

File #: 2020-143

Owner's Name: RFC Investment, Inc.

Applicant: Fradys Castillo

Agent: N/A

Type of Application: Minor CUP

Key: Key Largo

RE: 00087600-000100

Additional Information added to File 2020-143

End of Additional File 2020-143

**MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT**



Request for an Amendment to a Minor Conditional Use Permit

An application must be deemed complete and in compliance with the Monroe County Code by the staff prior to the item being scheduled for review.

Minor Conditional Use Permit Application Fee: \$8,480.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Traffic Study Review: \$5,000.00

Date of Application: 09/01/2020
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

RFC Investment Inc FRADYS CASTILLO
Applicant (Name of Person, Business or Organization) Name of Person Submitting this Application
P.O. BOX 373174 Key Largo, FL 33037
Mailing Address (Street, City, State and Zip Code)
(305) 924-0593 hat2256@aol.com
Work Phone Home Phone Cell Phone Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

RFC Investment Inc FRADYS CASTILLO
(Name/Entity) Contact Person
P.O. BOX 373174 Key Largo FL 33037
Mailing Address (Street, City, State and Zip Code)
(305) 924-0593 hat2256@aol.com
Work Phone Home Phone Cell Phone Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

42 Holiday Homes Key Largo
Block Lot Subdivision Key
1096202 00087600-000100
Real Estate (RE) Number Alternate Key Number
116 Ocean Drive Key Largo 100
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

APPLICATION

If requesting an Amendment to a Minor Conditional Use Permit, Identify the Approval (Development Order / Resolution) #: _____

Land Use District Designation of Property: Suburban Commercial

Present Land Use of Property: Vacant

Proposed Land Use of Property: 4 Mini Warehouses or Storage Units

Total Area of Property: 24,934 Square Feet

Total Upland Area within Property: 24,934 Square Feet

If non-residential or commercial floor area is proposed, please provide:

1 Total number of non-residential buildings

2,493 Total non-residential floor area in square feet

If residential dwelling units are proposed, please provide:

_____ Total number of residential buildings

_____ Total number of market-rate units

_____ Total number of affordable units

_____ Total number of transient units (hotel, recreational vehicle and/or campground)

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Completed application form
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed)
- Current property record card(s) from the Monroe County Property Appraiser
- Photograph(s) of site from adjacent roadway
- Written description of project
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 6 sets (at a minimum, survey should include elevations; all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage; and total acreage by habitat)
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect– 6 sets (drawn to a scale of 1:10 or 1:20). At a minimum, the site plan should include the following:
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
 - All attributes from the boundary survey
 - Future Land Use Map (FLUM) designation(s) of the site
 - Land Use (Zoning) District designation(s) of site

APPLICATION

- Tier designation(s) of the site
- Flood zones pursuant to the Flood Insurance Rate Map Setback lines as required by the Land Development Code
- Locations and dimensions of all existing and proposed structures, including all paved areas and clear site triangles
- Size and type of buffer yards and parking lot landscaping areas, including the species and number of plants (*unless a separate landscape plan showing such is submitted*)
- Extent and area of wetlands, open space preservation areas and conservation easements
- Delineation of habitat types to demonstrate buildable area on the site, including any heritage trees identified and any potential species that may use the site (certified by an approved biologist and based on the most current professionally-recognized mapping by the U.S. Fish and Wildlife Service) (*unless a separate landscape plan showing such is submitted*)
- Location of fire hydrants or fire wells
- The location of public utilities, including location of the closest available water supply system or collection lines and the closest available wastewater collection system or collection lines (with wastewater system provider) or on-site system proposed to meet required County and State of Florida wastewater treatment standards
- A table providing the total land area of the site, the total buildable area of the site, the type and square footage of all nonresidential land uses, the type and number of all residential dwelling units, the amounts of impervious and pervious areas, and calculations for land use intensity, open space ratio, and off-street parking
- Landscape Plan by a Florida registered landscape architect – 6 sets (may be shown on the site plan; however, if a separate plan, drawn to a scale of 1:10 or 1:20). At a minimum, the landscaping plan should include the following:
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
 - Locations and dimensions of all existing and proposed structures, including all paved areas
 - Open space preservation areas
 - Existing natural features
 - Size and type of buffer yards including the species, size and number of plants
 - Parking lot landscaping including the species, size and number of plants
 - Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced
 - Transplantation plan (if required)
- Stormwater/ Surface Water Management Plan – 6 sets (including existing and proposed topography, all drainage structures, retention areas, drainage swales and existing and proposed permeable and impermeable areas)
- Building Floor Plans for all proposed structures and for any existing structures to be redeveloped – 6 sets (drawn at an appropriate standard architectural scale)
- Building Elevations for all proposed structures and for any existing structures to be modified – 6 sets (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure)
- Traffic Study, prepared by a licensed traffic engineer
- Transportation fee of \$5,000 to cover the cost of experts hired by the Growth Management Division to review the traffic study (any unused funds deposited will be returned upon permit approval)
- Construction Management Plan, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging)
- Typed name and address mailing labels of all property owners within a 600 foot radius of the property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the

APPLICATION

event that a condominium development is within the 600 foot radius, each unit owner must be included

Radius report from Monroe County Property Appraiser supporting the required labels

Proof of Coordination are required from the following:

- Florida Keys Aqueduct Authority (FKAA)
- Florida Keys Electric Cooperative (FKEC) or Keys Energy Services
- Monroe County Office of the Fire Marshal
- Monroe County Solid Waste Management
- Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day

If applicable, the following items must be included in order to have a complete application submission:
(Please check the box as each required item is attached to the application.)

Notarized Agent Authorization

Vegetation Survey or Wetland delineation

Construction Phasing Plan

Additional Proof of Coordination may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:

- Key West Resort Utilities
- Key Largo Wastewater Treatment District (KLWTD)
- South Florida Water Management District (SFWMD)
- Florida Department of Transportation (FDOT)
- Florida Department of Environmental Protection (FDEP)
- Florida Department of State, Division of Historic Resources
- Florida Game and Freshwater Fish Commission (FGFFC)
- U.S. Army Corps of Engineers (ACOE)
- U.S. Fish and Wildlife Service (USFW)

Is there a pending code enforcement proceeding involving all or a portion of the parcel proposed for development:

Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

Has a previous application been submitted for this site within the past two years? Yes No

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

* * * * *

See Page 5 for Signature and Notary Acknowledgement

APPLICATION

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Handwritten Signature]

Date: 09/02/2020

STATE OF FLORIDA

COUNTY OF MONROE

Sworn to and subscribed before me this 2 day of SEPTEMBER, 2020,

by FRADYS CASTILLO, who is personally known to me OR produced
(PRINT NAME OF PERSON MAKING STATEMENT)

FLDL as identification.
(TYPE OF ID PRODUCED)

[Handwritten Signature]
Signature of Notary Public, State of Florida

Jody S. Ranuel
Print, Type of Stamp Commissioned Name of Notary Public
My commission expires:



Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050

State of Florida



Department of State

I certify the attached is a true and correct copy of the Articles of Incorporation of RFC INVESTMENT INC, a Florida corporation, filed on February 11, 2020 effective February 10, 2020, as shown by the records of this office.

I further certify the document was electronically received under FAX audit number H20000047760. This certificate is issued in accordance with section 15.16, Florida Statutes, and authenticated by the code noted below.

The document number of this corporation is P20000011933.

Authentication Code: 420A00003147-021220-P20000011933-1/1

Given under my hand and the
Great Seal of the State of Florida,
at Tallahassee, the Capital, this the
Twelfth day of February, 2020




Secretary of State

February 12, 2020

RFC INVESTMENT INC
700 E 15TH PL
HIALEAH, FL 33010

The Articles of Incorporation for RFC INVESTMENT INC were filed on February 11, 2020, effective February 10, 2020, and assigned document number P20000011933. Please refer to this number whenever corresponding with this office.

Enclosed is the certification requested. To be official, the certification for a certified copy must be attached to the original document that was electronically submitted and filed under FAX audit number H20000047760.

To maintain "active" status with the Division of Corporations, an annual report must be filed yearly between January 1st and May 1st beginning in the year following the file date or effective date indicated above. If the annual report is not filed by May 1st, a \$400 late fee will be added. It is your responsibility to remember to file your annual report in a timely manner.

A Federal Employer Identification Number (FEI/EIN) will be required when this report is filed. Apply today with the IRS online at:

<https://sa.www4.irs.gov/modiein/individual/index.jsp>.

Please be aware if the corporate address changes, it is the responsibility of the corporation to notify this office.

Should you have questions regarding corporations, please contact this office at (850) 245-6052.

DANIEL L O'KEEFE
Regulatory Specialist II
New Filings Section
Division of Corporations

Letter Number: 420A00003147

ARTICLES OF INCORPORATION
In compliance with Chapter 607 and/or Chapter 621, F.S. (Profit)

ARTICLE I NAME

The name of the corporation shall be: RFC INVESTMENT INC

ARTICLE II PRINCIPAL OFFICE

Principal street address

Mailing address, if different is:

700 E 16TH PL

P.O. BOX 373174

HIALEAH, FL 33010

KEY LARGO, FL 33037

ARTICLE III PURPOSE

The purpose for which the corporation is organized is: INVESTMENT

ARTICLE IV SHARES

The number of shares of stock is: 100 SHARES

ARTICLE V INITIAL OFFICERS AND/OR DIRECTORS

Name and Title: FRADYS CASTILLO Name and Title: _____

Address 700 E 16TH PL Address: _____

HIALEAH, FL 33010 _____

PRESIDENT (100 SHARES) _____

Name and Title: _____ Name and Title: _____

Address _____ Address: _____

Name and Title: _____ Name and Title: _____

Address _____ Address: _____

Name and Title: _____ Name and Title: _____
Address _____ Address: _____

ARTICLE VI REGISTERED AGENT

The **name and Florida street address** (P.O. Box NOT acceptable) of the registered agent is:

Name: FRADYS CASTILLO
Address: 700 E 16TH PL
HIALEAH, FL 33010

ARTICLE VII INCORPORATOR

The **name and address** of the Incorporator is:

Name: FRADYS CASTILLO
Address: 700 E 16TH PL
HIALEAH, FL 33010

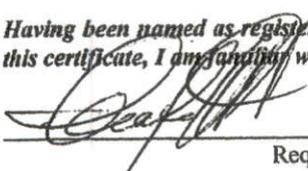
ARTICLE VIII EFFECTIVE DATE:

Effective date, if other than the date of filing: FEBRUARY 10, 2020. (OPTIONAL)

(If an effective date is listed, the date must be specific and cannot be more than five days prior or 90 days after the filing.)

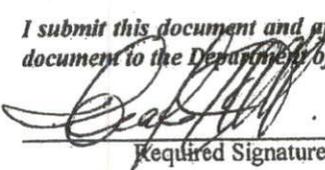
Note: If the date inserted in this block does not meet the applicable statutory filing requirements, this date will not be listed as the document's effective date on the Department of State's records.

Having been named as registered agent to accept service of process for the above stated corporation at the place designated in this certificate, I am ~~and do~~ with and accept the appointment as registered agent and agree to act in this capacity



Required Signature/Registered Agent 02/10/2020
Date

I submit this document and affirm that the facts stated herein are true. I am aware that the false information submitted in a document to the Department of State constitutes a third degree felony as provided for in s.817.155, F.S.



Required Signature/Incorporator 02/10/2020
Date

County of Monroe

Planning & Environmental Resources Department

Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050
Voice: (305) 289-2500
FAX: (305) 289-2536



Board of County Commissioners:

Mayor Heather Carruthers, District 3
Mayor Pro Tem Michelle Coldiron, District 2
Craig Cates, District 1
David Rice, District 4
Sylvia J. Murphy, District 5

We strive to be caring, professional, and fair

June 17, 2020

Via email to hat2256@aol.com

Fradys Castillo
P.O. Box 373174
Key Largo, FL 33037

**Letter of Understanding (File# 2020-062), Hardrock Hammock, LLC.
116 Ocean Drive, Key Largo, legally described as part of Lot 42, Section 28, Township 61 South,
Range 39 East on Key Largo, according to Florida East Coast Railway Company's Plat recorded in
Plat Book 1 at Page 68, of the Public Records of Monroe County, Florida
Parcel Identification Number: 00087600-000100**

Pursuant to Section 110-3 of the Monroe County Land Development Code (LDC), also referred to as "The Code", this document shall constitute a Letter of Understanding (LOU) following your request for a Pre-Application Conference with Planning and Environmental Resources staff. The purpose of the Pre-Application Conference is to acquaint the participants with the requirements of the Land Development Code, applicable Comprehensive Plan policies and the views and concerns of the County. The substance of the Pre-Application Conference held virtually on May 14, 2020, is recorded in this LOU, which sets forth the subjects discussed at the conference and the County's position in regard to the subject matters discussed.

In attendance at the pre-application conference were:

- Fradys Castillo, Applicant
- Devin Tolpin, Senior Planner, Monroe County
- Brad Stein, Development Review Manager, Monroe County
- Tim Douma, Senior Biologist, Monroe County

Materials presented for review included:

- Written description of proposal
- Revised proposal as confirmed in May 26, 2020 email
- Boundary survey prepared by James Beadman & Assoc., Inc., dated January 10, 2010
- Proposed site plan

I. APPLICANT PROPOSAL

The applicant initially inquired about the potential to develop eight (8) attached dwelling units in a single residential structure on the subject property. At the Pre-Application Conference, the following provisions of the LDC were discussed in detail:

- *LDC Section 130-93(8):* Attached and detached dwellings involving six to 18 units, designated as employee housing as provided for in section 139-1[are permitted as a minor conditional use within the Suburban Commercial Land Use District]

- *LDC Section 130-157(e)*: For properties consisting of hammocks, pinelands or disturbed wetlands within the Mixed Use/ Commercial and Mixed Use/ Commercial Fishing future land use categories, the maximum net density bonuses shall not be available.
- *LDC Section 139-1(a)(6)e*: The parcel of land proposed for development of affordable or employee housing shall only be located within a Tier III designated area.

During the Pre-Application Conference the applicant requested that the LOU address a revised proposal as confirmed in an email sent from the applicant to staff on May 26, 2020. The revised proposal is as follows:

Explore the possibility of the development of four (4) mini warehouses or storage units on the property of approximately 600 square feet each.

II. SUBJECT PROPERTY DESCRIPTION

1. The subject property is made up of a single undeveloped parcel located at approximate mile marker 100, Key Largo. The property is bordered to the north by a wireless communication facility and commercial retail, to the east by a residential subdivision, to the south by a hotel and commercial uses, and to the west by attached residential dwelling units.
2. The subject property is legally described as Part of Lot 42, Section 28, Township 61 South, Range 39 East on Key Largo, according to Florida East Coast Railway Company's Plat recorded in Plat Book 1 at Page 68, of the Public Records of Monroe County, Florida, having Parcel Identification Number 00087600-000100
3. The property is located within the Suburban Commercial (SC) Land Use (Zoning) District and is designated as Mixed Use Commercial (MC) on the Future Land Use Map (FLUM) of the Comprehensive Plan. The property is designated at Tier III-A Special Protection Area on the Tier Overlay Map and is designated as Hammock on the 2009 Habitat Map. The aerial photographs below show the boundaries of the property, the Land Use District, the FLUM, the Tier, and the Habitat Designation, of the property and the immediate area.



Subject Property (outlined in blue) with Land Use (Zoning) Districts (Aerial dated 2018)



Subject Property (outlined in blue) with FLUM (Aerial dated 2018)



Subject Property (outlined in blue) with Tier Overlay (Aerial dated 2018)



Subject Property (outlined in blue) with Habitat Classification Overlay (Aerial dated 2018)

4. According to the boundary survey submitted, the subject property consists of 24,843.84 square feet or 0.57 acres. A current signed and sealed boundary survey, which includes, parcel boundaries, upland square footage, utility locations, etc., will be required to be submitted with any future development application.

III. RELEVANT PRIOR COUNTY ACTIONS

There are no relevant prior county actions for the subject property.

IV. REVIEW

The following policies and regulations directly affect the proposal; however, please note that there may be other regulations not referred to nor described in this LOU, which may govern the proposed development:

1. The subject property is located within the Suburban Commercial (SC) Land Use (Zoning) District.
2. The subject property is located within the Mixed Use/ Commercial (MC) Future Land Use Map (FLUM) Category.
3. The subject property is located within an area designated Tier III-A (Special Protection Area) on the Tier Overlay District Map.
4. All new development must be consistent with the purpose of the MC FLUM Categories, and all other applicable goals, objectives, and policies of the Monroe County Year 2030 Comprehensive Plan.

Comprehensive Plan Policy 101.5.6: The principal purpose of the Mixed Use/ Commercial (MC) future land use category is to provide for the establishment of mixed use commercial land use (zoning) districts where various types of commercial retail and office may be permitted at intensities which are consistent with the community character and the natural environment. Employee housing and commercial apartments are also permitted. In addition, Mixed Use/ Commercial land use districts are to establish and conserve areas of mixed uses, which may include maritime industry, light industrial uses, commercial fishing, transient and permanent residential, institutional, public, and commercial retail uses.

This future land use category is also intended to allow for the establishment of mixed use development patterns, where appropriate. Various types of residential and nonresidential uses may be permitted; however heavy industrial uses and similarly incompatible uses shall be prohibited. The County shall continue to take a proactive role in encouraging the preservation and enhancement of community character and recreational and commercial working waterfronts.

In order to protect environmentally sensitive lands, the following development controls shall apply to all hammocks, pinelands, and disturbed wetlands within this land use category:

1. *only low intensity commercial uses shall be allowed;*
2. *a maximum floor area ratio of 0.10 shall apply to nonresidential development; and*
3. *maximum net residential density shall be zero.*

5. All new development must be consistent with the purpose of the SC Land Use (Zoning) District.

LDC Section 130-46: *The purpose of the SC district is to establish areas for commercial uses designed and intended primarily to serve the needs of the immediate planning area in which they are located. This district should be established at locations convenient and accessible to residential areas to reduce trips on U.S. 1.*

6. The subject property is located within the Key Largo Livable CommuniKeys Plan (LCP) which is adopted as part of the Comprehensive Plan and implemented as objectives and policies of the Comprehensive Plan. The following LCP provisions are applicable to the property and the proposed development:

Action Item 1.1.2: Adopt the Tier System Overlay Map as a separate map to use as a planning and regulatory overlay on the existing Land Use District Map. *The Tier System Overlay Map shall be used primarily to focus acquisition efforts into Tier I and Tier III SPA and to guide development to appropriate areas in Tier III as implemented Keyswide.*

Action Item 1.3.1: Continue to use the FLUM and Land Use District Maps to regulate development of individual parcels with respect to density, intensity, bulk regulations, and all other land development regulation. This will protect the existing conformance status of most uses and promote orderly development consistent with the Comprehensive Plan.

Strategy 5.1: Adopt the Tier System that specifies Tier I and Tier III lands and Tier III SPA for purposes of guiding development while retaining species habitat and natural areas for acquisition.

