

File #: 2020-161

Owner's Name: Chris Sante

Applicant: Barbara Bauman

Agent: Barbara Bauman

Type of Application: PC Variance

Key: Key Largo

RE: 00490270-000000

Additional Information added to File 2020-161

End of Additional File 2020-161

APPLICATION
MONROE COUNTY
 PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



Variance Application to the Monroe County Planning Commission

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review.

Planning Commission Variance Application Fee: \$1,610.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Date of Application: 9 / 28 / 2020
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

<u>Barbara Bauman</u>	<u>Barbara Bauman</u>		
<small>Applicant (Name of Person, Business or Organization)</small>	<small>Name of Person Submitting this Application</small>		
<u>PO Box 371145, Key Largo, FL 33037</u>			
<small>Mailing Address (Street, City, State and Zip Code)</small>			
<u>305-942-4262</u>	<u>baumanplanning@yahoo.com</u>		
<small>Work Phone</small>	<small>Home Phone</small>	<small>Cell Phone</small>	<small>Email Address</small>

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

<u>Chris Sante</u>			
<small>(Name/Entity)</small>	<small>Contact Person</small>		
<u>PO Box 373006, Key Largo, FL 33037</u>			
<small>Mailing Address (Street, City, State and Zip Code)</small>			
<u>305-522-6598</u>	<u>csante@bellsouth.net</u>		
<small>Work Phone</small>	<small>Home Phone</small>	<small>Cell Phone</small>	<small>Email Address</small>

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

	<u>Ellis Property Plat of Survey</u>		<u>Key Largo</u>
<small>Block</small>	<small>Lot</small>	<small>Subdivision</small>	<small>Key</small>
<u>004902070-000000</u>			<u>1605701</u>
<small>Real Estate (RE) Number</small>		<small>Alternate Key Number</small>	
<u>92425 Overseas Highway, Tavernier, FL 33070</u>		<u>92</u>	
<small>Street Address (Street, City, State & Zip Code)</small>			<small>Approximate Mile Marker</small>

APPLICATION

Land Use District Designation(s): Suburban Commercial

Present Land Use of the Property: Commercial Retail, Offices and 2 Apartments

Proposed Land Use of the Property: Mini-Storage and 1 apartment

Total Land Area: 27,767 SF, 0.64 Acre

Provide the standards required by the land development regulations: LDC 114-195 Curb cuts along US1 must be placed at least 400' away from any other curb cut. Two 25-foot Primary front yard, one 15 foot secondary front yard and one 5-foot secondary side yard setback.

(i.e., front yard setback of 25 feet, 100 off-street parking spaces, etc.)

Provide requested variance: Curb cut reduction of 360' for curb cut of 40' & reduction of 5' for a primary front yard setback of 20'

(i.e., reduction of 5ft for a front yard setback of 20 feet; reduction to 90 off-street parking spaces, etc.)

All of the following standards must be met in order to receive variance approval. Please describe how each standard will be met (as it relates to the property):

1. The applicant shall demonstrate a showing of good and sufficient cause for granting the variance:

Access variance see attachment A.

Setback variance see attachment B.

2. Failure to grant the variance would result in exceptional hardship to the applicant:

Access variance see attachment A.

Setback variance see attachment B.

Exceptional hardship means a burden on a property owner that substantially differs in kind or magnitude from the burden imposed on other similarly situated property owners. Financial difficulty/hardship does not qualify as exceptional hardship.

3. Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

Access variance see attachment A.

Setback variance see attachment B.

4. Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district:

Access variance see attachment A.

APPLICATION

5. Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns:

Access variance see attachment A.

Setback variance see attachment B.

6. Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:

Access variance see attachment A.

Setback variance see attachment B.

7. Granting the variance is not based on the domestic difficulties of the applicant or his family:

Access variance see attachment A.

Setback variance see attachment B.

8. The variance is the minimum necessary to provide relief to the applicant:

Access variance see attachment A.

Setback variance see attachment B.

APPLICATION

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Complete variance application (unaltered and unbound)
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed)
- Current Property Record Card(s) from the Monroe County Property Appraiser
- Location map
- Photograph(s) of site from adjacent roadway(s)
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor- eight (8) sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat)
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect- five (5) sets (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following:
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water line
 - Land use district of site and any adjacent land use districts
 - Locations and dimensions of all existing and proposed structures and drives
 - Type of ground cover (i.e., concrete, asphalt, grass, rock)
 - Adjacent roadways
 - Setbacks as required by the land development regulations
 - Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones
- Typed name and address mailing labels of all property owners within a 600 foot radius of the property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600 foot radius, each unit owner must be included.

If applicable, the following item must be included in order to have a complete application submission:

- Notarized Agent Authorization Letter

Is there a pending code enforcement proceeding involving all or a portion of this property?

- Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

If for any reason the administrative variance application requires review and consideration by the Monroe County Planning Commission, additional fees, mailing labels and copies of all plans shall be required prior to item being scheduled for commission review.

APPLICATION

Pursuant to Section 102-186 (i) of Monroe County Code, the applicant shall post the property of the proposed variance with a waterproof sign at least four (4) square feet in front surface area, which is so lettered as to be easily visible from all public streets and public ways abutting the property. The property shall remain posted for no less than thirty (30) calendar days beginning within five (5) working days of the date that the application is deemed to be in compliance by the Planning Director. For your convenience, the Department will provide you with a sample of the sign.

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Handwritten Signature]

Date: 9/22/2020

STATE OF FLORIDA

COUNTY OF Monroe

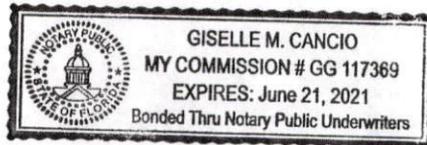
Sworn to and subscribed before me this 22nd day of September, 2020,
by means of physical presence or online notarization,

by Chris Sante, who is personally known to me OR produced
(PRINT NAME OF PERSON MAKING STATEMENT)

_____ as identification.
(TYPE OF ID PRODUCED)

[Handwritten Signature]
Signature of Notary Public, State of Florida

Giselle M. Cancio
Print, Type or Stamp Commissioned Name of Notary Public
My commission expires:



Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050

Attachment A: Access PC Variance

1. The applicant shall demonstrate a showing of good and sufficient cause for granting the variance:

The property owner is seeking to demolish the existing nonconforming commercial building and eliminating an existing northbound access to US1. He is proposing to construct a two-story mini-storage building with one apartment. The proposed building would have a one-way 20-foot entry access driveway to the storage units. The entrance would be from Julep Road and would exit onto US1 southbound turning lane allowing merging onto southbound US1 and providing access to Julep Road for northbound access to US1. This configuration would safely and easily accommodate customers going North or South on US1.

The site is located in the median of US1 currently having four (4) access drives to the existing commercial building. The site has access from southbound and northbound US1 and access from Julep Drive. The proposed plan will eliminate the northbound access to US1 from the site.

The site is oblong in shape and with varying widths between approximately 100 feet and 80 feet. Most Suburban Commercial properties in Key Largo located in the median of US1 are approximately 150 feet deep providing a larger area to build and meet setbacks and access drives. The property cannot support a turn-around lane due to the width of property to allow exiting off Julep Road or within 450 feet of other curb cuts.

To the north of the property there is a curb cut off southbound US1 for the KLWTD vacuum center. According to KLWTD letter, included in this application, "is used on average 4-6 times a day. The use is not limited to normal business hours and includes nights and weekends". The mini-storage will have a low volume number of trips per day as well.

Florida Department has given preliminary approval providing the Planning Commission grant this access variance. State of Florida Department of Transportation Completeness Review included in this application.

2. Failure to grant the variance would result in exceptional hardship to the applicant:

Failure to grant the variance would be an exceptional hardship to the applicant as it prevents the construction of 30' wide mini storage building with one apartment, the minimum for this type of building and many commercial uses. The long oblong and narrowing shape of the parcel leads the owner to feel this is an excellent and needed use of the property for the community.

3. Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

The granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public.

4. Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district.

The shape and the narrowing of the property is unique from other properties in Key Largo within the SC zoning districts which are in the median of US1. Many properties in the median are 150 feet between southbound and northbound lanes and this property varies from 100 feet to 80 feet wide thus making it almost impossible to develop a structure while maintaining setbacks, bufferyards, parking, access driveways and entrance and exit access.

5. Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns:

Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns.

6. Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:

Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family.

7. Granting the variance is not based on the domestic difficulties of the applicant or his family:

Granting the variance is not based on the domestic difficulties of the applicant or his family.

8. The variance is the minimum necessary to provide relief to the applicant:

This variance is the minimum necessary to provide relief to the applicant to construct a commercial building.

Attachment B: Front Yard Setback Variance

1. The applicant shall demonstrate a showing of good and sufficient cause for granting the variance:

The site is located in the median of US1 and has three (3) front yard setbacks. With two (2) 25-foot primary front yard setbacks off US1 and one (1) 15-foot secondary front yard setback off Julep Road. The site is oblong in shape and with varying depths between approximately 100 feet and 80 feet. Most Suburban Commercial properties in Key Largo located in the median of US1 are approximately 150 feet deep providing a larger area to build and meet setbacks. With the reduction of 5 feet of the primary front yard setbacks would allow the construction of a 30 foot deep building and replacing the existing nonconforming building.

2. Failure to grant the variance would result in exceptional hardship to the applicant:

Failure to grant the variance would be an exceptional hardship to the applicant as it prevents the construction of 30' wide mini storage building with one apartment, the minimum for this type of building and many commercial uses. The long oblong and narrowing shape of the parcel the owner feels this is an excellent and needed use of the property for the community. Having two (2) 25-foot primary front yard setbacks on a narrow lot is an exceptional hardship.

3. Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

Granting the variance will not result in increased public expenses, create a threat to public health and safety or create a public nuisance or cause fraud or victimization of the public.

4. Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district

The shape and the narrowing of the property is unique from other properties in Key Largo within the SC zoning districts which are located in the median of US1. Many properties in the median are 150 feet between southbound and northbound lanes and this property varies from 100 feet to 80 feet wide thus making it almost impossible to develop a structure while maintaining setbacks, bufferyards, access and parking.

5. Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns:

Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns.

6. Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:

Granting the variance is not based on disabilities, handicaps or health of the owner or member of the family.

7. Granting the variance is not based on the domestic difficulties of the applicant or his family:

Granting the variance is not based on the domestic difficulties of the applicant or his family.

8. The variance is the minimum necessary to provide relief to the applicant:

The variance of 5 feet from the two (2) primary front yard setbacks is the minimum necessary to provide relief to the owner.

AGENT AUTHORIZATION FORM

Date of Authorization: 9 / 22 / 2020
Month Day Year

I hereby authorize Barbara Bauman be listed as authorized agent
(Print Name of Agent)

representing Chris Sante for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of Variance Application to the Planning Commission
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

ELLIS PROPERTY PLAT OF SURVEY Key Largo

Table with 4 columns: Lot, Block, Subdivision, Key (Island); Real Estate (RE) Number, Alternate Key Number; Street Address (Street, City, State & Zip Code), Approximate Mile Marker.

Authorized Agent Contact Information:

Barbara Bauman P.O. Box 371145, Key Largo, FL 33037

Mailing Address (Street, City, State and Zip Code)

305-942-4262

Work Phone Home Phone Cell Phone Email Address

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Handwritten Signature]

Printed Name of Property Owner: Chris Sante

STATE OF Florida COUNTY OF Monroe

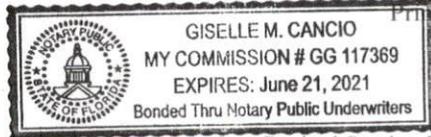
Sworn to and subscribed before me this 22nd day of September, 2020,

by Chris Sante, who is personally known to me OR produced
(Print Name of Person Making Statement)

(Type of ID Produced) as identification.

[Handwritten Signature] Giselle M. Cancio
Signature of Notary Public Print, Type or Stamp Commissioned Name of Notary Public

My commission expires:



Doc# 1861193 12/07/2011 3:32PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

This Document Prepared By and Return to:
Joe Miklas, Esq.
Joe Miklas, P.A.
P.O. Box 366
Islamorada, FL 33036

Doc# 1861193
Bk# 2545 Pg# 85

Parcel ID Number: 00490270-000000, et. seq.

Quitclaim Deed

This Quitclaim Deed, Made this 30th day of November, 2011 A.D. Between
John McCarthy, a single man

of the County of Monroe, State of Florida, grantor, and
Chris D. Sante

whose address is: P.O. Box 373006, Key Largo, FL 33037

of the County of Monroe, State of Florida, grantee.
Witnesseth that the GRANTOR, for and in consideration of the sum of

TEN DOLLARS (\$10) DOLLARS,
and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has
granted, bargained and quitclaimed to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Monroe State of Florida to wit:

Parcel 1:

The South 100 feet of that portion of Tract 2, according to the "Plat of Survey of Ellis Property," in Section 27, Township 62 South, Range 38 East, Key Largo, recorded in Plat Book 2, Page 99, of the Public Records of Monroe County, Florida, which lies between the Easterly Right-of-Way line of State Road No. 5, and the Westerly Right-of-Way line of State Road No. 4-A

and

Parcel 2:

Tract "B" in Tavernier Ocean Shores, a subdivision on the Island of Key Largo, according to a Plat thereof, recorded in Plat Land Records of Monroe County, Florida, in Plat book 4, at Page 112.

and

Parcel 3:

(Continued on Attached)

To Have and to Hold the same together with all and singular the appurtenances therunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantor, either in law or equity, for the use, benefit and profit of the said grantee forever.

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Nelson Oquendo
Printed Name: Nelson Oquendo

Witness 1
Printed Name: _____
Witness _____

John McCarthy (Seal)
Address: 92425 Overseas Highway, Tavernier, FL 33070

STATE OF Florida
COUNTY OF Monroe

The foregoing instrument was acknowledged before me this 30th day of November, 2011 by
John McCarthy

he is personally known to me or he has produced his Florida driver's license as identification.

NOTARY PUBLIC STATE OF FLORIDA
Patricia Saltzman
Commission # DD901502
Expires: JULY 26, 2013
BUNDED THRU ATLANTIC BANKING CO., INC.

Patricia Saltzman
Printed Name: PATRICIA SALTZMAN
Notary Public
My Commission Expires: _____

SANTE MCCARTHY

Form Generated by e3 Daphn Systems, Inc., 2011 (863) 763-5555 Form FL003-1

Quitclaim Deed - Page 2

Parcel ID Number: 00490270-000000, et. seq.

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A portion of Lot 7, according to the Plat of ABSOLOM ALBURY PROPERTY, as recorded in Plat Book 1, at Page 64, of the Public Records of Monroe County, Florida being more particularly described as follows:

Begin at the Southwest corner of "Tract B" according to the Plat of Tavernier Ocean Shores as recorded in Plat Book 4, at Page 112, of the Public Records of Monroe County, Florida; thence run in an Easterly direction along the Southerly line of said "Tract B" for a distance of 109.66 feet to the Southeast corner of said Tract "B"; thence run in a Southwesterly direction making an interior angle of 56 degrees 24 minutes 18 seconds with the last described course for a distance of 145.16 feet to the point of curvature of a circular curve having a radius of 25 feet; thence along the arc of said curve, being concave to the Northwest, having a central angle of 86 degrees 21 minutes 48 seconds for a distance of 37.68 feet to a point of tangency; thence continue to a Northwesterly direction on the prolongation of said tangent for a distance of 29.98 feet to the point of curvature of a circular curve, having a radius of 25 feet; thence run along the arc of said curve concave to the Northeast having a central angle of 87 degrees 33 minutes 01 seconds for a distance of 38.20 feet to a point of reverse curvature on the Southeasterly right of way of the Overseas Highway; thence run Northeasterly along the arc of a circular curve having a radius of 1960.00 feet; being concave to the Northwest, with a central angle of 2 degrees 37 minutes 29 seconds for a distance of 89.79 feet to the Point of Beginning

and

Parcel 4:

Part of Tract 2 of "Plat of Survey of Ellis Property" in the Northeast 1/4 of the Southeast 1/4 of Section 27, Township 62 South, Range 38 East, Key Largo, Monroe County, according to the Plat recorded in Plat Book 2, at Page 99, of the Public Records of Monroe County, Florida.

Commencing at a point on the Easterly boundary of said Tract 2, a distance of 300 feet Northerly from the Southerly boundary of said Tract 2 and running thence along the Easterly boundary of said Tract 2 in a Northerly direction 100 feet; thence at right angles in a Westerly direction 200 feet, more or less, to the Southeasterly boundary of the Overseas Highway; thence in a Southwesterly direction along the Southeasterly boundary of said Overseas Highway 100 feet more or less, to a point which is 300 feet North of the Southerly boundary of said Tract 2, measured at right angles thereto; thence at right angles in an Easterly direction 225 feet, more or less to the point or place of beginning.

