge Rd	Key Largo	FL	US	33037
525	81690.00021400	KIRBY CORAY S	91 Phillips Rd	Newton	NJ	US	07860
526	573651.00130000	KITCHINGS SUZANNE D	PO Box 308	Essex	CT	US	06426
527	573651.00140000	KITCHINGS SUZANNE D	PO Box 308	Essex	CT	US	06426
528	573650.00401600	KLEYSER INC	PO Box 14296	Grand Forks	ND	US	58208
529	569513.00070600	KLIMOWICZ JACK C AND CHRISTOPHER J TRUST	3827 W Le Grande Blvd	Mequon	WI	US	53092
530	80020.00026400	KLINE CHARLES C	50 Club House Rd	Key Largo	FL	US	33037
531	80020.00023200	KLINEDINST BETTY B ANGLERS TRUST 12/21	C/O TOMBA	Cincinnati	OH	US	45208
532	570830.00000000	KNAPP FAMILY TRUST 7/24/2009	C/O RINGDAHL FRANCES LOUISE KNAPP	Key Largo	FL	US	33037
533	80020.00029600	KNICKERBOCKER BONNIE REV TRUST 7/14/95	19 N Hidden Harbour Dr	Delray Beach	FL	US	33483
534	569480.00042900	KOCISCAK ANDREW P	6750 Stillwater Blvd	Stillwater	MN	US	55082
535	81780.00020600	KP PARTNERS 2 LLC	1 Barracuda Ln	Key Largo	FL	US	33037
536	569513.00072400	KROLL STEVEN	84 GREENWICH RD	BEDFORD	NY	US	10506
537	81713.00040000	KRUMPES BRENTON	2 W Delaware Pl	Chicago	IL	US	60610
538	569442.00032400	KUNZ DONALD J	1157 Glengarry Cir	Bloomfield Hills	MI	US	48301
539	572793.00020700	KUNZ FAMILY LLC	26909 Woodward Ave	Huntington Woods	MI	US	48070

540	569513.00061300	KURZ QUAL PERSONAL RES TRUST (CWK-1) 12/21/12	C/O KURZ ROBERT KARL TRUSTEE	504 HOBBY HORSE HL	PA	19002
541	569480.00043600	L L TRAVEL LLC	1930 Ray Shell Ct	Ambler	PA	19002
542	572221.00580000	LACHER SUZANNE S	6020 Suburban Dr	Seabrook	TX	77586
543	570000.00000000	LAIRD FRANCIS JUDSON IV	1460 21st St	Pincrest	FL	33156
544	569513.00070700	LAKE WALTER J SR	24 Dockside Ln	Miami Beach	FL	33140
545	572793.00090100	LAKESIDE 36 LLC	3158 N Bay Rd	Key Largo	FL	33037
546	572793.00041400	LAKESIDE LANE ORC LLC	16120 W Troon Cir	Miami Beach	FL	33140
547	572792.00060500	LAKEVIEW 2 OCEAN LLC	4700 Lake Rd	Miami Lakes	FL	33014
548	569511.00332800	LAKEWIND LLC	PO Box 1765	Miami	FL	33137
549	573651.00300000	LANGWORTHY WILSON B	31 Ocean Reef Dr	Enid	OK	73702
550	80020.00020200	LANNI NICOLA J	C/O 50 CLUB HOUSE RD	Key Largo	FL	33037
551	569442.00011200	LARSEN JOHN R	10A Anchor Dr	Key Largo	FL	33037
552	573690.00040000	LATITUDE 25 CAPITAL LLC	10631 N Kendall Dr	Key Largo	FL	33037
553	572797.00210000	LATOIR JOSE E	2071 NW 14th St	Miami	FL	33176
554	81713.00010000	LEBEN DANIEL S	24 Dockside Ln	Miami	FL	33125
555	572795.00010000	LEE JOHN	24 Dockside Ln	Key Largo	FL	33037
556	569415.00010000	LEENHOUTS JAMES W	41 Island Dr	Key Largo	FL	33037
557	572793.00030300	LEENHOUTS NELSON B QPRT 9/13/2004	23 Lakeside Ln	Key Largo	FL	33037
558	572792.00010400	LEIGHOW GEORGE WENDEL REV TRUST 10/31/2003	PO Box 448	Key Largo	FL	33037
559	572793.00080800	LERMA MARLINA	8035 109th Ter	Danville	PA	17821
560	81713.00080000	LENER ESTHER	49 Beach Rd	Miami	FL	33156
561	572793.00020300	LETTIA REAL ESTATE MANAGEMENT LT CO	2622 Glenmont Rd	Belvedere Tiburon	CA	94920
562	569442.00031500	LEVIN STEVEN R	2615 Prairie Ave	Canton	OH	44708
563	569513.00071400	LEVITZ JEFFREY A REVOCABLE TRUST 05/03/2007	5001 Egret Point Cir	Evanston	IL	60201
564	572792.00010100	LEVY EDWARD J	47 Lakeside Ln	Boca Raton	FL	33431
565	81712.00220000	LEVY MARINA VILLA LLC	24 Dockside Ln	Key Largo	FL	33037
566	569700.00000000	LGM ENTERPRISES LLC	3407 Timberlake Ct	Key Largo	FL	33037
567	569560.00000000	LGM FLORIDA LLC	2860 Jetport Rd	Kinston	NC	28504
568	569480.00030100	LIAUTAUD DEVELOPMENT GROUP LLC-ANDROS SERIES	2212 Fox Dr	Kinston	NC	28504
569	569630.00000000	LIAUTAUD JAMES J	24 Dockside Ln	Champaign	IL	61820
570	570430.00000000	LIFES A GIFT LLC	5340 Fairchild Way	Key Largo	FL	33037
571	81712.00140000	LILLY J RICHARD	C/O ANDERSON CATHERY	Coral Gables	FL	33156
572	569480.00032600	LINDER CARL H III	9450 Whitegate Ln	Hyattsville	MD	20781
573	569840.00000000	LITCH JOHN M AND JUNE E REVOCABLE TRUST 11/20/2012	15300 Windmill Pointe Dr	Cincinnati	OH	45243
574	569471.00610700	LJD KEY LARGO PROPERTIES LLC	410 Interstate 10	Grosse Pointe Park	MI	48230
575	569513.00072000	LK MARLIN HOLDINGS LLC	70 PROTHERO RD	Beaumont	TX	77707
576	570750.00000000	LOBDELL JON A AND BEVERLY REVOCABLE TRUST 7/7/1997	81 Isla Bahia Dr	COLTS NECK	NJ	07722
577	573630.00020000	LOGAN THOMAS B	7 S Harbor Dr	Fort Lauderdale	FL	33316
578	573670.00060000	LONDON FINANCIAL CINNAMON BARK LLC	965 Crandon Blvd	Key Largo	FL	33037
				Key Biscayne	FL	33149

579	569480.00012100	LUKIS LAWRENCE J	C/O ACCOUNTING RESOURCE GROUP INC 601 Carlson Pkwy Ste 1120 7 Barracuda Ln	Minnetonka MN	US	55305
580	570530.00000000	LYNN SANDRA T REVOCABLE TRUST 2/27/2018	1126 MORRISON HEIGHTS 9 Caloosa Rd PO Box 482	Key Largo OAKVILLE Key Largo Gwynedd Valley PA	US	33037 L6J 4J1 33037 19437
581	81712.00240000	MACAULAY OCEAN REEF TRUST	93 ELIZABETH ST	LONDON	GB	SW1W 9PG
582	572797.00140000	MACFARLANE BRUCE	3900 E Indiantown Rd 8 Hardwood Hammocks Dr	Jupiter Key Largo	US	33477 33037
583	81690.00022500	MACKELL THOMAS E LIVING TRUST 12/16/2015	4 Cinnamon Bark Ln	Key Largo	US	33037
584	572793.00100700	MACKINTOSH JOHN CLIVE	50 Club House Rd	Key Largo	US	33037
585	569513.00071300	MANOS GUY L	201 Ocean Reef Dr	Key Largo	US	33037
586	572797.00400800	MANOS JOSEPH	4000 Ponce de Leon Blvd 6465 SW 132nd St 17 Holly Ln	Coral Gables Miami Darien	US	33146 33156 06820
587	573720.00056000	MARCHESE JOSEPH F REVOCABLE TRUST 6/4/1996	C/O BREZNICKY CHARLES & 117 Masons Way MASSE FRANCIS X II 406 Carysfort Rd	Newtown Square Key Largo	US	19073 33037
588	80020.00023400	MARICICH ROBERT J AND ANDREA E FAMILY TR 10/11/13	3201 SW 131st Ter	Key Largo	US	33330
589	569480.00041000	MARINA BETH LLC	PO Box 402566	Miami Beach	US	33140
590	569471.00620400	MARINA INN LAND LLC	116 Andros Rd	Key Largo	US	33037
591	569480.00041700	MARINA SLIP FS-17 LLC	2307 Castilla	Ft Lauderdale	US	33301
592	81714.00040000	MARINA VILLAGE 22B LLC	32 Club Way	Cedar Grove	US	07009
593	81712.00010000	MARINA VILLAGE IRREV DEED OF TRUST 01/30/2020	62 Anchor Dr 24 Dockside Ln 2 Grove Isle Dr	Key Largo Key Largo Coconut Grove	US	33037 33037 33133
594	569820.00000000	MARKS ANTONIO C REV TR 9/26/94	7 Harbour Green Dr 1005 Lillies Ln 9 Golf Ter	Key Largo Ellicott City Key Largo	US	33037 21043 33037
595	569480.00043500	MARKS SANFORD H REVOCABLE TRUST 5/10/2013	PO Box 8716	Cincinnati	US	45208
596	569513.00070100	MARLIN LANE 2A LLC	26 Lakeside Ln	Key Largo	US	33037
597	569480.00011900	MARQUARDT JOHN L	24 Dockside Ln	Key Largo	US	33037
598	569511.00332700	MARRERO ARTURO	12 Essex Ln	Rockville Centre	US	11570
599	569990.00000000	MARTIN BRIAN	715 Sandfly Ln	Vero Beach	US	32963
600	569511.00333000	MARTIN JOHN CRAIG TR AG 8/4/2010	C/O REYNOLDS JAMES M PO Box 683 27 Anchor Dr	Great Barrington	US	01230
601	572793.00020100	MARTIN RONALD C	7101 Wisconsin Ave	Key Largo	US	33037
602	569511.00331700	MARTINS EDWARD	15 Wellfleet Ln	Bethesda	US	20814
603	573651.00040000	MAST ALFRED B	850 Ridge Lake Blvd	Chesterbrook	US	19087
604	572793.00011100	MATHIS HANS GREGORY		Memphis	US	38120
605	570910.00000000	MATHIS MARVIN A				
606	80020.00024900	MCALEVEY LYNN H REVOCABLE TRUST AGREEMENT 7/23/08				
607	572793.00070700	MCCANN CLAIRE A				
608	569442.00030100	MCCARRON DIANE				
609	573651.00400000	MCCARTHY DANIEL D				
610	80020.00026000	MCCONNELL JOHN N REVOCABLE TRUST 7/24/1992				
611	573651.00270000	MCINTOSH PARTNERS LLC				
612	569442.00022400	MCKEON JOHN				
613	569480.00042100	MCMAHON JOHN M				
614	81690.00022600	MCSTRAVICK JAMES W				
615	569480.00030800	MCVEAN AVIATION OF NORTH CAROLINA				