7. The subject property is currently undeveloped. ^XThe applicant is proposing to construct a single nonresidential structure to be used as mini warehousing units, a light industrial use.

The permitted and conditional uses within the SC District are set forth in LDC Section 130-93, as follows:

Section 130-93(a)(3), commercial apartments involving less than six dwelling units are *permitted as of right* within the SC District.

Section 130-93(b)(7), light industrial uses, provided that the parcel proposed for development does not have an area greater than two acres; the parcel proposed for development is separated from any established residential use by at least a class C bufferyard; and all outside storage areas are screened from adjacent use by a solid fence, wall or hedge at least six feet in height are *permitted as a minor conditional use* within the SC District.

Uses, *permitted as of right*, pursuant to LDC Chapter 110, Article II, are those uses that are compatible with other land uses in a land use district, provided they are developed in conformity with the Comprehensive Plan and the LDC. As-of-right uses may be approved through a building permit application submitted to the County Building Department.

Conditional uses, pursuant to LDC Chapter 110, Article III, are those uses that are generally compatible with the other land uses permitted in a land use district, but which require individual review of their location, design and configuration and the imposition of conditions in order to ensure the appropriateness of the use at a particular location. Minor conditional uses may be approved by the Planning Director (unless a public hearing is requested by a surrounding property owner).

A minor conditional use permit would be required in order to operate a light industrial use on the subject property. Commercial apartment(s) could potentially be permitted in conjunction with the nonresidential use, provided that the property has sufficient density/intensity [refer to Item #7 for details related to density/intensity].

The application requirements and procedures for a *Minor Conditional Use Permit* are set forth in LDC Section 110-67 and 110-69. A copy of the Request for an Amendment to A Major Conditional Use Permit application can be found here: <http://fl-monroecounty2.civicplus.com/189/Forms-Applications>.

Additionally, LDC Section 101-1 defines the following relevant terms related to the development proposal:

- *Commercial apartment* means an attached or detached residential dwelling unit located on the same parcel of land as a nonresidential use that is intended to serve as permanent housing for the owner or employees of that nonresidential use. The term does not include a tourist housing use or vacation rental use.
- *Industrial use, light* means a use devoted to the manufacture, warehousing, assembly, packaging, processing, fabrication, indoor and outdoor storage, or distribution of goods and materials whether new or used and/or the substantial refinishing, repair and/or rebuilding of vehicles or vessels.

7. No structure or land in the county shall hereafter be developed, used or occupied at an intensity or density greater than the standards set out in Article V of the LDC.

The maximum permanent residential density of the subject property pursuant to LDC Section 130-157 shall be in accordance with the following table:

Allocated or Maximum Net Density	Maximum Permanent Residential Density	Total Area	Total Amount Allowed
Allocated	3 DU/ Gross Acre of Upland	0.57 acres of upland	1.71
Maximum Net	18 DU*/ Buildable Acre for affordable housing	0.46 buildable acres	N/A* (if determined to not be hammock = 8)

* For properties consisting of hammocks, pinelands or disturbed wetlands within the Mixed Use/ Commercial and Mixed Use/ Commercial Fishing future land use categories, the maximum net density bonuses shall NOT be available.

The maximum nonresidential land use intensities for those uses permitted pursuant to LDC Section 130-164 shall be in accordance with the following table:

Use within Suburban Commercial	Maximum Floor Area Ratio	Total Area (square feet)	Total Amount Allowed (square feet)	Total Proposed	Percent Proposed
Light Industrial	0.30**	24,843.84	7,453.15**	2,400	32.2%** <i>if determined to not be hammock</i>
Hammock within MC FLUM	0.1	24,843.84	2,484.38**	2,400	96.6%**

**For properties consisting of hammocks, pinelands or disturbed wetlands within the Mixed Use/Commercial and Mixed Use/Commercial Fishing future land use categories, the maximum floor area ratio shall be 0.10.

A large portion of the subject property is designated as hammock. In accordance with LDC Section 130-157(e) and 130-164(b), **the maximum net density bonus shall not be available and the maximum floor area ratio shall be 0.10 within the portion of the property designated as hammock.** A survey delineating and measuring area by habitat types would be required in order to determine the exact area of the property that is not designated as hammock that may be used to obtain maximum net density and FAR.

The density and intensity provisions set out in LDC Article V are intended to be applied cumulatively so that no development shall exceed the total density limits of this article.

LDC Section 101-1 defines the following relevant terms related to the development proposal:

- *Buildable acre* means the upland portion of a parcel that is not required open space required by section 130-157. Also see "net buildable area."
- *Density, allocated* means the number of dwelling units or rooms/spaces which may be permitted to be developed per gross acre of upland without the use of Transferable Development Rights (TDRs).
- *Density, maximum net* means the maximum number of dwelling units or rooms/spaces which may be permitted to be developed per buildable acre, with the use of Transferable Development Rights (TDRs) or for affordable housing.
- *Floor area* means the sum of the gross covered and enclosed habitable areas of a building or any other covered and enclosed structure, measured from the exterior walls or from the centerline of party walls.
- *Floor area ratio (FAR)* means the total floor area of the building(s) and/or any other covered and enclosed structure(s) on a site divided by the gross area of the site. FAR is the measurement of the intensity of building development on a site.
- *Net buildable area* means that portion of a parcel of land that is developable and is not required open space.
- *Upland* means the area of a site landward of mean high water, excluding submerged lands and tidally inundated mangroves.

8. Residential ROGO allocation awards would be required for construction of any new dwelling units. Pursuant to LDC Section 138-21, "the residential ROGO shall apply to all residential dwelling units, including institutional residential uses, such as nursing homes and rehabilitation centers, for which a building permit is required and for which building permits have not been issued prior to July 13, 1992, except as otherwise provided herein." ROGO allocation awards would be required prior to the issuance of any building permits for the new dwelling units. Refer to LDC Section 138-28 for the ROGO Evaluation Criteria.

Please note, pursuant to Policy 101.3.3, does not allow for affordable housing ROGO allocations within an area designated as Tier I or within a Tier III-A Special Protection Area.

9. Pursuant to LDC Section 138-49, the County's Nonresidential ROGO (NROGO) shall apply to the development of all new and expanded nonresidential floor area, except as exempted by LDC Section 138-50, for which building permit or other final development approval is required. NROGO allocation awards would be required prior to the issuance of building permits for new nonresidential floor area. Refer to LDC Section 138-55 for the NROGO Evaluation Criteria.

LDC Section 138-47 defines the following relevant terms related to the development proposal:

- *Nonresidential floor area* means the sum of the total floor area for a nonresidential building or structure, as defined in Section 101-1. Additionally, covered and unenclosed boat racks with three or fewer sides not associated with retail sales of boats are not considered nonresidential floor area. Further, the term "nonresidential floor area" does not include space occupied by residential uses, including spaces occupied by a transient residential unit and an institutional-residential use as defined in Section 101-1.

10. Pursuant to LDC Sections 130-157, 130-162, and 130-164, the minimum open space ratio within the SC district is 0.20 or 20%.

LDC Section 101-1 defines the following relevant terms related to the development proposal:

- *Open Space* means (in relation to open space ratio calculations) that portion of any parcel or area of land or water that is required to be maintained such that the area within its boundaries is open and unobstructed from the ground to the sky (This definition is not intended to exclude vegetation from required open space).
- *Open space ratio (OSR)* means the percentage of the total gross area of a parcel that is open space.

To demonstrate compliance, a site plan must indicate the calculation of required and proposed amounts of open space within each zoning district. The site plan must include the extent of native vegetation on the subject parcel.

11. Pursuant to LDC Section 131-1, the required non-shoreline setbacks within the SC, Land Use District are:

<i>Primary Front Yard</i>	<i>Secondary Front Yard</i>	<i>Primary Side Yard</i>	<i>Secondary Side Yard</i>	<i>Rear Yard</i>
25 ft.	15 ft.	10 ft.	5 ft.	10 ft.

LDC Section 101-1 defines the following relevant term related to the development proposal:

- *Setback* means the area between a building or structure and the property line of the parcel of land on which the building or structure is located, unoccupied and unobstructed from the ground upward, except for fences or other development permitted in the area as provided for in this Land Development Code. In measuring a setback, the horizontal distance between the property line and the furthest projection of the building or structure shall be used. Further, the setback shall be measured at a right angle (90 degrees) from the property line.

12. Pursuant to LDC Section 131-2, no structure or building shall be developed that exceeds a maximum height, as defined in LDC Section 101-1, of 35 feet. Exceptions will be allowed for chimneys; spires and/or steeples on structures used for institutional and/or public uses only. Exceptions will be allowed for flood protection as specifically permitted in Policies 101.5.32 and 101.5.33. However, in no event shall any of the exclusions enumerated in this section be construed to permit any habitable or usable space to exceed the maximum height limitation, except as specifically permitted in Policies 101.5.31 and 101.5.33 of the Comprehensive Plan.

A signed and sealed survey with elevations measured in NGVD would be required with submittal of a development application in order to verify the existing grade of the subject property, for the purpose of measuring building height.

LDC Section 101-1 defines the following relevant terms related to the development proposal:

- *Grade* means the highest natural elevation of the ground surface, prior to construction, next to the proposed walls of a structure, or the crown or curb of the nearest road directly adjacent to the structure, whichever is higher. To confirm the natural elevation of the ground surface, prior to construction, the county shall utilize the Light Detection and Ranging (LiDAR) dataset for Monroe County prepared in 2007 and other best available data, including, but not limited to, pre-construction boundary surveys with elevations, pre-construction topographic surveys, elevation certificates and/or other optical remote sensing data.
- *Height* means "the vertical distance between grade and the highest part of any structure, including mechanical equipment, but excluding the following: chimneys; spires and/or steeples on structures used for institutional and/or public uses only; radio and/or television antenna, flagpoles; solar apparatus; utility poles and/or transmission towers; and certain antenna supporting structures with attached antenna and/or collocations as permitted in Chapter 146. However, in no event shall any of the exclusions enumerated in this definition be construed to permit any habitable or usable space to exceed the applicable height limitations. In the case of airport districts, the height limitations therein shall be absolute and the exclusions enumerated in this definition shall not apply.

13. All development applications will be required to contain a stormwater management plan prepared in accordance with LDC Section 114-3. The stormwater management plan shall contain maps, charts, graphs, tables, photographs, narrative descriptions, calculations, explanations, and citations to supporting references, and any additional information deemed necessary by the Planning Director. The stormwater management plan must be sealed by an engineer registered in the state with experience in stormwater management and drainage design. The surface water management system shall be designed using a 24-hour rainfall duration and 25-year return frequency in computing allowable off-site discharge rate. In

addition, retention and/or detention must be provided for the first inch of rainfall or 2½ inches of rainfall times the percent of impervious coverage dependent upon the percent of impervious surface.

14. No structure or land shall be developed, use or occupied unless served by wastewater treatment facilities that meet the criteria set forth in LDC Section 114-4.
15. Pursuant to LDC Section 114-14, any nonresidential, mixed use, or multi-family residential development shall make adequate provisions for a solid waste/ recycling collection area in accordance with the following standards:

a) Nonresidential and Mixed Use Buildings:

Floor Area (square feet)	Minimum Collection Area (square feet)
0 to 5,000	82
5,001 to 15,000	125

Combinations of collection areas that, in total, meet the standards are acceptable if approved by the Planning Director.

To demonstrate compliance, any development application must include a site plan that indicates a proposed solid waste collection area that meets the standards set forth in LDC Section 114-14 with regards to minimum size, setback, screening, enclosure design, and location standards.

Exterior collection areas should be located in an area accessible and convenient to the intended users (typically no more than 200 feet from the farthest user). The location of the collection area should not interfere with the primary use of the site. It should be located in areas that can tolerate noise, odor and increased pedestrian and vehicle traffic. The collection area should be designed to be easily accessible by all collection vehicles.

16. Every use shall be provided with off-street parking in accordance with the standards contained in LDC Chapter 114, Article III. Every off-street parking space, both required and unrequired, shall meet the minimum standards. The proposed development would be subject to the required number of off-street parking spaces pursuant to LDC Section 114-67(c). The table below lists the number of parking spaces to be provided for each potentially proposed use:

Specific Use Category	Minimum Required Number of Parking Spaces
Mini-warehouses/ self-storage center	3.0 spaces for the office use plus a parking aisle of 10 feet in width adjacent the storage unit access doors if outside access to the storage units is provided
Single-family dwelling units	2.0 spaces per dwelling unit
Multifamily residential dwelling units	2.0 spaces per each 1-bedroom dwelling unit; 2.0 spaces per each 2-bedroom dwelling unit; and 3.0 spaces per each 3 or more bedroom dwelling unit

When two or more separate uses are on a site, the required parking for the site is the sum of the total required parking for each of the individual uses.

The parking requirements may be reduced based on a parking demand study if approved by the Planning Director, pursuant to LDC Section 114-67(i)(4).

Standard parking spaces are 8.5 feet in width and 18 feet in length. Design and dimensional requirements of parking spaces and aisle widths are set forth in LDC Section 114-67(b).

ADA accessible parking spaces may be required. Pursuant to LDC Section 114-67(f)(1), the number and design of ADA parking spaces shall be in accordance with the provisions of County Code Chapter 6,

which incorporates by reference the Florida Building Code. All ADA parking spaces must have a width of 12 feet, plus a 5-foot access aisle, based on Americans with Disabilities Act Accessibility Guidelines.

All regular parking spaces, with the exception of parallel, must be at least 8'6" in width by 18' in length, per LDC Section 114-67. Parallel parking spaces must be 8'6" in width by 25' in length. Further, each required parking space shall have direct and unrestricted access to an aisle of the following minimum width:

<i>Parking Pattern</i>	<i>One Way Aisle Width</i>	<i>Two Way Aisle Width</i>
0 degrees	12'	24'
30/45 degrees	15'	24'
60 degrees	18'	24'
75 degrees	22'	24'
90 degrees	24'	24'

All impervious surface parking spaces shall be clearly marked by striping or other markings acceptable to the Planning Director. All pervious and impervious surface parking spaces shall have a wheel stop, bumper blocks or similar barriers where the front of the parking space is adjacent a building, required yard or required landscaping, to designate each parking space.

To demonstrate compliance, a development application must include a floor plan of the proposed structure(s) and a site plan, which includes a calculation of the required and provided amounts of off-street parking spaces, in accordance with LDC Section 114-67.

17. Pursuant to LDC Section 114-69, all nonresidential uses of over 100 square feet in floor area, involving the receipt and distribution by vehicles of materials and merchandise, shall provide for off-street loading. A nonresidential use that is 2,400sf, requires a minimum of one 11' x 535' loading/unloading spaces. These spaces shall not be located on any public right-of-way, or on any parking spaces or parking aisle, and shall allow for adequate ingress and egress and turning maneuverability within the site. The spaces shall be accessible and adjacent or as close to the building served as possible. The Planning Director is authorized to grant a reduction in the number and dimensional requirements for loading/unloading spaces based on the submittal by an applicant of a study of loading/unloading space need, prepared and signed by a qualified traffic engineer, and reviewed by the county traffic planner/consultant. Refer to LDC Section 114-69 for the number, location and required size of loading/unloading spaces.
18. Pursuant to LDC Section 114-71(a), any development generating over two thousand (2,000) trips per day shall be required to provide bicycle parking racks; and (b) all nonresidential development within 200 feet of an existing or programmed state or county bikeway shall provide a bicycle parking rack.
19. Pursuant to LDC Section 114-104, each redeveloped parcel would be required to plant one native canopy street tree.

All off-street parking areas containing more than six (6) spaces shall be landscaped in accordance with LDC Section 114, Article IV.

20. Pursuant to LDC Section 114, Article V, a Class D district boundary buffer is required along the eastern property line. A Class D district boundary buffer has a minimum width of 20'.
21. The proposed development shall meet the energy and water conservation standards of LDC Chapter 114, Article II.
22. No structure or land shall be developed, used or occupied unless all outdoor lighting conforms to the requirements of LDC Chapter 114, Article VI and the sea turtle protection provisions of Code Chapter 12,

Article V, unless otherwise specified within the LDC. Pursuant to LDC Section 114-161, *outdoor lighting shall be designed and located such that the maximum illumination measured in footcandles at the property line shall not exceed 0.3 footcandles for noncutoff lights and 1.5 footcandles for cutoff lights. If illumination is desired or required for nonresidential or multifamily (3 or more units) residential development, site plans shall include photometric lighting plans.*

Pursuant to LDC Section 114-160, *outdoor lighting, other than that used for public athletic facilities, shall be designed, located, and mounted at a maximum height of eighteen (18) feet for noncutoff lights and thirty-five (35) feet for cutoff lights. All lighting shall be shielded so that light does not illuminate above 45° angled towards the ground.*

If illumination is desired or required for nonresidential or multifamily (3 or more units) residential development, site plans shall include photometric lighting plans.

23. Pursuant to LDC Section 114-2 (a)(1)a., U.S. 1 shall have sufficient available capacity to operate at LOS C for the overall arterial length and the 24 roadway segments of U.S. 1, as measured by the U.S. 1 Level of Service Task Force Methodology, at all intersections and roadway segments. In addition, all segments of U.S. 1, as identified in the U.S. 1 Level of Service Task Force Methodology, which would be impacted by a proposed development's access to U.S. 1, shall have sufficient available capacity to operate at LOS C.

The 2017 Us 1 Arterial Travel Time and Delay Study indicates that segment 23 (Key Largo MM 99.5-106.0) has a level of service of A.

Pursuant to LDC Section 114-200(a), in addition to all application requirements, traffic studies by a qualified traffic engineer, as determined by the Planning Director, who is a licensed engineer in the state, shall be required as follows, in accordance with the Monroe County Traffic Report Guidelines Manual:

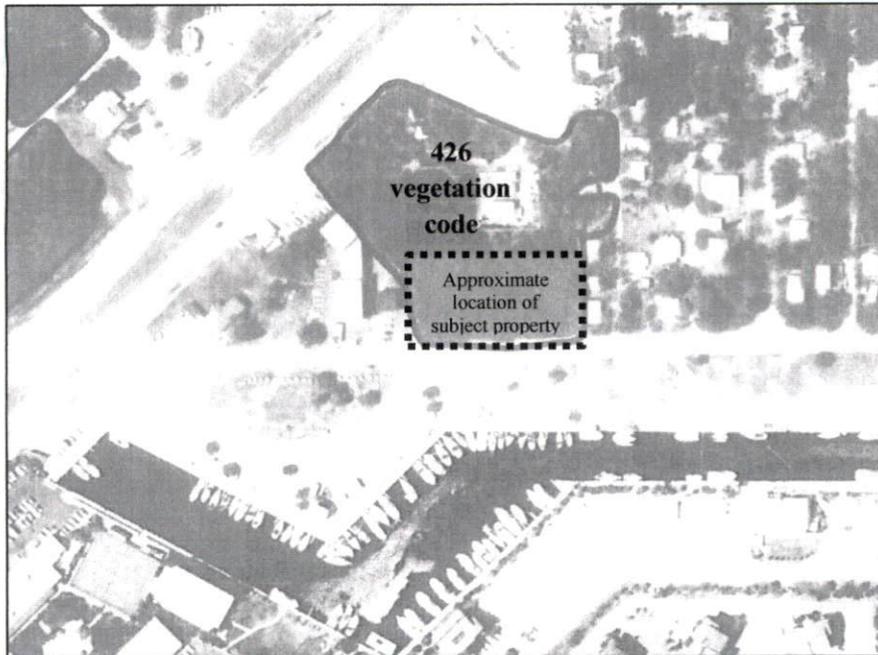
- (1) Traffic studies shall be required for proposed development as shown in the table below, based on the anticipated number of vehicle trips per day generated by the site:

Required Traffic Studies		
Gross Daily Trip Generation*	Project Location	Type of Report Required
11-249	Segments of U.S. 1 designated as Inadequate Capacity or Marginally Adequate Capacity according to the biennial assessment of public facilities capacity report (see Sec. 114-2).	Level 1
250-500	All Areas	Level 2
>500	All Areas	Level 3
*Gross Daily Trip Generation shall be calculated in accordance with the methods used in the Institute of Transportation Engineers, Trip Generation Manual, current edition.		