Less that portion of said Tract 2 which was conveyed to the State Road Department by Deed filed July 23, 1941 and recorded in Deed Book G-10, Page 423, Public Records of Monroe County, Florida, for the right-of-way of State Road 4-A.

A survey of the subject property prepared by Barrow Surveying and Mapping, LB 6591, dated 10/4/04, revised 1/18/05, shows the following description for the above described property as follows:

A portion of Tract 2, as shown on PLAT OF SURVEY OF ELLIS PROPERTY, in the Northeast one-quarter of the Southeast one-quarter of Section 27, Township 62 south, Range 38 East, Key Largo, Florida, as recorded in Plat Book 2, at Page 99 of the Public Records of Monroe County, Florida.

Parcel 1

Commence at the Southeast corner of said Tract 2; thence N.04°50'21"W., along the Easterly line of said Tract 2 a distance of 300.35 feet to a point which is 300.00 feet, as measured at right angles, from the South line of said Tract 2, said point being the Point of Beginning for the parcel of land herein described thence S.87°54'52"W., parallel with the South line of said Tract 2 a distance of 44.65 feet to a point on the Easterly right of way of Old State Road 4-A said point being a point on a curve having a radius of 2126.08 feet, a central angle of 00°46'43"; thence along the arc of said curve to the left, and along the Easterly right of way of Old State Road 4-A, an arc length of 28.89 feet to the point of tangency of said curve; thence continue along said Easterly right of way line of Old State Road 4-A, N.09°35'04"E., a distance of 73.26 feet, to a point which is 400.00

(Continued on Attached)

Quitclaim Deed - Page 3

Parcel ID Number: 00490270-000000, et. seq.

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feet, as measured at right angles, North of the South line of said Tract 2; thence N.87°54'52"E., parallel with said South line of Tract 2, a distance of 18.99 feet, to a point on the aforementioned Easterly line of said Tract 2; thence S.04°50'21"E., along said Easterly line of Tract 2, a distance of 100.12 feet to the Point of Beginning of the lands herein described.

Together with the following:

Parcel 2

Commence at the Southeasterly corner of said Tract 2; thence N.04°50'21"W., along the Easterly line of said Tract 2 a distance of 300.35 feet to a point which is 300.00 feet, as measured at right angles, North of the South line of said Tract 2; thence S.87°54'52"W., parallel with the South line of said Tract 2, a distance of 112.29 feet to a point on the Westerly right of way line of Old State Road 4-A, said point being the Point of Beginning of the lands herein described; thence continue S.87°54'52"W., a distance of 102.71 feet to a point on the Easterly right of way line of State Road No. 5, said point being a point on a curve, having a radius of 1960.08 feet, a central angle of 01°51'07"; thence along the arc of said curve, to the left, and along said Easterly right of way line of State Road No. 5, an arc length of 63.36 feet to the point of tangency of said curve; thence continue along said Easterly right of way line of State Road No. 5 N.09°35'04"E., a distance of 18.61 feet to the point of curvature of a curve, having a radius of 25.00 feet, a central angle of 78°19'48"; thence along the arc of said curve, to the right an arc length of 34.18 feet to the point of tangency of said curve, said point being 400.00 feet, as measured at right angles, North of the South line of said Tract 2; thence N.87°54'52"E., parallel with said South line of Tract 2, a distance of 51.06 feet to the point of curvature of a curve, having a radius of 25.00 feet, a central angle of 101°40'12"; thence along the arc of said curve to the right, an arc length of 44.36 feet to the point of tangency of said curve, said point being on the Westerly right of way line of Old State Road 4-A; thence S.09°35'04"W., along said Westerly right of way line of Old State Road 4-A a distance of 28.94 feet to the point of curvature of a curve, having a radius of 2060.08 feet, a central angle of 01°11'03"; thence along the arc of said curve, and along said Westerly right of way line of Old State Road 4-A, an arc length of 42.58 feet to the Point of Beginning of the lands herein described.

LESS AND EXCEPT

A portion of Tract 2, as shown on the Plat of the Ellis Property, in the Northeast 1/4 of the Southeast 1/4 of Section 27, Township 62 South, Range 38 East, Key Largo, Florida, as recorded in Plat Book 2, Page 99 of the Public Records of Monroe County, Florida, said parcel being more particularly described as follows:

Commencing at the Southeast corner of said Tract 2; thence North 04°50'21" West, along the East line of said Tract 2, 300.35 feet to a point which is 300.00 feet, as measured at right angles, North of the South line of said Tract 2; thence South 87°54'52" West, parallel with the South line of said Tract 2, 112.29 feet to the Westerly right of way line of Old State Road 4-A and the Point of Beginning of the parcel herein described; thence Northeasterly 42.57 feet along said Westerly right of way line being the arc of a non-tangent circular curve to the left having a central angle of 01°11'02", a radius of 2060.08 feet, and being subtended by a chord which bears North 10°09'55" East 42.57 feet to the point of tangency; thence North 09°35'04" East, along said Westerly right of way line, 28.95 feet to the point of curvature of a circular curve concave to the Southwest; thence 44.36 feet along the arc of said curve having a radius of 25.00 feet, a central angle of 101°40'12", and being subtended by a chord which bears North 41°15'02" West 38.77 feet to a point which lies 400.00 feet, as measured at right angles, North of the South line of said Tract 2; thence South 87°54'52" West, parallel with said South line of Tract 2, 51.06 feet to the point of curvature of a circular curve concave to the Southeast; thence 34.18 feet along the arc of said curve having a radius of 25.00 feet, a central angle of 78°19'48" and being subtended by a chord which bears South 48°44'58" West 31.58 feet to a point which lies on the Easterly right of way line of State Road No. 5; thence South 09°35'04" West, along said Easterly right of way line, 18.62 feet to the point of curvature of a circular curve concave to the Northwest; thence 250.92 feet along said curve having a radius of 1960.08 feet, a central angle of 07°20'05", and being subtended by a chord which bears South 13°14'24" West 250.74 feet to a point which lies 120.00 feet, as measured at right angles, North of the South line of said Tract 2; thence North 87°54'52" East, parallel with said South line of Tract 2, 105.46 feet to the Westerly right of way line of said Old State Road No. 4-A; thence

(Continued on Attached)

Quitclaim Deed - Page 4

Parcel ID Number: 00490270-000000, et. seq.

Doc# 1861193
Bk# 2545 Pg# 88

Northeasterly 229.37 feet along said Westerly right of way line being the arc of a non-tangent circular curve concave to the Northwest having a radius of 2060.08 feet, a central angle of 06°22'46", and being subtended by a chord which bears North 12°45'47" East 229.25 feet to the Point of Beginning.

The preparer of this instrument was neither furnished with, nor requested to review, an abstract on the described property and therefore expresses no opinion as to condition of title.

MONROE COUNTY
OFFICIAL RECORDS

Doc# 2058633 12/30/2015 11:29AM
Filed & Recorded in Official Records of
MONROE COUNTY AMY HEAVILIN

Parcel Identification No: 00490240-000000

This Instrument Prepared By
and Return to:
Chris Sante
P.O. Box 373006
Key Largo, Fl. 33037

12/30/2015 11:29AM
DEED DOC STAMP CL: ROBI \$0.70

Doc# 2058633
Bk# 2776 Pg# 439

QUITCLAIM DEED

This Quitclaim Deed, made on this date of July 21, 2015, between KEY LARGO WASTEWATER TREATMENT DISTRICT, an independent special district of the State of Florida, whose address is P.O. Box 370491, Key Largo, Fl. 33037, Grantor, and Chris Sante a married man, whose address is P.O. Box 373006, Key Largo, Fl. 33037, Grantee.

Witnesseth, that the Grantor, for and in consideration of the sum of -----TEN & NO/100 (\$10.00)-----
---DOLLARS, and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt of which is hereby acknowledged, has granted, bargained and quitclaimed to the said Grantee and Grantee' heirs and assigns forever, the following described land, situate, lying and being in the County of MONROE, State of Florida, to-wit:

DESCRIPTION:
A Portion of Tract 2, as shown on the PLAT OF THE ELLIS PROPERTY, in the Northeast 1/4 of the Southeast 1/4 of Section 27, Township 62 South, Range 38 East, Key Largo Florida, as Recorded in Plat Book 2, Page 99 of the Public Records of Monroe County, Florida, and being more particularly described as Follows:

BEGINNING at the intersection of the Southeasterly right of way line of OVERSEAS HIGHWAY, (U.S. HIGHWAY NO. 1) at a point 120.00 Feet Northerly of and parallel to the South line of said Tract 2, said point located on a curve concave to the Northwest and bearing S.72°50'23"E. from the center of said curve; thence run N.87°54'52"E. along a line 120.00 feet Northerly of and parallel to the said South line of Tract 2 for a distance of 105.61 Feet to a point on the Northwesterly right of way line of OLD STATE ROAD 4 - A, said point located on a curve concave to the Northwest and having for its elements a Radius of 2060.08', said point bearing S.73°48'26"E. from the center of curve; thence run in a Northeasterly direction along the arc of said curve for a distance of 0.91', delta angle of 00°01'31" to a point that bears S.73°50'00"E. from the center of said curve, thence run N.87°22'01" W. for a distance of 103.01 feet to a point on the Southeasterly right of way line of Overseas Highway, (U.S. Highway No. 1), said point being on a curve concave to the Northwest and bearing S.73°07'43"E. from the center of curve, thence run in a Southwesterly direction along the arc of said curve having for its elements a radius of 1960.08' and a delta angle of 00°17'20" for a distance of 9.88' back to the POINT OF BEGINNING. Containing 538.67 square Feet.

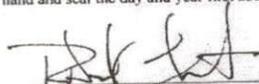
To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantor, either in law or equity, for the use, benefit and profit of the said Grantee forever.

In Witness Whereof, the Grantor has hereunto set he/she hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness #1 Signature

Witness #1 Printed Name

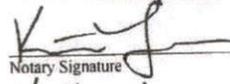

Key Largo Wastewater Treatment District
By: Paul Christian, General Manager

STATE OF FLORIDA
COUNTY OF MONROE

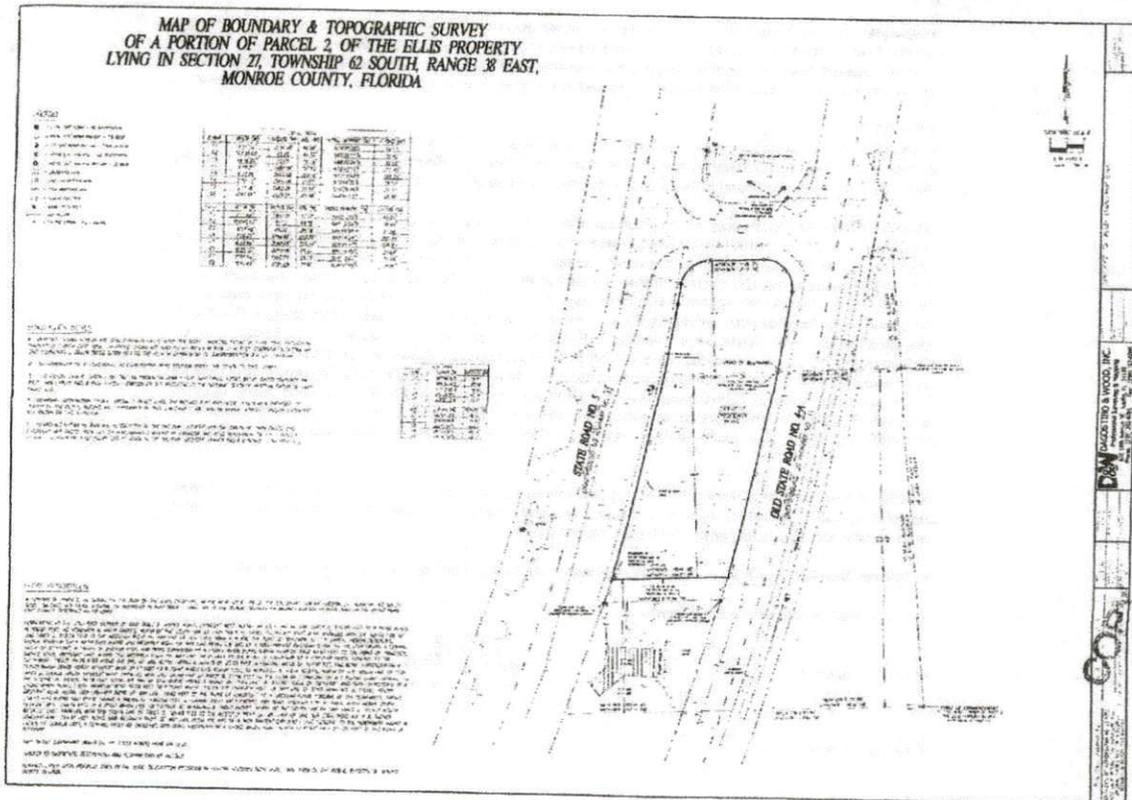
The foregoing instrument was acknowledged before me this date of July 21, 2015, by Paul Christain, who is personally known to me.

 KATHERINE JACKSON
MY COMMISSION # FF 183779
EXPIRES: December 16, 2018
Bonded Thru Budget Notary Services

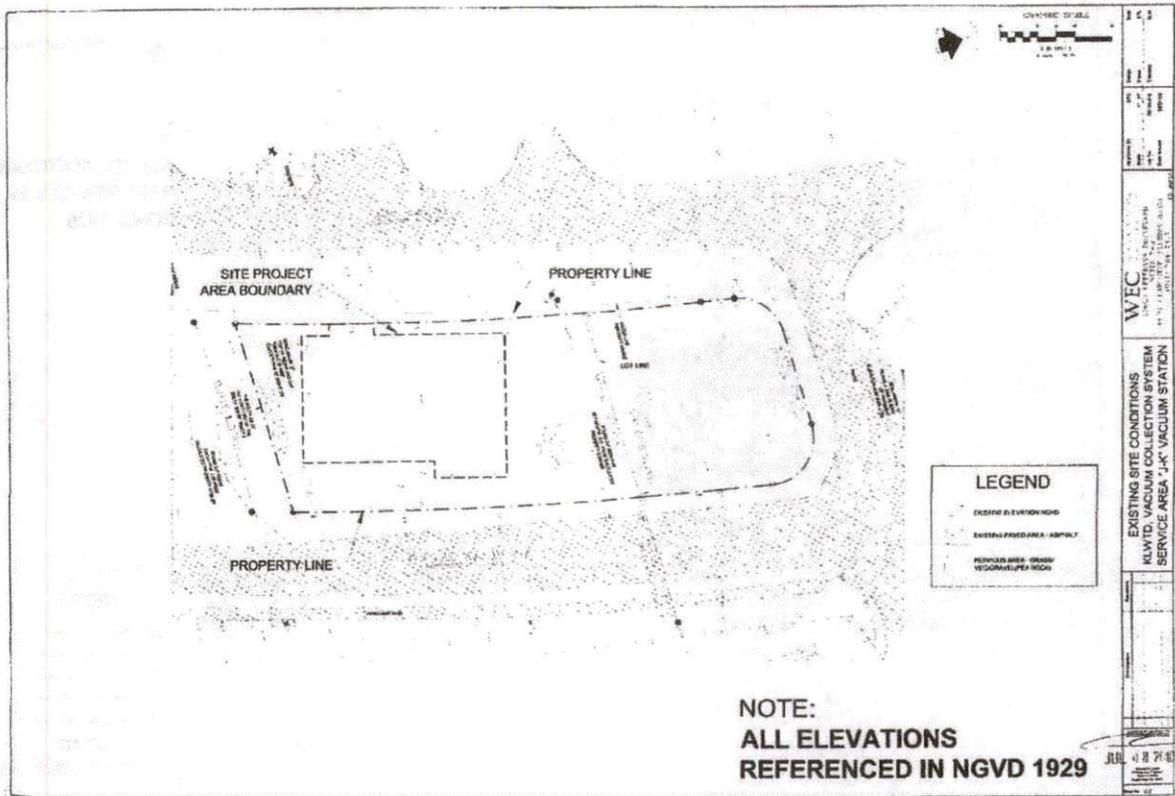
My Commission Expires:


Notary Signature
Katherine Jackson
Printed Notary Signature

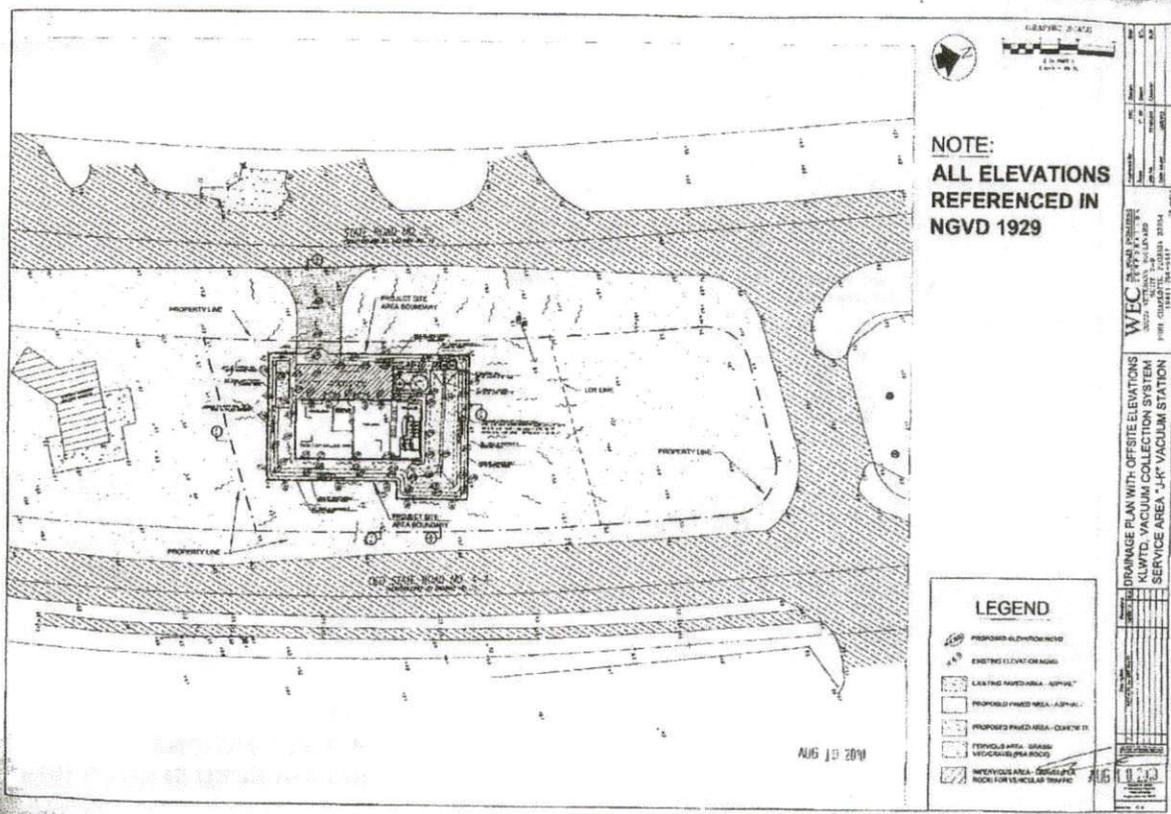
Doc# 2058633
Bk# 2776 Pg# 440



Doc# 2058633
Bk# 2776 Pg# 441



Doc# 2058633
Bk# 2776 Pg# 442



MONROE COUNTY
OFFICIAL RECORDS



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00490270-000000
 Account# 1605701
 Property ID 1605701
 Millage Group 500P
 Location 92425 OVERSEAS Hwy, TAVERNIER
 Address
 Legal PT OF TRACT 2 PLAT OF SURVEY OF ELLIS PROPERTY PB2-99 AND TRACT B TAVERNIER OCEAN SHORES PB4-112 AND 27 62 38 ISLAND OF KEY LARGO PB1-64
 Description PT LOT 7 OR328-178/79 OR373-937/38 OR569-664D/C OR831-2389/90 OR831-2394/94 OR878-1308 OR930-2434C OR990-2087/88 OR1099-859C OR1190-1727/28C/T OR1205-1510R/S OR1275-1369/70 OR1977-1377/78 OR2089-654/55 OR2545-85/88 OR2776-439/42
 (Note: Not to be used on legal documents.)
 Neighborhood 10020
 Property Class STORE COMBO (1200)
 Subdivision ELLIS PROPERTY PLAT OF SURVEY
 Sec/Twp/Rng 27/62/38
 Affordable No
 Housing



Owner

SANTE CHRIS
 PO Box 373006
 Key Largo FL 33037

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$138,410	\$138,410	\$107,406	\$107,406
+ Market Misc Value	\$7,910	\$4,152	\$4,335	\$4,519
+ Market Land Value	\$659,744	\$360,011	\$387,151	\$239,475
= Just Market Value	\$806,064	\$502,573	\$498,892	\$351,400
= Total Assessed Value	\$677,780	\$425,194	\$386,540	\$351,400
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$806,064	\$502,573	\$498,892	\$351,400

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(1200)	27,767.00	Square Foot	0	0

Commercial Buildings

Style 1 STORY STORES / 11C
 Gross Sq Ft 3,958
 Finished Sq Ft 2,567
 Perimeter 0
 Stories 3
 Interior Walls
 Exterior Walls C.B.S. with 54% AVE WOOD SIDING
 Quality 250 []
 Roof Type
 Roof Material
 Exterior Wall1 C.B.S.
 Exterior Wall2 AVE WOOD SIDING
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1955
 Year Remodeled
 Effective Year Built 1970
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	175	0	0
FLA	FLOOR LIV AREA	2,567	2,567	0
OPF	OP PRCH FIN LL	706	0	0
OUF	OP PRCH FIN UL	250	0	0
PTO	PATIO	100	0	0
SBF	UTIL FIN BLK	160	0	0
TOTAL		3,958	2,567	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
WALL AIR COND	1995	2004	1	5 UT	2
FENCES	2004	2005	1	280 SF	2
CH LINK FENCE	2005	2006	1	1920 SF	1
CONC PATIO	2011	2012	1	28 SF	2
CONC PATIO	2011	2012	1	357 SF	2
CH LINK FENCE	2011	2012	1	480 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
11/30/2011	\$0	Quit Claim Deed		2545	85	11 - Unqualified	Improved
2/3/2004	\$758,000	Warranty Deed		1977	1377	M - Unqualified	Improved
9/1/1993	\$277,000	Warranty Deed		1275	1369	M - Unqualified	Improved
11/1/1991	\$1	Certificate of Title		1190	1727	M - Unqualified	Improved
4/1/1983	\$1	Warranty Deed		878	1308	M - Unqualified	Vacant

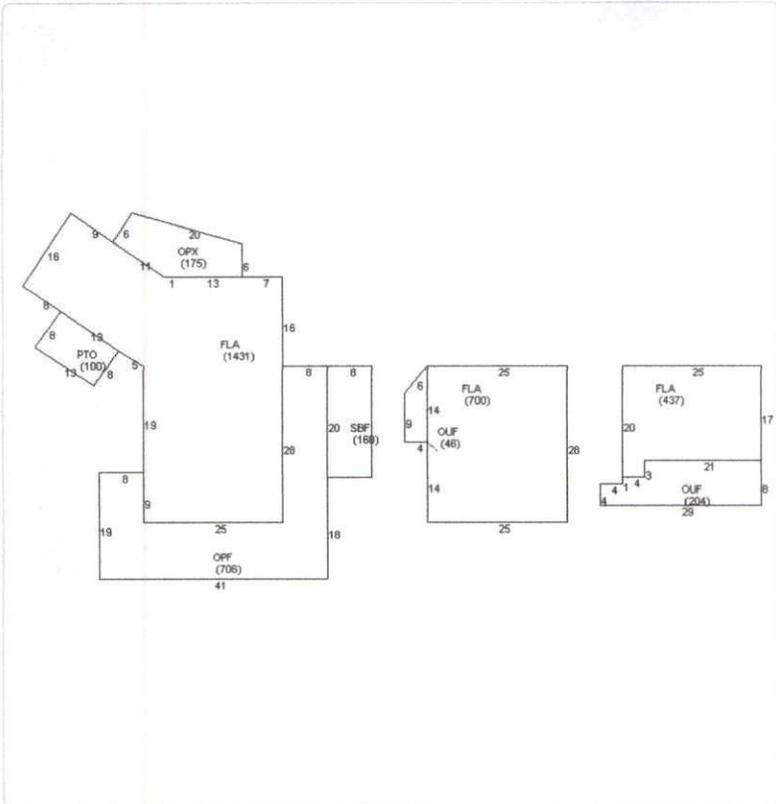
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
11302935	8/11/2011	10/21/2011	\$1		PARKING/FENCE
08301888	6/23/2008	12/9/2008	\$1		REPLACE PT CHAINLINK FENCE
08300937	3/19/2008	12/9/2008	\$1		FENCE
05303707	7/26/2005	11/19/2007	\$1		CHAIN LINK FENCE
04304855	10/25/2004	10/17/2005	\$1		SPLIT RAIL FENCE/CHAIN LINK FENCE
04301167	3/29/2004	1/1/2005	\$1		INTERIOR COMM. REMODEL
2302811	7/9/2002	1/1/2004	\$1		REROOF
953212	8/1/1995	12/1/1995	\$2,500		ELEVATED ROOFED PORCH

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2020 TRIM Notice\(PDF\)](#)

2020 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

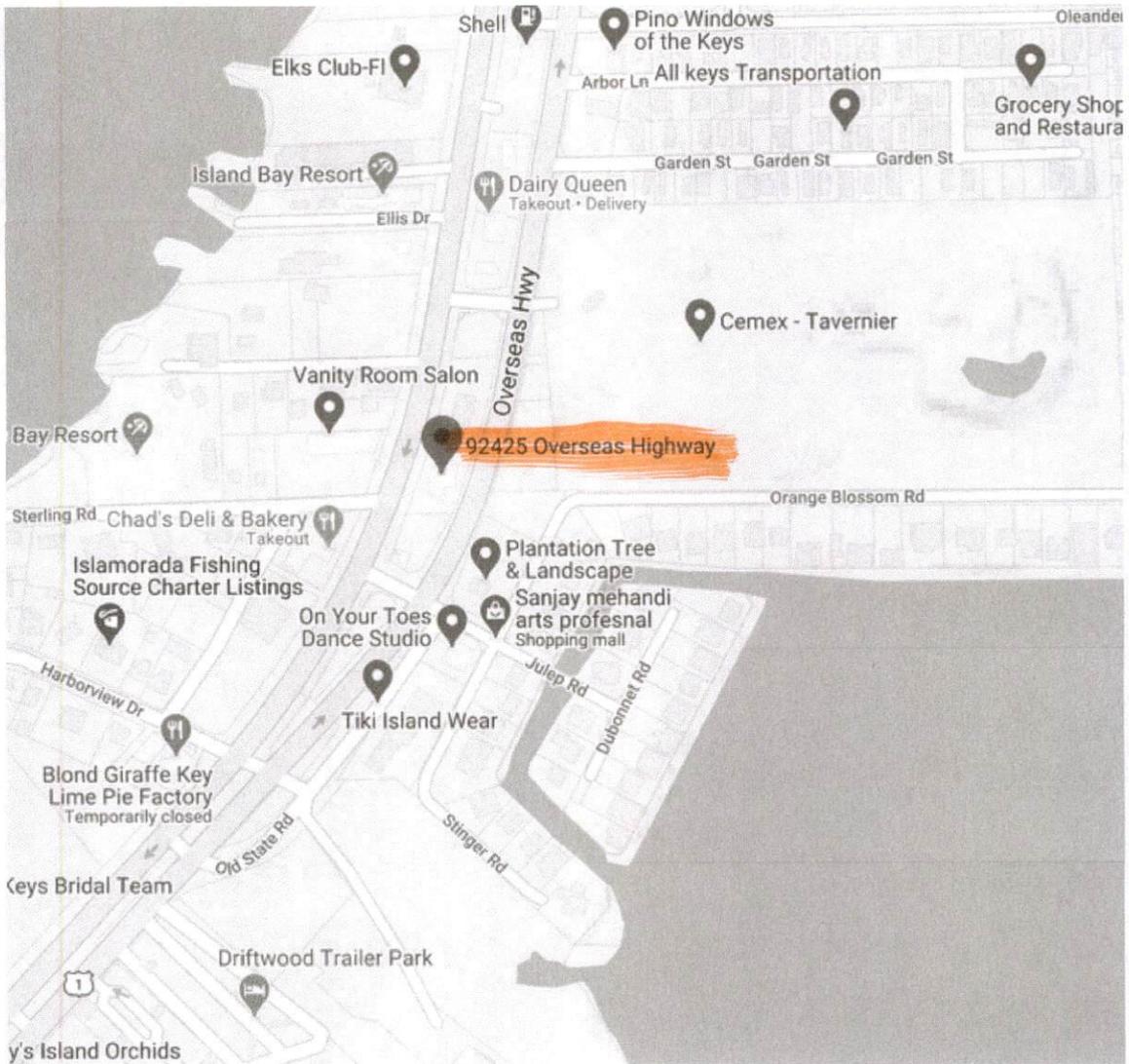
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Last Data Upload: 9/25/2020, 1:16:31 PM