616	572793.00020200	MEDINGER JOANNE (RIPICH) REV TR INDENTURE 2/13/01	107 Partridge Ln	Chagrin Falls	OH	US	44022
617	572797.00400500	MEENAN JAMES J	5 Hardwood Hammocks Dr	Key Largo	FL	US	33037
618	569513.00073100	MEISEL BRUCE	20 Powder Hill Rd	Saddle River	NJ	US	07458
619	572793.00090800	MERCURIO PETER	73 Old Osceleta Rd	South Salem	NY	US	10590
620	80020.00022200	MEREDITH DAVID R REVOCABLE TRUST RESTATED 7/24/2015	24 Dockside Ln	Key Largo	FL	US	33037
621	569511.00333200	MESTDAGH JAMES T	380 Provençal Rd	Grosse Pointe Farms	MI	US	48236
622	81690.00021500	MEYER JAMES R	15226 Long Cove Blvd	Carmel	IN	US	46033
623	573650.00401900	MGR CAPITAL LLC	11040 Snapper Creek Rd	Coral Gables	FL	US	33156
624	573650.00401200	MILAM CLIFFORD W	3273 Burrnt Pine Cir	Miramar Beach	FL	US	32550
625	573651.00360000	MILES ELIZABETH A	16 Harbour Green Dr	Key Largo	FL	US	33037
626	572797.00260000	MILES MICHAEL R	16 Harbour Green Dr	Key Largo	FL	US	33037
627	569513.00060900	MILLER JAN N REV TR AGR 3/6/2007	C/O MILLER JAN N 46 MARLIN LN UNIT A	KEY LARGO	FL	US	33037
628	569471.00630200	MILLER KEITH	TRUSTEE PO Box 27	Harbor Springs	MI	US	49740
629	81690.00021600	MILLER ROBERT B JR	10 Oak Bend Dr	Saint Louis	MO	US	63124
630	572798.00040000	MILLREEF PROPERTY INVESTMENT LTD	PO BOX HM 1192	HAMILTON	HMX	BERMUDA	BM
631	80020.00025000	MIMS LEON H III	69 Cutlers	Asheville	NC	US	28805
632	81711.00280000	MINARD ROSE REBECCA M REVOCABLE TRUST 7/28/2014	31 Ocean Reef Dr	Key Largo	FL	US	33037
633	572793.00070800	MINSCH WILLIAM J	100 Old Stage Coach Rd	Basking Ridge	NJ	US	07920
634	572793.00090200	MITCHELL CYNTHIA P	5729 Jardim Pl	Columbus	OH	US	43213
635	569513.00073400	MIX JANINA F TRUST OF 2003	22 Meadowbrook Rd	Dover	MA	US	02030
636	570590.00000000	MOKRIS JEFFREY G	1854 Highland Dr	Fernandina Beach	FL	US	32034
637	569480.00041100	MONIX11 LLC	C/O MONKS 8355 VOLLMER RD	Colorado Springs	CO	US	80908
638	80200.00030300	MONROE COUNTY	CONSTRUCTION CO LLC	Key West	FL	US	33040
639	573651.00370000	MOORE LINDA GAIL KERR TRUST 10/08/2019	500 Whitehead St	Raleigh	NC	US	27609
640	569513.00072500	MORENO ALEJANDRO	2408 Lake Dr	BOCA RATON	FL	US	33487
641	569441.00030000	MORLEY H BARCLAY LIVING TRUST 12/10/97	6401 CONGRESS AVE STE 3 Angelfish Cay Dr	Key Largo	FL	US	33037
642	81713.00020000	MOSLER BRUCE E	C/O CUSHMAN WAKEFIELD 1250 Avenue of the Americas Fl	New York	NY	US	10104
643	80020.00021600	MOSS GAIL	16 S Marina Dr	Key Largo	FL	US	33037
644	81712.00260000	MTB 2000 TRUST 10/25/2018	16 Island Ave	Miami Beach	FL	US	33139
645	81712.00020000	MTB 2000 TRUST FBO DWD 10/25/2018	16 Island Ave	Miami Beach	FL	US	33139
646	81713.00050000	MTJ TRUST 11/25/2008	400 Alton Rd	Miami Beach	FL	US	33139
647	569442.00021600	MULLRAY EILEEN P	24 Dockside Ln	Key Largo	FL	US	33037
648	81691.00050000	MURPHY D MICHAEL REVOCABLE TRUST 6/29/06	11 Landings	Key Largo	FL	US	33037
649	569511.00332600	MURPHY DANIEL H II	186 JERRY BROWNE Rd	MYSTIC	CT	US	06355
650	569513.00061200	MURRAY ROBERT J FAM TRST 10/18/2005 RST 12/10/2009	24 Dockside Ln	Key Largo	FL	US	33037
651	81691.00030000	MURTAGH STEPHANIE A	4330 Brookside Rd	Ottawa Hills	OH	US	43615
652	570080.00000000	MUSTO MICHAEL L FAMILY TRUST 9/24/1992	3 Exuma Rd	Key Largo	FL	US	33037
653	81712.00050000	MV 9A LLC	545 Miller Rd	Wyckoff	NJ	US	07481

654	573720.00500000	MVP KEYS INC	2307 Castilla	Fort Lauderdale	FL	US	33301
655	80020.00021400	MWM PROPERTY TRUST 6/4/2014	242 Laurel St	San Francisco	CA	US	94118
656	569471.00610900	NAHMAD ALBERT	18 Tahiti Beach Island Rd	Miami	FL	US	33143
657	569471.00620900	NANAN 209 LLC	101 Beach Rd	Key Largo	FL	US	33037
658	569480.00031300	NARDONE NICHOLAS	21 Appian Dr	Wellesley Hills	MA	US	02481
659	80020.00020800	NEELY JOYCE RIDDLE QPRT NO 1 TR AGR 12/28/07	2705 Bartram Pl	Winston Salem	NC	US	27106
660	569500.00011100	NEW YORK UNIVERSITY	C/O GRACE Y KO SENIOR VP DEVELOPMENT AND ALUMINI AFFAIRS	1 Park Ave Fl 17 New York	NY	US	10016
661	572793.00080300	NEWBOLD CATHERINE LAURA TRUST 12/12/1985	PO Box 1070	Marion	IL	US	62959
662	569480.00033200	NIRVANA SUNRISE LLC	1887 W State Road 84	Fort Lauderdale	FL	US	33315
663	81691.00110000	NO GREEF LLC	405 Alan a Dale Rd	Sherwood Forest	MD	US	21405
664	569442.00011700	NOONAN JOHN R	609 Gravers Ln	Philadelphia	PA	US	19118
665	573630.00140000	NORTH BRIDGE LLC	300 Water St	Wilmington	DE	US	19801
666	81720.00050000	NORTH KEY LARGO UTILITY CORP	24 DOCKSIDE LANE PMB	KEY LARGO	FL	US	33037
667	573650.00400900	NOYES BRADLEY P GEN PARTNER NOYES REALTY LLLP	PO Box 40	Marblehead	MA	US	01945
668	569442.00022300	NOYES DAVID	PO Box 132	Spruce Head	ME	US	04859
669	81780.00020400	NOYES REALTY LLLP	C/O NOYES BRADLEY P	Marblehead	MA	US	01945
670	569471.00630300	NR FLORIDA INVESTMENTS LP	5690 ROYALMOUNT	MONT-ROYAL QC	CA	CA	H4P1K4
671	569442.00022000	NUCCI NANCY J	31 Ocean Reef Dr	Key Largo	FL	US	33037
672	570050.00000000	NWCOR LLC	38 Shrewsbury Dr	Rumson	NJ	US	07760
673	81740.00050000	O R BUSINESS CENTER LLC	35 Ocean Reef Dr	Key Largo	FL	US	33037
674	569511.00332300	O REEF HOLDINGS LLC	2100 Salzedo St	Coral Gables	FL	US	33134
675	570650.00000000	OBRE JANICE COPELY	425 58th St	New York	NY	US	10022
676	569442.00021300	OCEAN HEDGE LLC	3120 NE 56th Ct	Ft Lauderdale	FL	US	33308
677	573630.00250000	OCEAN REEF ACQUISITION CORP	C/O BURTON JOE M AND ISABEL R	Key Largo	FL	US	33037
678	81720.00030200	OCEAN REEF ART LEAGUE INC	120 Anchor Dr	Key Largo	FL	US	33037
679	81740.00010000	OCEAN REEF CHAPEL INC	32 Ocean Reef Dr	Key Largo	FL	US	33037
680	81690.00010000	OCEAN REEF COMMUNITY ASSOCIATION	C/O ACCOUNTING DEPT	Key Largo	FL	US	33037
681	81720.00030300	OCEAN REEF CULTURAL CENTER INC	24 Dockside Ln	Key Largo	FL	US	33037
682	81720.00030100	OCEAN REEF MEDICAL CENTER FOUNDATION INC	50 Barracuda Ln	Key Largo	FL	US	33037
683	81714.00060000	OCEAN REEF ONE LLC	PO Box 2349	Crystal River	FL	US	34423
684	81712.00120000	OCEAN REEF TRUST 10/17/2013	247 Greco Ave	Coral Gables	FL	US	33146
685	81740.00030000	OCEAN REEF VOL FIRE DEPT INC	110 Anchor Dr	Key Largo	FL	US	33037
686	572793.00030500	OCEAN REEF VOLUNTEER FIRE DEPARTMENT INC	24 Dockside Ln	Key Largo	FL	US	33037
687	569480.00011500	OCEAN VISTA FLORIDA INC	4010 Airline Dr	Houston	TX	US	77022
688	572793.00020400	OCEANWALK HOMES LLC	728 Tequesta St	Fort Lauderdale	FL	US	33312
689	569513.00072600	OHNELL CARIN	2000 Broadway	New York	NY	US	10023
690	81693.00120000	OLEARY RICHARD	101 Riverdale Rd	Port Jervis	NY	US	12771

691	569442.00032600	OLEFSON JEFFREY M DEC OF TRUST AGR 12/10/2009	2760 NW 63rd Ct	Fort Lauderdale	FL	US	33309
692	573650.00400400	OLIVER ROY T	101 N Robinson Ave	Oklahoma City	OK	US	73102
693	572797.00080000	OLMERT ANTHONY B	900 Bestgate Rd	Annapolis	MD	US	21401
694	80020.00025300	OLSEN STEPHEN	50 Club House Rd	Key Largo	FL	US	33037
695	569480.00032000	OMNI PARTNERS LLC	24 Dockside Ln	Key Largo	FL	US	33037
696	569442.00022100	OR26A LLC	7405 SW 115th St	Miami	FL	US	33156
697	572793.00080600	OR32B LLC	2745 Stirrup Ln	Weston	FL	US	33331
698	569500.00010500	ORC BERTH LLC	351 W Hubbard St	Chicago	IL	US	60654
699	81712.00270000	ORC MARINA VILLAGE 20 LLC	C/O KEVIN ROBERT SCALIA 20 MARINA VLG Unit A	Key Largo	FL	US	33037
700	573630.00260200	ORCAT INC	C/O OCEAN REEF	Key Largo	FL	US	33037
701	569480.00031100	ORCD11 LLC	COMMUNITY ASSOC INC 12 Sandpiper	Key Largo	FL	US	33037
702	569480.00042000	ORC-FS25 LLC	4201 Garden Ave	Ponte Vedra	FL	US	32082
703	81712.00070000	ORCMV10A LLC	219 E 1st St	Western Springs	IL	US	60558
704	569442.00012000	ORGEL WILLIAM E	6415 Ronald Rd	Hinsdale	IL	US	60521
705	569480.00011300	ORMCHS 12-13 LLC	874 Walker Rd	Memphis	TN	US	38120
706	81740.00040000	ORU ASSOCIATES INC	31 Ocean Reef Dr	Dover	DE	US	19904
707	81690.00021100	OWSLEY RICHARD P JR REV TR 12/6/2005	20A Fishermans	Key Largo	FL	US	33037
708	80020.00021500	PAIGE FRANCIS U	15 S Marina Dr	Key Largo	FL	US	33037
709	81691.00100000	PALENZUELA GONZALO	825 S Alhambra Cir	Key Largo	FL	US	33037
710	569480.00021500	PALEOLOGOS NICHOLAS G	10721 Stanmore Dr	Coral Gables	FL	US	33146
711	569441.00590000	PARFET WILLIAM U	15570 Northwood Ln	Potomac	MD	US	20854
712	572797.00380700	PARIDY DIANNE E	24 Dockside Ln	Hickory Corners	MI	US	49060
713	569480.00041500	PARKER MARGARET A	111 Andros Rd	Key Largo	FL	US	33037
714	572797.00280000	PARKER ROBERT	3790 Darlington Rd	Key Largo	FL	US	33037
715	573650.00402200	PARKER STEVE	111 Andros Rd	Bloomfield Hills	MI	US	48301
716	573650.00030000	PASTOR CARLOS	13770 Old Cutler Rd	Key Largo	FL	US	33037
717	569511.00330500	PATCHEN BRIAN P	6840 White Oak Dr	Palmetto Bay	FL	US	33158
718	80020.00021000	PATTON RODMAN D	10 S Marina Dr	Miami Lakes	FL	US	33131
719	570040.00000000	PAULUS THOMAS D	6 Exuma Rd	Key Largo	FL	US	33037
720	570840.00000000	PEARSON REVOCABLE TRUST LLC	99 Belmont Ave	Key Largo	FL	US	33037
721	80020.00025400	PEDDLE HELENE M REV TRUST AGR 12/5/2005	72 W Lake Rd	Lowell	MA	US	01852
722	569442.00032700	PELICAN GENERAL INC	1000 Elm St	Key Largo	FL	US	33037
723	569471.00630600	PELLAR SANDRA TRUST 12/20/2006	24 Dockside Ln	Manchester	NH	US	03101
724	572793.00011000	PELTON JACK	13030 Killenwood Dr	Key Largo	FL	US	33037
725	572797.00090000	PENELY LLC	5640 Pamlico Ln	Wichita	KS	US	67230
726	572793.00010700	PEPE THINGS LLC	3158 Bay Rd	Cincinnati	OH	US	45243
727	81690.00021200	PERENIC FREDERIC	32450 Scottsdale	Miami Beach	FL	US	33140
728	569500.00010300	PERETZ MURRAY S REVOCABLE TRUST 1/27/1999	351 W Hubbard St	Franklin	MI	US	48025
729	80020.00025700	PERIN LAURA M REVOCABLE TRUST 11/06/2019	2335 Drury Ln	Chicago	IL	US	60654
730	570980.00000000	PERKY PARTNERS LLC	C/O REVORD MARGARET 85 Indian Hill	Mission Hills	KS	US	66208
731	569513.00061500	PESTER SCOTT A	PO Box 620	Winnetka	IL	US	60093
				New Vernon	NJ	US	07976