24. All entrance drives and street intersections shall provide clear site triangles in both directions as set forth in LDC Section 114-201. Fences and landscaping within clear sight triangles must be located and designed to comply with LDC standards. Signs cannot be located within clear sight triangles. Any proposed site plan and landscape plan must indicate required clear sight triangles.
25. No building permit shall be issued by the County for impact-producing development unless the applicant has paid applicable impact fees in accordance with LDC Chapter 126.
26. As noted previously in this letter, the site is vegetated by Tropical Hardwood Hammock with a Tier Overlay District designation of Tier III-A (Special Protection Area). Pursuant to Section 118-10(b) clearing of

native vegetation in Tier III-A is limited to 40 percent or 3,000 square feet, whichever is greater; but no greater than 7,500 square feet of upland native vegetation. For the subject parcel the clearing limit is 7,500 square feet.

Pursuant to Section 118-10(c), the “legal conditions of land existing as of February 28, 1986, and as depicted on the December 1985 Habitat Classification Aerial Photographs, shall be used as a baseline to determine the clearing that may be permitted on a site. The 1985 maps shall be supplemented by recent aerial photography and existing site analysis to determine any increases in the amount of upland native vegetated areas. Upland native vegetated areas cleared between 1986 and the time of permit application shall be considered to still include upland native vegetation for purposes of determining the amount of open space and clearing permitted.” The Monroe County Existing Conditions Map indicate this property as hammock.



426 vegetation code = tropical hardwood hammock

The removal of any listed threatened or endangered native plant species; any regionally important native plant species; any native plant species that reaches reproductive maturity at less than four (4) inches DBH as identified in LDC Section 118-2(c); and any other native plant species with a diameter at breast height DBH of four (4) inches or greater shall require payment to the Monroe County Environmental Land Management and Restoration Fund in an amount sufficient to replace each removed plant or tree on a 2:1 basis, as determined in accordance with LDC Section 118-8 (b). The number, species, and sizes of trees and plants to be mitigated shall be identified in the existing conditions report provided pursuant to Section 118-2 and approved by the County Biologist.

27. This parcel is within the Species Focus Area for the following federally listed species:

- Key Largo woodrat
- Key Largo cottonmouse
- Keys tree cactus
- Eastern indigo snake
- Stock Island Tree snail

Pursuant to Section 122-8, for parcels or lots shown within the species focus areas in which an application for a permit for development has been made expanding clearing in habitat (including native vegetation

removal) Technical Assistance from the U.S. Fish & Wildlife Service may be required. For a floodplain development permit application that requires the services' technical assistance, Monroe County shall provide the application to the service. If the applicant agrees to the FWS requirements, in writing, Monroe County may then issue a notice to proceed that includes the technical assistance requirements, provided by the federal agency to avoid possible impacts on federally listed (threatened or endangered) species, as conditions in the Monroe County permit.

V. OTHER ISSUES CONCERNING THE PROPSAL

1. All new structures and substantial improvements of existing structures must be designed to current floodplain management standards, pursuant to LDC Chapter 122. For further information about floodplain management standards, please contact one of the Monroe County Floodplain Coordinators for the Upper Keys.
2. Prior to the issuance of any building permit, if such review is required, all proposed development shall be found in compliance by the Monroe County Building Department and the Monroe County Office of the Fire Marshal. Staff recommends that the Applicant coordinate with these offices prior to application submittal. The Department does not review for compliance with the Florida Building Code.

* * * * *

Pursuant to LDC Section 110-3(a)(3), you are entitled to rely upon representation made at the conference only to the extent such representations are set forth in the LOU. An LOU shall not provide any vesting to requirements, code and the comprehensive plan. The development shall be required to be consistent with all regulations and policies at the time of development approval. The Planning Director acknowledges that all items required as part of the application for development approval may not have been addressed at the conference, and consequently reserves the right for additional comment.

You may appeal any decision, determination or interpretation made in this letter pursuant to Monroe County LDC Section 102-185. A notice of appeal in the form prescribed by the Planning Director must be filed with the County Administrator, 1100 Simonton Street, Gato Building, Key West, Florida 33040, within 30 calendar days from the date of this letter. Additionally, a copy of the notice of appeal must be filed with the Planning Commission Coordinator, Monroe County Planning and Environmental Resources Department, 2798 Overseas Highway, Suite 400, Marathon, Florida 33050.

We trust that this information is of assistance. If you have any questions regarding the contents of this letter, or if we may further assist you with your project, please feel free to contact the Department's Marathon office at (305) 289-2500.

Sincerely yours,



Emily Schemper, AICP, CFM
Senior Director of Planning and Environmental Resources

cc: Devin Tolpin, Senior Planner
Bradley Stein, Development Review Manager



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00087600-000100
 Account# 1096202
 Property ID 1096202
 Millage Group 500K
 Location 116 OCEAN Dr, KEY LARGO
 Address
 Legal 28 61 39 ISLAND OF KEY LARGO PT LOT 42 PB1-68 OR409-313/14 OR832-984/85 OR1222-2479/80 OR1328-1187/88 OR1399-1748/49AFF OR1399-1750/51 OR1433-699DISCLAIMER OR1433-700/06TR OR1698-1817D/C OR2753-675/77 OR3028-1793
 Description (Note: Not to be used on legal documents.)
 Neighborhood 10020
 Property Class COMMERCIAL (1000)
 Subdivision
 Sec/Twp/Rng 28/61/39
 Affordable Housing No

Owner

RFC INVESTMENT INC
 PO Box 373174
 Key Largo FL 33037

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$281,561	\$81,088	\$99,800	\$68,613
= Just Market Value	\$281,561	\$81,088	\$99,800	\$68,613
= Total Assessed Value	\$89,196	\$81,088	\$75,474	\$68,613
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$281,561	\$81,088	\$99,800	\$68,613

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (1M0D)	24,950.00	Square Foot	0	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Vacant or Improved
6/25/2020	\$127,500	Warranty Deed	2270870	3028	1793	Improved
4/23/2015	\$85,000	Warranty Deed		2753	675	Vacant
5/1/1981	\$83,500	Warranty Deed		832	984	Vacant
2/1/1969	\$6,500	Conversion Code		409	313	Vacant

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
10301378	3/19/2010	4/20/2015	\$3,400		FENCE

View Tax Info

[View Taxes for this Parcel](#)

Map



TRIM Notice

2020 TRIM Notice(PDF)

2020 Notices Only

No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Yard Items, Exemptions, Sketches (click to enlarge), Photos.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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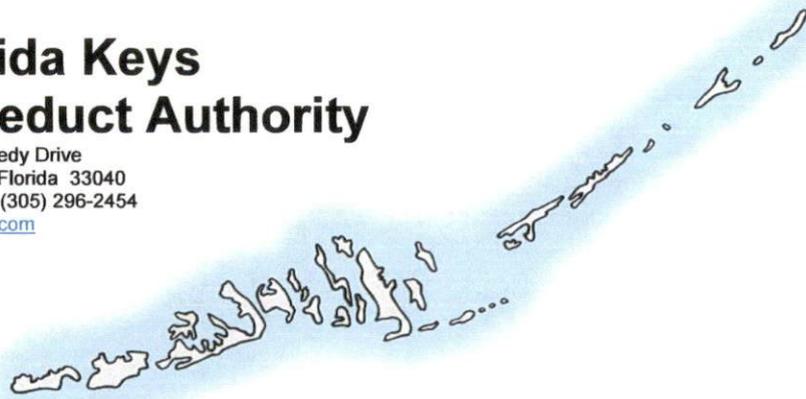
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[Version 2.3.78](#)



Florida Keys Aqueduct Authority

1100 Kennedy Drive
Key West, Florida 33040
Telephone (305) 296-2454
www.fkaa.com



J. Robert Dean
Chairman
District 3

Richard J. Toppino
Vice-Chairman
District 2

David C. Ritz
Secretary/Treasurer
District 5

Antoinette M. Appell
District 4

Cara Higgins
District 1

Thomas G. Walker
Executive Director

August 20, 2020

Fradys Castillo
RFC Investments LLC
116 Ocean Drive
Key Largo, Florida 33037

RE: RFC Investments LLC
Mini Storage Facility
116 Ocean Drive, Key Largo
RE#: 00087600-000100

Dear Ms. Castillo,

This letter will serve as preliminary coordination of the above referenced project with the Florida Keys Aqueduct Authority.

There is an 8" water main on Ocean Drive adjacent to the properties which appears to be adequate to serve proposed project.

A complete set of Civil and Architectural/Plumbing plans will be required for review to determine water meter requirements and system development charges.

Should you have any questions or require any further information please feel free to call me.

Sincerely,
Florida Keys Aqueduct Authority

mwalterson
@fkaa.com

Digitally signed by
mwalterson@fkaa.com
DN: cn=mwalterson@fkaa.com
Date: 2020.08.20 14:53:39 -0400

Marnie L. Walterson
Utility Design Supervisor

CC Sue Reich, Customer Service Manager, Tavernier
Yusi Bonachea, Customer Service Manager, Marathon
Danielle Mendez, Customer Service Manager, Key West



August 24, 2020

RFC Investment Inc.
P.O. Box 373174
Key Largo, FL 33037

P.O. Box 345

Tavernier

Florida

33070

By email: hat2256@aol.com

RE: 116 Ocean Drive, Key Largo, FL 33037
Parcel ID# 00087600-000100
Property ID# 1096202

To Whom It May Concern,

Phone

(305)

451-2025

We are the Exclusive Franchisee Hauler of Record for the Monroe County Solid Waste Department for the area in which the above referenced property is located.

We have the capacity to provide all solid waste related services for the property at 116 Ocean Drive, Key Largo, FL 33037.

Fax

(305)

451-5954

If you have any questions, or need any additional information, please feel free to contact me.

Signed,

Elizabeth A. Beattie
Customer Service

/eab



Residential and Commercial • Solid Waste Collection • Roll-off Service • Clam Shell • Recycling Service



FLORIDA KEYS ELECTRIC COOPERATIVE ASSOCIATION, INC. – FKEC

91630 OVERSEAS HIGHWAY, P.O. BOX 377, TAVERNIER, FL 33070-0377 PHONE (305) 852-2431 FAX

August 25, 2020

Fradys Castillo
(305)924-0593

Re: Letter of Coordination – Parcel ID's: 00087600-000100
Address: 116 Ocean Drive, Key Largo, FL 33037

Dear Fradys,

The facilities and operations of Florida Keys Electric Cooperative Association, Inc. (FKEC) are designed to accommodate normal electrical load growth, providing sufficient energy is available from our main power supplier. FKEC anticipates no significant problems in providing power to the property referenced above.

Easements may be required.

When preliminary electrical and site plans are available, please arrange to meet with FKEC Engineering staff to review and plan the project.

Sincerely,

A handwritten signature in blue ink, appearing to read "Josh Ellsworth".

Josh Ellsworth
Staking Technician

JE/bh



Key Largo Wastewater Treatment District

103355 Overseas Highway, Key Largo, FL 33037

Post Office Box 491, Key Largo, FL 33037

Phone (305) 451-4019 • Fax (305) 453-5807 • www.klwtd.com

July 30, 2020

RFC Investment Inc.
C/O Rene Castillo
PO Box 373174
Key Largo, FL 33037

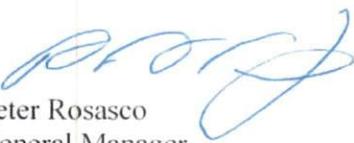
RE: 116 OCEAN DRIVE, KEY LARGO

Dear Mr. Castillo,

Key Largo Wastewater Treatment District currently does not provide service to 116 Ocean Drive, Key Largo, FL 33037. The connection will be a Force Main connection with a grinder pump and will require an FDEP permit. Once the connection has been provided, the District will be able to accept the wastewater discharge from the proposed development. The customer stated that the property will be one building with 4 units. Should the plans diverge substantially from the description as referenced, KLWTD reserves the right to rescind the letter and provide notification of said action to any and all agencies involved, directly or indirectly, as it relates to the property/project. This letter is valid for 1 year from the date of issuance.

Please note that all sanitary sewer facilities that will connect to any portion of KLWTD's collection, transmission, treatment, or disposal systems must be constructed in accordance with KLWTD's Design and Construction Standards and the Florida Building Code. Please further note that this letter does not legitimize prior work or improvements requiring permits per the Florida Building code and/or KLWTD Rules and Regulations; or any prior work constructed, altered, or put in place with benefit of obtaining required permits and inspection approvals.

Sincerely,


Peter Rosasco
General Manager

County of Monroe

The Florida Keys



BOARD OF COUNTY COMMISSIONERS

Mayor Heather Carruthers, District 3
Mayor Pro Tem Michelle Coldiron, District 2
Craig Cates, District 1
David Rice, District 4
Sylvia J. Murphy, District 5

Division of Emergency Services

Fire Rescue Department
490 63rd Street, Ocean
Marathon, FL 33050
Phone: 305-289-6004
Fax: 305-289-6336

Fradys Castillo
116 Ocean Drive
Key Largo, Fl. 33070

August 26, 2020

The Monroe County Fire Marshal's Office has reviewed your site plan reference the Minor Conditional Use Permit application for 116 Ocean Drive.

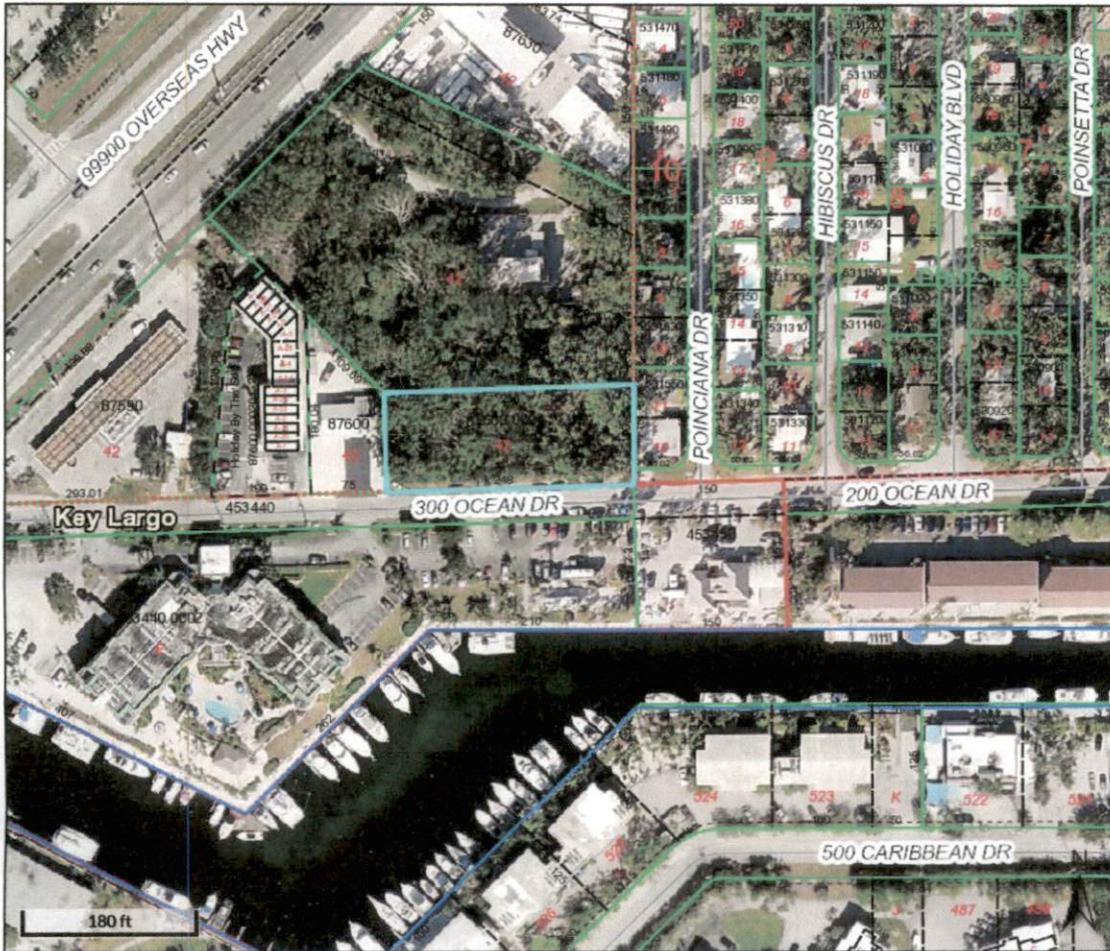
This shall serve as the letter of coordination between Monroe County Fire Marshal's Office and the applicant.

1. The Fire Marshal's Office enforces the Florida Fire Prevention Code (6th Edition), National Fire Protection Code (NFPA 1), Life Safety Code (NFPA 101) and related NFPA standards as applicable and adopted by the State of Florida.
2. Fire department access and water supply shall comply with NFPA Chapter 18. Approved water supply capable of providing the required minimum firefighting flow and duration in accordance with table 18.4.5.2.1 shall be located within 500 ft. of the building.
3. Fire extinguishers of an appropriate rating for the hazard on site shall be provided.
4. Building access in the form of a lock box approved by the AHJ shall be provided. A letter of coordination from Key Largo Fire Department shall be required attesting to the fact that this access has been arranged.

This is a conceptual review of this project. The need for additional requirements may be determined at the time of permit application and review. The Key Largo Fire Department provides fire suppression service to the proposed project location.