Version 2.3.86



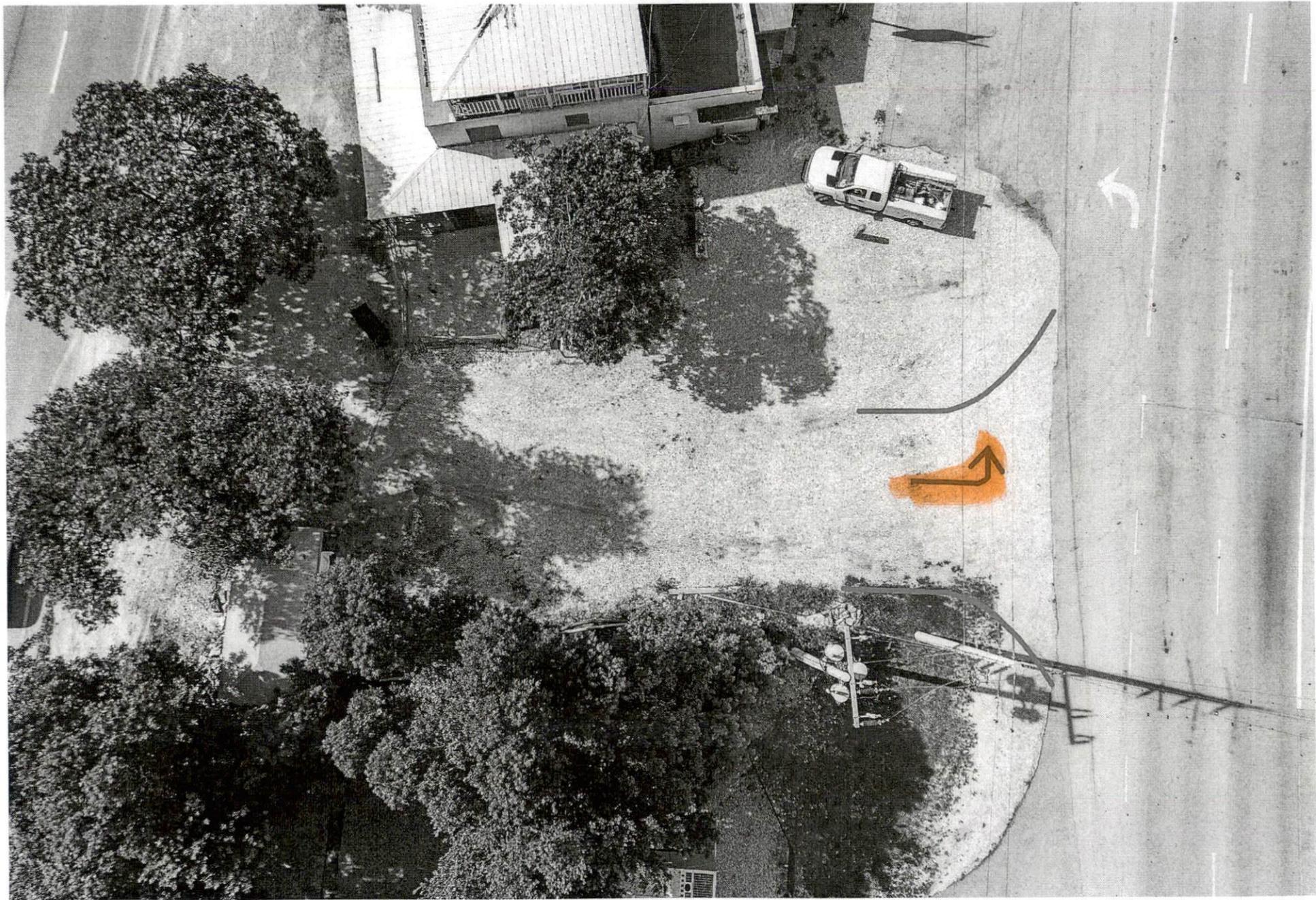




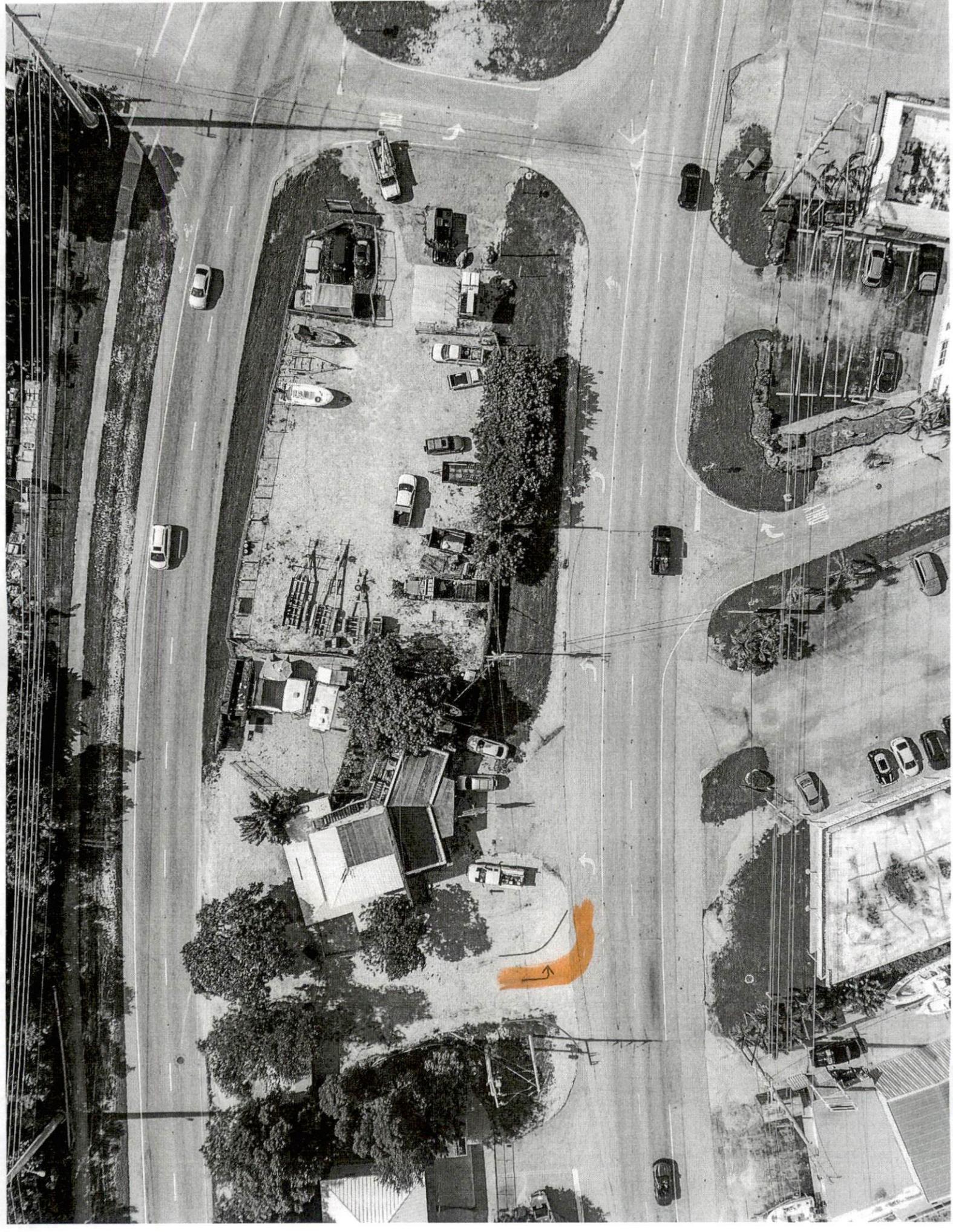
Northbound US1 92425 Overseas Highway



92425 Overseas Highway



Southbound US1





Key Largo Wastewater Treatment District

103355 Overseas Highway, Key Largo, FL 33037

Phone (305) 451-4019 • www.klwtd.com

September 2, 2020

RE: Frequency of Driveway Use at 92431 Overseas Highway

To whom it may concern,

The south bound driveway for the Key Largo Wastewater Treatment District Vacuum Station JK, located at 92431 Overseas Highway, is used on average 4-6 times a day. The use is not limited to normal business hours and includes nights and weekends.

Please contact (305) 451-4019 ext. 210 or diane.bockelman@klwtd.com should you have any questions or need additional information.

Sincerely,

Diane Bockelman, Customer Service Manager

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
COMPLETENESS REVIEW

ADDITIONAL INFORMATION IS REQUIRED ON:

APPLICATION NUMBER: 2020-A-692-00006

PART 1: APPLICANT INFORMATION

Project Name: 92425 Overseas Hwy. Self Storage
Name of Applicant or authorized agent: James Brush
Name of Organization: Industry & Environment Engineers
Mailing Address: N/A
Engineer, Consultant or Project Manager: James Brush
Address: N/A

PART 2: ADDITIONAL INFORMATION REQUIRED

NOTE: YOU HAVE 60 DAYS FROM THE RECEIPT OF THIS REVIEW TO RETURN THE ADDITIONAL INFORMATION REQUESTED. If the additional information has not been received by the Department within 60 days, the Application shall be acted upon with the information provided in the application.

THE FOLLOWING INFORMATION IS REQUIRED:

- **Plans:**
 - o All Design criteria, including driveway dimensions, connection width, connection radii, connection angle etc., for proposed driveways should follow FDOT Design Manual Chapter 214 Driveways
https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/roadway/fdm/2020/2020fdm214drwys.pdf?sfvrsn=9962f76a_2.
 - o Design and cross section/driveway profile (to the right of way line) of auxiliary lanes and pavement to serve the requested connection(s).
 - o Proposed pavement marking.
 - o Identify underground features such as utilities, drainage pipes, or Intelligent Transportation System (ITS) lines within the proposed work area as can reasonably be obtained by a review of existing records and a topographical survey of above ground features.
 - o No details for the removal of the existing driveway.
- **Maintenance of Traffic**
 - o A preliminary Maintenance of Traffic (MOT) Plans, selected from the Department's pre-approved MOT plans, which are part of the current Department's Roadway and Traffic Design Standard Indexes 102-600-102-660. MOT submitted is outdated.
<https://www.fdot.gov/design/standardplans/current/>.
- **Drainage permit:**
 - o Commercial access permits require a drainage permit.
- **Copy of Approved/Issued Building Permit from Local Municipality:**
 - o Development approval from the appropriate governmental entity consistent with the Proposed State Highway Access Driveway/Connection Notice of Intent to Issue.
- **Liability Insurance:**
 - o Submit a COI verifying that the applicant or the applicant's contractor has coverage under a liability insurance policy including property damage, pursuant to Section 7-13 of the Department Standard Specifications.
 - Note: Florida Department of Transportation (FDOT) shall be the certificate holder and be listed as an additional insured, and a 30-day cancellation notice is required in the insurance coverage. Applicant or the applicant's contractor must have coverage under a liability insurance policy including property damage, in the amount of \$500,000.00 combined single limit for each occurrence. (example of wording required attached.)

***Submit any/all plan revisions as a new and comprehensive set of plans. Do not submit individual plan sheets for review.**

PART 3: RESPONSE ADDRESS

Sent By: Nancy Miller

Title: Permits Administrator

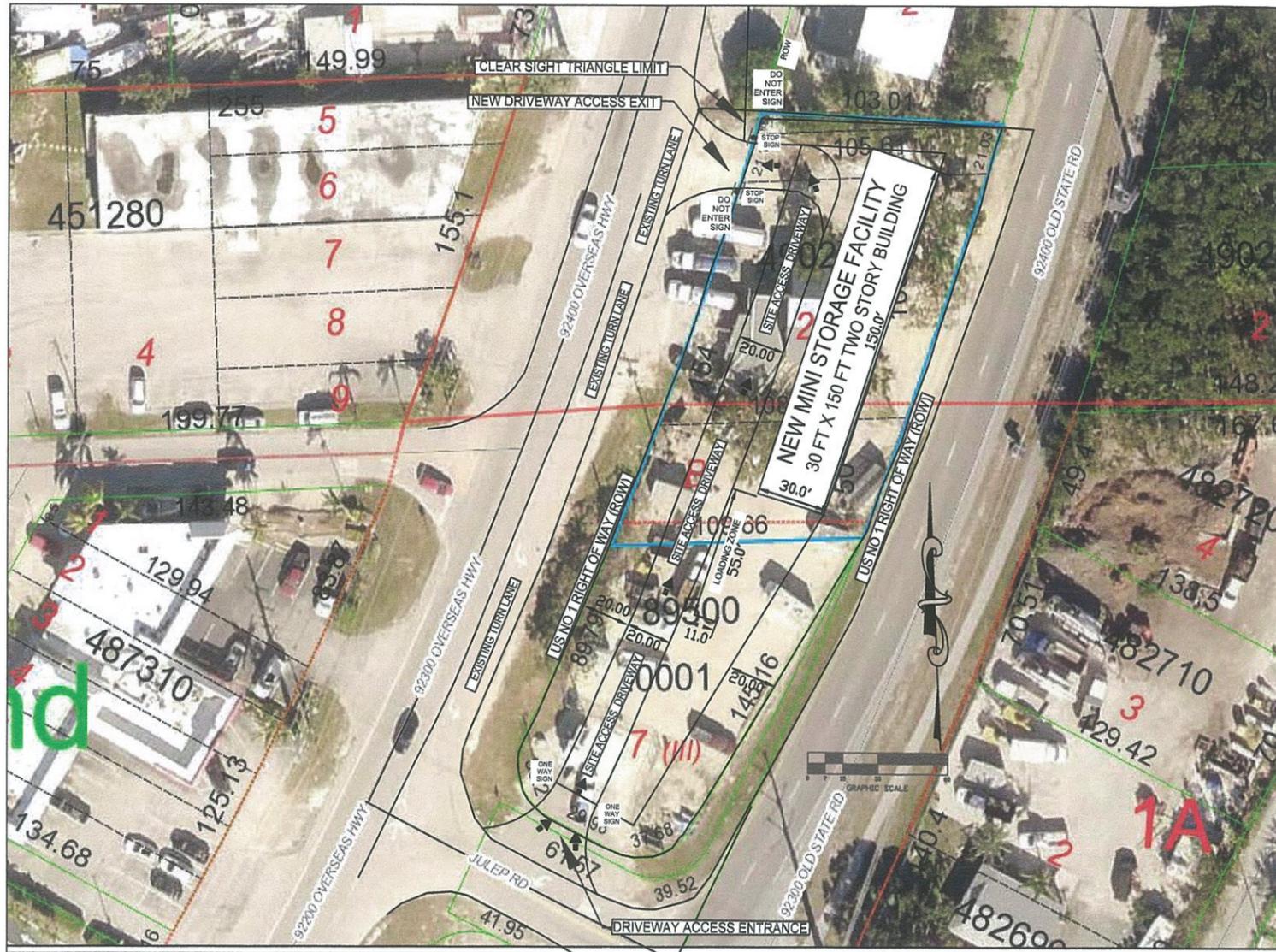
Address: Marathon Operations Center, 3100 Overseas Highway, Marathon, FL 33050

Phone: 305-289-4360

Date: 2/28/20

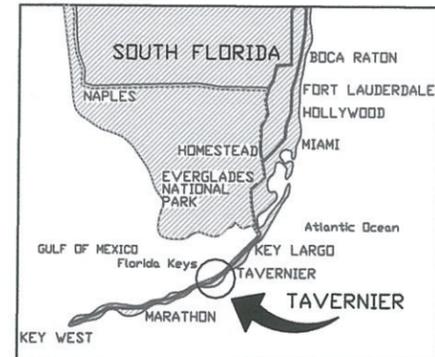
IF YOU HAVE ANY QUESTIONS CONCERNING THIS REVIEW PLEASE CONTACT:

nancy.miller@dbiservices.com



DRAWING INDEX

GENERAL LOCATION, DESIGN SUMMARY & NOTES	C-1
SITE PLAN US NO 1, PHOTOGRAPHS AND NOTES	C-2
SITE PLAN US NO 1, DRIVEWAY ACCESS PAVEMENT NOTES & DRAINAGE DETAILS	C-3
LANDSCAPE PLAN, BUFFERYARDS & NOTES	C-3(a)
SITE PLAN PHASE 2- TWO STORY BUILDING	C-4
ACCESS DRIVEWAY PLAN AND PROFILE & NOTES	C-5
JULEP DRIVE ACCESS DRIVEWAY PLAN AND PROFILE & NOTES	C-6
US NO. 1 FDOT DETAILS AND NOTES	C-7



INDUSTRY & ENVIRONMENT ENGINEERS/ CONSULTANTS
 103650 O/S Hwy, #46
 KEY LARGO, FL 33037
 TELEPHONE (305) 395-8032
 Certificate of Authorization # 8384
 CONSULTANTS

SCOPE OF WORK

- TWO (2) NEW ACCESS DRIVEWAYS; 1) EXIT TO US NO.1 (NEW ASPHALT) AND 2) ENTRANCE FROM JULEP ROAD (ASPHALT REPLACEMENT) TO SITE DRIVEWAY;
 - INSTALL FDOT SIGNS AND MARKINGS;
 - PROVIDE DRAINAGE FOR NEW PAVEMENT DRIVEWAYS TO NEW STORMWATER DRAINAGE SWALES AND EXFILTRATION TRENCHES IN LANDSCAPE AREAS;
 - ALL CONSTRUCTION IN FDOT ROW SHALL CONFORM TO FDOT DESIGN STANDARDS;
 - PROVIDE LANDSCAPING AS PER LANDSCAPE PLAN SHEET C-3(a);
- PHASE 1- ONE STORY MINI STORAGE BUILDING WITH NEW ACCESS DRIVES, GROUND LEVEL SITE FEATURES, DRAINAGE AND LANDSCAPING.**
PHASE 2- ADD ONE MORE STORY FLOOR LEVEL TO MINI STORAGE BUILDING

LAND USE DATA

SITE AREA	PARCEL:	Account #	1605701
		Parcel ID	00490270-000000
TOTAL AREA	92425 OVERSEAS Hwy.TAVERNIER	27,767 SF	0.64 ACRE
EXISTING USE	STORE COMBO (1200) COMMERCIAL HIGHWAY	MC & SC	
PROPOSED USE	NEW SELF STORAGE BUILDING 30FT X 150FT 1ST & 2ND FLOOR 15 UNITS 1ST FLR. 28 UNITS 2ND FLR	BLDG. AREA	4500 SF
PROPOSED SCOPE	DEMOLISH EXISTING BUILDING AND BUILD NEW MINI STORAGE BLDG. TWO STORY WITH PHASE 1 AND 2		

ZONING
 ZONE: MC & SC
 Mixed Use/Commercial & Suburban Commercial
USE & OCCUPANCY
 Commercial: New Self Storage Facility
LOT CALCULATIONS

LOT SIZE: 27,767 SQ FT
 BLDG COVERAGE 16% 4,500 SQ FT
 IMPERV. SURFACE 75% 20,957 SQ FT
 OPEN SPACE: 84% 23,267 SQ FT
 LANDSCAPE AREA: 27% 9,610 SQ FT
 OPEN SPACE AREA RATIO: 0.20 or 20%
 OPEN SPACE REQ'D AT LEAST 5,553 SQ FT
 OPEN SPACE AVAILABLE 23,267 SQ FT;

BUILDING SETBACKS
 Front US NO.1-Both Sides 20 FT
 South Side 15 FT & North Side 5 FT

DAILY TRAFFIC ESTIMATE
 ITE Trip Generation Manual 9th Edition- ITE Code 151
 Mini-Warehouse; Rate Weekday Daily Traffic = 0.25
 Expected Units 43 Units @ 0.25 = 11 Daily Trips
 Source: FDOT Trip Generation Spreadsheet
 Flood zone= AE=9 ; FIRM PANEL NO. 12087C0919K

- TRAFFIC CONTROL AND LANE CLOSURE NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO CONSTRUCTION. THE M.O.T. PLAN SHALL SHOW ALL PROPOSED TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS, AND BARRICADES AND SHALL DETAIL ALL PROPOSED CONSTRUCTION SEQUENCING. THE M.O.T. PLAN SHALL BE APPROVED BY THE ENGINEER, OWNER, AND FDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL HAVE A DESIGNATED PERSON IN CHARGE OF THE M.O.T. THIS PERSON SHALL BE FDOT CERTIFIED AND ABLE TO BE ONSITE WITHIN 45 MINUTES OF NOTIFICATION.
 - ALL CONSTRUCTION SIGNING AND MARKINGS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT INDEX NO. 600 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE PLACEMENT OF THE SIGNING AND MARKINGS SHALL BE APPROVED IN THE FIELD BY THE OWNER, THE ENGINEER, AND THE FDOT PRIOR TO CONSTRUCTION.
 - CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION. COORDINATE TEMPORARY DRIVEWAY CLOSURES AND SEQUENCING. CONSTRUCTION IN ACCORDANCE WITH FDOT INDEX NO. 600 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
 - ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS.
 - THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WHO MAY BE WORKING IN THE IMMEDIATE VICINITY.
 - NO STORAGE OF EQUIPMENT OR MATERIALS IS ALLOWED IN THE RIGHT OF WAY (R.O.W.) IMMEDIATE VICINITY.
 - WHEN WORK OCCURS WITHIN 15-FT OF ACTIVE ROAD TRAVEL LANES BUT NO CLOSER THAN 2-FT FROM THE EDGE OF PAVEMENT, SIGNAGE AND WARNING DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH FDOT INDEX NO. 600 & 602.
 - TYPE I OR TYPE II BARRICADES AT 20-FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROADWAY WHEREVER DROP-OFFS OR OTHER HAZARDS EXIST AND TO BLOCK ENTRANCE INTO COMPLETED OR PARTIALLY COMPLETED PAVEMENTS UNTIL SUCH PAVEMENTS ARE OPEN TO PUBLIC USE.
 - LANE CLOSURE REQUIREMENTS FOR US NO. 1
 - NO LANE CLOSURES ARE ALLOWED FROM THANKSGIVING DAY TO JANUARY 2ND OF EVERY YEAR.
 - A SEPARATE LANE CLOSURE PERMIT IS REQUIRED FROM FDOT AND SHALL BE OBTAINED BY THE CONTRACTOR.
 - LANE CLOSURES ARE DISCOURAGED DURING SPECIAL EVENTS SUCH FANTASY FEST (HALLOWEEN), THE POKER RUN (SEPTEMBER) AND ST. PATRICK'S DAY (MARCH).
 - NO LANE CLOSURES ARE ALLOWED ONCE A HURRICANE WATCH ISSUED FOR THE AREA.
 - NO PERMANENT LANE CLOSURES ARE ALLOWED. THE LANE CLOSURE SHALL BE REMOVED AT THE END OF THE WORK DAY.
 - NO LANE CLOSURES ARE ALLOWED ON WEEKENDS.
 - CONTRACTOR MAY WORK DAY OR NIGHT, NOT BOTH. DAYTIME IS PREFERRED BY FDOT. ALLOWABLE WORK HOURS MAY BE ADJUSTED WITH PRIOR APPROVAL BY THE LOCAL INSPECTOR, BUT GENERALLY THEY ARE 9:30 A.M. AND 3:30 P.M.