732	573650.00010000	PETERSON DAVID M	5720 State Line Rd	Mission Hills	KS	66208
733	572793.00100200	PETERSON TRUST DTD 12/28/07	C/O PETERSON WILLIAM W 24 DOCKSIDE LN	KEY LARGO	FL	33037
734	572720.00000000	PETROSINO DIANE TRUST 4/17/2013	11 Ocean Reef Dr	Key Largo	FL	33037
735	569442.00023500	PHELAN CHARELS C	410 S I Oka Ave	Mt Prospect	IL	60056
736	573651.00380000	PHILIPS B CALVIN REVOCABLE TRUST THIRD AMENDED AND RESTATED TRUST AGREEMENT 06/26/2018	20 Harbour Green Dr	Key Largo	FL	33037
737	569513.00071900	PHILLARY MANAGEMENT INC	PO BOX 828	FAR HILLS	NJ	07931
738	80020.00023000	PHILLIPS JOHN C	1200 N Broom St	Wilmington	DE	19806
739	569480.00030400	PINE FALLS LLC	68 Old Ridge Rd	Strafford	NH	03884
740	573630.00050000	PLASKY PAUL E	450 Tivolii Ave	Coral Gables	FL	33143
741	572793.00041900	PLATNER BRIAN IRR TRUST FBO AMANDA K ASMAN	3 S Pelican Dr	Key Largo	FL	33037
742	572793.00040800	POHLHAUS KAREN W	24 Dockside Ln	Key Largo	FL	33037
743	81714.00020000	POLLARD THOMAS B	5331 Sunbury Rd	Westerville	OH	43082
744	573650.00401700	POMFRET LLC	24 Dockside Ln	Key Largo	FL	33037
745	572798.00010000	POMPIZZI E MICHAEL RESTATED DECL OF TR	1 S Harbor Dr	Key Largo	FL	33037
746	80020.00020700	POST CHARLES T JR REVOCABLE TRUST 10/18/2007	7 S Marina Dr	Key Largo	FL	33037
747	569442.00032300	POTTER WILLIAM S	32 DINGLETOWN Rd	Greenwich	CT	06830
748	80020.00024000	PRATT FANNY GRAY 1993 TRUST 3/31/1993	C/O TIMKEN FAMILY PARTNERSHIP LLC	Canton	OH	44702
749	572793.00040500	PRICE FAMILY REVOCABLE TRUST 7/2/1994	62 Willifits Rd	Glen Cove	NY	11542
750	569513.00070400	PRICE PAULA	C/O PRICE TERRY	Danville	CA	94506
751	569513.00072900	PROTESTANT CONGREGATION OF OCEAN REEF INC	31 Ocean Reef Dr	Key Largo	FL	33037
752	81711.00040000	PUIG JUAN	8015 Los Pinos Blvd	Coral Gables	FL	33143
753	572793.00060400	PWLM LLC	7407 53rd Pl	Miami	FL	33143
754	81780.00021500	R T LEASING CORPORATION	7739 Kingsbury Blvd	Saint Louis	MO	63105
755	81730.00000000	RACQUET CLUB AT OCEAN REEF INC	212 Anchor Dr	Key Largo	FL	33037
756	572795.00030000	RAGUCCI JEANETTE D LIVING TRUST 06/27/2002	105 Anchor Dr	Key Largo	FL	33037
757	569513.00070800	RAPPAPORT MICHAEL J	9711 Washingtonian Blvd	Gaithersburg	MD	20878
758	569442.00022500	REAL ESTATE EQUITY FUND INC	201 Hooper Ave	Toms River	NJ	08753
759	573651.00060000	RED BIRD HILL LLC	2109 Randolph Rd	Charlotte	NC	28207
760	570670.00000000	REED JEAN FREEMAN	4 Country Club Rd	Key Largo	FL	33037
761	81690.00023200	REED JOHN C LIVING TRUST 03/04/2020	134 Wentworth Ave	Nashville	TN	37215
762	81711.00390000	REEF GABRIEL LLC	879 BUTTONWOOD Dr	BOCA RATON	FL	33432
763	572793.00020600	REEF MANAGEMENT COMPANY INC	PO Box 149428	Orlando	FL	32814
764	81780.00020300	REEF PROJECT MANAGEMENT LLC	1414 22nd St	Washington	DC	20037
765	573690.00010000	REEF RETREAT LLC	123 Coulter Ave	Ardmore	PA	19003
766	569442.00010400	REEL CENTS LLC	2504 W Main St	Rapid City	SD	57702
767	569480.00042500	REEL DOCK LIFE LLC	PO Box 975	Osterville	MA	02655
768	569435.00010000	REEVES WILLIAM H REV LIV TR 1/4/2006	31 Ocean Reef Dr	Key Largo	FL	33037
769	81693.00110000	REGO RODRIGO DA CUNHA	5820 SW 97th St	Miami	FL	33156

770	573650.00040000	REMOS ALE/ANDRO	6883 112th St	Pinecrest	FL		US	33156
771	572611.00500000	RESIDENCES ORC LLC	31 Ocean Reef Dr	Key Largo	FL	Ste C201	US	33037
772	81690.00020100	REX ALBERT	15 Fishermans	Key Largo	FL	# A	US	33037
773	81691.00060000	REX ALBERT G	11 Landings	Key Largo	FL	Unit B	US	33037
774	569441.00610000	REYNOLDS INGE C REVOCABLE TRUST AGR	PO BOX 683	GREAT BARRINGTON	MA		US	01230
775	572797.00150000	REYNOLDS JOAN M BANEY REV TR 4/20/2004	10 Caloosa Rd	Key Largo	FL		US	33037
776	81780.00021100	REYNOLDS WINIFRED S 2018 REV TRUST	PO Box 371283	Key Largo	FL		US	33037
777	569435.00020000	RICH MICHAEL	610 Raring Dr	Orwigsburg	PA		US	17961
778	569513.00061400	RILEY RICHARD	24 Dockside Ln	Key Largo	FL		US	33037
779	569480.00022700	RILEY ROBERT E 2001 REVOCABLE TRUST	483 Jerusalem Rd	Cohasset	MA		US	02025
780	569442.00022700	RIVERA JOEY	1999 Plum Woods Ct	Sellersburg	IN		US	47172
781	569442.00020100	RLLM LLC	645 SW 48th Ln	Ocala	FL		US	34471
782	81712.00170000	ROAMAN CAROL	411 5th Ave	New York	NY	Rm 901	US	10016
783	572797.00180000	ROASEAU LAWRENCE W	24 Dockside Ln	Key Largo	FL	PMB 405	US	33037
784	569480.00021800	ROBERT C NOLAN JR LLC	81483 Highway 1082	Bush	LA		US	70431
785	569980.00000000	ROBILLARD JOSEPH C	25 Woodstone Cir	Short Hills	NJ		US	07078
786	569480.00022200	ROCHE THOMAS F III 2019 FAMILY TRUST	1600 S Ocean Blvd	Pompano Beach	FL	Apt 1604	US	33062
787	569480.00031200	ROCK CRUSHER LLC	6800 SW 101st St	Coral Gables	FL		US	33156
788	569511.00331500	ROCKABELLA LLC	90 Dickman Dr	Lavallette	NJ		US	08735
789	80020.00021800	RODGERS COWAN	PO Box 10766	Knoxville	TN		US	37939
790	569442.00011000	RODGERS COWAN III	PO Box 10766	Knoxville	TN		US	37939
791	81711.00310000	RODRIGUEZ JA (TONY) AND JUDITH T LIV TR	17070 SW 74th Pl	Palmetto Bay	FL		US	33157
792	569442.00030700	RODRIGUEZ JEANNETTE CLARA REV TRUST	2006 Walnut Dr	Corinth	MS		US	38834
793	81693.00030000	ROGERS MICHAEL	840 Tara Estates Ct	Chesterfield	MO		US	63005
794	569580.00000000	ROHAN NANCY FREDERICK REV TRUST 5/30/2014	206 Andros Rd	Key Largo	FL		US	33037
795	80020.00020400	ROHRBACH RICHARD ALAN	24 Dockside Ln	Key Largo	FL		US	33037
796	569513.00060600	ROLLS STEVEN G	3818 Miami Rd	Cincinnati	OH	Apt 101	US	45227
797	569480.00020500	ROSE REBECCA M MINARD REVOCABLE 7/28/2014	105 Surplus St	Duxbury	MA		US	02332
798	569442.00011600	ROSEN HOLDINGS OCEAN REEF LLC	277 Galeon Ct	Coral Gables	FL		US	33143
799	572793.00041000	ROUNTREE DAVID A	3 Cabot Rd	Andover	MA		US	01810
800	570850.00000000	RTF PROPERTY TRUST 2/12/2006	C/O ROEDING RICHARD L JR TRUSTEE	MONTGOMERY CINCINNATI	OH		US	45236
801	573650.00050000	RTWRDA INC	RD STE 480	Charlottesville	VA		US	22901
802	569425.00000000	RUBINSEIN PAUL	3224 Beau Mont Farm Rd	CALGARY	ALBERTA		CA	T2S 1J3
803	80020.00024800	RUFFING ARTHUR L JR	4216 BRITANNIA DR SW	Key Largo	FL	Unit 48	US	33037
804	569511.00331300	RUMSON PARTNERS LLC	50 Club House Rd	Rumson	NJ		US	07760
805	569471.00630100	RUSHMORE JULIA K	25 Wardell Ave	Key Largo	FL	Unit B	US	33037
			38 Marlin Ln					

847	569471.00630900	SHEEHAN TIMOTHY G	470 Atlantic Ave	Boston	MA	US	02210
848	569480.00020100	SHEETZ G ROBERT	1388 Sabal Palm Dr	Boca Raton	FL	US	33432
849	572797.00300000	SHEPARD JANE S REVOCABLE LIVING TRUST 1/5/1990	C/O ASSOCIATED TRUST COMPANY NA TRUSTEE	Neenah	WI	US	54957
850	81690.00021300	SHERRILL DEBORAH S LIVING TRUST REST 09/30/2015	21 Fishermans	Key Largo	FL	US	33037
851	81690.00020700	SHULDMAN SUSAN LEVY AGR TRUST 11/14/2002	24 Dockside Ln	Key Largo	FL	US	33037
852	8174.00050000	SICO INVESTMENTS INC	C/O OSBORNE STUART	HAMILTON	FL	US	33037
853	81690.00023100	SIEDLE KENT	12261 NW 48th Dr	Coral Springs	FL	BM	33076
854	81691.00120000	SIMMS CHARLES H	2785 Orchard Run Rd	Dayton	OH	US	45449
855	573650.00060000	SIMS JANE W	24 Dockside Ln	Key Largo	FL	US	33037
856	569513.00073200	SINGER CARA	1100 SW Tamarind Way	Boca Raton	FL	US	33486
857	569513.00070500	SLIP AWAY CORPORATION	449 Leaning Oak St	Gaithersburg	MD	US	20878
858	80020.00026600	SMALLEY FAMILY REVOCABLE TRUST AGR 7/8/2004	C/O SMALLEY RANDALL S TRUSTEE	Ocean Ridge	FL	US	33435
859	80020.00026100	SMALLEY ROBERT AND PAULA TRUST 7/8/04	50 Club House Rd	Key Largo	FL	US	33037
860	570660.00000000	SMITH ALLERTON G	6 Country Club Rd	Key Largo	FL	US	33037
861	570610.00000000	SMITH ASHLEY WALTER LIVING TRUST 11/6/2013	6105 Leonardo St	Coral Gables	FL	US	33146
862	572797.00400700	SMITH C ALAN TRUSTEE	28 EAGLE RIDGE PL SW	CALGARY	AB	CA	T2V 2V8
863	573690.00340000	SMITH RAYMOND WALLACE	345 Harbor Dr	Key Largo	FL	US	33037
864	572792.00060100	SMITH STEVEN L TRUST 8/20/2001	3420 Woodhaven Dr	Bourbonnais	IL	US	60914
865	573690.00020000	SMITH STEVEN LYLE	2 Mahogany Ln	Key Largo	FL	US	33037
866	81691.00010000	SMITH TIMOTHY WAYNE REV TRUST 05/17/2019	87 E Andrews Dr	Atlanta	GA	US	30305
867	569471.00630800	SOMMER LORRAINE	8044 Montgomery Rd	Cincinnati	OH	US	45236
868	572797.00400400	SORENSON JULIA R	2820 Drane Field Rd	Lakeland	FL	US	33811
869	573630.00030000	SOUTH HARBOR ANGLERS LLC	8390 SW 134th St	Pinecrest	FL	US	33156
870	81770.00000000	SOUTHERN BELL TEL AND TELEGRAPH	C/O PROPERTY TAX DEPT L-01	Saint Louis	MO	US	63101
871	569442.00030200	SOWLE LISA LEE	W237N Hastings Ln	Sussex	WI	US	53089
872	81740.00020000	SPEAR INVESTMENT ASSOCIATES	20 Spear Rd	Ramsey	NJ	US	07446
873	80020.00022700	SPINA JOHN V	4303 E Emory Rd	Knoxville	TN	US	37938
874	572793.00040200	SPITZER A-TEAM LP	150 Bridge St	Elyria	OH	US	44035
875	572793.00030100	SPOOR ANN O	21 Lakeside Ln	Key Largo	FL	US	33037
876	572797.00330000	SPORT WILLIAM A	28 Dilly Tree	Key Largo	FL	US	33037
877	569480.00022300	ST CLAIR WILLIAM PAXSON TRUST 09/19/2003	42 Spadefish Ln	Key Largo	FL	US	33037
878	81710.00020100	STANDICK LLC	3415 University Ave	Saint Paul	MN	US	55114
879	81711.00120000	STAVOLA CHRISTOPHER W	PO Box 419	Kingston	NJ	US	08528
880	81711.00130000	STAVOLA JASON W	808 Ashley Ave	Brielle	NJ	US	08730
881	573651.00120000	STEIN MARTIN G	24 Dockside Ln	Key Largo	FL	US	33037
882	571050.00000000	STEINHILBER DIANE REST DEC OF TRUST 4/12/2013	36 Bay Ridge Rd	Key Largo	FL	US	33037
883	569513.00072200	STEVENS BARBARA F	175 BYRAM SHORE RD	GREENWICH	CT	US	06830