Cassandra Cane

Deputy Fire Marshal
Monroe County Fire Rescue



Overview



Legend

- Centerline
- ... Easements
- Hooks
- Lot Lines
- Road Center
- Rights of Way
- Shoreline
- Condo Building
- Key Names
- Subdivisions
- Parcels

Parcel ID	00087600-000100	Alternate ID	1096202	Owner Address	RFC INVESTMENT INC
Sec/Twp/Rng	28/61/39	Class	COMMERCIAL		PO Box 373174
Property Address	116 OCEAN Dr				Key Largo, FL 33037
	KEY LARGO				

District 500K
Brief Tax 28 61 39 ISLAND OF KEY LARGO PT LOT 42 PB1-68 OR409-313/14 OR832-984/85 OR1222-2479/80 OR1328-1187/88 OR1399-
Description 1748/49AFF OR1399-1750/51 OR1433-699DISCLAIMER OR1433-700/06TR OR1698-1817D/C OR2753-675/77 OR3028-1793
 (Note: Not to be used on legal documents)

Date created: 8/29/2020
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THIS INSTRUMENT PREPARED BY AND RETURN TO:

Erik S. Bloom

Law Offices of Erik S. Bloom, PA

11555 Heron Bay Blvd., Suite 200

Coral Springs, FL 33076

Our File No.: **20-940K**

Property Appraisers Parcel Identification (Folio) Number: 1096202

SPACE ABOVE THIS LINE FOR RECORDING DATA

WARRANTY DEED

THIS WARRANTY DEED, made the 25th day of June, 2020 by **Hardrock Hammock LLC**, a Florida limited liability company, whose post office address is 121 Point Pleasant Drive, Key Largo, FL 33037 herein called the Grantor, to **RFC Investment Inc.**, a Florida corporation whose post office address is PO Box 373174, Key Largo, FL 33037, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in MONROE County, State of Florida, viz.:

THAT PART OF LOT 42, SECTION 28, TOWNSHIP 61 SOUTH, RANGE 39 EAST ON KEY LARGO, ACCORDING TO FLORIDA EAST COAST RAILWAY COMPANY'S PLAT RECORDED IN PLAT BOOK 1 AT PAGE 68, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE INTERSECTION OF THE SOUTH LINE OF LOT 41 OF SAID SECTION 28 AND THE SOUTHEASTERLY LINE OF THE OLD COUNTY ROAD, SAID POINT BEING LOCATED 116.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE CENTER LINE OF THE OVERSEAS HIGHWAY, RUN NORTHEASTERLY PARALLEL WITH SAID CENTER LINE, A DISTANCE OF 409.88 FEET TO THE WESTERLY CORNER OF PROPERTY OF CABLE-VISION, INC.; THENCE AT RIGHT ANGLES AND SOUTHEASTERLY ALONG THE SOUTHWESTERLY SIDE OF SAID PROPERTY OF CABLE-VISION, INC. A DISTANCE OF 247.04 FEET TO THE SOUTHWEST CORNER OF PROPERTY OF CABLE-VISION, INC. AND THE POINT OF BEGINNING OF PARCEL HEREINAFTER DESCRIBED: THENCE SOUTH AT RIGHT ANGLES TO THE SOUTH LINE OF SAID LOT 42, A DISTANCE OF 100.00 FEET TO THE SAID SOUTH LINE OF LOT 42 ON THE SOUTH LINE OF SECTION 28, TOWNSHIP 61 SOUTH, RANGE 39 EAST; THENCE EAST ON SAID SOUTH LINE OF LOT 42 A DISTANCE OF 248.00 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF THE SUBDIVISION OF HOLIDAY HOMESITES AS PER PLAT RECORDED IN PLAT BOOK 2 AT PAGE 168, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE NORTH ALONG THE WEST LINE OF HOLIDAY HOMESITES, A DISTANCE OF 100.00 FEET MORE OR LESS TO A POINT ON A LINE WHICH IS 100.00 FEET NORTH OF AND PARALLEL TO THE SAID SOUTH LINE OF SECTION 28, TOWNSHIP 61 SOUTH, RANGE 39 EAST; THENCE WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 251.00 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY OF MONROE, STATE OF FLORIDA.

Subject to easements, restrictions and reservations of record and taxes for the year 2020 and thereafter.

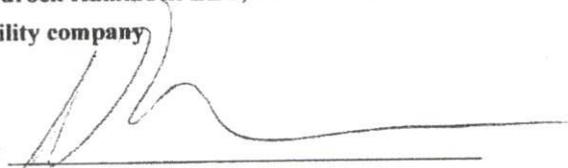
TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2019.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.
Signed, sealed and delivered in the presence of:

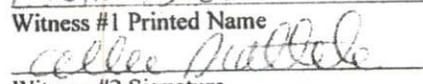
Hardrock Hammock LLC, a Florida limited liability company

By: 
Name: Howard S. Thompson

Title: Manager


Witness #1 Signature

Erik Bloom
Witness #1 Printed Name


Witness #2 Signature

Erik Bloom
Witness #2 Printed Name

STATE OF FLORIDA
COUNTY OF MONROE

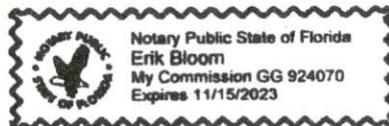
The foregoing instrument was acknowledged before me by means of physical presence this 25th day of June, 2020, by Howard S. Thomposon, the Manager of Hardrock Hammock LLC who is personally known to me or has produced Power of Attorney as identification and did did not take an oath.

SEAL


Notary Public

Printed Notary Name

My commission expires:





environmental
CONSULTING SYSTEMS, inc.
 biological assessments · consultations · habitat analysis

EXISTING CONDITIONS REPORT
PURSUANT TO SECTION 118-2
MONROE COUNTY LAND DEVELOPMENT CODE

Legal Description of Parcel:				
<i>Lot</i>	<i>Subdivision</i>	<i>Key (island)</i>	<i>Plat Book/Page</i>	<i>Re #</i>
Pt Lot 42 (tract)	Sec 28 Twp 61S R 39E	Key Largo Key	1/68	00087600-000100
Location: 116 Ocean Drive Key Largo, FL (vacant parcel)				
Monroe County Building Permit Application Number:			NA	
Property Owner (Last Name, First Name):		Address (Mailing address for Owner):		
RFC Investment, Inc.		P.O. Box 373174 Key Largo, FL 33037		
Report Date:		Date(s) of site visit(s):		
03, 10, 11 August 2020		25, 27, 28, 29, 30 July & 19, 25 August 2020		
Name of Biologist:	Affiliation:	Phone:	(305) 852-1920	
Susan V. Sprunt	E.C.S., Inc.	E-mail:	susan@susansprunt.com	
Signature:				

I, FRADYS CASTILLO, hereby authorize Monroe County Planning & Environmental
 [PROPERTY OWNER - PRINT]
 Resources Department staff to access the property identified above for purposes of verifying the
 information contained in this Existing Conditions Report:

 [SIGNATURE]

09/01/2020

 [DATE]

I. SUMMARY

This Existing Conditions Report represents a vacant parcel on Ocean Drive (MM 99.8, Oceanside) on Key Largo Key. The parcel consists of a closed canopy of tropical hardwood hammock. The predominant canopy trees are: Wild Tamarind (*Lysiloma latisiliquum*), gumbo limb (*Bursera simaruba*), pigeon plum (*Coccoloba diversifolia*), and Jamaican dogwood (*Piscidia piscipula*). In addition, there were large canopy trees of inkwood (*Exostema paniculata*), and Strangler Fig (*Ficus aurea*), as well as crabwood (*Gymnanthes lucida*), white stopper (*Eugenia axillaris*), and strongbark (*Bourreria succulenta*) throughout. The understory and ground cover were in excellent condition and typical for habitat of this type. The location of the trees and/or features on the Vegetation Site Plan are estimations only, and exact locations should be verified in the field by a land surveyor. An additional twenty feet (20') surrounding the proposed "limits of clearing" line has been documented and all required plant species have been located on the Vegetation Site Plan. For the remaining parcel, due to the large size, instead of locating each individual plant species with special status, a 400 square foot area was selected and a typical plant species composition recorded. A typical plant species composition consisted of: Canopy (9 individuals over 4"dbh): Wild tamarind (*Lysiloma latisiliquum*), bolly (*Guiapira discolor*), pigeon plum (*Coccoloba diversifolia*), crabwood (*Gymnanthes lucida*), white stopper (*Eugenia axillaris*), strongbark (*Bourreria succulenta*), and gumbo limbo (*Bursera simaruba*). Understory vegetation (25 individuals 3'-10' overall height): strongbark (*Bourreria succulenta*), snowberry (*Chiococca alba*), crabwood (*Gymnanthes lucida*), velvetseed (*Guettarda elliptica*), white stopper (*Eugenia axillaris*), and pigeon plum (*Coccoloba diversifolia*). Ground cover (16 individuals 1'-3' overall height): wild coffee (*Psychotria nervosa*), pigeon plum (*Coccoloba diversifolia*), and snowberry (*Chiococca alba*).

II. Plant Species List *

*(Quantities are only for plants within limits of clearing - not entire site - see above)

Common Name	Scientific Name	Status	Number	Size (dbh)	Number to be removed
African Ground Orchid	<i>Oeceoclades maculata</i>	NN			
Barb-wire Cactus	<i>Acanthocereus tetragonus</i>	T	4 strands	SM	0
Blackbead	<i>Pithecellobium keyense</i>	T	4	MED	4
Bolly	<i>Guiapira discolor</i>	N	13	XL	13
Brazilian Pepper	<i>Schinus terebinthifolia</i>	INV - CAT I	*1 SM		
Caper, Jamaica	<i>Quadrella jamaicensis</i>	RM	5	L	5
Caper, Limber	<i>Cynophalla flexuosa</i>	RM	1	MED	1
Chinese violet	<i>Asystasia gangetica</i>	INV-Cat II			
Coffee, Wild	<i>Psychotria nervosa</i>	RM	5	MED	5
Crabwood	<i>Gymnanthes lucida</i>	RI	12	XL	12
Dogwood, Jamaican	<i>Piscidia piscipula</i>	N	11	XL	11
Fig, Strangler	<i>Ficus aurea</i>	N			

Common Name	Scientific Name	Status	Number	Size (dbh)	Number to be removed
Galactia	<i>Galactia</i> spp.	N			
Gumbo Limbo	<i>Bursera simaruba</i>	N	29	XL	29
Inkwood	<i>Exothea paniculate</i>	RI	3	MED	3
Ironwood, Black	<i>Krugiodendron ferreum</i>	RI	8	1 XL, 3 MED, 4 SM	8
Lancewood	<i>Damburneya coriacea</i>	N			
Mahogany	<i>Swietenia mahagoni</i>	T	3	XL	0
Marlberry	<i>Ardisia escallonioides</i>	RM	5	MED	5
Milkbark	<i>Drypetes diversifolia</i>	E	3	XL	3
Oyster Plant	<i>Tradescantia spathacea</i>	EX-Cat II			
Passion vine	<i>Passiflora multiflora</i>	T	2	SM	0
Passion vine	<i>Passiflora suberosa</i>	N			
Pisonia	<i>Pisonia aculeata</i>	RM	1	MED	0
Pigeon Plum	<i>Coccoloba diversifolia</i>	N	47	XL	47
Poisonwood	<i>Metopium toxiferum</i>	N			
Randia	<i>Randia aculeata</i>	RM	None RM		
Royal Poinciana	<i>Delonix regia</i>	NN			
Saffron Plum	<i>Sideroxylon celastrinum</i>	N			
Sapodilla	<i>Manilkara zapota</i>	INV-Cat I			
Snake plant	<i>Dracaena hyacinthoides</i>	EX - Cat II			
Snowberry	<i>Chiococca alba</i>	RM	2	L	2
Soldier vine	<i>Myriopus volubilis</i>	N			
Stopper, Spanish	<i>Eugenia foetida</i>	RM	1	XL	0
Stopper, White	<i>Eugenia axillaris</i>	RM	20	XL	20
Strongbark	<i>Bourreria succulenta</i>	E	32	XL	32
Tamarind, Wild	<i>Lysiloma latisiliquum</i>	N	9	XL	9
Velvetseed, Everglades	<i>Guettarda elliptica</i>	RI	4	XL	4
Willow bustic	<i>Sideroxylon salicifolium</i>	N	4	XL	4

Common Name	Scientific Name	Status	Number	Size (dbh)	Number to be removed
Yellow root	<i>Morinda royoc</i>	N			

KEY: RM = Reproductive Maturity (Section 18-2 (5), Monroe County LDR)
 N = Native plant; T= Threatened, State of Florida; E = Endangered, State of Florida
 RI = Regionally Important, Monroe County, Florida
 SM (small 0-3') MED (Medium 3-6') LG (Large 6-10') XL (Extra Large 10' - greater) Mitigation sizes for Section 18-2(5).

III. Animal Species List

Common Name	Scientific Name	Status	Species Focus Area (Y/N)	Potentially Suitable Habitat		
				Foraging	Roosting	Nesting
Florida Tree Snail	<i>Liguus fasciatus</i>					

Remains (one shell) of the Florida tree snail was observed on the property and the required report has been submitted under separate cover.

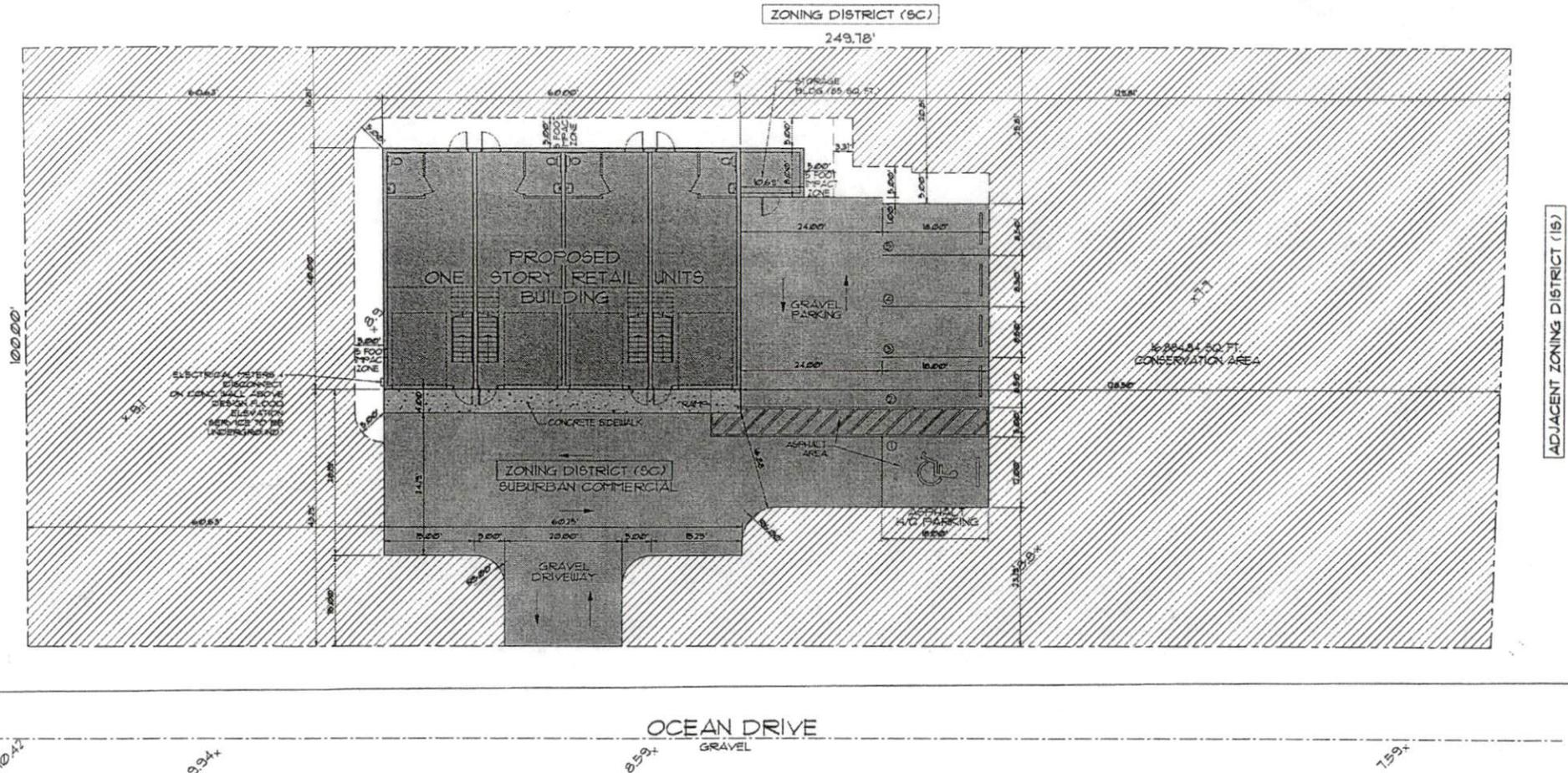
Please feel free to contact me if you have any questions or require additional information.

Regards,



Susan V. Sprunt
 President

ATTACHMENT ONE N.T.S.