GENERAL LOCATION

Parcel ID 00490270-000000
 Account# 1605701

PARKING CALCULATIONS

	SF/Seats/ Passengers	Spaces REQUIRED	Spaces PROPOSED
Office and Storage			
3 spaces /1000 SF	4500 SF	4.5	5.0

PARKING LANDSCAPE AREA CALCULATIONS

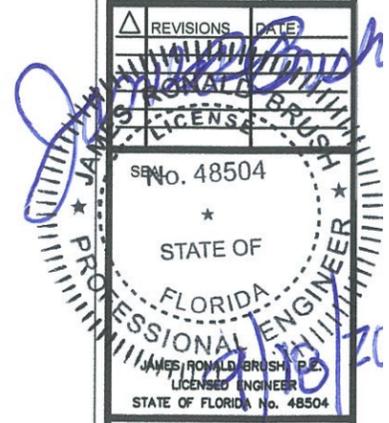
Total parking/ drive area X 0.20 = parking landscape area

Total parking /drive area	Area REQUIRED	Area PROPOSED
600 Square feet (SF)	120 SF	2000

MEAN HIGH WATER- 100 YR FLOOD

Flood Zone= AE 9' FIRM Panel No. 919K
 MAP NO. 12087C0919K FEBRUARY 18, 2005

NEW MINI STORAGE FACILITY
 92425 OVERSEAS HIGHWAY
 TAVERNIER, FL
 SITE ACCESS DRIVEWAYS



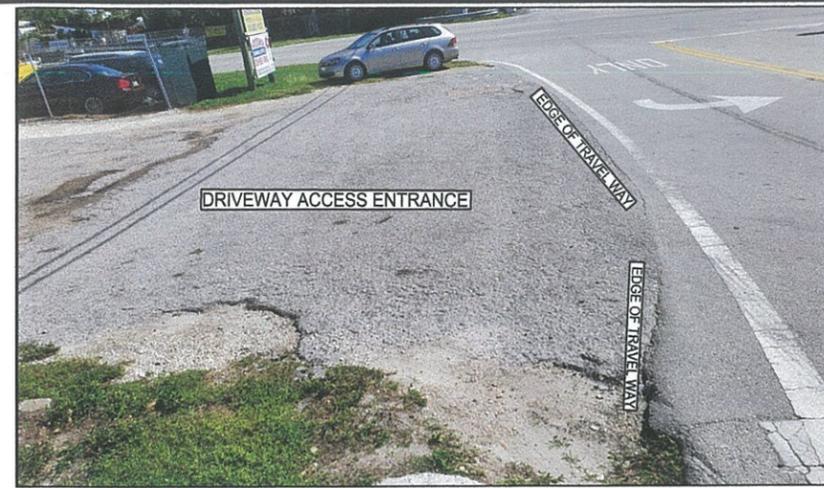
I&E PROJECT NO.
 1-21-2020- 92425
 CHECKED BY:
 AM
 DRAWN BY:
 YWH
 ISSUE:
 PERMIT REVIEW
 DATE: FEB 28, 2020 MAR 14, 2020
 1-21-20 JUN 17, 2020 AUG 31, 2020
 SHEET INDEX

GENERAL
 LOCATION
 DESIGN SUMMARY
 AND NOTES

SHEET NUMBER
C-1



SITE PLAN



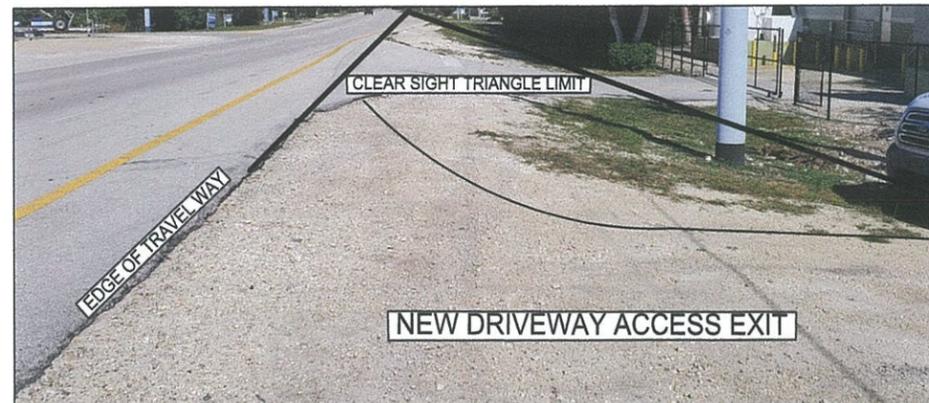
ACCESS DRIVE JULIP RD-US 1-PAVEMENT REPLACEMENT



ACCESS DRIVE JULIP RD-US 1-PAVEMENT REPLACEMENT



ACCESS DRIVE US 1 NEW ASPHALT PAVEMENT- SOUTH VIEW



ACCESS DRIVE US 1 NEW ASPHALT PAVEMENT- NORTH VIEW



INDUSTRY & ENVIRONMENT
ENGINEERS/ CONSULTANTS
103650 O/S Hwy, #46
KEY LARGO, FL 33037
TELEPHONE (305) 395-8032
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CONSULTANTS

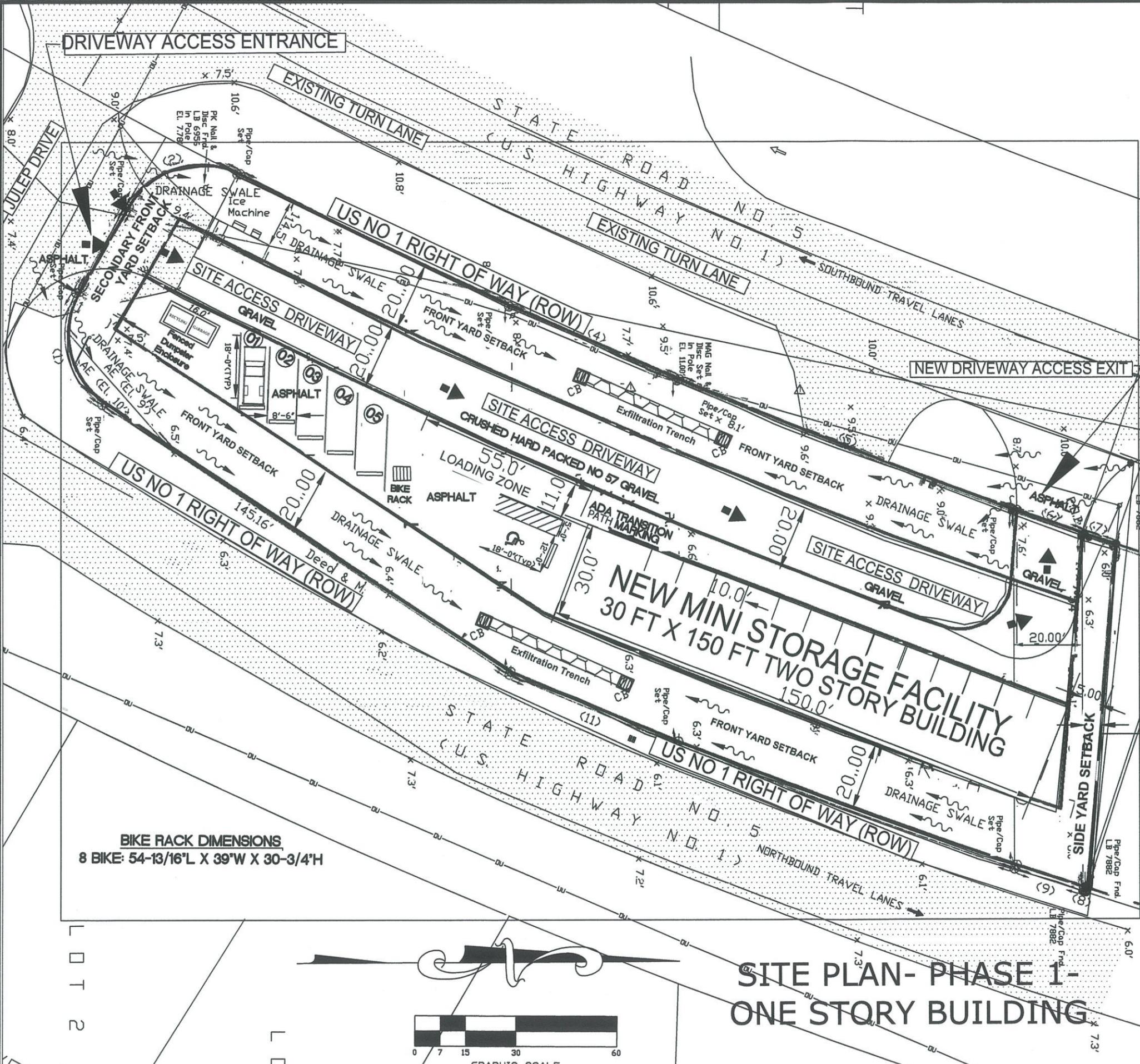
NEW MINI STORAGE FACILITY
92425 OVERSEAS HIGHWAY
TAVERNIER, FL
SITE ACCESS DRIVEWAYS

REVISIONS/	DATE:
1	
JAMES RONALD BRUSH, P.E.	
LICENSED PROFESSIONAL ENGINEER	
STATE OF FLORIDA No. 48504	

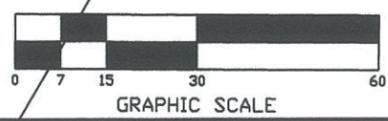
I&E PROJECT NO.
1-21-2020- 92425
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AM
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YWH
ISSUE:
PERMIT REVIEW
DATE: SEP18, 2020
1-21-20 FEB 20, 2020 MAR 14, 2020
SHEET INDEX

SITE PLAN US NO 1
PHOTOGRAPHS AND
NOTES

SHEET NUMBER
C-2



BIKE RACK DIMENSIONS
 8 BIKE: 54-13/16"L X 39"W X 30-3/4"H



SITE PLAN- PHASE 1 - ONE STORY BUILDING

LEGEND

- 5.0 PROPOSED GRADE
- 6.5 PROPOSED CONTOUR LINE
- 15' SD 15" STORM DRAIN HDPE STORM PIPE
- EXFILTRATION TRENCH
- Stormwater Inlet
- Soil Boring Location
- Percolation Test Location
- Parking Space Number Designation
- Elevation Contour Line (N.G.V.D.) (Not all contours shown for clarity)
- Existing Spot Elevation (N.G.V.D.)
- STORM WATER FLOW DIRECTION
- Cross Section, Elevation or Detail Location Number, Destination C-4& Origin C-3
- STA 0+00 HORIZONTAL CONTROL

- DRAINAGE NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL AREAS TO INSURE POSITIVE DRAINAGE AND TO PREVENT STANDING WATER.
 - DRAINAGE CALCULATIONS BASED ON F.A.C. CHAPTERS 62-25 AND 62-302.530; 62-303 F.A.C. SECTION 40E-4.091; AND AS OUTLINED IN SFWMD ENVIRONMENTAL RESOURCES PERMIT APPLICANT'S HANDBOOK VOL. II, APPENDIX "E" AND MONROE COUNTY CODE (MCC Chapter 114-3)
 - CONTRACTOR SHALL PROVIDE FINAL GRADING SLOPED TO DRAIN TO NEW STORM DRAINAGE SWALES AND INLET GRATES OF EXFILTRATION TRENCHES.
 - THE SITE AT ALL TIMES SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES SUCH AS HAYBALE FILTERS OR SILT FENCES.
 - CONTRACTOR SHALL COMPLY WITH THE SITE STORMWATER MANAGEMENT PLAN, BEST MANAGEMENT PRACTICES, AND MCC CHAPTER 114 MANUAL OF STORMWATER

MINI STORAGE FACILITY STORMWATER RETENTION DESIGN SUMMARY

Design Volume - Monroe County Code (MCC Chapter 114-3)
 Design Volume - Dry Pretreatment Retention 1/2 inch over Lot Area.
 - 0.5 inches X 1 FT X 27,767 SQ. FT. = 1157 CU FT

Design Rate - One-half inch of retained rainfall volume must be released through a control structure within 24 hours: 1157 CF x 24-HR/86,400 Seconds= 0.32 CFS

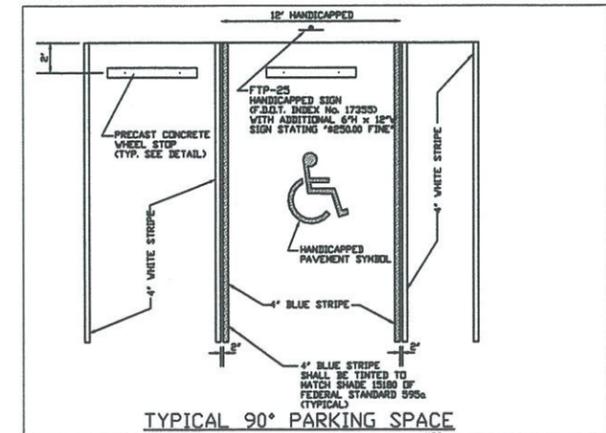
LOT AREA: 27,767 Sq.Ft.
 PERVIOUS AREA (landscaping in setback swale areas) 14,400 Sq. Ft.
 IMPERVIOUS AREA (post-development) 13,367 Sq. Ft.
 % IMPERVIOUS: 48 %

CUBIC FT. REQUIRED- (IMPERVIOUS AREA X RAINFALL) / 12 = 557
 CUBIC FT. SUPPLIED- 8.F. OF RETENTION AREA X AVG. DEPTH IN FEET

Landscape swale areas w/swales 6-inch deep with landscaping gravel and palm trees
 Retention Areas: 1/2 x bh x length x 2- volume CF; where 1/2 x bh is area of triangle
 Landscape swales: North swale A: 1/2 x 20FT x 0.5' deep x 2 x 360FT= 3600 CF
 Landscape swales: South swale B: 1/2 x 20FT x 0.5' deep x 2 x 310FT= 6100 CF

CUBIC FT. REQUIRED- (IMPERVIOUS AREA X RAINFALL) / 12 = 557
 TOTAL CUBIC FEET DRY RETENTION SUPPLIED= 9,700 CU FT

Safety factor greater than 2;
 Retention is Adequate as per MCC 114.3; Discharge to swales and two new exfiltration trenches