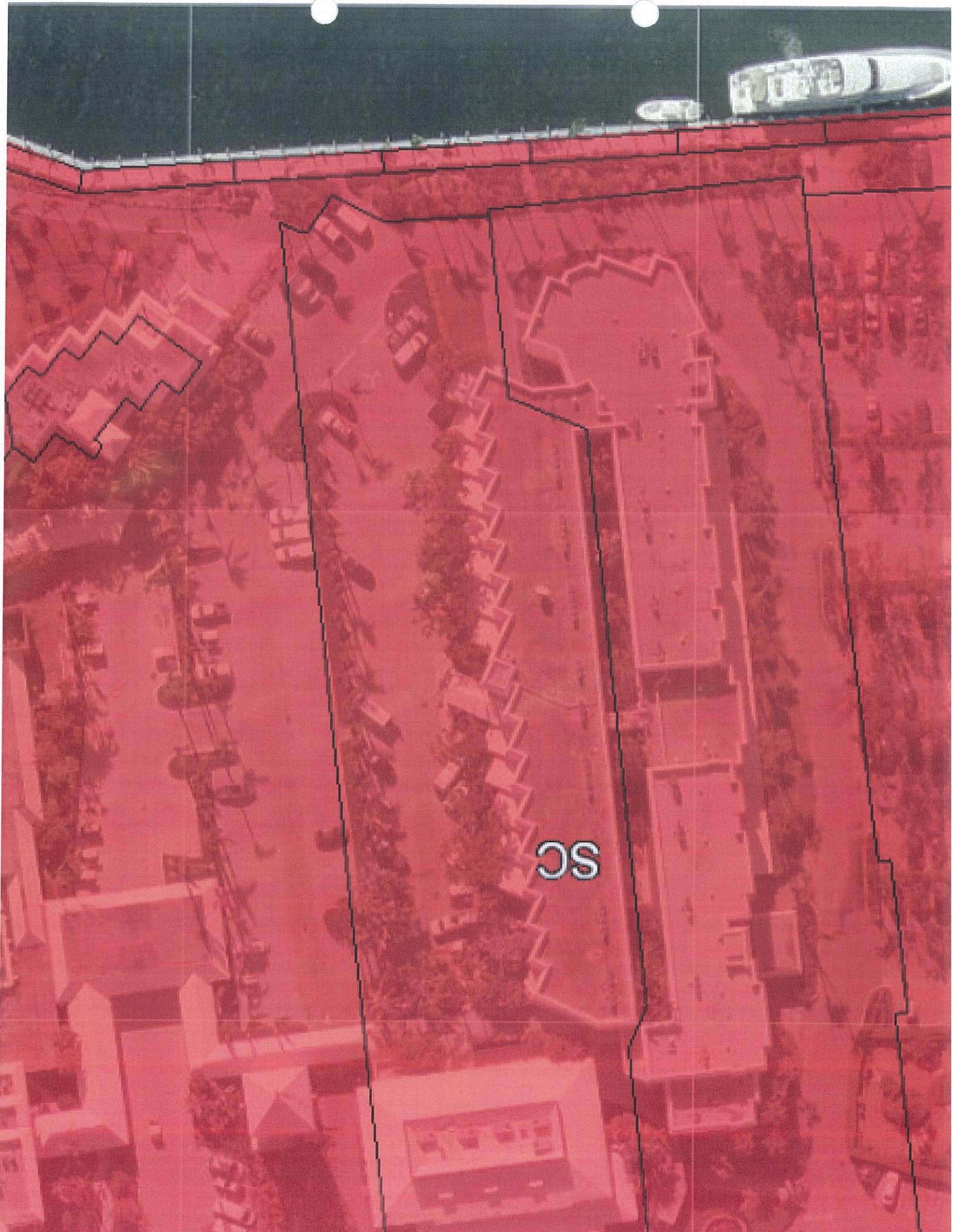
884	573690.00130000	STEVENS JANET M REV TRUST OF 1998 01/02/1998 29 Harborview Dr	Rye	NH	US	03870
885	569442.00031300	STEVENS MELISSA ANN	New Rochelle	NY	US	10801
886	81690.00020200	STEVENS ROBERT	Rye	NH	US	03870
887	573651.00100000	STINNETT JAMES B	Downers Grove	IL	US	60516
888	572793.00090500	STOCKER WILBUR E JR	State College	PA	US	16801
889	570390.00000000	STONE HOUSE 1 LLC	Cleveland	TN	US	37311
890	569620.00000000	STONE HOUSE 2 LLC	Cleveland	TN	US	37311
891	572797.00200000	STORM JOHN F	Key Largo	FL	US	33037
892	569480.00022500	STREAMRUNNER PROPERTIES LLC	Miami Shores	FL	US	33138
893	569480.00031900	STREET DAVID A	Naples	FL	US	34108
894	570960.00000000	STREIT CHRISTOPHER	Key Largo	FL	US	33037
895	81780.00020900	STRODE FAMILY PROPERTIES LLC	Key Largo	FL	US	33037
896	81690.00022000	STRODE JAMES P	Key Largo	FL	US	33037
897	569513.00071100	STRUPP DAVID J	Jacksonville	FL	US	32250
898	569511.00331200	SULLIVAN CORNELIUS JOSEPH REVOCABLE TRUST 07/25/2018	Key Largo	FL	US	33037
899	81690.00022800	SWANSON ROBERT R	Annapolis	MD	US	21403
900	569480.00021200	SWOPE SUSAN E REVOCABLE TRUST 12/20/2018	Key Largo	FL	US	33037
901	569442.00021500	SZYMANSKY ROMAN	Louisville	KY	US	40222
902	569480.00020900	TALLARDY CHARLES C III	Lighthouse Point	FL	US	33064
903	569513.00073600	TANIA L MERCANTE REV TR AGREE 12/2/2010	Newburgh	NY	US	12550
904	80020.00024200	TATLOCK R IAN	Pinecrest	FL	US	33156
905	569442.00020700	THATCH PALM LLC	Key Largo	FL	US	33037
906	573630.00260100	THE ACADEMY AT OCEAN REEF INC	Key Largo	FL	US	33037
907	572793.00060600	THIELE KAREN M	Key Largo	FL	US	33037
908	569480.00021000	THIES DENNIS AMD AND REST REV BUSINESS TR 12/5/03	Key Largo	FL	US	33037
909	81711.00020000	THIES PEGGY REV TR AGR 7/2/2008	Deerfield Beach	FL	US	33441
910	81714.00010000	THORNTON MARGARET M TR 4/9/2009	2401 Pga Blvd Ste 198	FL	US	33410
911	569480.00011600	TIARA AQUA LLC	Palm Beach Gardens	FL	US	33037
912	569480.00022900	TIME 2 XPLORE LLC	Key Largo	FL	US	33037
913	569513.00060500	TIRICO MICHAEL T	Naples	FL	US	34108
914	569441.00060000	TR FLORIDA ACQUISITIONS LLC	Esko	MN	US	55733
915	81713.00120000	TR OCEAN REEF LLC	Ann Arbor	MI	US	48103
916	81690.00022400	TRANE REUBEN J	Coral Gables	FL	US	33134
917	569480.00020200	TRAUB RONALD	Miami	FL	US	33131
918	81711.00060000	TRILLIAM PROPERTIES LLC	Palmetto Bay	FL	US	33157
919	569480.00021600	TRIPLE T DOCK LLC	Miami Beach	FL	US	33140
920	572795.00090000	TRUCHAN JORDAN	Boca Raton	FL	US	33431
921	81690.00023000	TUNDIDOR HECTOR JR	Fort Lauderdale	FL	US	33305
922	569480.00032800	TUROWSKI LEONARD A JR	Key Largo	FL	US	33037
923	81711.00400000	TWT OCEAN REEF LLC	Pinecrest	FL	US	33156
			Canton	MI	US	48187
			Atlanta	GA	US	30344

924	569600.00000000	URBINATI JOSEPH JR	79 Rye Ridge Rd	Harrison	NY	US	10528
925	573650.00402600	URIE DONALD & KATHRYN JT REV LIV TRUST 07/25/2019	1034 North Waterway Dr	Fort Myers	FL	US	33919
926	573630.00220000	VALVERDE RENE	460 Leucadendra Dr	Coral Gables	FL	US	33156
927	573651.00320000	VAN DELLEN SHARON R TRUST 3/20/1991	777 Bagley Ave	Grand Rapids	MI	US	49506
928	572797.00160000	VAN PELT R SCOTT	5 Jefferson	Farmington	CT	US	06032
929	573630.00060000	VANDENBERG PETER	6660 SW 100th St	Miami	FL	US	33156
930	80020.00024600	VASILIOU BASIL	800 S Pointe Dr	Miami Beach	FL	US	33139
931	573670.00040000	VASQUEZ MARY D	4 Harbor Island Dr	Key Largo	FL	US	33037
932	573630.00160000	VENTURA JUAN C	21 Dispatch Creek Ct	Key Largo	FL	US	33037
933	573720.00550000	VERNACE ANNA MARIE LIVING TRUST 1/8/2016	6 Cinnamon Bark Ln	Key Largo	FL	US	33037
934	569480.00032300	VIN SANTO HOLDINGS LLC	PO Box 1089	Weatherford	TX	US	76086
935	81690.00022100	VINCUNAS RAYMOND M REV TRUST 10/23/1989	C/O DEVELOPMENT ASSOCIATES PO BOX 528	Agawam	MA	US	01001
936	81693.00130000	WAGNER GEORGE	313 Coralberry Rd	Louisville	KY	US	40207
937	573651.00010000	WALKER AND CO LP	PO Box 189	Pottsville	PA	US	17901
938	572793.00010100	WALKER W AND A TRUST 12/14/2004	C/O WALKER WILLIAM AND 44 Lakeside Ln ANNA TRUSTEES Apt A	Key Largo	FL	US	33037
939	81691.00090000	WALLER GLADYS O REV TR OF 2003 03/14/2003	4200 Theall Rd	Rye	NY	US	10580
940	573650.00070000	WALSH PAUL S	CEDAR FARM , BALLS CROSS, KIRDFORD	BILLINGSHURST	WEST SUSSEX	GB	RH14 0JJ
941	569480.00041200	WALSTAD DAVID	5526 Navarro St	Houston	TX	US	77056
942	572793.00010500	WARDWELL SAMUELA	40 Laurel Ave	Wellesley Hills	MA	US	02481
943	569480.00041800	WATERWAYS SLIP INC	418 Hillbrook Rd	Bryn Mawr	PA	US	19010
944	569442.00022900	WATSON ROBERT P REVOCABLE TRUST	31 Ocean Reef Dr	Key Largo	FL	US	33037
945	570760.00000000	WAXMAN EARL	24 Dockside Ln	Key Largo	FL	US	33037
946	571000.00000000	WEBSTER DANIEL	20 Perky Rd	Key Largo	FL	US	33037
947	81693.00060000	WELLS HAROLD WILLIAMS	PO Box 2320	Wilmington	NC	US	28402
948	573650.00400300	WESTER DAVID	4244 Chase Ave	Miami Beach	FL	US	33140
949	81711.00190000	WHISPERING GRAY LLC	322 Caravelle Dr	Jupiter	FL	US	33458
950	80020.00025500	WHITBECK MARIE G REVOCABLE LIVING TRUST 1/28/2015	50 Club House Rd	Key Largo	FL	US	33037
951	573670.00050000	WHITE MICHAEL W	5 Harbor Island Dr	Key Largo	FL	US	33037
952	572797.00190000	WHITTEN JACQUIE M	2825	KING CITY	ONTARIO	CA	L7B IA3
953	81713.00070000	WILKIE MICHAEL	LLOYDTOWN/AURORA RD	Key Largo	FL	US	33037
954	81780.00021300	WILLIAM U PARFET REVOCABLE LIVING TRUST DTD 5/23/1984	31 Ocean Reef Dr	Key Largo	FL	US	33037
955	573650.00402500	WILLIAMS DOUGLAS M	277 S Rose St	Kalamazoo	MI	US	49007
956	81711.00090000	WILLIAMSON GEORGE E	PO Box 1950	Bozeman	MT	US	59771
957	572793.00041300	WILLISON LAWRENCE D	5501 Oak Ln	Coral Gables	FL	US	33156
958	569480.00043400	WILLOW RUN FARMS INC	13 Lakeside Ln	Key Largo	FL	US	33037
959	573690.00120000	WILLSON WILLIAM F	6895 SW 112th St 24 Dockside Ln	Miami Key Largo	FL FL	US US	33156 33037