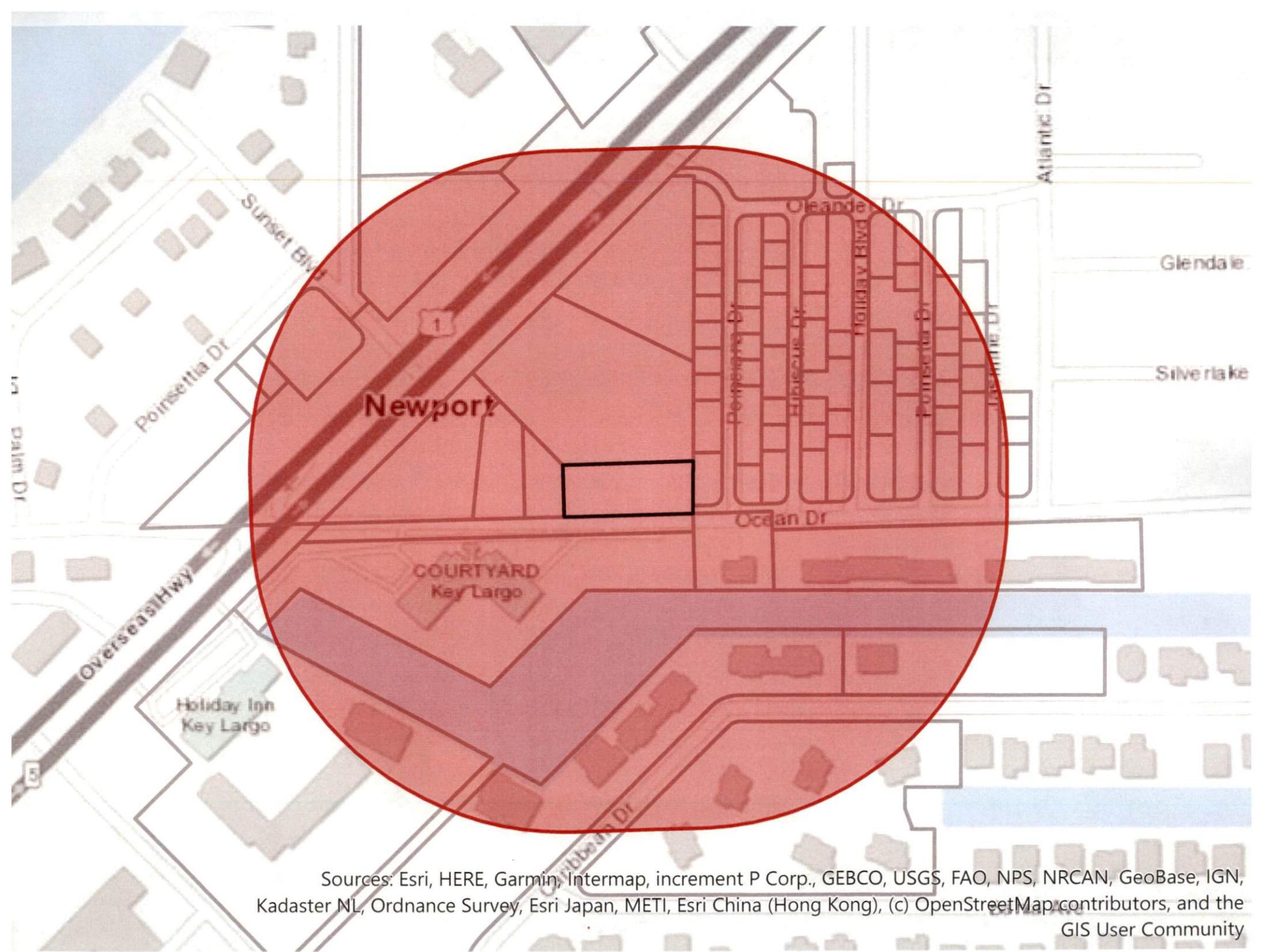


SITE PLAN
SCALE: 1" = 10'

Source:
Orlando Perez, Jr.
Date: 16 July 2020
Sheet No: C-0 - Site Plan

ADJACENT ZONING DISTRICT (UC)

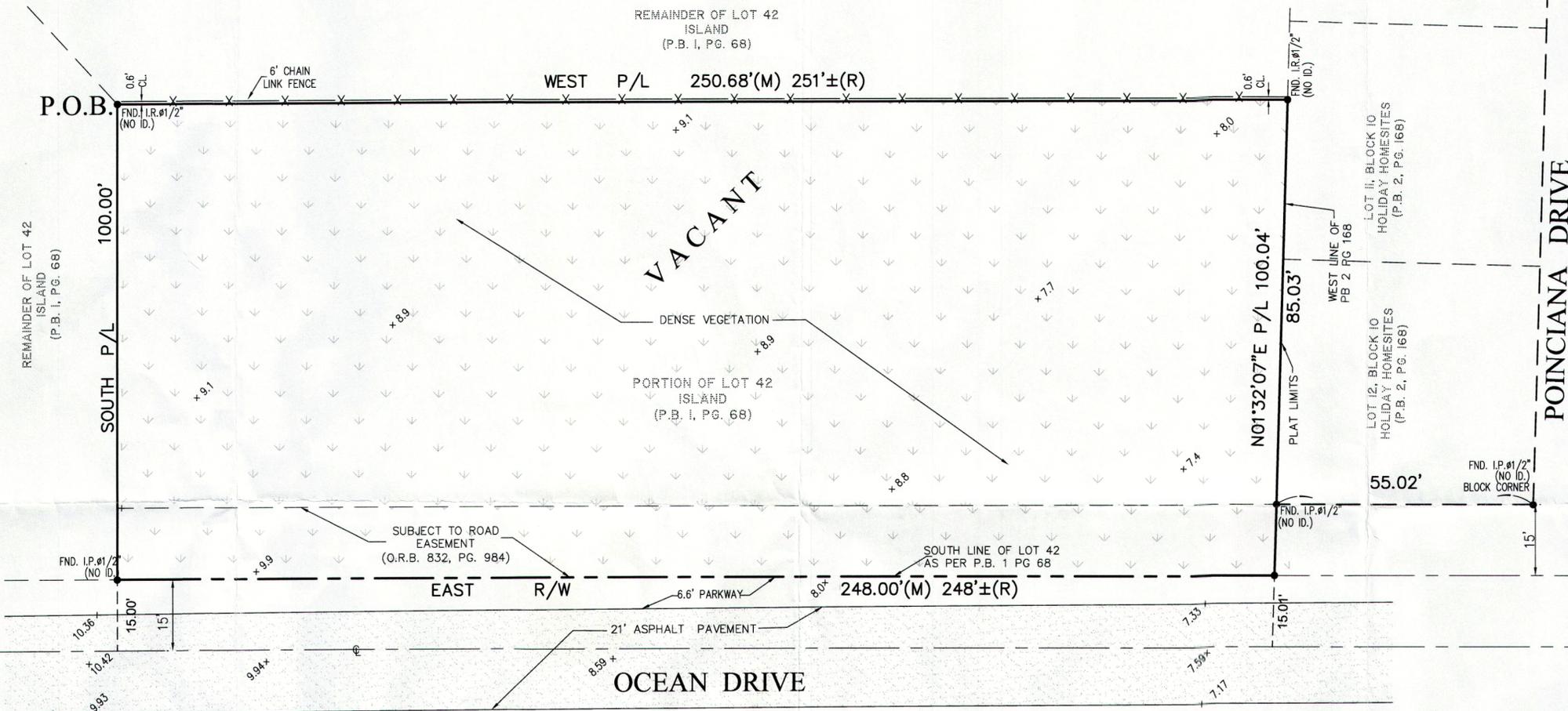
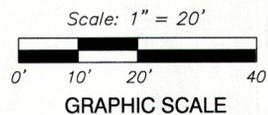
- THE SUBJECT PROPERTY IS LOCATED WITHIN SUBURBAN COMMERCIAL (SC) ZONING
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE MIXED USE / COMMERCIAL (MC) USE MAP(FUM)



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

MAP OF BOUNDARY SURVEY

116 Ocean Drive, Key Largo
 Monroe County, FL 33037
 ID# 00087600-000100



Abbreviations

- A Arc
- FND Found
- U.E. Utility Easement
- IP Iron Pipe
- IR Rebar
- N&D Nail & Disc
- COL. Column
- P.B. Plat Book
- Pg. Page
- ENC Encroachment
- R/W Right-of-Way
- CL Center Line
- CL Clear
- M Monument Line
- TBM Temporary Benchmark
- W/P Water Pump
- PWY Parkway
- M Measured
- R Record Plat
- C.S. Concrete slab

Legend

- ⊕ Unknown Manhole
- ⊛ Electric Box
- ⊙ Light Pole
- ⊙ Property Corner
- ⊙ Fire Hydrant
- ⊙ Catch basin
- ⊙ Water Meter
- ⊙ Water Valve
- ⊙ Utility Pole
- ⊙ Concrete Light Pole
- ⊙ Drain
- ⊙ Control Valve
- ⊙ Gasoline Valve
- ⊙ Back Flood Preventer
- ⊙ Chain Link Fence
- ⊙ Wood Fence
- ⊙ Metal Fence
- ⊙ Overhead Utility line



SURVEYOR'S REPORT:

- MAP OF BOUNDARY SURVEY**, Fieldwork date of data acquisition: July 1st, 2020.
- LEGAL DESCRIPTION:**
 That part of Lot 42, Section 28, Township 61 South, Range 39 East of Key Largo, according to Florida East Coast Railway Company's Plat recorded in Plat Book 1 at Page 68, of the Public Records of Monroe County, Florida, more particularly described as follows:
 From the intersection of the South line of Lot 41 of said Section 28 and the Southeasterly line of the Old County Road, said point being located 116.00 feet, measured at right angles, from the center line of the Overseas Highway, run Northeasterly parallel with said center line, a distance of 409.88 feet to the Westerly corner of property of Cable-Vision, Inc.; thence at right angles and Southeasterly along the Southwesterly side of said property of Cable-Vision and the point of beginning of parcel hereinafter described: thence South at right angles to the South line of said Lot 42, a distance of 100.00 feet to the said South line of Lot 42 on the South line of Section 28, Township 61 South, Range 39 East; thence East on said South line of Lot 42 a distance of 248.00 feet, more or less, to the Southwest corner of the subdivision of Holiday Homesites as per plat recorded in Plat Book 2 at Page 168, of the Public Records of Monroe County, Florida; thence North along the West line of Holiday Homesites, a distance of 100.00 feet more or less to a point on a line which is 100.00 feet North of and parallel to the said South line of Section 28, Township 61 South, Range 39 East; thence West along said parallel line, a distance of 251.00 feet, more or less, to the Point of Beginning.
- AREA:**
 Containing 24,934 Square Feet or 0.57 Acres more or less by calculations.
- ACCURACY:**
 The accuracy obtained by measurement and calculations of a closed geometric figure was found to exceed this requirement. Linear 1 foot in 7,500 feet.
- DATA OF SOURCES:**

VERTICAL CONTROL:

Elevations are referred to N.G.V.D. 1929.
 Benchmark used: NGS Benchmark PID AC1013, Elevation=9.45' (N.G.V.D. 1929)
 located @ US 1 and Post office at Key Largo
 2" Square cut in top of concrete catch basin.

6. FLOOD INFORMATION:

By scale determination this property is located in Flood Zone X (0.2 Pct. Annual Chance Flood Hazard) as per Federal Emergency Management Agency (FEMA), NFIP Community Name: Monroe County and Unincorporated Areas and Community Number 125129 Map/Panel Number 12087C0931, Suffix K, FIRM Panel Effective/Revised Date 02-18-2005.

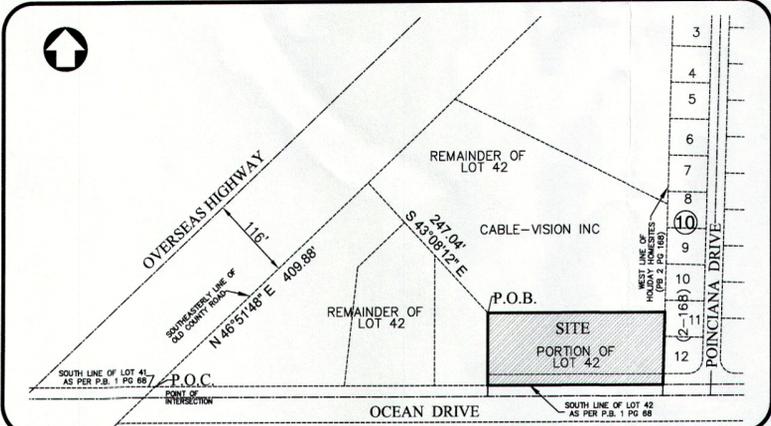
7. LIMITATIONS:

No research was made for other instruments than the existing in the plat and provided by client.
 No determination was made as to how the site can be served with utilities.
 Fences and walls ownership by visual means only; legal ownership not determined.
 No underground utilities and/or structures(foundations) was located within or abutting the Subject property.

8. CERTIFY TO: RFC INVESTMENT, INC.

SURVEYOR'S CERTIFICATION:

I certify. This Map of Boundary Survey meets all applicable requirements of the Florida Minimum Technical Standards as contained Chapter 5J-17. Unless indicated to the contrary, the measured distance and directions shown on the Map of Boundary Survey are the same as the deed distances and directions. Not valid without the signature and the original raised seal of Florida Licensed Surveyor and Mapper. Additions or deletions to Map of Boundary Survey by other than signing party or parties is prohibited without written consent of the signing party or parties.



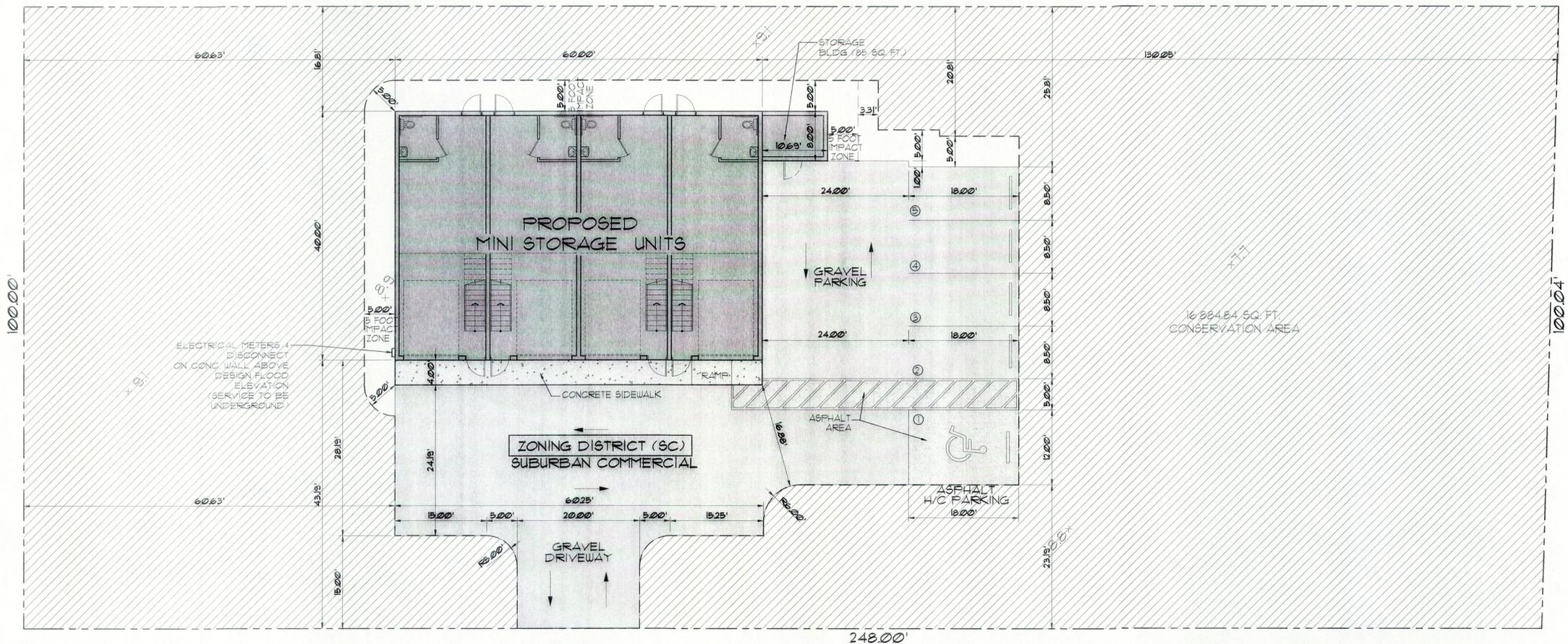
LOCATION SKETCH
 NOT TO SCALE

- HORIZONTAL CONTROL:**
- The Legal Description was furnished by client.
 - North Arrow as per Plat Book 1, Page 68, of the Public Records of Monroe County, Florida.
 - Plat of HOLIDAY HOMESITES, as recorded in Plat Book 2, at Page 168, of the Public Records of Monroe County, Florida.



FormTech
 Land Surveying, Inc.
 State of Florida LB # 7980
 12209 S.W. 129th Court, Miami, Florida, 33186
 Ph: (786)429-3034 (786)443-0285 (786)443-0678
 www.formtechsurveyors.com email: info@formtechsurveyors.com

Seal: Job # 20-06101
 Date: 07-01-2020
 Eugenia L. Formoso, P.S.M.
 State of Florida LS # 6660



ADJACENT ZONING DISTRICT (1S)

ADJACENT ZONING DISTRICT (UC)

OCEAN DRIVE
GRAVEL

ADJACENT ZONING DISTRICT (UC)

RECEIVED
SEP 03 2020
2020-143
MONROE CO. PLANNING DEPT.



SITE PLAN
SCALE: 1" = 10'

LEGAL DESCRIPTION

PART OF LOT 42, SECTION 28, TOWNSHIP 61 SOUTH RANGE 39 EAST ON KEY LARGO, ACCORDING TO THE FLORIDA EAST COAST RAILWAY COMPANY'S PLAT RECORDED IN PLAT BOOK 1, AT PAGE 60, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

USE WITHIN SUBURBAN COMMERCIAL	MAXIMUM FLOOR AREA RATIO	TOTAL AREA (SQUARE FEET)	TOTAL AREA ALLOWED (SQUARE FEET)	TOTAL AREA PROPOSED (SQUARE FEET)	PERCENT PROPOSED
HAMMOCK WITHIN MC FLUM	0.10	24,843.84	2,484.38	2,400	96.6%

4 MINI WAREHOUSING UNITS BLDG (LIGHT INDUSTRIAL USE)
625 SQ. FT. X 4 = 2,500 SQ. FT.

BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT PROPERTY LINE (SOUTH)	20'	49.19'
PRIMARY SIDE PROPERTY LINE (WEST)	10'	40'
REAR PROPERTY LINE (NORTH)	10'	16.81'
SECONDARY SIDE PROPERTY LINE (EAST)	5'	148.25'

PARKING REQUIREMENT

1 PARKING SPACES PER 1000 SQ. FT. 25 SPACES
TOTAL PARKING SPACES PROVIDED..... 5 SPACES

-THE SUBJECT PROPERTY IS LOCATED WITHIN SUBURBAN COMMERCIAL (SC) ZONING DISTRICT
-THE SUBJECT PROPERTY IS LOCATED WITHIN THE MIXED USE / COMMERCIAL (MC) FUTURE LAND USE MAP (FLUM)
-THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA DESIGNATED TIER III-A (SPECIAL PROTECTION AREA)

STRUCTURAL DESIGN CRITERIA

ASCE 7-2010
BASIC VELOCITY - 110 MPH, AT A HEIGHT OF 30 FEET.
EXPOSURE: D
RISK CATEGORY: II

COMPLIANCE WITH THE FLORIDA BLDG CODE

TO THE BEST OF THE UNDERSIGNED'S ABILITY AND PROFESSIONAL JUDGEMENT, THESE PLANS MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (FBC), 2017 EDITION

CLEARING CALCULATION TOTAL LOT AREA = 24,843.84 SF.

ALLOWED CLEARED AREA	13,500 SQ. FT.
AREA TO BE CLEARED	
-PROPOSED UNITS BLDG	= 2,400 SQ. FT.
-PROPOSED STORAGE	= 25 SQ. FT.
-DRIVEWAY AREAS + ASPHALT	= 3,939 SQ. FT.
-5 FOOT IMPACT ZONE	= 836 SQ. FT.
-4 FOOT SIDEWALK	= 240 SQ. FT.
TOTAL CLEARED AREA	= 7,500 SQ. FT. + 30%
TOTAL CLEARING	13,500 SQ. FT. < 13,500 ALLOWED = OK

FLOOD ZONE INFORMATION

FLOOD ZONE	02 FCT ANNUAL CHANCE FLOOD HAZARD
BLDG UNITS F. FLOOR	= +9.52' NGVD 29
EXISTING GRADE ELEV.	= +8.9' NGVD 29
REF. SURVEY COMPLETED BY:	EUGENIA FORMOSO, F.S.M. #6660
	01/01/2020

ARCHITECT'S NOTES

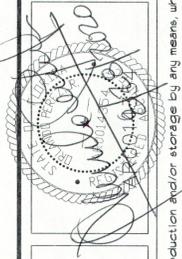
TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THE STRUCTURAL DESIGN COMPLIES WITH THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE AND ALL MONROE COUNTY APPLICABLE CODES.
MEANS AND METHODS OF CONSTRUCTION AND SAFETY PRECAUTIONS ARE THE RESPONSIBILITIES OF THE CONTRACTOR. IN THE EVENT THAT ORLANDO PEREZ JR, ARCHITECT, IS NOT RETAINED TO PROVIDE CONSTRUCTION OBSERVATION SERVICES DURING THE CONSTRUCTION, IT IS AGREED THAT THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIM OR SUIT WHATSOEVER INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. THE ARCHITECT AGREES TO BE RESPONSIBLE FOR HIS OR HIS EMPLOYEES' NEGLIGENCE, ACTS, ERRORS, OR OMISSIONS. IT IS THE RESPONSIBILITY OF THE OWNER OR GENERAL CONTRACTOR TO VERIFY ALL NOTES, DIMENSIONS AND DESIGN OF THESE PLANS, PRIOR TO COMMENCEMENT OF WORK. IF ANY DISCREPANCIES SHALL ARISE, STOP WORK AND CONTACT ARCHITECT IMMEDIATELY.