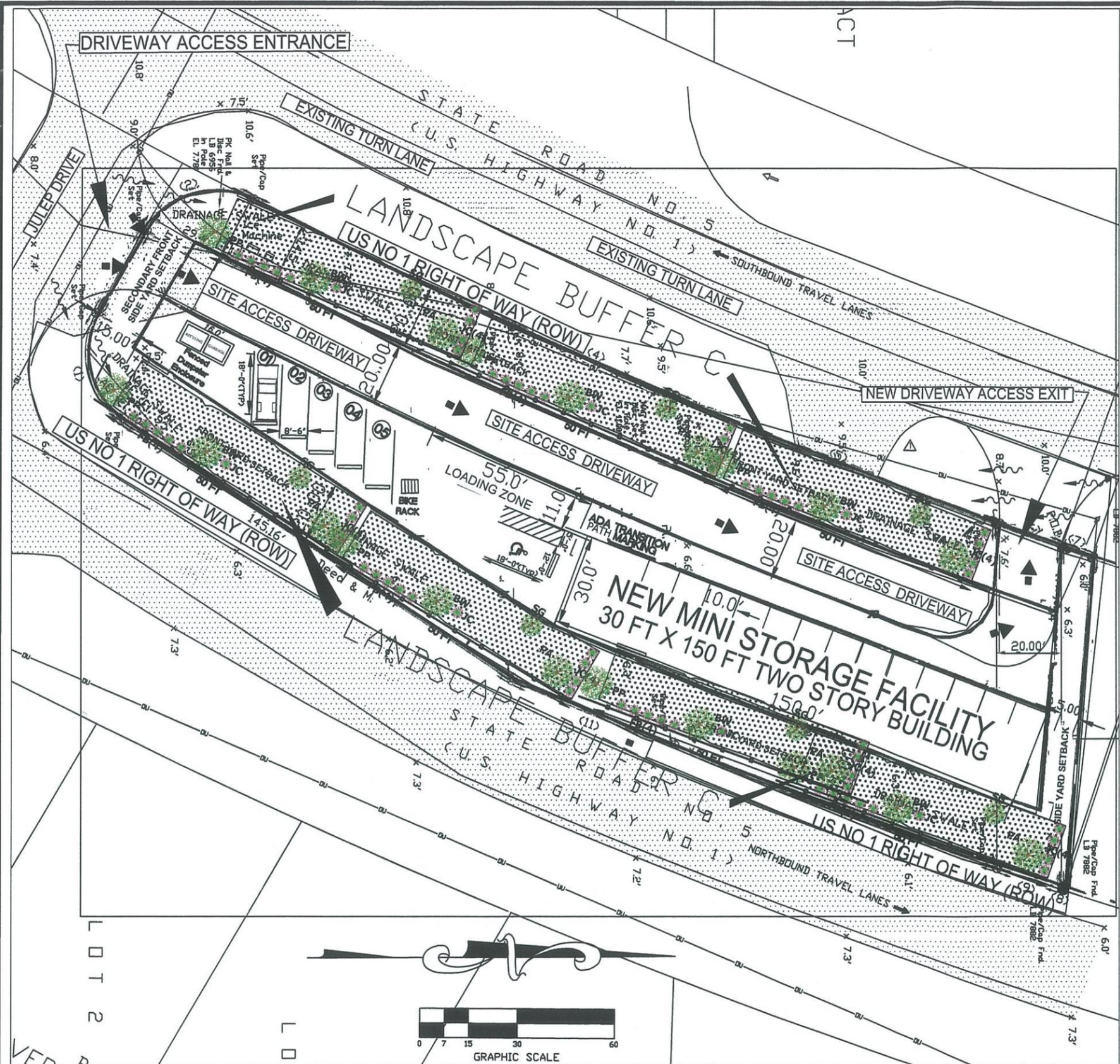


INDUSTRY & ENVIRONMENT ENGINEERS/ CONSULTANTS
 103650 O/S Hwy, #46
 KEY LARGO, FL 33037
 TELEPHONE (305) 395-8032
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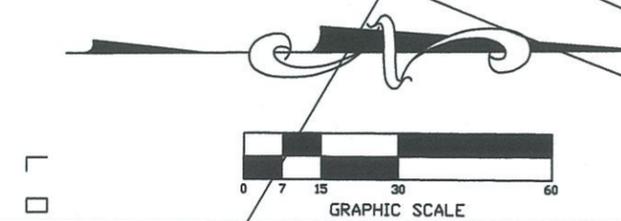
NEW MINI STORAGE FACILITY
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 TAVERNIER, FL
 SITE ACCESS DRIVEWAYS

REVISIONS DATE:
 9/18/20
 No. 48504
 STATE OF FLORIDA
 REGISTERED ENGINEER
 STATE OF FLORIDA No. 48504

I&E PROJECT NO.
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 SITE PLAN US NO 1
 DRIVEWAY ACCESS
 PAVEMENT NOTES &
 DRAINAGE DETAILS
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C-3



**SITE PLAN-BUFFERYARD LANDSCAPING
PHASE 1- ONE STORY BUILDING**



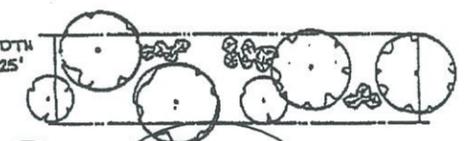
Sec. 114-128. Bufferyard Standards.

Each of the buffers required in Sections 114-126 and 114-127 shall be installed in accordance with the standards set forth in this section. The illustrations that follow this section specify the number of plants required per one hundred (100) linear feet. To determine the total number of plants required, the length of each side of the property requiring a buffer shall be divided by one hundred (100) and multiplied by the number of plants shown in the illustrations that follows this section. Any buffer area that overlaps another buffer area shall be subtracted from the total to avoid double counting. The arrangement of the plants in the bufferyard shall be determined by the developer.

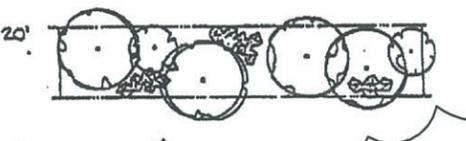
BUFFERYARDS

BUFFER C

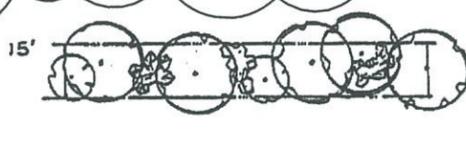
PLANT MATERIAL/100'
 3.5 CANOPY
 1.4 UNDERSTORY
 1.4 SHRUBS



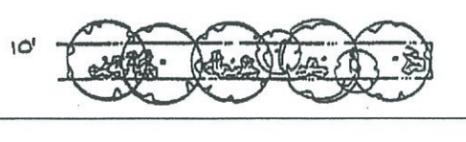
4 CANOPY
 1.6 UNDERSTORY
 16 SHRUBS



4.5 CANOPY
 1.8 UNDERSTORY
 16 SHRUBS



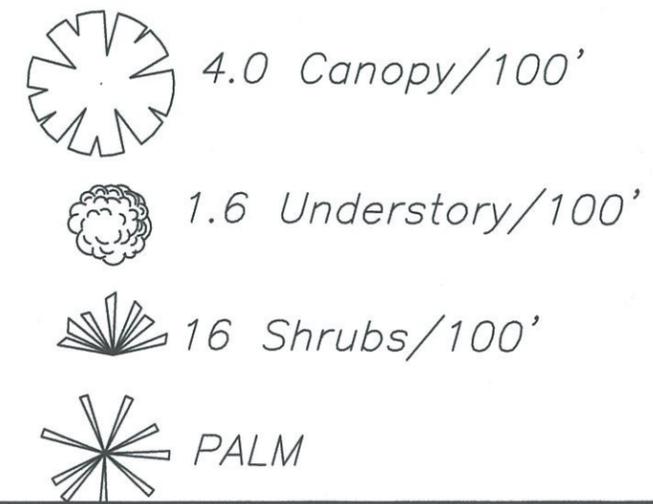
5 CANOPY
 2 UNDERSTORY
 20 SHRUBS



SCOPE OF WORK:

1. INSTALL CLASS C TWENTY (20) FEET WIDE BUFFERYARD ALONG STREET FRONTAGE OF US NO 1 ROW IN ACCORDANCE WITH THE MONROE COUNTY COMPREHENSIVE PLAN LAND DEVELOPMENT CODE ARTICLE IV. LANDSCAPING;
2. PLANT FOUR (4) CANOPY TREES, 16 UNDERSTORY TREES AND SIXTEEN (16) SHRUBS EVERY ONE HUNDRED (100) LINEAR FEET; PROVIDE NEW SOIL TO ESTABLISH VEGETATION IN ACCORDANCE WITH ARTICLE V. SCENIC CORRIDORS AND BUFFERYARD REQUIREMENTS; AND AS APPROVED BY MONROE COUNTY, THE ENGINEER AND THE OWNER;
3. LANDSCAPING CONTRACTOR SHALL SELECT TREES AND SHRUBS TO MATCH EXISTING TREES, PLANTS AND SITE TOPOGRAPHICAL FEATURES AS SHOWN IN SITE PHOTOGRAPHS TO ACHIEVE AN AESTHETICALLY PLEASING APPEARANCE AS APPROVED BY THE OWNER;

LANDSCAPE BUFFER C



**INDUSTRY & ENVIRONMENT
ENGINEERS/ CONSULTANTS**
 103650 O/S Hwy, #46
 KEY LARGO, FL 33037
 TELEPHONE (305) 395-8032
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 CONSULTANTS

NEW MINI STORAGE FACILITY
 92425 OVERSEAS HIGHWAY
 TAVERNIER, FL
 SITE ACCESS DRIVEWAYS

REVISIONS DATE:
 1. JAMES RONALD BUSH, P.E.
 LICENSED ENGINEER
 STATE OF FLORIDA No. 48504

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LANDSCAPE PLAN
 BUFFERYARDS &
 NOTES

SHEET NUMBER
C-3(a)



INDUSTRY & ENVIRONMENT
ENGINEERS/CONSULTANTS
103650 O/S Hwy, #46
KEY LARGO, FL 33037
TELEPHONE (305) 395-8032
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NEW MINI STORAGE FACILITY
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REVISIONS	DATE
1	9/19/20

REF: 48504

STATE OF FLORIDA

JAMES RONALD BRUSH, P.E.
LICENSED ENGINEER
STATE OF FLORIDA No. 48504

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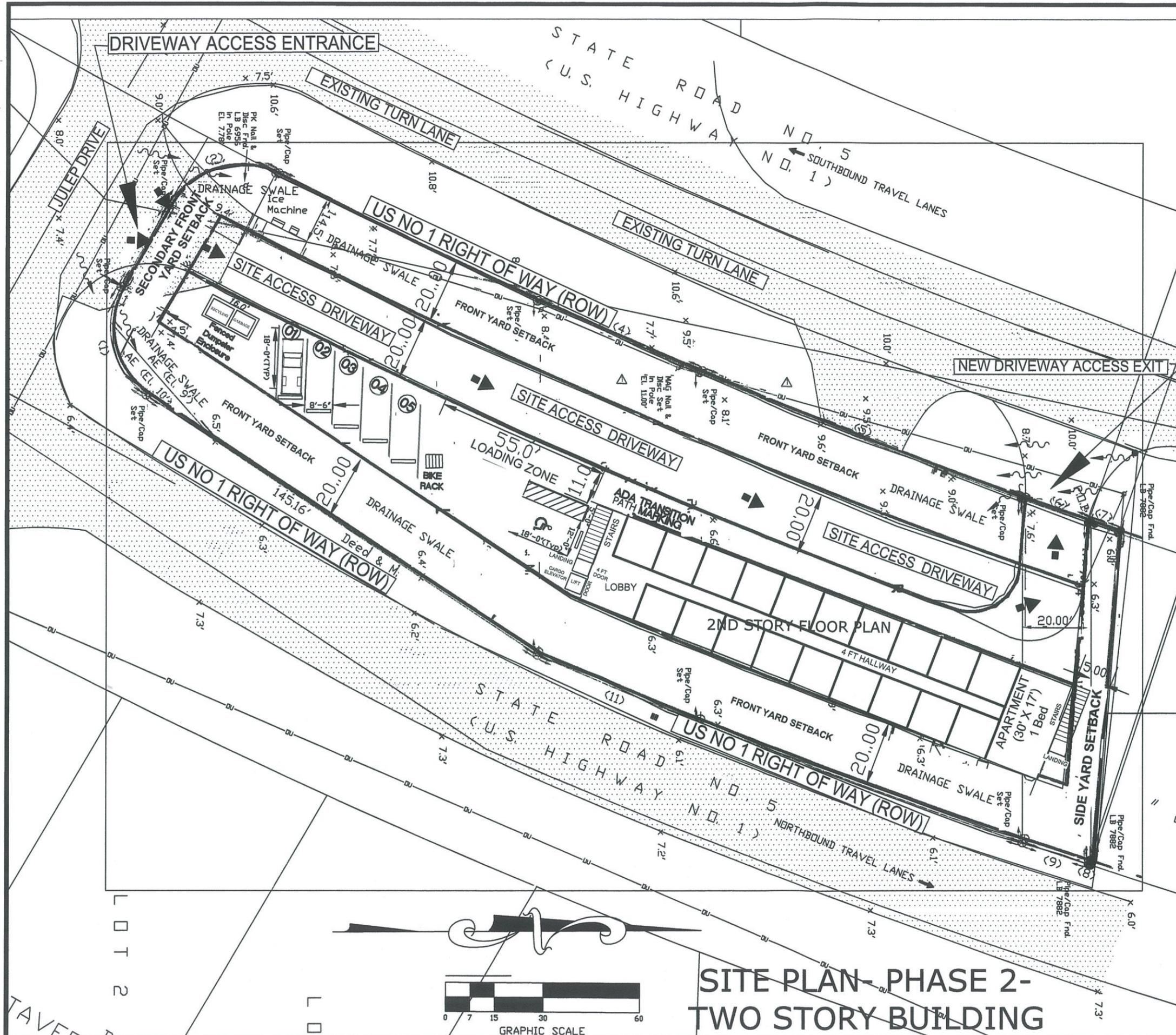
1-21-20 FEB 20, 2020 MAR 14, 2020