960	569511.003331600	WILSON RODNEY AND MARLENE QUAL SPOUSAL TR 12/26/12	4 Fair Oaks Dr	Saint Louis	MO	US	63124
961	570690.000000000	WILSON WILLIAM W III	9 Country Club Rd	Key Largo	FL	US	33037
962	569442.00022800	WINTER WAVES LLC	107 Rockaway Ave	Garden City	NY	US	11530
963	572795.00080000	WINTON JAMES T	115 Anchor Dr	Key Largo	FL	US	33037
964	571220.000000000	WITZ FAY S REVOCABLE TRUST 05/22/2001	39 Bay Ridge Rd	Key Largo	FL	US	33037
965	569513.00060300	WOLF CHARLES JR	303 Gravel Hill Rd	Mount Wolf	PA	US	17347
966	570640.000000000	WOODMAN ANDREW	206 Cloister Green Ln	Memphis	TN	US	38120
967	573650.00402300	WOODS JAMES D	6 Pine Hill Rd	Burlington	CT	US	06013
968	81691.00040000	WOODS RICHARD R	24 Dockside Ln	Key Largo	FL	US	33037
969	572793.00100400	WOODSTREAM TRAIL LLC	2338 Immokalee Rd	Key Largo	FL	US	33037
970	572793.00020500	WOOTEN SIMEON F	29B Lakeside Ln	Naples	FL	US	34110
971	572797.00380200	WYER BARBARA JUDGE	2 Torchwood Ln	Key Largo	FL	US	33037
972	572793.00090400	WYLIE SUZANNA	PO Box 849	Key Largo	FL	US	33037
973	81713.00060000	WYLLIE CAROL G	626 Solar Isle Dr	Killen	AL	US	35645
974	569442.00021400	WYLLIE STUART S	626 Solar Isle Dr	Fort Lauderdale	FL	US	33301
975	569482.000000000	YACHTSMAN INN LAND LLC	C/O ROBERT ANTHONY BOGDAN AGENT	Ft Lauderdale	FL	US	33301
976	572792.00060200	YATES THOMAS E	42 White St	Key Largo	FL	US	33037
977	572793.00010600	YEAGER HOWARD B JR REV TRUST AGR 5/22/2002	5210 Worthington Dr	New York	NY	US	10013
978	569790.000000000	YONKE ERIC T	2000 Hycroft Dr	Bethesda	MD	US	20816
979	572795.00070000	YOUNG ROBERT J TRUST	PO Box 10000	Pittsburgh	PA	US	15241
980	572793.00030400	Z8ORC VENTURES LLC	22 Liberty Dr	Glenwood Springs	CO	US	81602
981	570410.000000000	ZEIGLER HAROLD J TRUST 1/25/1994	3939 Stadium Dr	Boston	MA	US	02210
982	81713.00110000	ZERGA JOSEPH L	3677 Winding Wood Ln	Kalamazoo	MI	US	49008
983	81711.00100000	ZIEGLER LINDA J REVOCABLE TRUST 3/14/2008	5748 Jardin Pl	Lexington	KY	US	40515
984	569442.00010200	ZIFFERER MORTON F JR	3392 Lower Glades Rd	Columbus	OH	US	43213
985	569480.00032500	ZIFFERER SCOTT C LIVING TRUST	24 Dockside Ln	York	PA	US	17406
986	569513.00071800	ZUCCOTTI SUSAN N	40 E 84th St	Key Largo	FL	US	33037
				New York	NY	US	10028

	RE NO.:	OWNER:	ADDRESS:
1.	00573630-002600	Ocean Reef Club, Inc.	395 S Harbor Dr.
2.	00572797-003600	Ocean Reef Club, Inc.	100 Anchor Dr.
3.	00572795-001000	Ocean Reef Club, Inc.	30 Ocean Reef Dr.
4.	00570460-000000	Ocean Reef Club, Inc.	90 Andros Rd.
5.	00570450-000000	Ocean Reef Club, Inc.	90 Andros Rd.
6.	00569510-000000	Ocean Reef Club, Inc.	90 Andros Rd.
7.	00569500-000096	William Horne, Jr.	35 Ocean Reef Dr.
8.	00569500-000095	Lawrence Lukis	35 Ocean Reef Dr.
9.	00569500-000000	Ocean Reef Club, Inc	Beach Rd.
10.	00569500-000000	Ocean Reef Club, Inc.	Beach Rd.
11.	00569490-000000	Ocean Reef Club, Inc	Beach Rd.
12.	00569470-000000	Ocean Reef Club, Inc	Ocean Reef Dr.
13.	00081880-000100	Ocean Reef Club, Inc	31 Ocean Reef Dr.
14.	00569482-000000	Yachtsman Inn Land, LLC	650 Brach Rd.
15.	00081780-000300	Ocean Reef Club, Inc	314 Anchor Dr.
16.	00081760-000100	Ocean Reef Club, Inc	1 Dockside Ln.
17.	00081760-000000	Ocean Reef Club, Inc	31 Ocean Reef Dr.
18.	00081760-000000	Ocean Reef Club, Inc	1 Dockside Ln.
19.	00081760-000000	Ocean Reef Club, Inc	1 Dockside Ln.
20.	00081740-000500	O R Business Center, LLC	395 S. Harbor Dr.
21.	00081720-000600	North Largo Utility Corp	Vacant Land
22.	00081720-000400	FKAA	Vacant Land
23.	00081720-000000	Ocean Reef Club, Inc	100 Country Club Rd.
24.	00081710-000000	Ocean Reef Club, Inc	120 Nirvana Ln. 100 Nirvana Ln.





SC



SS

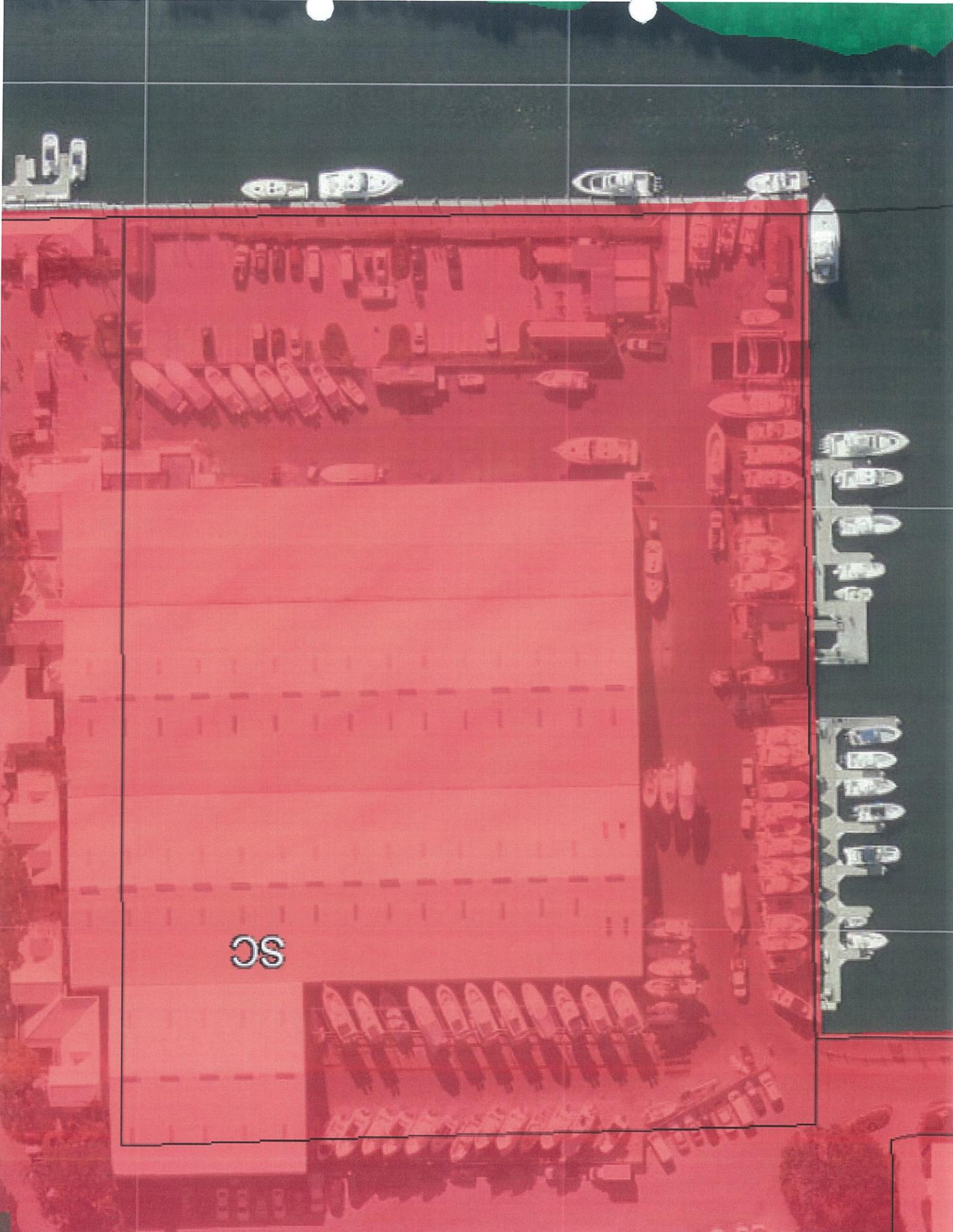
AD

SC



An aerial photograph of an industrial or commercial site, overlaid with a semi-transparent red color. The image shows several large, rectangular buildings with flat roofs, likely warehouses or manufacturing facilities. There are numerous parking lots filled with cars and trucks. A road or driveway runs through the center of the site. The entire image is framed by a white border, and there are two white circular punch holes at the top edge. A white label with the letters 'SC' is positioned in the upper right quadrant of the red overlay.