LOCATION MAP
N.T.S.

REV. No.	REVISION DESCRIPTION	DATE

DRAWN BY: 305-911-0052
ORLANDO PEREZ, JR.
* ARCHITECT *
15054 SW 133 CT MIAMI, FL 33166
architect@jrpgrc.com



PROPOSED MINI-STORAGE UNITS FOR
116 OCEAN DR, KEY LARGO,
MONROE COUNTY, FLORIDA, 33031
RE# 000876000-000100

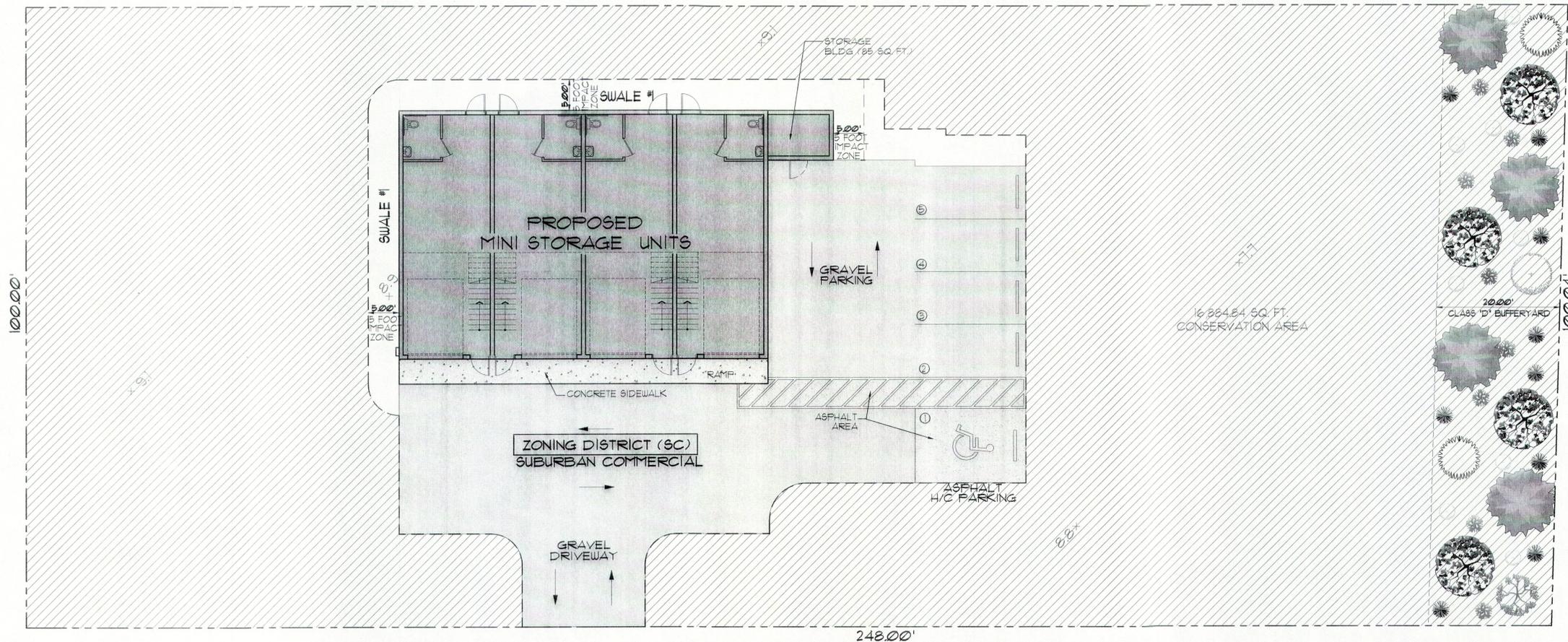
DRUG BY: J.A.

DATE: 07/16/2020

C-0
SITE PLAN

© COPYRIGHT - All rights reserved, these plans are the property of Orlando Perez, Jr., reproduction and/or storage by any means, whole or in part is prohibited without our written permission.

ADJACENT ZONING DISTRICT (UC)



ADJACENT ZONING DISTRICT (IS)



LANDSCAPE PLAN
SCALE: 1" = 10'

LANDSCAPE NOTES:

- ALL TREES ON MONROE COUNTY NATIVE TREE LIST
- ALL TREES MINIMUM PLANTED SIZE 8'-10' HIGH
- ALL TREES CAN BE SUBSTITUTED WITH EQUAL OR GREATER QUALITY MATERIAL DEPENDING ON AVAILABILITY AFTER APPROVAL BY THE ARCHITECT AND BY THE MONROE COUNTY BUILDING DEPARTMENT AND ZONING DEPT.
- ALL PLANT MATERIAL SHALL BE GRADED FLORIDA #1 OR BETTER, NURSERY PLANTS, PART 1 AND II BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE. 5.-ALL LANDSCAPE MATERIAL SHALL COMPLY WITH THE VILLAGE OF ISLAMORADA CRITERIA.
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (30/70) WITH 50 LBS OF MILORGANITE PER 6 CU. YDS
- TREES & PALMS GUARANTEED FOR 180 DAYS - SHRUBS 90 DAYS
- ALL SOD AREAS AS NOTED ON PLAN ARE TO BE SODDED WITH FLORA TAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
- TREES & PALMS TO BE STAKED AS SHOWN IN PLANTING DETAIL IN A GOOD
- ALL TREES TO BE GUYED DOWN W/ #12 GAUGE WIRE (3MIN. PER TREE AS PER BEST STANDARD NURSERY PRACTICE)
- ALL PALMS TO BE STAKED W/ A MIN. OF 3- 2 x 4'S ACCORDING TO GOOD STANDARD NURSERY PRACTICE

SHRUBS

- ALL SHRUBS SHALL BE A MINIMUM OF THREE (3) FEET IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. SEVENTY FIVE (75) PERCENT OF THE SHRUBS SHALL BE NATIVE SPECIES

MULCH

- WEED-FREE MULCH SHALL BE APPLIED AND MAINTAINED IN MINIMUM TREE (3) INCH LAYER UNDER AND AROUND ALL TREES AND SHRUBS, AND IN MINIMUM TWO (2) INCH LAYER UNDER

TREES

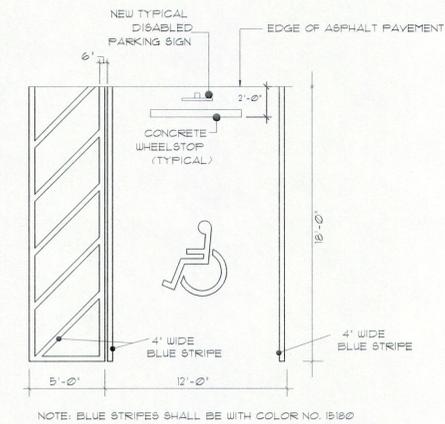
- ALL CANOPY TREES TO BE 8' HIGH OR 3" DBH, ALL UNDERSTORY TREES TO BE 6' HIGH.
- TREE SIZE, ALL TREES, EXCEPT STREET TREES AND TREES LOCATED BENEATH POWER LINES, SHALL BE A MINIMUM OF EIGHT (8) FEET HIGH AND HAVE A MINIMUM DIAMETER AT BRESTH HEIGHT (DBH) OF THREE (3) INCHES AT TIME OF PLANTING EXCEPT THAT SEVENTY FIVE (75) PERCENT OF THE TREE REQUIREMENT MAY BE MET BY NATIVE SPECIES WITH A MINIMUM HEIGHT OF EIGHT (8) FEET AND MINIMUM DBH OF THREE (3) INCHES AT TIME OF PLANTING
- STREET TREE SIZE AND SPACING, STREET TREES SHALL BE NATIVE CANOPY SPECIES TYPICALLY GROWN IN FLORIDA WHICH NORMALLY MATURE TO HEIGHT OF AT LEAST TWENTY (20) FEET. STREET TREES SHALL HAVE A CLEAR TRUNK OF FOUR (4) FEET, AN OVERALL HEIGHT OF TWELVE (12) FEET AND MINIMUM CALIPER OF THREE (3) INCHES AT TIME OF PLANTING, AND SHALL BE PROVIDED ALONG ALL ROADWAYS AT A MAXIMUM AVERAGE SPACING OF FIFTY (50) FEET ON CENTER

ADJACENT ZONING DISTRICT (UC)

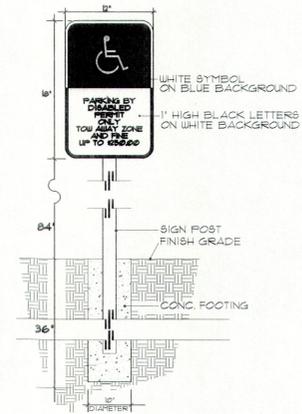
Class D Buffer yard: 20-foot-wide /100 linear feet: Canopy (C) 12' overall height; Understory (U) 6 feet in height; Shrubbery (S) 3 feet in height; RE 00087600-000100

Qty	Type	Common Name	Botanical Name	Status
EX/ 4 strands	S	Barb-wire cactus	<i>Acanthocereus tetragonus</i>	T
EX/3	C	Bolly	<i>Guapira discolor</i>	Native
EX/1	U	Bolly	<i>Guapira discolor</i>	Native
EX/1	U	Jamaican Caper	<i>Quadralla jamaicensis</i>	Native
EX/2	S	Caper, Jamaican	<i>Quadralla jamaicensis</i>	Native
EX/4	S	Caper, Limber	<i>Cynophalla flexuosa</i>	Native
EX/1	C	Crabwood	<i>Gymnanthes lucida</i>	Native
EX/5	U	Crabwood	<i>Gymnanthes lucida</i>	Native
EX/1	S	Crabwood	<i>Gymnanthes lucida</i>	Native
EX/1	C	Dogwood, Jamaican	<i>Piscidia piscipula</i>	Native
EX/2	C	Fig, Strangler	<i>Ficus arnea</i>	Native
EX/11	C	Gunbo Limbo	<i>Bursera smaruba</i>	Native
EX/1	U	Inkwood	<i>Exothea paniculata</i>	Native
EX/1	S	Inkwood	<i>Exothea paniculata</i>	Native
EX/3	C	Mahogany	<i>Swietenia mahagoni</i>	T
EX/2	U	Mahogany	<i>Swietenia mahagoni</i>	T
EX/5	C	Pigeon Plum	<i>Coccoloba diversifolia</i>	Native
EX/4	U	Pigeon Plum	<i>Coccoloba diversifolia</i>	Native
EX/9	S	Pigeon Plum	<i>Coccoloba diversifolia</i>	Native
EX/1	C	Poisonwood	<i>Metopium toxiferum</i>	Native
EX/1	U	Saffron Plum	<i>Sideroxylon celastrinum</i>	Native
EX/1	C	Strongbark	<i>Bouyeria succulenta</i>	Native
EX/3	U	Strongbark	<i>Bouyeria succulenta</i>	Native
EX/2	C	Stopper, White	<i>Eugenia axillaris</i>	Native
EX/9	U	Stopper, White	<i>Eugenia axillaris</i>	Native
EX/10	S	Stopper, White	<i>Eugenia axillaris</i>	Native
EX/1	C	Willow Bustic	<i>Sideroxylon salicifolium</i>	Native
EX/1	C	Wild Tamarind	<i>Lysiloma latisiliquum</i>	Native

TOTAL Existing Canopy (C): 32; TOTAL Existing Understory (U): 27; TOTAL Existing Shrubbery (S): 31.
KEY: EX: Existing on the property/buffer yard; Threatened: Listed as Threatened/State of FL



DISABLED PARKING SPACE
SCALE: N.T.S.

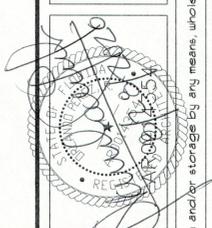


TYP. DISABLED PARKING SIGN
SCALE: N.T.S.



DATE:	
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REV. No.	
DRAWN BY:	

ORLANDO PEREZ, JR.
305-911-0052
* ARCHITECT *
13054 SW 133 CT, MIAMI, FL 33186
architect@perezjrhoo.com

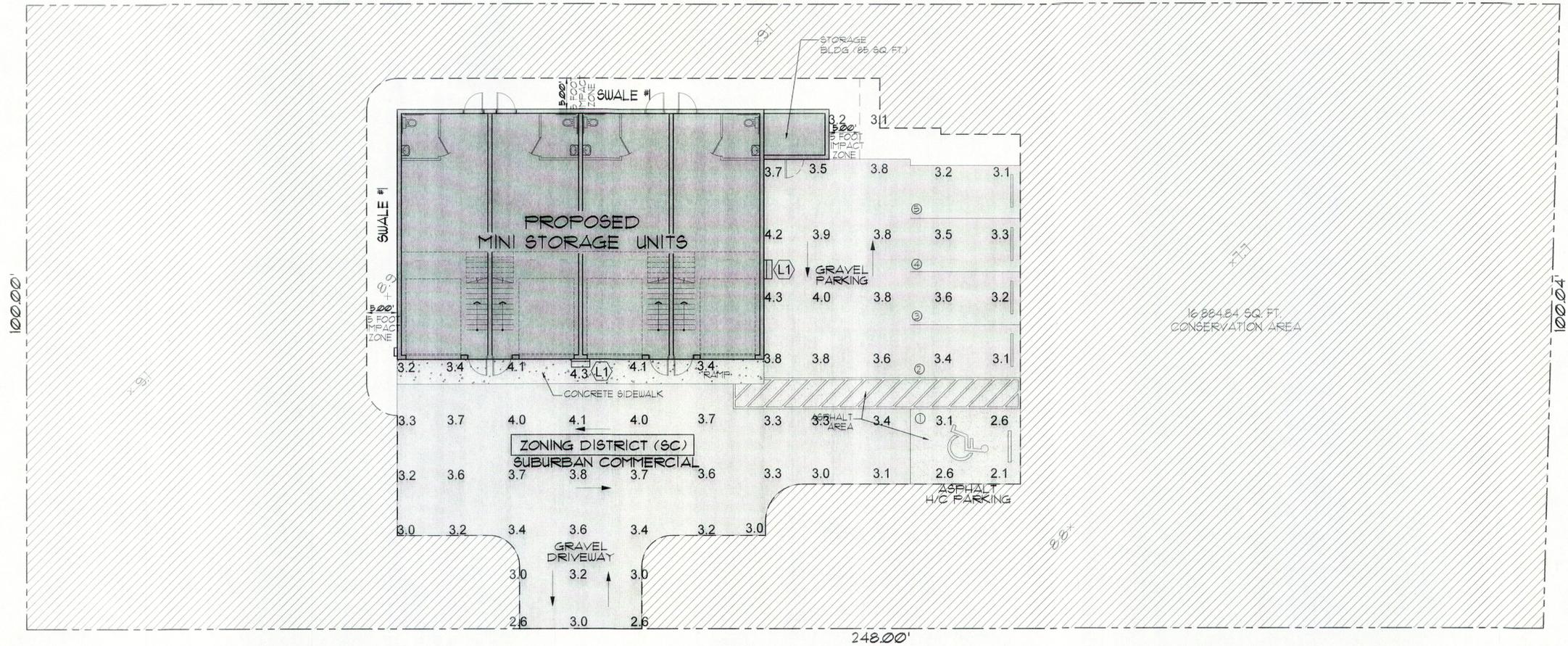


PROPOSED MINI-STORAGE UNITS FOR
116 OCEAN DR, KEY LARGO,
MONROE COUNTY, FLORIDA, 33031
RE# 00087600-000100

DRUG BY: J.A.
DATE: 07/16/2020
L-1
LANDSCAPE

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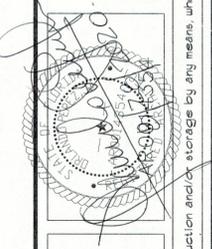
ADJACENT ZONING DISTRICT (UC)



ADJACENT ZONING DISTRICT (IS)

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	DATE:

305-971-0092
 ORLANDO PEREZ, JR.
 * ARCHITECT *
 19054 SW 155 CT, MIAMI, FL 33186
 architect@jrpelagos.com



PROPOSED MINI-STORAGE UNITS FOR
 116 OCEAN DR, KEY LARGO,
 MONROE COUNTY, FLORIDA, 33037
 RE# 000876000-000100

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DATE: 07/16/2020

LIGHTING PLAN

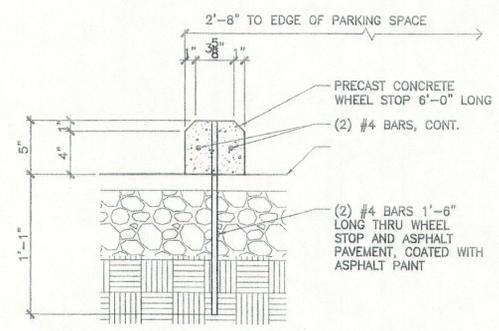
LIGHTING PLAN

SCALE: 1" = 10'

Symbol	Label	Qty	Manufacturer	Model	Volts	Watts	Lumens (4000K)
	LITHONIA LIGHTING	4	LITHONIA LIGHTING	WDGE4 LED	208	15	12,000

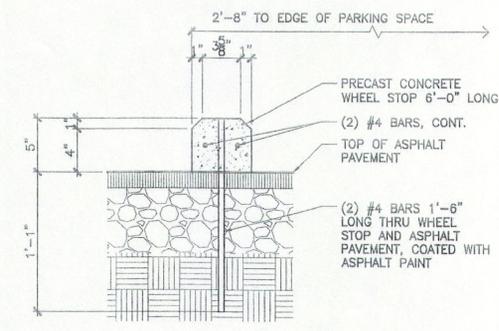
OCEAN DRIVE

ADJACENT ZONING DISTRICT (UC)



- GENERAL NOTES:
1. PROVIDE WHEEL STOPS SHALL BE PROVIDED AT ALL MARKED STALLS AS DETAILED ON SITE PLAN.
 2. PAINT ALL WHEEL STOPS COLOR TO MATCH STRIPPING OF PARKING STALLS

TYP. WHEEL STOP AT
 GRAVEL DRIVE PARKING SPACE
 SCALE: N.T.S.