SHEET INDEX

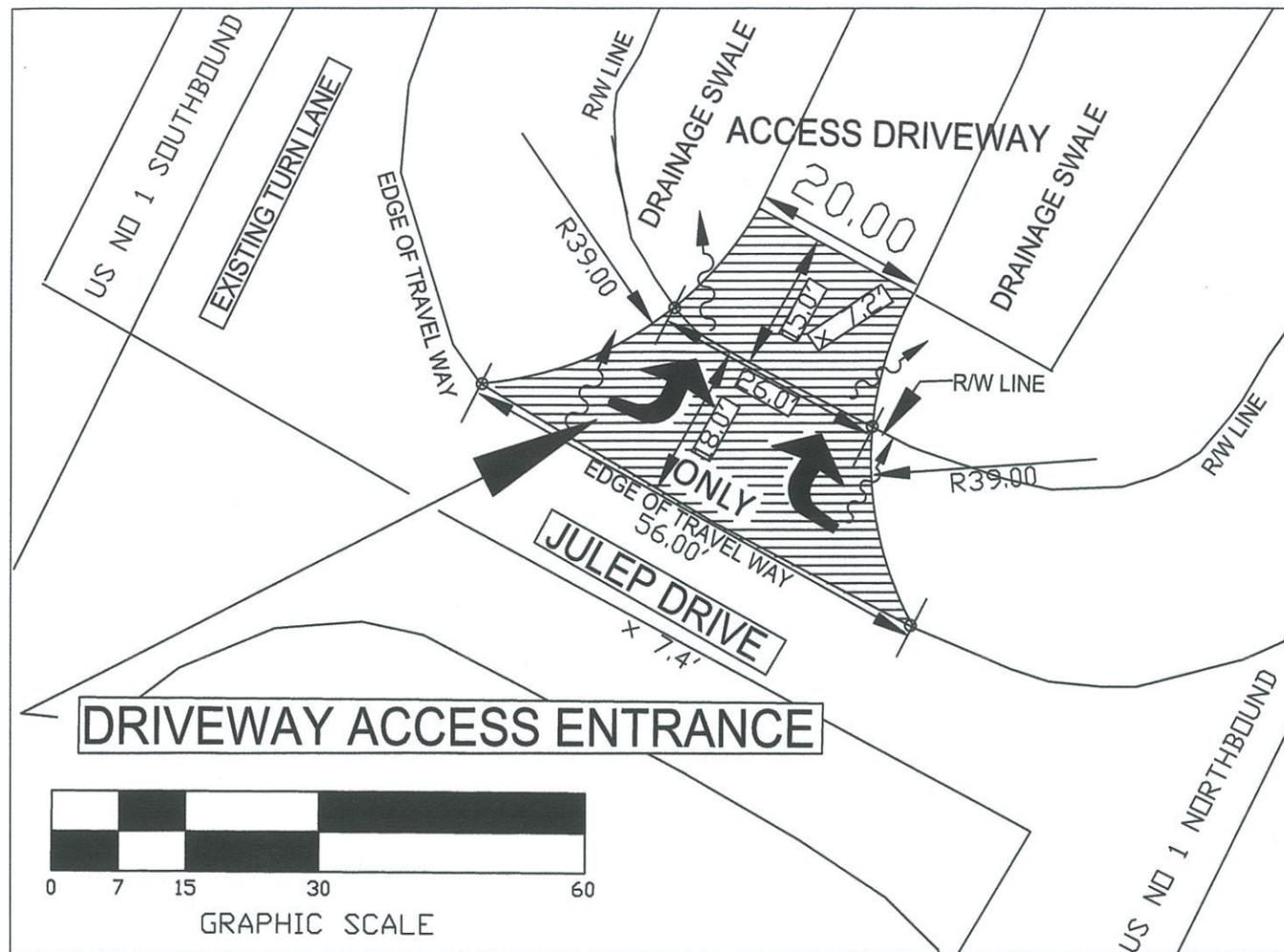
SITE PLAN
PHASE 2
TWO STORY BUILDING

SHEET NUMBER

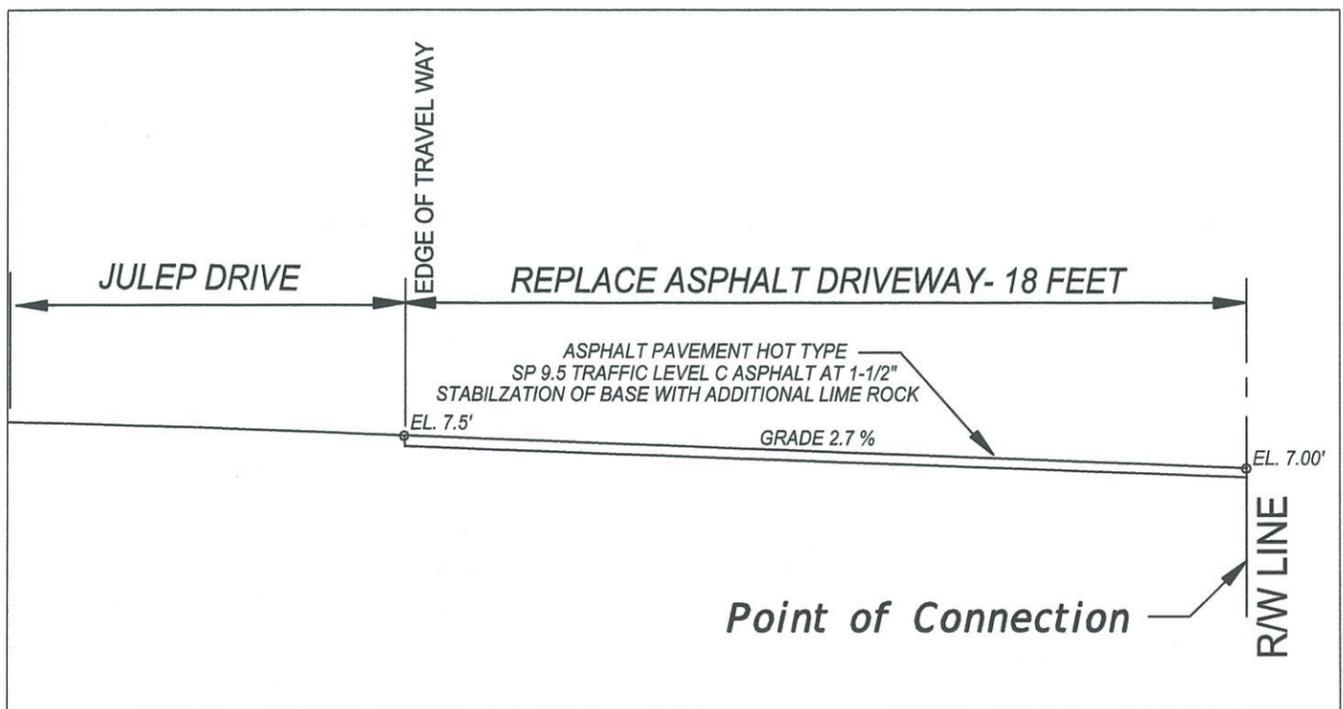
C-4



SITE PLAN - PHASE 2 -
TWO STORY BUILDING



NEW DRIVEWAY ACCESS- PLAN



CROSS SECTION/DRIVEWAY PROFILE

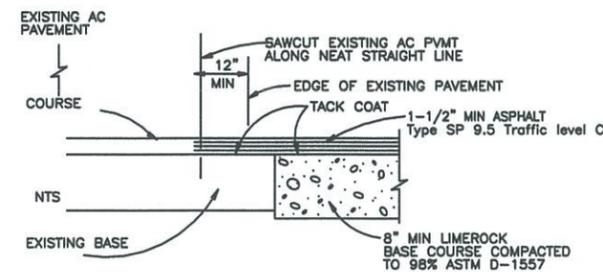
PLAN- MILLING & REPLACEMENT OF DRIVEWAY PAVEMENT

SCOPE OF WORK:

1. Perform Milling and Asphalt Pavement Replacement for Access Driveway: Approx. AREA= 1,100 SQ FT, Mill 1-1/2 inch of Asphalt, Apply 1-1/2 inch of hot type SP 9.5 Traffic Level C Asphalt; FDOT specification Section 331 Type S asphaltic concrete;
2. Tie-in into existing asphalt surfaces and match existing elevations at edge of travel way;
3. Provide drainage grading to connect to new drainage swales and new exfiltration trenches; provide new gravel roadway for site access driveway, pavement directional markings and traffic signs as shown;

NOTES: ASPHALT PAVEMENT

1. Contractor shall establish all benchmarks & pavement layout survey staking prior to beginning work; asphalt pavement shall drain efficiently to drainage swales and should ensure proper drainage of the driveway;



ASPHALT PAVEMENT AND CONNECTION TO EXIST. PAVT

- GENERAL NOTES
1. Asphalt pavement to match existing grades and shall drain efficiently to swales.

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INDUSTRY & ENVIRONMENT
ENGINEERS/ CONSULTANTS
103650 O/S Hwy, #46
KEY LARGO, FL 33037
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NEW MINI STORAGE FACILITY
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REVISIONS	DATE:
1	11/28/20
2	12/18/20
3	1/19/21

SEAL
No. 48504
STATE OF FLORIDA
9/19/20
JAMES DONALD BRUSH, P.E.
LICENSED ENGINEER
STATE OF FLORIDA No. 48504

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SHEET INDEX

ACCESS DRIVEWAY
PLAN AND PROFILE
NOTES
JULEP DRIVE

SHEET NUMBER
C-5

FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) GENERAL NOTES

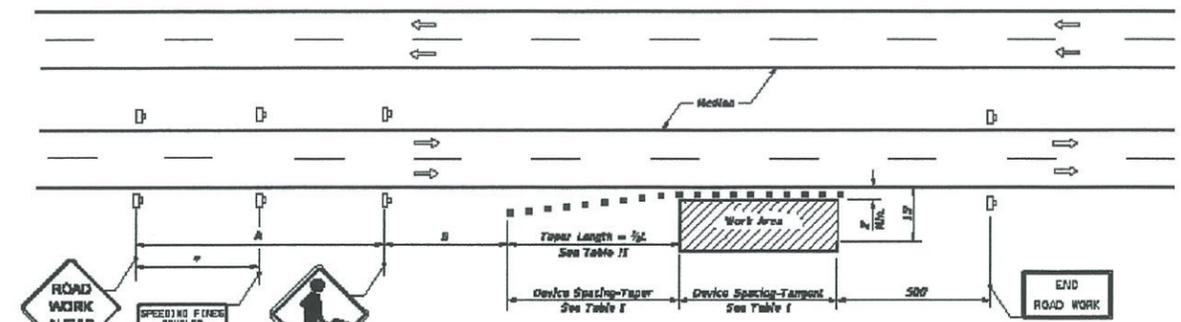
1. THE CONTRACTOR IS TO CONTACT THE FDOT LOCAL MAINTENANCE OFFICE TO COORDINATE PRE-CONSTRUCTION MEETING FOURTEEN (14) WORKING DAYS AND TO PROVIDE FORTY-EIGHT (48) HOURS NOTIFICATION PRIOR TO BEGINNING PERMITTED WORK.
2. SUBMIT LANE CLOSURE REQUESTS AT THE LANE CLOSURE INFORMATION SYSTEM WEBSITE (<http://gls.atectrans.net/lcis/>) FOURTEEN (14) WORKING DAYS PRIOR TO BEGINNING WORK WITHIN THE FDOT RIGHT-OF-WAY (ROW).
3. WORKING HOURS WITHIN THE STATE RIGHT-OF-WAY SHALL BE FROM 9:00 AM TO 4:00 PM, OR AS DIRECTED BY THE FDOT REPRESENTATIVE PRIOR TO COMMENCING WORK. THERE SHALL BE NO LANE CLOSURES ON WEEKENDS, HOLIDAYS, AND SPECIAL EVENTS WITHOUT PRIOR WRITTEN APPROVAL.
4. VALIDITY OF THIS PERMIT IS CONTINGENT UPON OBTAINING REQUIRED PERMITS FROM ALL OTHER AGENCIES INVOLVED.
5. ALL WORK MUST BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FDOT UTILITY ACCOMMODATION MANUAL, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND FDOT DESIGN STANDARDS.
6. PERMITEE IS CAUTIONED THAT UTILITIES MAY BE LOCATED WITHIN THE CONSTRUCTION AREA. CALL 811 TWO (2) DAYS PRIOR TO BEGINNING WORK.
7. SAFE TEMPORARY ACCESS TO ALL ADJACENT PROPERTIES MUST BE PROVIDED AND MAINTAINED AT ALL TIMES. ACCOMMODATIONS FOR INTERSECTING TRAFFIC WITHIN THE CONSTRUCTION ZONE MUST BE PROVIDED AND AT ALL TIMES. NO ROAD OR STREET CROSSING SHALL BE BLOCKED OR UNDULY RESTRICTED AS DETERMINED BY THE FDOT DEPARTMENT REPRESENTATIVE. ALL ACCESSES SHALL REMAIN OPEN AT ALL TIMES.
8. NO UNSAFE AREAS(S) FOR PEDESTRIANS WILL REMAIN DURING ANY TIME OF THE CONSTRUCTION. PEDESTRIAN CONTROL FOR CLOSURE OF ROADS AND SIDEWALKS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
9. A COPY OF THE APPROVED PERMIT, APPROVED PLANS AND APPROVED LANE CLOSURE(S) MUST BE KEPT ON THE JOB SITE AT ALL TIMES DURING THE PERMITTED WORK.
9. A COPY OF THE APPROVED PERMIT, APPROVED PLANS AND APPROVED LANE CLOSURE(S) MUST BE KEPT ON THE JOB SITE AT ALL TIMES DURING THE PERMITTED WORK.
10. IN THE EVENT THAT THE ROADWAY PAVEMENT IS DAMAGED, IT SHALL BE RESTORED IN FULL LANE TO MATCH OR EXCEED EXISTING CONDITIONS AND IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
11. OPEN CUTTING OF EXISTING PAVED DRIVEWAY CONNECTIONS AND SIDE STREETS SHALL BE RESTORED IN FULL LANE FROM EDGE OF PAVEMENT TO FDOT RIGHT-OF-WAY LINE.
12. THE USE OF STEEL PLATES WILL BE AT THE DISCRETION AND APPROVAL OF THE FDOT REPRESENTATIVE. PLATES MUST BE SECURED WITH SPIKES AND COMPACTED ASPHALT.
13. TYPE D4 FILTER FABRIC IS REQUIRED BY THE DEPARTMENT TO BE PLACED WHERE ANY MATERIAL THAT CAN, DURING THE PROJECT LIFE BE SUBJECTED TO HIGH WATER TABLE, WHETHER IT IS PLACED IN THE DRY OR IN THE WET AND REQUIRES A FULL ENCAPSULATION OF THE GRANULAR MATERIAL.
14. WHEN PERMITTED WORK IS WITHIN FIVE (5) FT OF THE EXISTING TREES? DRIP LINES, TREE PROTECTION MEETING THE LATEST EDITION OF THE FDOT DESIGN STANDARD INDEX 544 MUST BE INSTALLED.
15. ROOT OR CANOPY TRIMMING REQUIRED TO REDUCE THE IMPACTS TO THE EXISTING VEGETATION MUST BE OVERSEEN BY A CERTIFIED ARBORIST.
16. FDOT APPROVED EROSION DEVICES MUST BE PLACED BEFORE PERMITTED WORK BEGINS AND MAINTAINED THROUGHOUT THE PROJECT.
17. ALL FINAL RESTORATION SHALL BE COORDINATED WITH THE FDOT REPRESENTATIVE. ALL PORTIONS OF THE STATE RIGHT-OF-WAY SHALL BE RESTORED WITHIN THIRTY (30) DAYS OF COMPLETION OF THE PERMITTED WORK.
18. WHEN FDOT ROADWAY IMPROVEMENTS HAVE COMMENCED OR BEEN COMPLETED PRIOR TO COMPLETION OF WORK PERMITTED UNDER THIS PERMIT, THIS PERMIT SHALL BECOME VOID.

**Table II
Taper Length - Shoulder**

Speed (mph)	% (ft.)			Notes
	W' Shoulder	W' Shoulder	15' Shoulder	
25	25	38	42	L=WE' SD
30	40	50	60	
35	55	68	82	L=WE' SD
40	72	90	107	
45	120	150	180	L=WE' SD
50	180	225	270	
55	240	300	360	L=WE' SD
60	300	375	450	
65	375	472	567	L=WE' SD
70	450	567	664	

W' = Minimum shoulder width.
 W' = Length of shoulder taper in feet
 W = Width of total shoulder in feet (combined paved and unpaved widths)
 S = Posted speed limit (mph)

CONDITIONS
 WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCROACH THE AREA CLOSER THAN 15' BUT NOT CLOSER THAN 2' TO THE EDGE OF TRAVEL WAY.



DISTANCE BETWEEN SIGNS

Speed	Spacing (ft.)	
	A	B
40 mph or less	250	200
45 mph	350	300
50 mph or greater	500	300

* 250' beyond the ROAD WORK AHEAD sign or midway between signs whichever is less.

**Table I
Device Spacing**

Speed (mph)	Min. Distance Between Devices (ft.)			
	Cones or Tubular Markers		Type I or Type II Barricades or Vertical Posts or Drums	
	Taper	Tapered	Taper	Tapered
25	25	50	25	50
30 to 45	25	50	30	50
50 to 70	25	50	50	100

GENERAL NOTES

1. When a high volume of work vehicles are entering and leaving the Work Area at speeds slower than 10 MPH below the posted speed, place an M17-5-06 sign in the ROAD WORK AHEAD sign location and shift the ROAD WORK AHEAD sign upstream 500 ft.
2. This TCZ plan also applies to work performed in the median more than 2' but less than 10' from the edge of travelway.
3. When work is being performed on a multi-lane undivided roadway the signs normally mounted in the median (as shown) shall be omitted.
4. WORKERS signs to be removed or fully covered when no work is being performed.
5. SHOULDER WORK sign may be used as an alternate to the WORKER symbol sign.
6. When a side road intersects the highway within the TTC zone, additional TTC devices shall be placed in accordance with other applicable TTC indexes.
7. For general TCZ requirements and additional information, refer to Index 102-000.

DURATION NOTES

1. Signs and channelizing devices may be omitted if all of the following conditions are met:
 a. Work operations are 60 minutes or less.
 b. Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe light operation.

- SYMBOLS**
- Work Area
 - Channelizing Device (See Index 102-000)
 - Work Zone Sign
 - Lane Identification + Direction of Traffic

LAST REVISION 2/1/17	DESCRIPTION:	FY 2020-21 STANDARD PLANS	MULTILANE, WORK ON SHOULDER	INDEX 102-612	SHEET 1 of 1
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ENVIRONMENTAL NOTES:

1. ENSURE APPROPRIATE EROSION CONTROL DEVICES ARE IN PLACE BEFORE WORK BEGINS AND ARE USED THROUGHOUT THE PROJECT.
2. NO CONTAMINATION ISSUES ARE EXPECTED GIVEN THE SCOPE OF THE PROJECT; HOWEVER, THE FOLLOWING PROTOCOL SHOULD BE IMPLEMENTED. IN THE EVENT THAT SOIL OR GROUNDWATER CONTAMINATION IS IDENTIFIED DURING EXCAVATION, THE APPLICANT TO CONTACT THE ASSISTANT CONTAMINATION IMPACT COORDINATOR AT (305)470-5138 AND PROVIDE THE DEPARTMENT COPIES OF CONTAMINATION-RELATED DELIVERABLES SUBMITTED TO ENVIRONMENTAL REGULATORY AGENCIES.

FDOT 2017-18 DESIGN STANDARDS NOTES:

1. ANY DAMAGE TO SIDEWALK, BIKE PATH, RAMPS AND/OR CURB AND GUTTER SHALL BE RESTORED PER FDOT 2017-18 STANDARDS INDEX NOS. 300,304,310, FDOT STANDARD SPECIFICATION 522 AND FDOT SPECIFICATION SECTION 121 FLOWABLE FILL;
2. ANY DAMAGE TO THE EXISTING ASPHALT SHALL BE RESTORED PER FDOT INDEX 307;
3. CONTRACTOR SHALL COMPLY, AS APPLICABLE, WITH MAINTENANCE OF TRAFFIC LATEST 2017-18 DESIGN STANDARDS TO INCLUDE: INDEX NOS. 600, 601, 602, 603, 612, 613, 616 AND 660;
4. THE WORK ZONE SPEED LIMIT SHALL BE 35 MPH.