SC

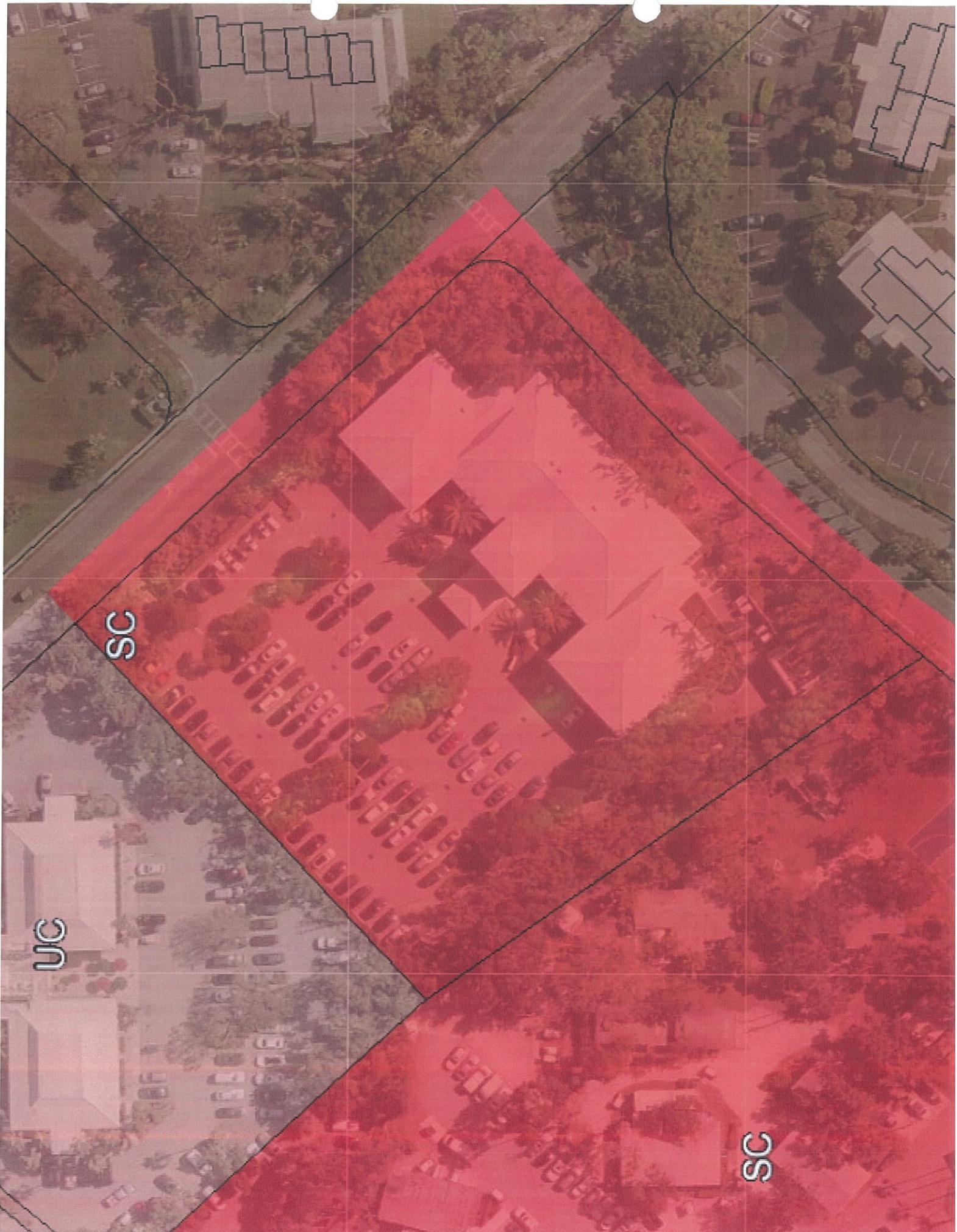


SC



SC

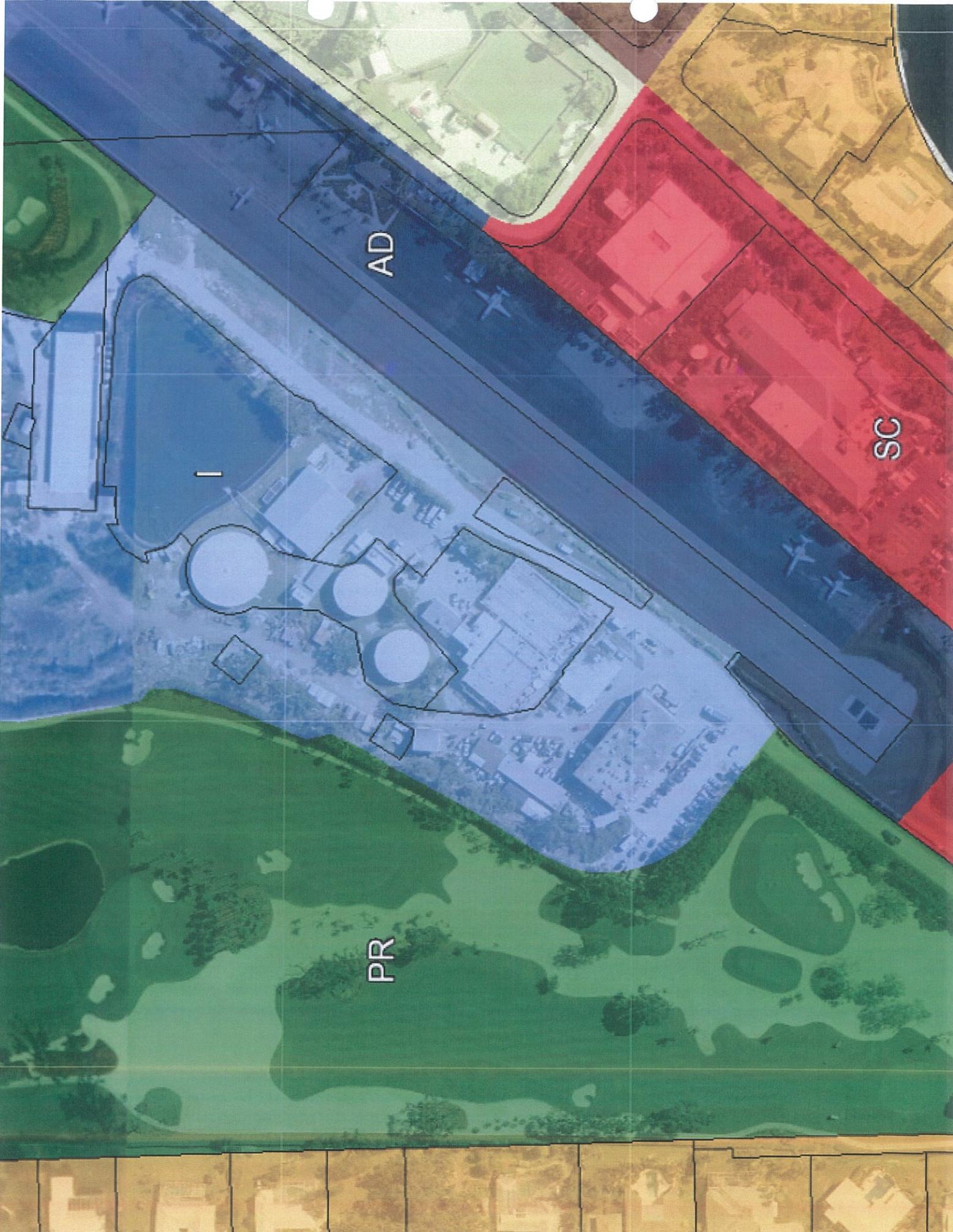
UR



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AD

SC

PR

I

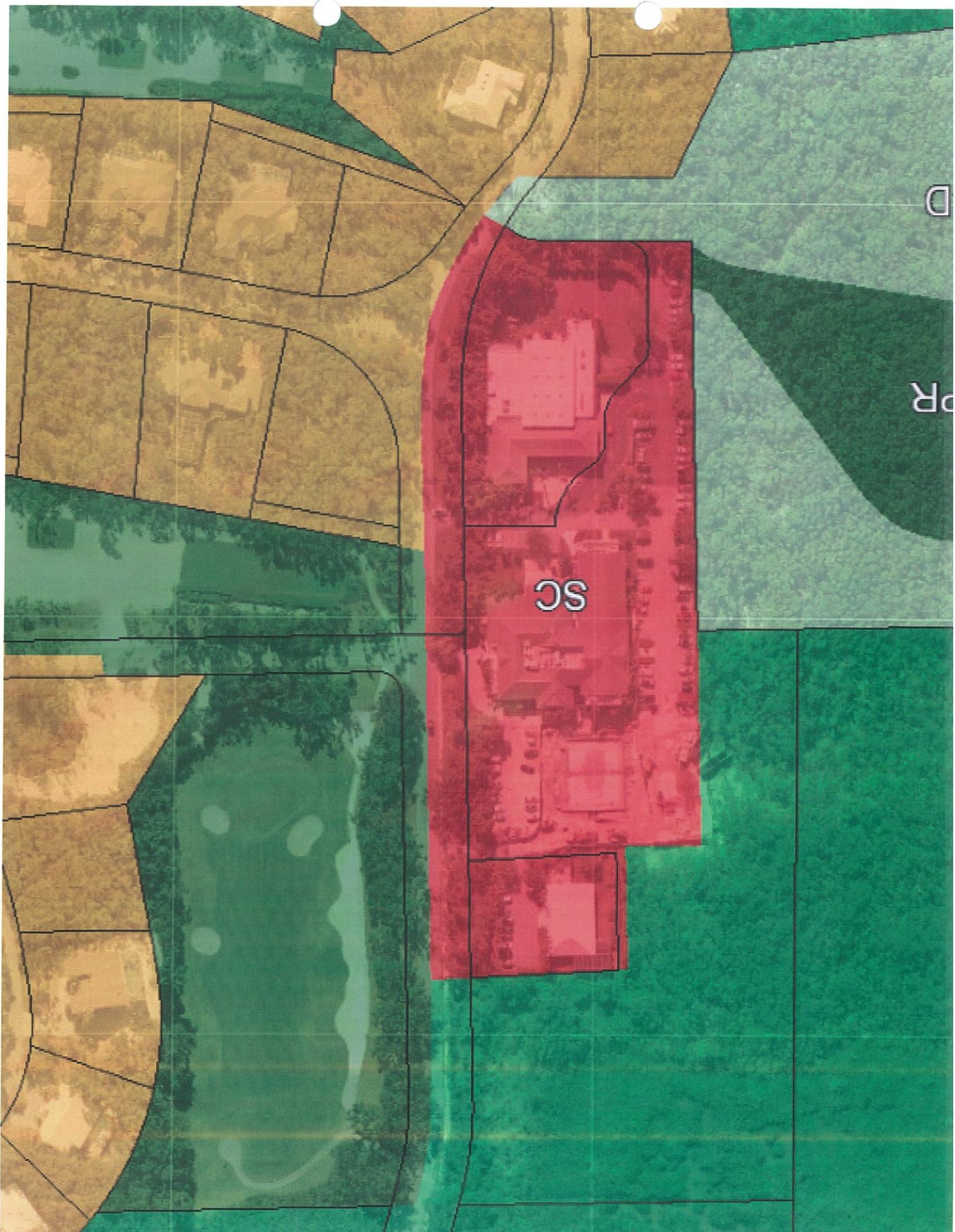


SC

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SC

D
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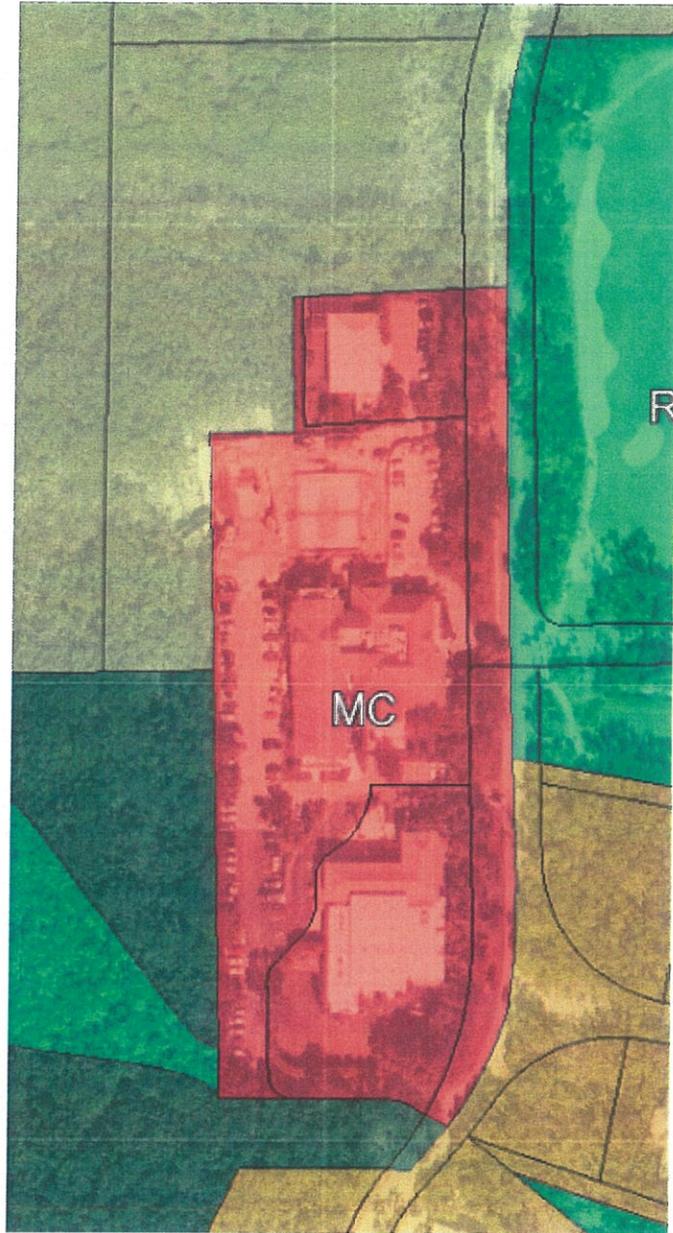
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SC