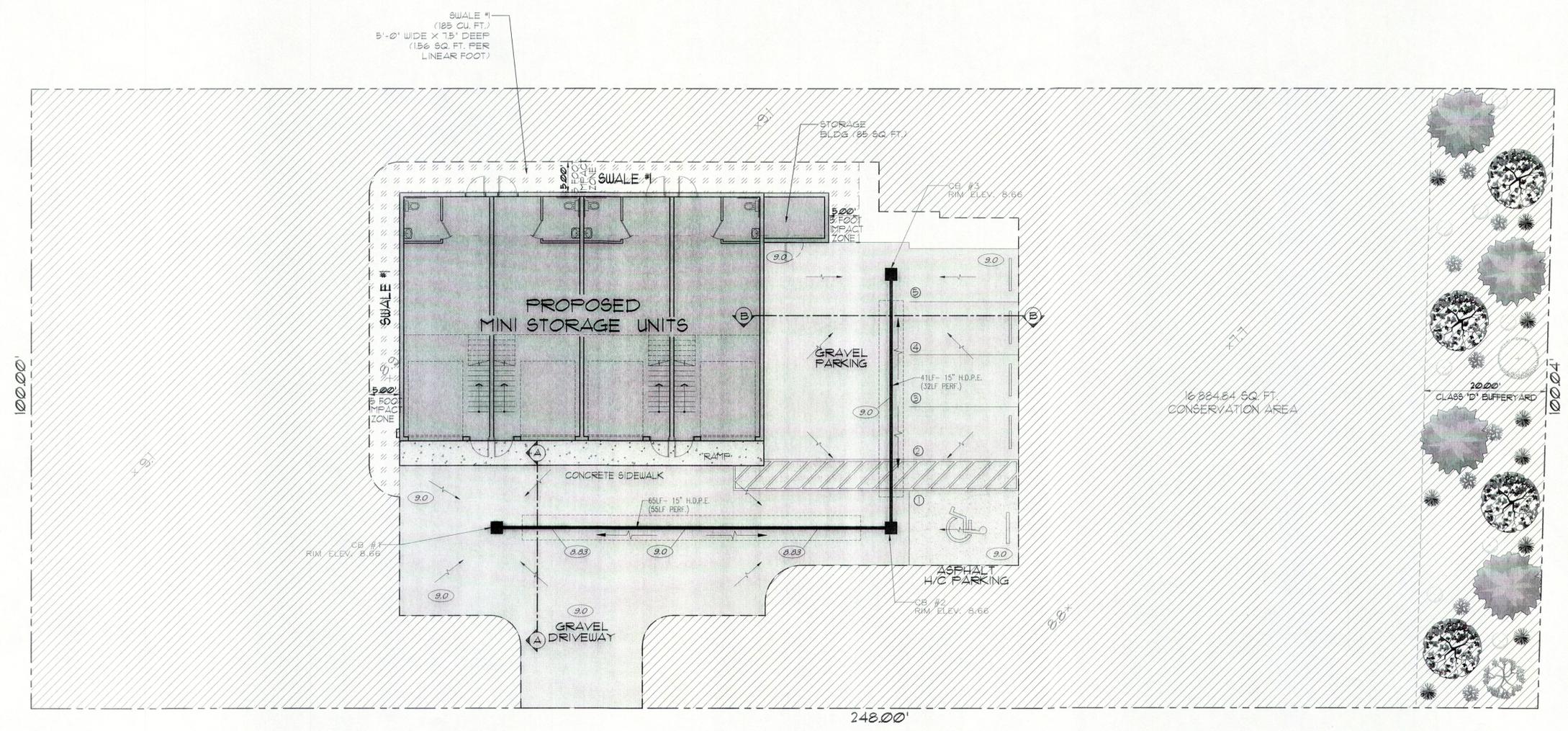


- GENERAL NOTES:
1. PROVIDE WHEEL STOPS SHALL BE PROVIDED AT ALL MARKED STALLS AS DETAILED ON SITE PLAN.
 2. PAINT ALL WHEEL STOPS COLOR TO MATCH STRIPPING OF PARKING STALLS

TYP. WHEEL STOP AT
 ASPHALT PARKING SPACE
 SCALE: N.T.S.



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DRAINAGE PLAN
SCALE: 1" = 10'

DRAINAGE STRUCTURES TABLE

STRUCTURE NUMBER	STRUCTURE TYPE	RIM, THROAT OR FLOW LINE ELEVATION	INVERT ELEVATION	PIPE SIZE	LENGTH OF SOLID HDPE PIPE	LENGTH OF PERFORATED HDPE PIPE	BAFFLE (FIBER GLASS) BOTTOM ELEVATION	BOTTOM OF STRUCTURE ELEVATION
1	42" SQUARE	8.66	5.00	15"	65	55	3.50	1.50
2	42" SQUARE	8.66	5.00	15"	41	32	3.50	1.50
TOTAL L.F. OF 3' TRENCH							87	
TOTAL L.F. OF 16" SOLID PIPE							106	

DRAINAGE GENERAL NOTES

- INLET STRUCTURES (PER S.D.-2.6 TYPE "P") 42" WIDE RECTANGULAR STRUCTURES (Alternates "B") SHALL BE CONSTRUCTED OF CONCRETE ONLY. THE CONCRETE MAY BE CAST-IN-PLACE OR PRECAST.
- WALL REINFORCEMENT AND THICKNESS ARE FOR EITHER CAST-IN-PLACE OR PRECAST CONCRETE EXCEPT THAT FOR PRECAST CIRCULAR UNITS ASTM Specification C-76, Table III, FOR B WALL REINFORCED CONCRETE PIPE OR PRECAST CIRCULAR UNITS IN ACCORDANCE WITH ASTM Specification C-478 WILL BE ACCEPTABLE. TOP AND FLOOR SLAB THICKNESS AND REINFORCEMENT ARE FOR ALL TYPES OF CONSTRUCTION.
- PRECAST TOP AND/OR FLOOR SLABS MAY BE OF THE SAME CONCRETE AS SPECIFIED IN ASTM Specifications C-478 FOR PRECAST CIRCULAR UNITS.
- SMOOTH FLOW CHANNELS COMPOSED OF CONCRETE, OR BRICK AND MORTAR, SHALL BE CONSTRUCTED IN THE BOTTOMS OF ALL STRUCTURES TO A DEPTH EQUAL TO HALF THE DIAMETER OF THE LARGEST PIPE.
- CORNER FILLETS SHOWN FOR RECTANGULAR STRUCTURES ARE NECESSARY ONLY WHEN STRUCTURES ARE USED IN CONJUNCTION WITH CIRCULAR TOPS.
- STRUCTURES SHALL BE SECURED TO INLET THROATS, RISERS OR MANHOLE TOPS WITH A MINIMUM OF 6-No. 4 BARS 12" LONG.
- MORTAR USED TO SEAL THE PIPE IN THE WALLS OF THE PRECAST UNITS SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNITS. MAXIMUM OPENING FOR PIPE SHALL BE MAX. REQUIRED O.D. + 6".
- CONCRETE PROTECTION FOR REINFORCEMENT IN CAST-IN-PLACE OR PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH CHAPTER 7, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-71)"

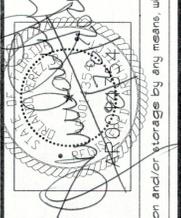
LEGEND

- PROPOSED STORM SEWER
- PROPOSED PERFORATED C.M.P. W/ DRAINFIELD
- PROPOSED GRADE
- EXISTING GRADE
- DIRECTION OF DRAINAGE FLOW
- PROPOSED CATCH BASIN OR INLET
- EXISTING CATCH BASIN OR INLET
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- RIGHT-OF-WAY LINE OR PROPERTY LINE
- 6" CONCRETE SLAB
- 4" CONCRETE SIDEWALK



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	DATE:

ORLANDO PEREZ, JR.
ARCHITECT *
13054 SW 193 CT, MIAMI, FL 33186
architect@jrpgh.com



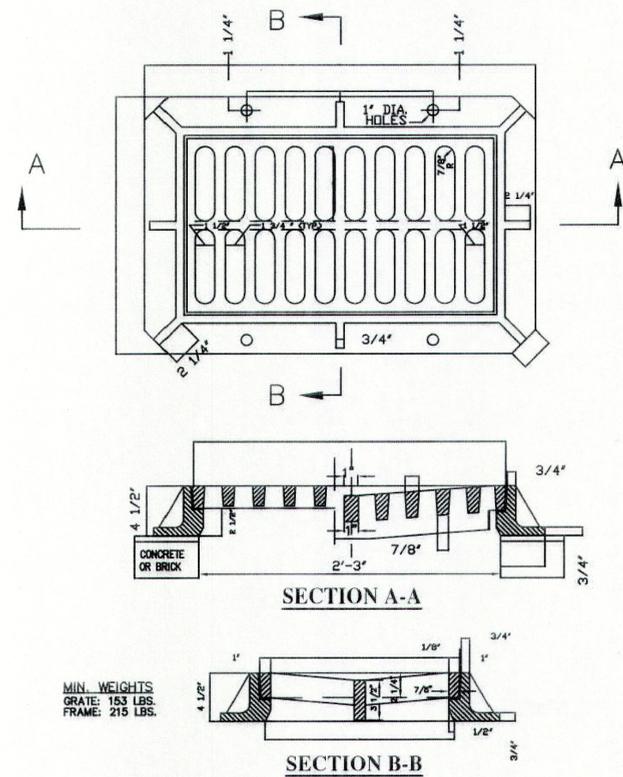
PROPOSED MINI-STORAGE UNITS FOR
116 OCEAN DR, KEY LARGO,
MONROE COUNTY, FLORIDA, 33031
RE# 000816000-000100

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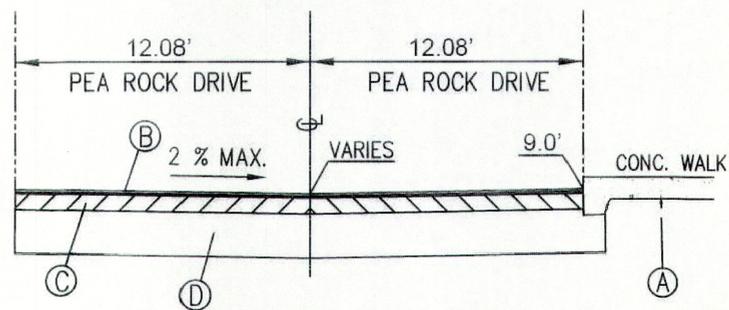
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DRAINAGE-1

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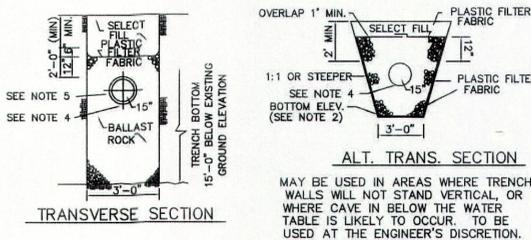
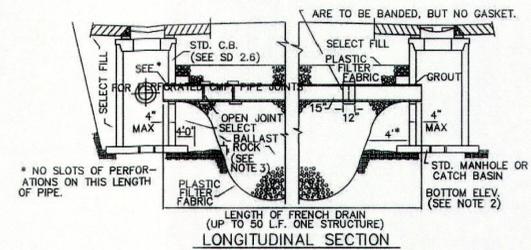


CATCH BASIN FRAME AND GRATE
SCALE: NTS.



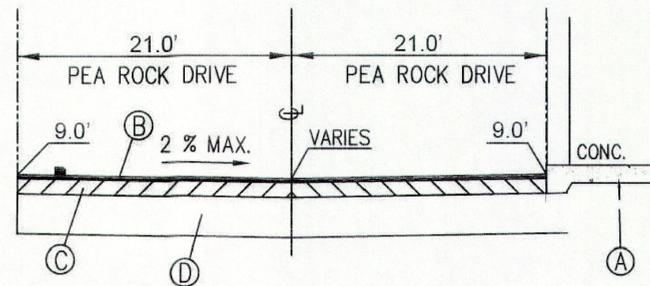
- (A) 4" CONC SIDEWALK
- (B) PEA ROCK SURFACE COURSE +/- 2" THICK (PARKING SPACES)
- (C) WELL COMPACTED SUB BASE COURSE PRIMED (6")
- (D) STABILIZED SUBGRADE (12")

SECTION A-A
SCALE: NTS.



- NOTES:
1. PLASTIC FILTER FABRIC (AT EA. SIDE, TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER
 2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
 3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH WILL BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
 4. INVERT ELEVATION TO BE 5.0 NGVD.
 5. SEE SHEET 2 OF 3 OF SD 1.1 IN THE M.C.P.W. MANUAL.

EXFILTRATION TRENCH DETAIL
SCALE: NTS.



- (A) 6" CONC SLAB
- (B) PEA ROCK SURFACE COURSE +/- 2" THICK (PARKING SPACES)
- (C) WELL COMPACTED SUB BASE COURSE PRIMED (6")
- (D) STABILIZED SUBGRADE (12")
- (E) WHEEL STOP

SECTION B-B
SCALE: NTS.

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ORLANDO PEREZ, JR.
ARCHITECT *
13054 SW 193 CT, MIAMI, FL 33186
architect@orlandoperez.com

PROPOSED MINI-STORAGE UNITS FOR
116 OCEAN DR, KEY LARGO,
MONROE COUNTY, FLORIDA, 33037
RE# 000876000-000100

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DRAINAGE-2

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PARTITIONS AND LUMBER

1. ALL FINISH MATERIALS SHALL HAVE A MINIMUM FLAME SPREAD CLASSIFICATION REQUIRED BY FBRC 2011
2. PARTITIONS TO RUN FROM FLOOR TO UNDERSIDE OF SLABS, JOISTS OR TRUSSED AND TO CONSIST OF METAL STUDS AT 16" O.C. W 1/2" GYPSUM WALLBOARD ON BOTH SIDES.
3. ALL WALLBOARD BEHIND SINKS, LABORATORIES, BATHTUBS, SHOWERS, WATER CLOSETS AND BIDETS TO BE WATER RESISTANT.
4. CONTRACTOR TO COORDINATE THICKNESS OF ALL PARTITIONS TO ACCOMMODATE MECHANICAL, PLUMBING, AND ELECTRICAL WORK. DIMENSIONS SHOWN ON PLAN ARE NOMINAL.
5. LUMBER USED FOR JOIST, RAFTERS, COLUMNS, BEAMS OR OTHER STRUCTURAL MEMBERS SHALL BE OF A STRESS GRADE NOT LESS THAN 1000 F51 NOMINAL EXTREME FIBER STRESS IN BEDDING.
6. LUMBER USED FOR STUDS IN INTERIOR NON-BEARING PARTITIONS SHALL BE OF A STRESS GRADE NOT LESS THAN 225 F51 NOMINAL EXTREME FIBER STRESS IN BEDDING.
7. LUMBER USED FOR STUDS IN INTERIOR BEARING PARTITIONS SHALL BE OF A STRESS GRADE OF NOT LESS THAN 625 F51 NOMINAL EXTREME STRESS IN BENDING.
8. ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.

DOOR SCHEDULE								
SYM.	SIZE			MATERIAL	THRESHOLD	FRAME	TYPE	REMARKS
	WIDTH	HEIGHT	THICK					
(A)	3'-0"	7'-0"	1-3/4"	METAL	METAL	METAL	OUTSWING	AUTO CLOSER 1 HOUR FIRED RATED
(B)	3'-0"	6'-8"		WOOD	METAL	WOOD	SWING	
(C)	8'-0"	12'-0"		METAL	METAL	METAL	ROLL-UP	

EXTERIOR DOOR BUCKS AND FASTENING SHALL BE CAPABLE OF WITHSTANDING WIND LOADS PRESCRIBED BY THE FBC, ALL WINDOWS & DOOR TO BE IMPACT

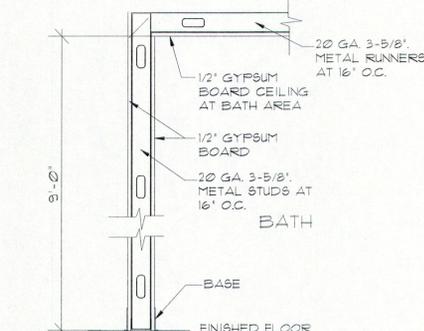
ALL EGRESS DOOR SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF KEY AS PER FBC SECTION R311.4.4

FLOOD NOTES:

- 1.) NO INTERIOR PARTITIONS.
- 2.) NO FINISH MATERIALS BELOW BASE FLOOD ELEVATION.
- 3.) EXTERIOR WALLS MUST WITHSTAND A FORCE OF 120 POUNDS PER SQUARE FEET OF HORIZONTAL LOAD.
- 4.) PROVIDE METAL WALL TIES @ EVERY OTHER COURSE OF BLOCK ANCHORED TO COLUMNS AND DUROWALL REINFORCING HORIZONTALLY @ EVERY OTHER COURSE OF BLOCK.
- 5.) PROVIDE 1 SQUARE INCH OF VENT FOR EVERY SQUARE FOOT OF AREA OF ENCLOSURE BELOW BASE FLOOD ELEVATION.
- 6.) BOTTOM OF VENT NOT TO EXCEED 12 INCH FROM GRADE IN HEIGHT.
- 7.) ALL ELECTRICAL OUTLETS TO BE ABOVE REQUIRED BASE FLOOD ELEVATION.

ADA COMPLIANT SIGNAGE

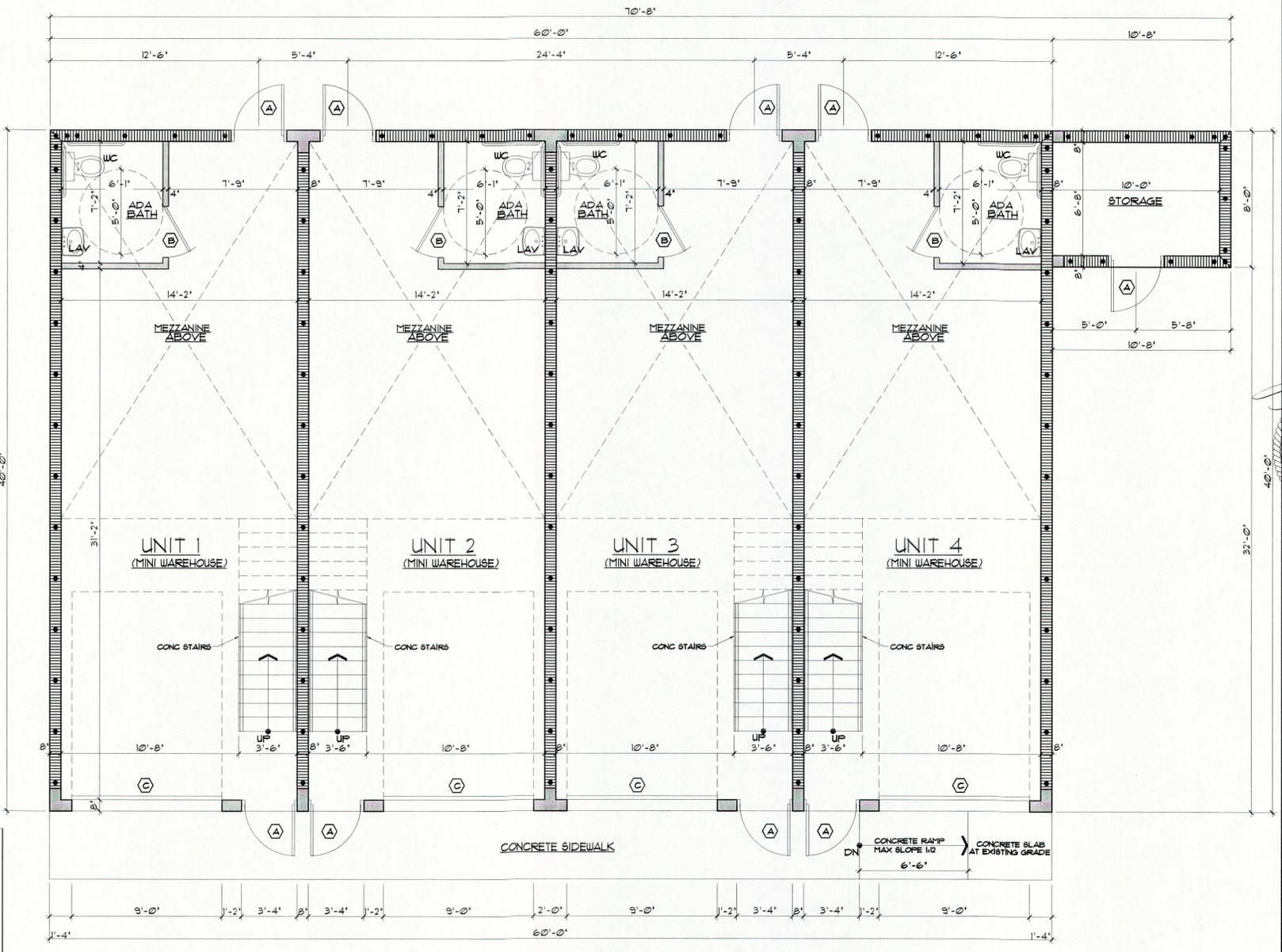
1. CHARACTER PROPORTION: LETTERS AND NUMBERS ON SIGNS SHALL HAVE WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE-WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10
2. CHARACTER HEIGHT: CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MIN. HEIGHT IS MEASURED USING AND UPPER CASE X. LOWER CASE ARE PERMITTED.
3. CHARACTER AND SYMBOLS: LETTERS AND NUMBERS SHALL BE RAISED 1/8" UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTER SHALL BE AT LEAST 3/8" HIGH, BUT NO HIGHER THAN 2".
4. FINISH AND CONTRAST: THE CHARACTER AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATE OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND-EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTER ON A LIGHT BACKGROUND
5. FINISH AND CONTRAST: WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR INCLUDING AT DOUBLE LEAF DOOR. SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3' OF SIGNAGE WITHOUT ENCLOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.



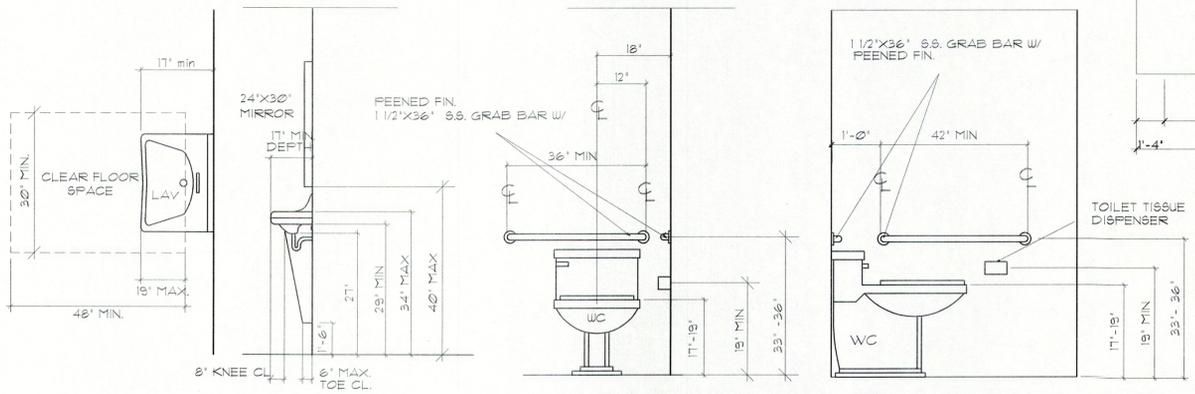
BATH INT. PARTITION TYPICAL WALL SECTION
SCALE: N.T.S.

USE & OCCUPANCY CLASSIFICATION

STORAGE GROUP S-1	
PERSONS	1
PARKING REQUIRED 1 X 1000 SQ. FT.	3



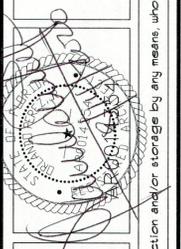
GND FLOOR PLAN - 4 UNITS BLDG.
SCALE: 1/4" = 1'-0"



1 LAVATORY CLEARANCES
A-2 SCALE: N.T.S.

1 GRAB BAR AT WATER CLOSET
A-2 SCALE: N.T.S.

ORLANDO PEREZ, JR. 305-911-0052
* ARCHITECT *
13054 SW 133 CT, MIAMI, FL 33186
architect@jrpgho.com

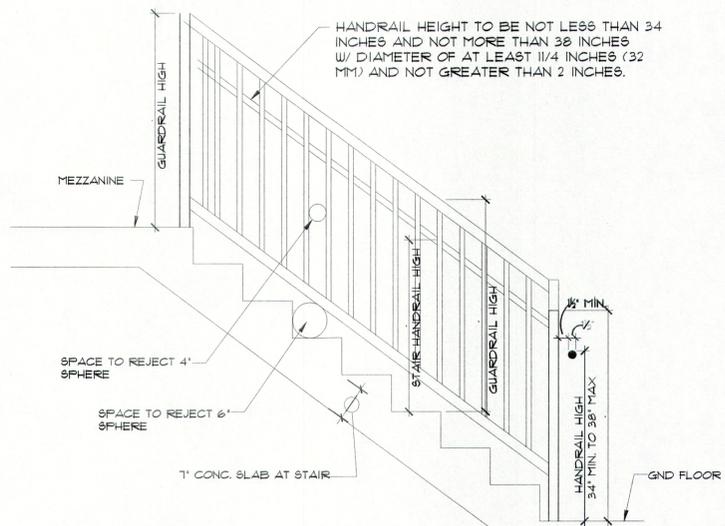


PROPOSED MINI-STORAGE UNITS FOR
116 OCEAN DR, KEY LARGO
MONROE COUNTY, FLORIDA, 33037
RE# 000876000-000100

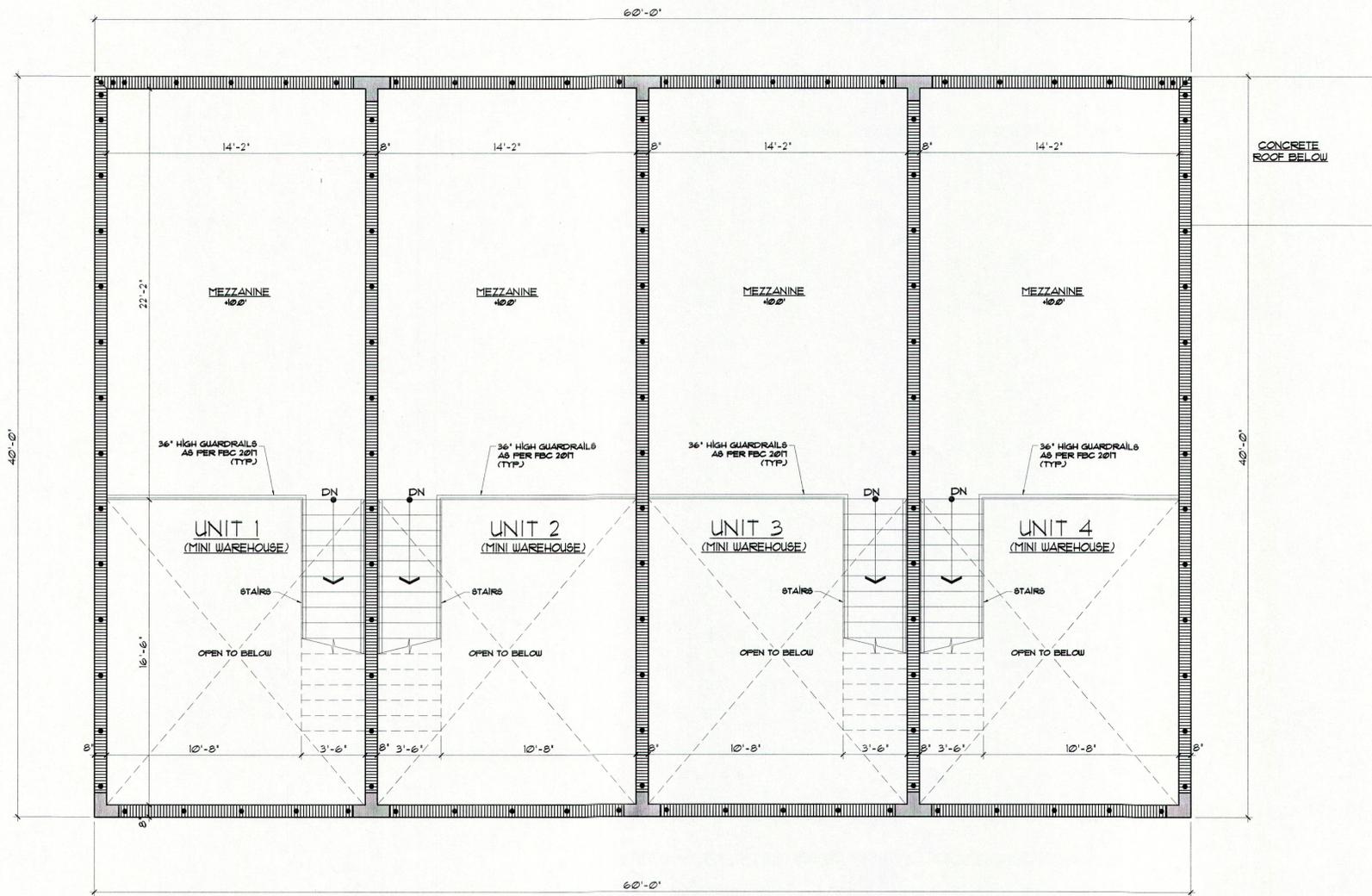
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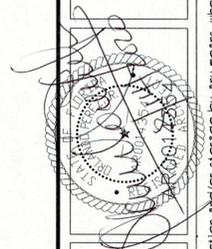


STAIR HANDRAIL DETAIL
SCALE: N.T.S.



2ND FLOOR PLAN - 4 UNITS
SCALE: 1/4" = 1'-0"

ORLANDO PEREZ, JR. 305-911-0052
* ARCHITECT *
13054 SW 193 CT, MIAMI, FL 33186
architect@jrpj.com



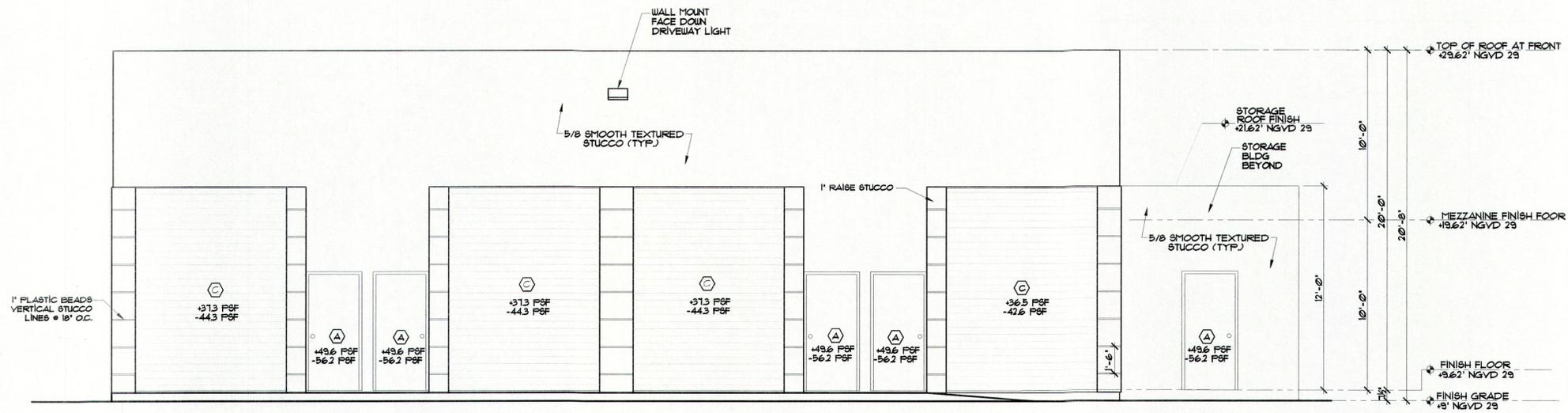
PROPOSED MINI-STORAGE UNITS FOR
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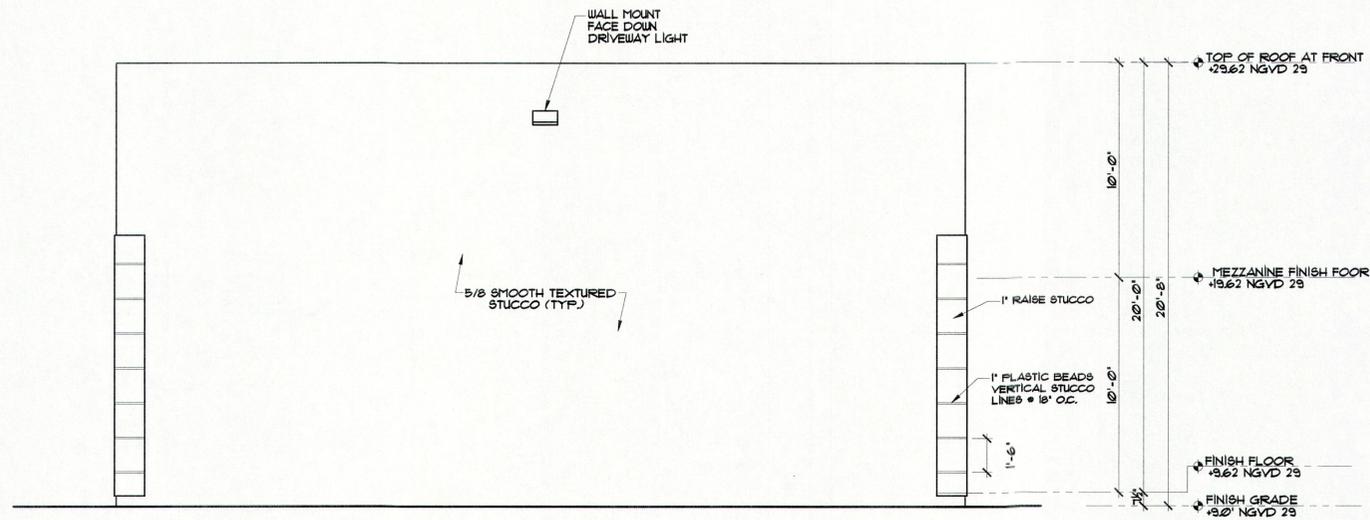
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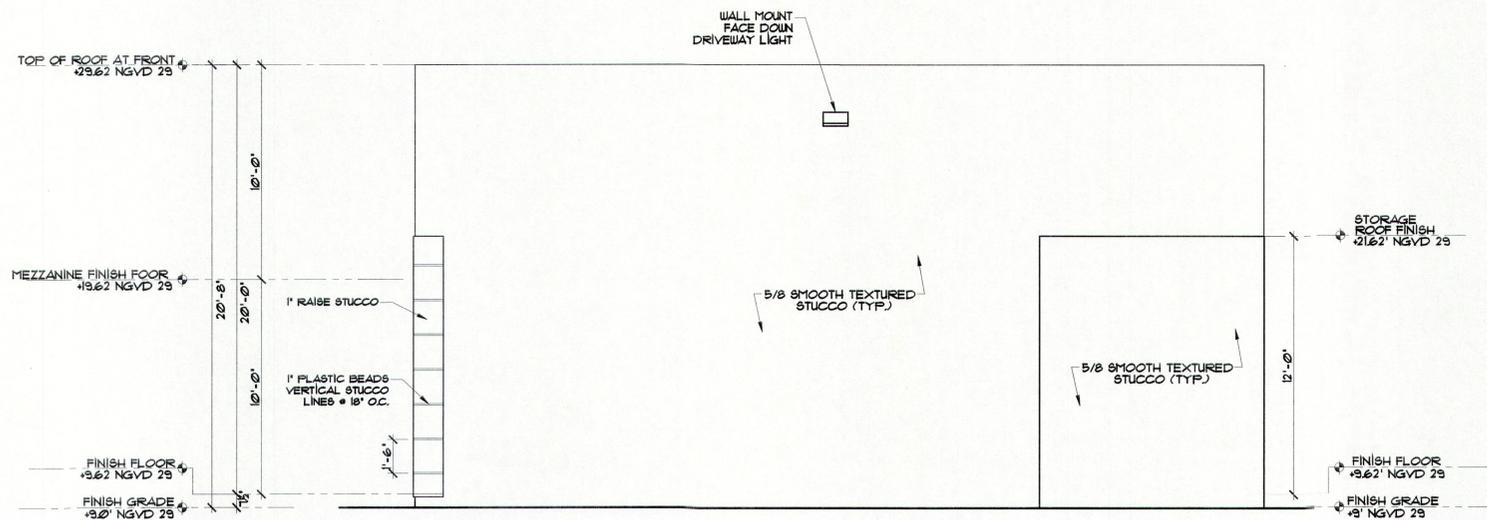
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BLDG. FRONT ELEVATION
SCALE: 1/4"=1'-0"



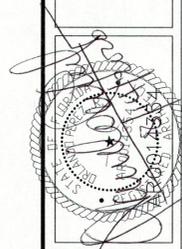
BLDG. LEFT ELEVATION
SCALE: 1/4"=1'-0"



BLDG. RIGHT ELEVATION
SCALE: 1/4"=1'-0"

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305-311-0052
 ORLANDO PEREZ, JR.
 * ARCHITECT *
 13054 SW 133 CT, MIAMI, FL 33186
 architect@jrpgho.com



WOODS AVE AFFORDABLE HOUSING
 PLANTATION KEY,
 ISLAMORADA, FLORIDA, 33010

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