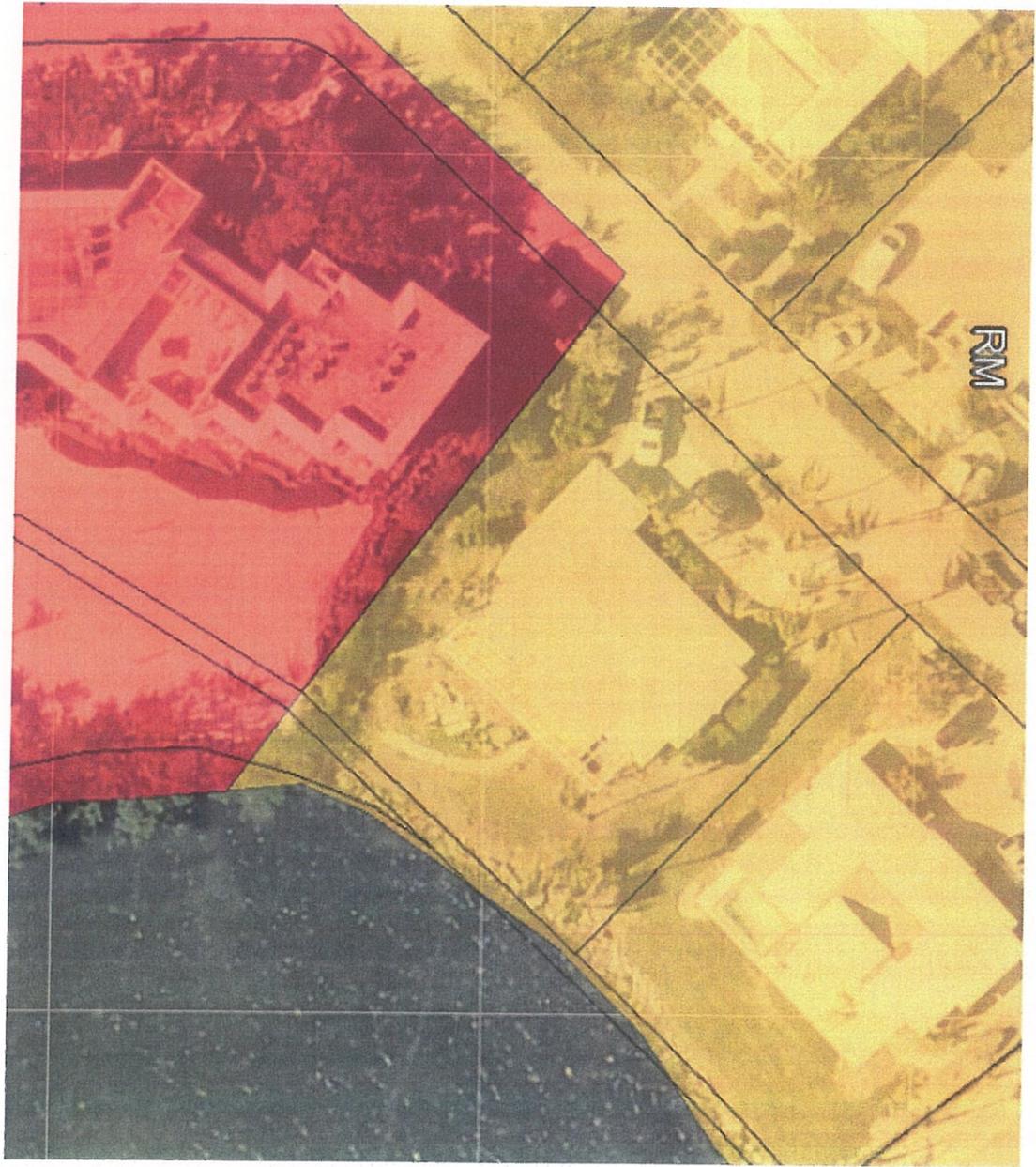








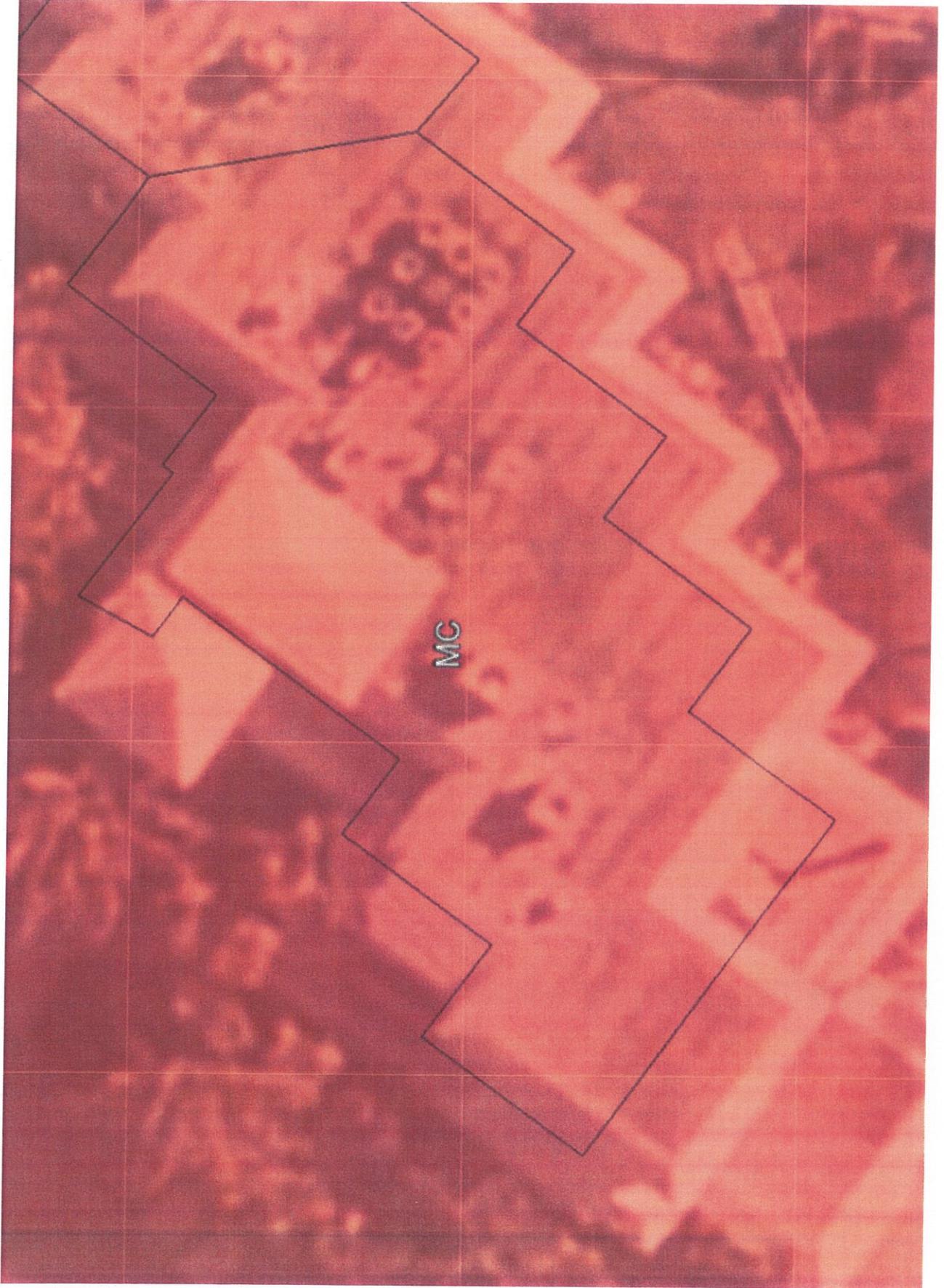




RM



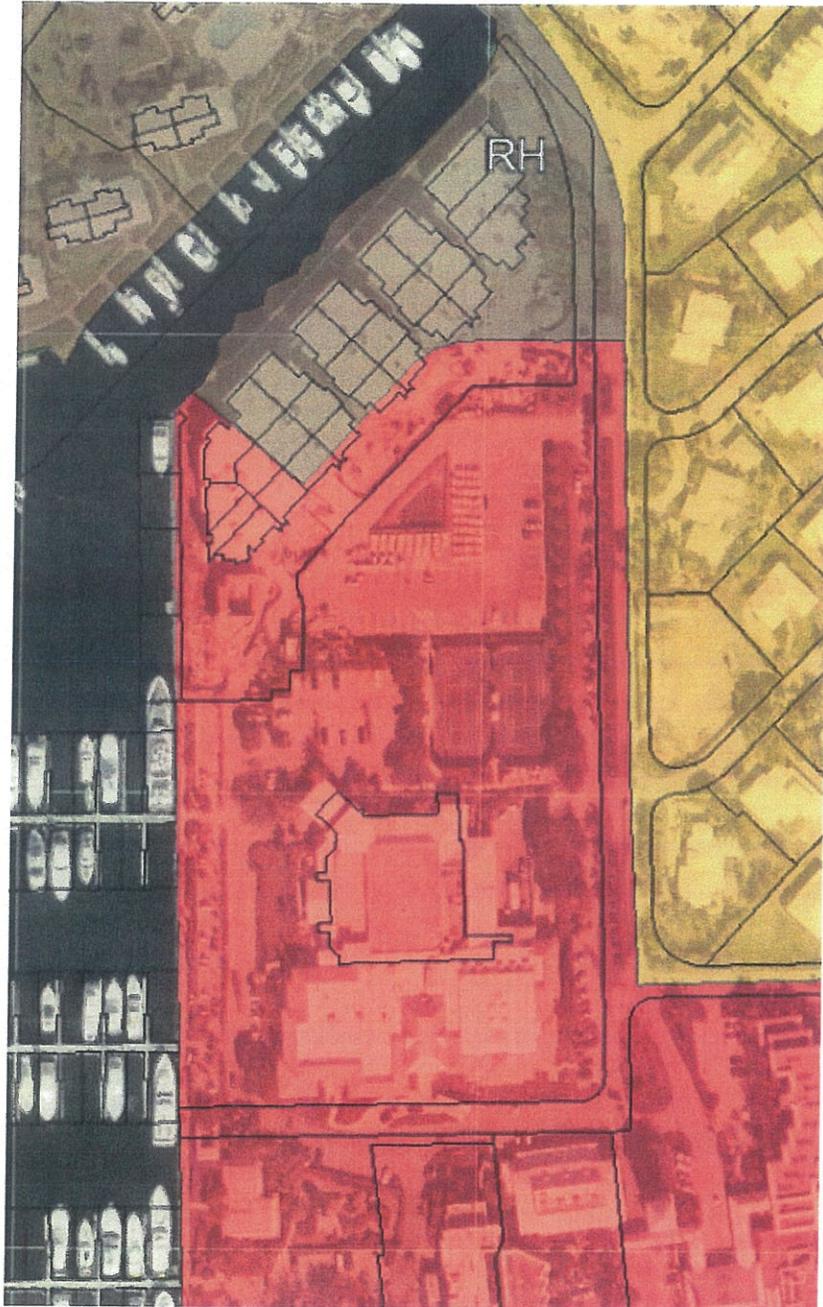


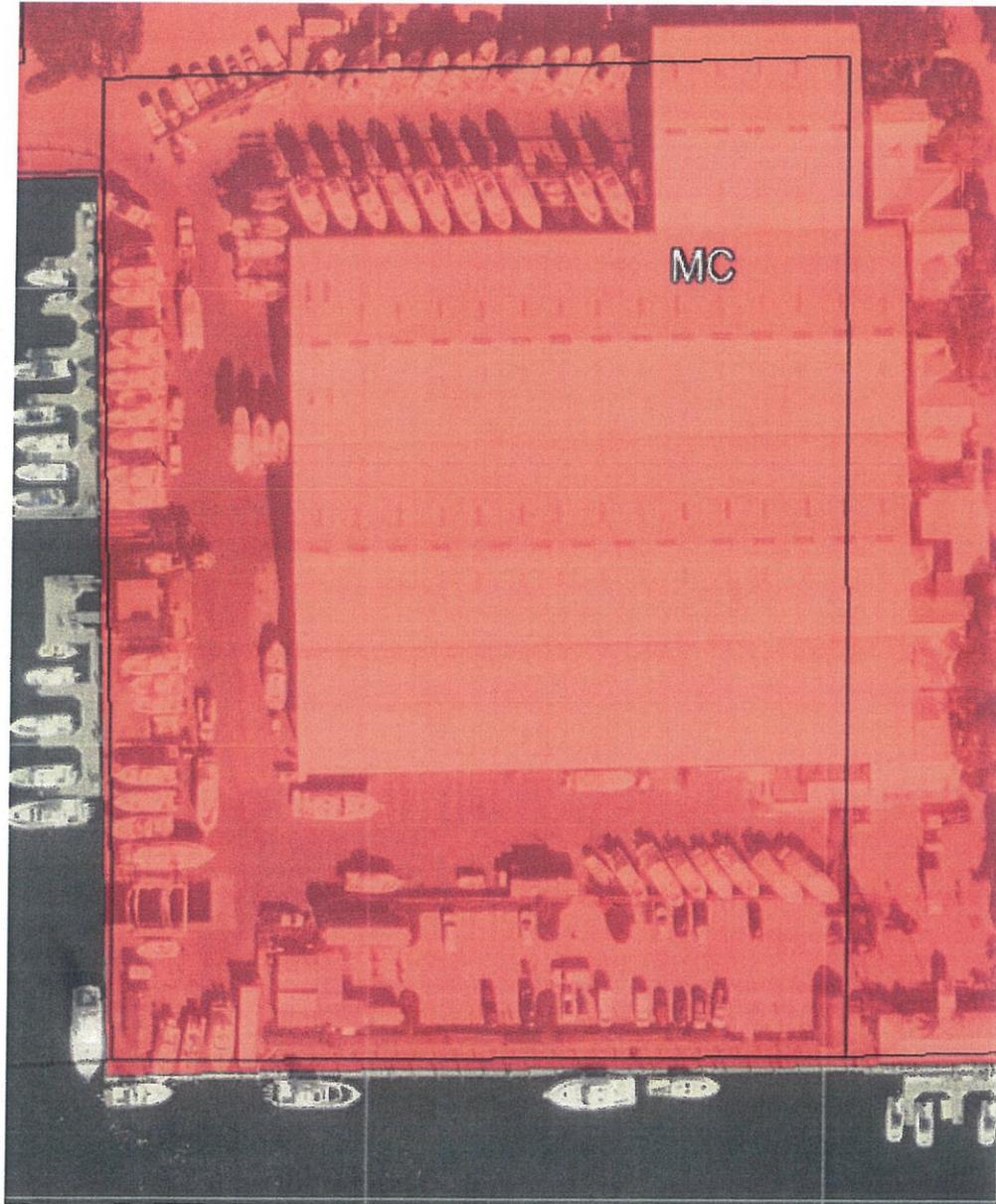


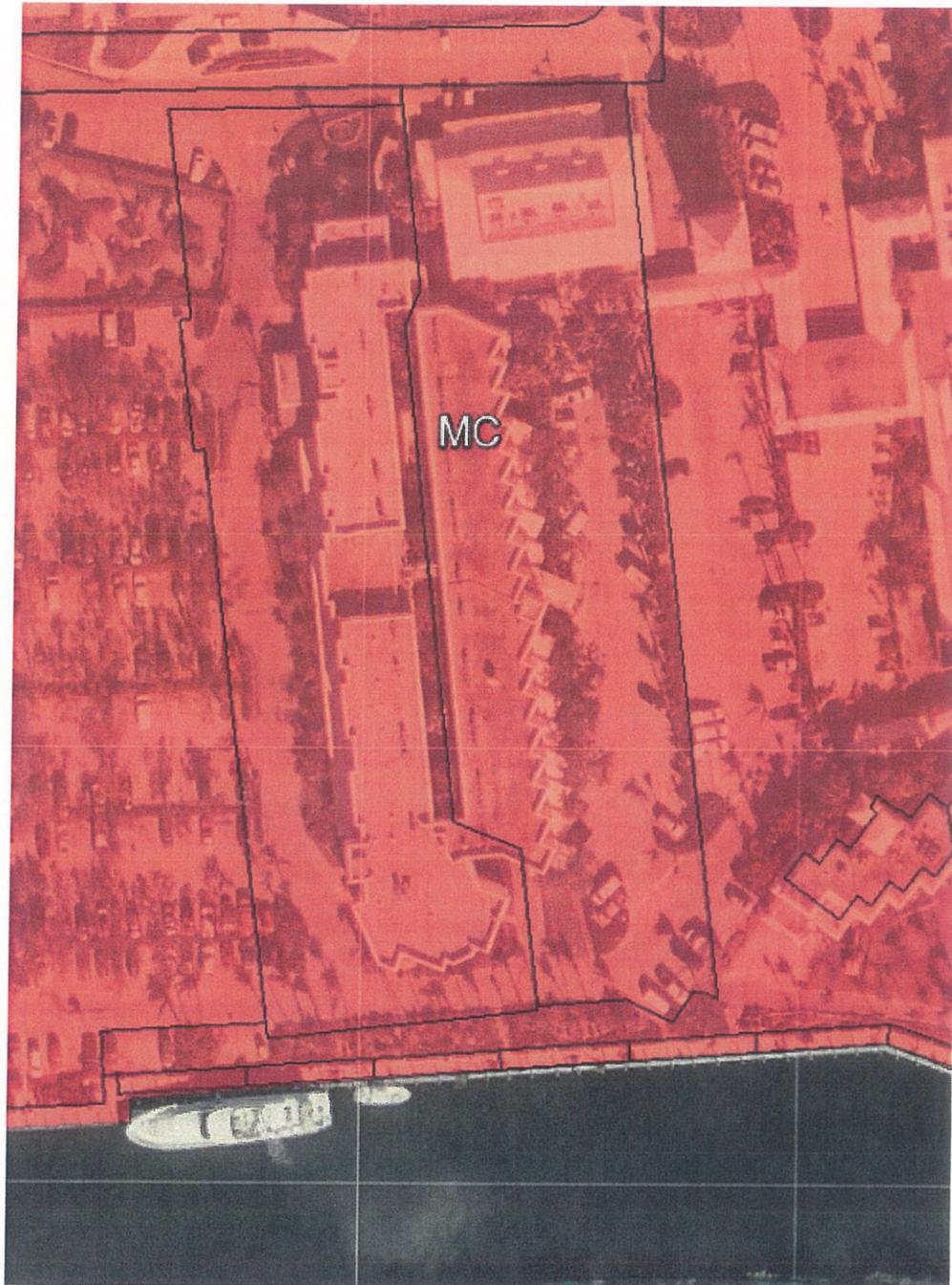
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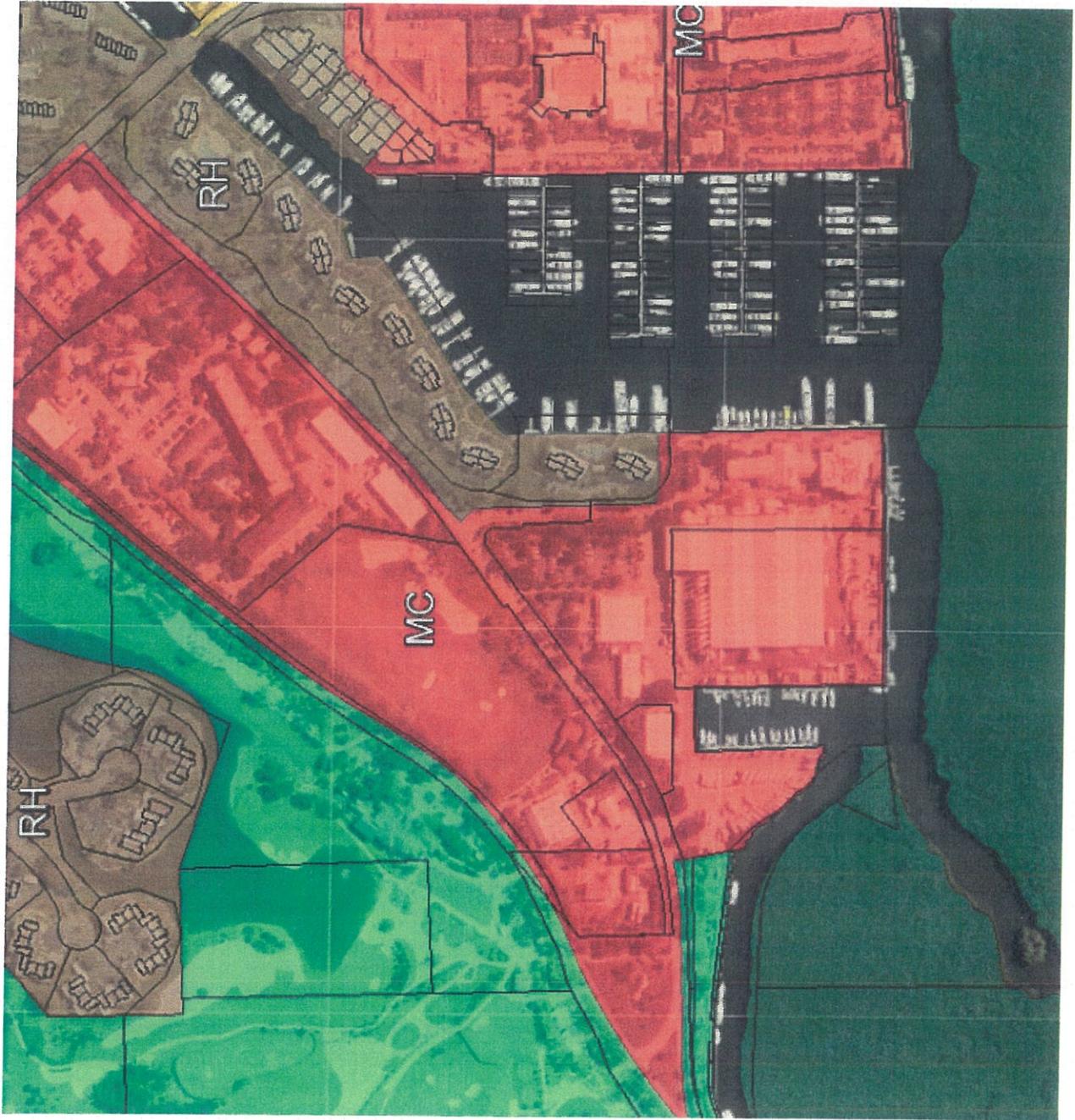


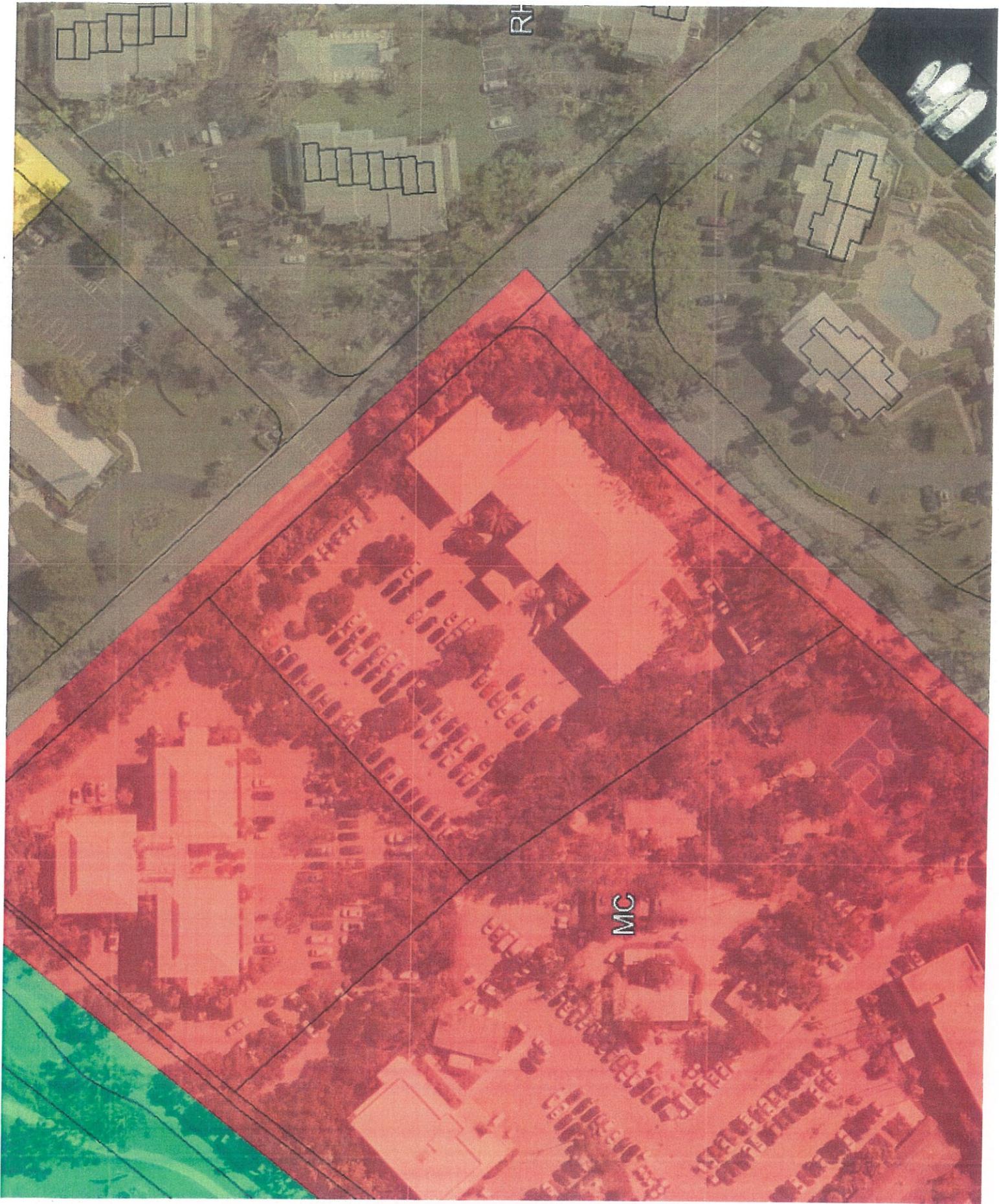






MG





RF

MC



AGENT AUTHORIZATION FORM

Date of Authorization: 05 / 20 / 2020
Month Day Year

I hereby authorize BARTON W. SMITH, ESQ. / JESS MILES GOODALL, ESQ. / SMITH HAWKS, PL be listed as authorized agent
(Print Name of Agent)

representing O R Business Center, LLC for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of Land Development Code Text Amendment Application and Land Use Designation Zoning Map Amendment
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach description on separate sheet)

SEE ATTACHED

Table with columns: Lot, Block, Subdivision, Key (Island)

SEE ATTACHED

Real Estate (RE) Number: 201 OCEAN REEF DRIVE, KEY LARGO, FLORIDA 33037
Alternate Key Number: 106
Street Address (Street, City, State & Zip Code)
Approximate Mile Marker

Authorized Agent Contact Information:

138 SIMONTON STREET, KEY WEST, FLORIDA 33040
Mailing Address (Street, City, State and Zip Code)

(305) 296-7227 BART@SMITHHAWKS.COM
Work Phone Home Phone Cell Phone Email Address

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Handwritten Signature]

Printed Name of Property Owner: Vaughn Roberts

STATE OF Florida COUNTY OF Monroe

Sworn to and subscribed before me this 20 day of May, 2020,

by Vaughn Roberts, who is personally known to me OR produced
(Print Name of Person Making Statement)

as identification.
(Type of ID Produced)

Signature of Notary Public: LuAnn V. Lowen

Print, Type or Stamp Commissioned Name of Notary Public: LuAnn V. Lowen

My commission expires: June 23, 2024



AGENT AUTHORIZATION FORM

Date of Authorization: 05 / 20 / 2020
Month Day Year

I hereby authorize BARTON W. SMITH, ESQ. / JESS MILES GOODALL, ESQ. / SMITH HAWKS, PL be listed as authorized agent
(Print Name of Agent)

representing Yachtsman Inn Land, LLC for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of Land Development Code Text Amendment Application and Land Use Designation Zoning Map Amendment
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

SEE ATTACHED

Lot Block Subdivision Key (Island)
SEE ATTACHED

Real Estate (RE) Number 201 OCEAN REEF DRIVE, KEY LARGO, FLORIDA 33037 Alternate Key Number 106
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Authorized Agent Contact Information:
138 SIMONTON STREET, KEY WEST, FLORIDA 33040
Mailing Address (Street, City, State and Zip Code)

(305) 296-7227 BART@SMITHHAWKS.COM
Work Phone Home Phone Cell Phone Email Address

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Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Handwritten Signature]

Printed Name of Property Owner: Vaughn Roberts

STATE OF Florida COUNTY OF Monroe

Sworn to and subscribed before me this 20 day of May, 2020,

by Vaughn Roberts, who is personally known to me OR produced
(Print Name of Person Making Statement)

as identification.
(Print Name of Person Making Statement)

Signature of Notary Public [Handwritten Signature]

Print, Type or Stamp Commissioned Notary Public [Handwritten Signature]

My commission expires: June 23, 2024



AGENT AUTHORIZATION FORM

Date of Authorization: 05 / 20 / 2020
Month Day Year

I hereby authorize BARTON W. SMITH, ESQ. / JESS MILES GOODALL, ESQ. / SMITH HAWKS, PL be listed as authorized agent
(Print Name of Agent)

representing OCEAN REEF CLUB, INC. for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of Land Development Code Text Amendment Application and Land Use Designation Zoning Map Amendment
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

SEE ATTACHED

Lot Block Subdivision Key (Island)

SEE ATTACHED

Real Estate (RE) Number 201 OCEAN REEF DRIVE, KEY LARGO, FLORIDA 33037
Alternate Key Number 106
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Authorized Agent Contact Information:

138 SIMONTON STREET, KEY WEST, FLORIDA 33040

Mailing Address (Street, City, State and Zip Code)

(305) 296-7227

BART@SMITHHAWKS.COM

Work Phone Home Phone Cell Phone Email Address

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Handwritten Signature]

Printed Name of Property Owner: Vaughn Roberts

STATE OF Florida

COUNTY OF Monroe

Sworn to and subscribed before me this 20 day of May, 2020

by Vaughn Roberts, who is personally known to me OR produced
(Print Name of Person Making Statement)

(Type of ID Produced) as identification.

LuAnn V. Lower
Signature of Notary Public

LuAnn V. Lower
Print, Type or Stamp Commission

My commission expires: June 23, 2024