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 INDUSTRY & ENVIRONMENT
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 10365 O/S Hwy, #46
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REVISIONS
 No. 48604
 SEAL
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 PROFESSIONAL ENGINEER
 JAMES RONALD BRUSH, P.E.
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FDOT DETAILS AND NOTES

SHEET NUMBER
C-7

DESCRIPTION

PARCEL I the South 100 feet of that portion of Tract 2, according to the 'Plat of Survey of Ellis Property', in Section 27, Township 62 South, Range 38 East, Key Largo, recorded in Plat Book 2, Page 99 of the Public Records of Monroe County, Florida, which lies between the Easterly Right-of-Way line of State Road No. 5, and the Westerly Right-of-Way line of State Road No. 4-A.

AND PARCEL II Tract 'B' in Tavernier Ocean Shores, a subdivision on the Island of Key Largo, according to the Plat thereof, recorded in Plat Land Records of Monroe County, Florida, in Plat Book 4, at Page 112.

AND PARCEL III A portion of Lot 7, according to the Plat of ABSOLM ALBURY PROPERTY, as recorded in Plat Book 1, at Page 64, of the Public Records of Monroe County, Florida, being more particularly described as follows:

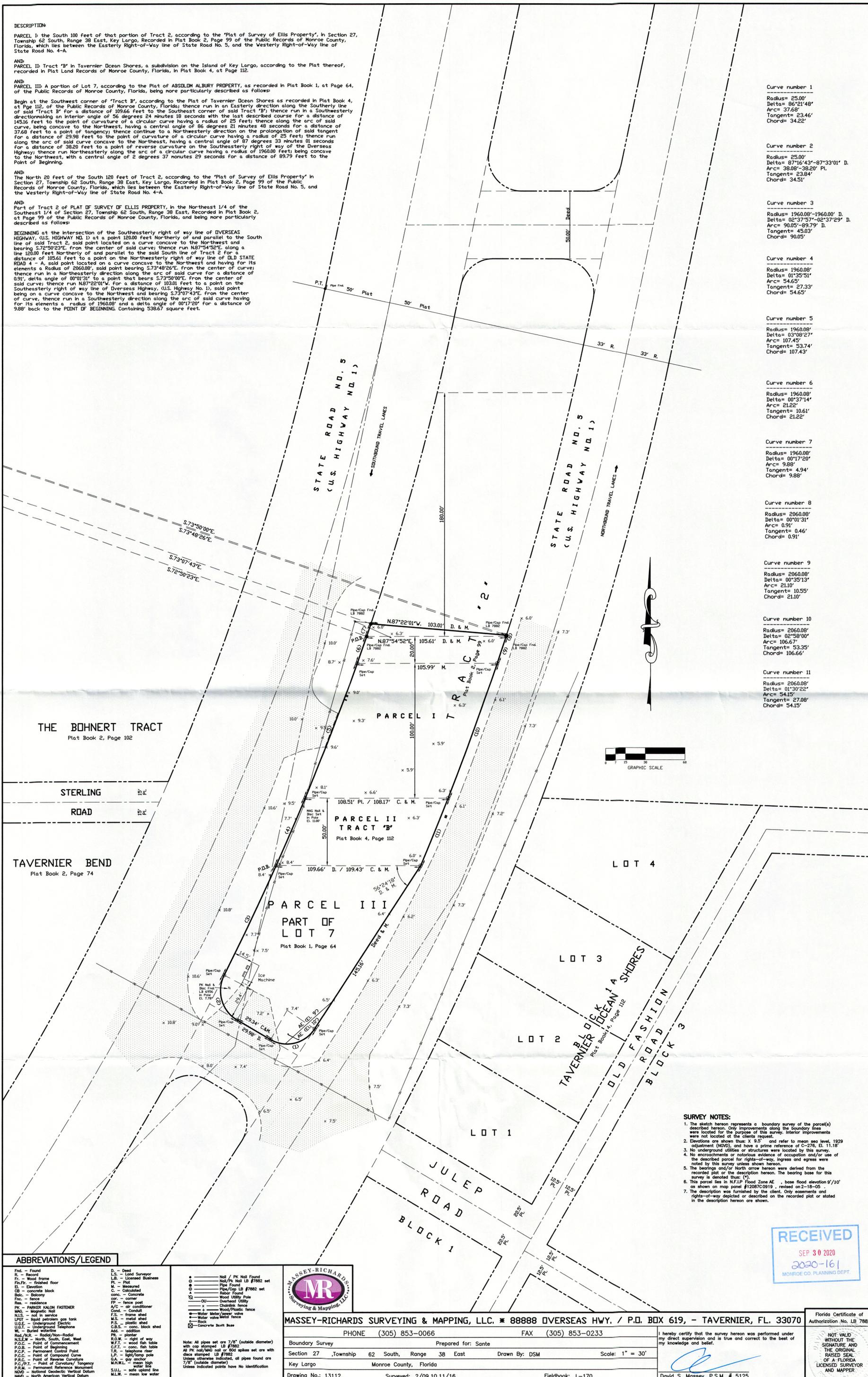
Begin at the Southwest corner of Tract 'B', according to the Plat of Tavernier Ocean Shores as recorded in Plat Book 4, at Page 112, of the Public Records of Monroe County, Florida; thence run in an Easterly direction along the Southerly line of said Tract 'B' for a distance of 109.66 feet to the Southeast corner of said Tract 'B'; thence run in a Southerly direction making an interior angle of 56 degrees 24 minutes 18 seconds with the last described course for a distance of 145.16 feet to the point of curvature of a circular curve having a radius of 25 feet; thence along the arc of said curve, being concave to the Northwest, having a central angle of 86 degrees 21 minutes 48 seconds for a distance of 37.68 feet to a point of tangency; thence continue to a Northwesterly direction on the prolongation of said tangent for a distance of 29.98 feet to the point of curvature of a circular curve having a radius of 25 feet; thence run along the arc of said curve concave to the Northeast, having a central angle of 87 degrees 33 minutes 01 seconds for a distance of 38.20 feet to a point of reverse curvature on the Southeasterly right of way of the Overseas Highway; thence run Northwesterly along the arc of a circular curve having a radius of 1960.00 feet; being concave to the Northwest, with a central angle of 2 degrees 37 minutes 29 seconds for a distance of 89.79 feet to the Point of Beginning.

AND The North 20 feet of the South 120 feet of Tract 2, according to the 'Plat of Survey of Ellis Property' in Section 27, Township 62 South, Range 38 East, Key Largo, recorded in Plat Book 2, Page 99 of the Public Records of Monroe County, Florida, which lies between the Easterly Right-of-Way line of State Road No. 5, and the Westerly Right-of-Way line of State Road No. 4-A.

AND Part of Tract 2 of PLAT OF SURVEY OF ELLIS PROPERTY, in the Northeast 1/4 of the Southeast 1/4 of Section 27, Township 62 South, Range 38 East, recorded in Plat Book 2, at Page 99 of the Public Records of Monroe County, Florida, and being more particularly described as follows:

BEGINNING at the intersection of the Southeasterly right of way line of OVERSEAS HIGHWAY, (U.S. HIGHWAY NO. 1) at a point 120.00 feet Northerly of and parallel to the South line of said Tract 2, solid point located on a curve concave to the Northwest and bearing S.72°50'23"E. from the center of said curve; thence run N.87°54'52"E. along a line 120.00 feet Northerly of and parallel to the said South line of Tract 2 for a distance of 105.61 feet to a point on the Northwesterly right of way line of OLD STATE ROAD 4 - A, solid point located on a curve concave to the Northwest and having for its elements a Radius of 2060.00', solid point bearing S.73°48'26"E. from the center of curve; thence run in a Northwesterly direction along the arc of said curve for a distance of 0.91', delta angle of 00°01'31" to a point that bears S.73°50'00"E. from the center of said curve; thence run N.87°22'01"W. for a distance of 103.01 feet to a point on the Southeasterly right of way line of Overseas Highway, (U.S. Highway No. 1), solid point being on a curve concave to the Northwest and bearing S.73°07'43"E. from the center of curve; thence run in a Southeasterly direction along the arc of said curve having for its elements a radius of 1960.00' and a delta angle of 00°17'20" for a distance of 9.88' back to the POINT OF BEGINNING, Containing 538.67 square feet.

- Curve number 1
Radius= 25.00'
Delta= 86°21'48"
Arc= 37.68'
Tangent= 23.46'
Chord= 34.22'
Curve number 2
Radius= 25.00'
Delta= 87°16'43"-87°33'01" D.
Arc= 38.08'-38.20' Ft.
Tangent= 23.84'
Chord= 34.51'
Curve number 3
Radius= 1960.00'-1960.00' D.
Delta= 02°37'57"-02°37'29" D.
Arc= 90.05'-89.79' D.
Tangent= 45.03'
Chord= 90.05'
Curve number 4
Radius= 1960.00'
Delta= 01°35'51"
Arc= 54.65'
Tangent= 27.33'
Chord= 54.65'
Curve number 5
Radius= 1960.00'
Delta= 03°08'27"
Arc= 107.45'
Tangent= 53.74'
Chord= 107.43'
Curve number 6
Radius= 1960.00'
Delta= 00°37'14"
Arc= 21.22'
Tangent= 10.61'
Chord= 21.22'
Curve number 7
Radius= 1960.00'
Delta= 00°17'20"
Arc= 9.88'
Tangent= 4.94'
Chord= 9.88'
Curve number 8
Radius= 2060.00'
Delta= 00°01'31"
Arc= 0.91'
Tangent= 0.46'
Chord= 0.91'
Curve number 9
Radius= 2060.00'
Delta= 00°35'13"
Arc= 21.00'
Tangent= 10.55'
Chord= 21.00'
Curve number 10
Radius= 2060.00'
Delta= 02°58'00"
Arc= 106.67'
Tangent= 53.35'
Chord= 106.66'
Curve number 11
Radius= 2060.00'
Delta= 01°30'22"
Arc= 54.15'
Tangent= 27.08'
Chord= 54.15'



THE BOHNERT TRACT
Plat Book 2, Page 102

STERLING ROAD

TAVERNIER BEND
Plat Book 2, Page 74

PARCEL II TRACT 'B'
Plat Book 4, Page 112

PARCEL III PART OF LOT 7
Plat Book 1, Page 64

LOT 4

LOT 3

LOT 2

LOT 1

JULEP ROAD BLOCK 1

TAVERNIER OCEAN SHORES
BLOCK 3

OLD FASHION ROAD

SURVEY NOTES:

- 1. The sketch hereon represents a boundary survey of the parcel(s) described hereon. Only improvements along the boundary lines were located for the purpose of this survey. Interior improvements were not located at the clients request.
2. Elevations are shown thus: X 9.5' and refer to mean sea level, 1929 adjustment (M.S.L.), and have a prime reference of C-274, D. 11.18'
3. No underground utilities or structures were located by this survey.
4. No encroachments or notorious evidence of occupation and/or use of the described parcel for rights-of-way, ingress and egress were noted by this survey unless shown hereon.
5. The bearings and/or North arrow hereon were derived from the recorded plat or the description hereon. The bearing base for this survey is denoted thus: (°)
6. This parcel lies in N.F.L.P. Flood Zone AE, base flood elevation 9'/10' as shown on map panel #12087C-0919, revised on 2-18-05.
7. The description was furnished by the client. Only easements and rights-of-way depicted or described on the recorded plat or stated in the description hereon are shown.



ABBREVIATIONS/LEGEND

Table with columns for symbols and their corresponding abbreviations/legends for surveying and mapping.



MASSEY-RICHARDS SURVEYING & MAPPING, LLC. # 88888 OVERSEAS HWY. / P.O. BOX 619, - TAVERNIER, FL. 33070
PHONE (305) 853-0066 FAX (305) 853-0233
Boundary Survey Prepared for: Sante
Section 27, Township 62 South, Range 38 East Drawn By: DSM Scale: 1" = 30'
Key Largo Monroe County, Florida
Drawing No.: 13112 Surveyed: 2/09,10,11/16 Fieldbook: L-170

Florida Certificate of Authorization No. LB 7882
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
David S. Massey, P.S.M. # 5125

B S M
Barrow Surveying & Mapping

PO Box 279
91790 Overseas Highway, TAVERNIER, FLORIDA
(305)852-5529 33070
(305)852-9064 FAX

- NOTES:**
- Type of Survey: Record Survey
 - Source of Description: Furnished by client
 - Bearing base is indicated elsewhere on this sketch
 - Abstract of Title not available to surveyor. There may exist additional documents relating to the subject property. Not abstracted for easements.
 - Boundaries shown are Deed Lines, and are the lines as located based on the Deeds.
 - Plots and other information available to surveyor. Visible to surveyor. Encroachments, if shown, are only those above ground objects, visible to surveyor, which appear to encroach on Deed Lines. No certification is made that these are the only encroachments, nor that said objects actually encroach on lines of ownership.
 - Subsurface and environmental conditions were not examined nor considered as part of this survey.
 - Location of improvements is limited to those shown. All improvements, ground cover, landscaping, and other such features may not be shown hereon. Unless indicated otherwise, ties to improvements are perpendicular to boundaries.
 - Elevations are expressed in feet related to National Geodetic Vertical Datum of 1929, derived from a direct, closed level circuit from NGS benchmarks C-276.
 - Ownership of originals and copyrights to all drawings, notes, reports and other documents produced in the course of this project remain with surveyor.
 - This survey is intended for the sole use of the client named hereon and is not transferable.
 - Apparent shoreline is along vertical face of seawall/dock or is located by physical evidence only. This is not a Mean High Water Survey.
 - Parcel is in flood zone #1, base flood elevation 9' Ft according to scales measurements on FEMA Flood Insurance Rate Map for Community 125129, Panel 994 H.

CERTIFICATION:
TD Key Line Products

CURVE TABLE	
C1	Delta 2°36'38"
	Radius 2060.08'
	Arc 105.75'
C2	Delta 1°30'32"
	Radius 2060.08'
	Arc 54.25'
C3	Delta 86°21'48"
	Radius 25'
	Arc 37.68'
	Tangent 23.46'
C4	Delta 87°33'01"
	Radius 25'
	Arc 38.20'
	Tangent 23.95'
C5	Delta 2°37'29"
	Radius 1960.08'
	Arc 89.79'
C6	Delta 1°36'03"
	Radius 1960.08'
	Arc 54.76'
C7	Delta 3°08'07"
	Radius 1960.08'
	Arc 107.26'

State Road No. 5 (US Hwy #1 Southbound lanes)

This Parcel is Subject of Survey and Legal Description by Hal Thomas, LS 3925 Job #5904A, dated 1-9-88

Old State Road No. 4A (US Hwy #1 Northbound lanes)

Un-named Crossover

PARCEL III
Part of Lot 7, Absalom Albury Property
PBI, PG64)

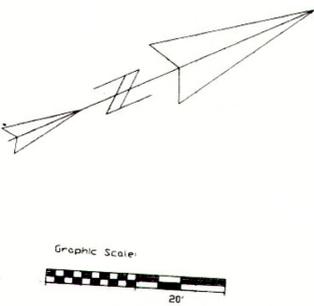
PARCEL II
Tract B, Tavernier Ocean Shores
PBA, PG112

PARCEL I
South 100 feet of
Tract 2, Ellis Property
PB2, PG99

Block 1A,
Tavernier Ocean Shores (4-112)

Tract 2, Ellis Property (2-99)

Plot North (scaled)
PB 2, PG 99



DESCRIPTION:

PARCEL I:
The South 100 feet of that portion of Tract 2, according to the Plat of Survey of Ellis Property, in Section 27, Township 62 South, Range 38 East, Key Largo, recorded in Plat Book 2 at Page 99 of the public records of Monroe County, Florida, which lies between the easterly right of way line of State Road No. 5 and the westerly right of way line of State Road 4A.

AND:

PARCEL II:
Tract B in Tavernier Ocean Shores, a subdivision on the island of Key Largo, according to a Plat thereof recorded in Public Land Records of Monroe County, Florida, in Plat Book 4 at Page 112.

AND:

PARCEL III:
A portion of Lot 7, according to the Plat of Absalom Albury Property, as recorded in Plat Book 1 at Page 64 of the public records of Monroe County, Florida, being more particularly described as follows:
Begin at the southwest corner of Tract B according to the Plat of Tavernier Ocean Shores as recorded in Plat Book 4 at Page 112 of the public records of Monroe County, Florida; thence run in an easterly direction along the southerly line of said Tract B for a distance of 109.66 feet to the southeast corner of said Tract B; thence run in a southwesterly direction making an interior angle of 56 degrees 24 minutes 16 seconds with the last described course, for a distance of 145.16 feet to the Point of Curvature of a circular curve having a radius of 25 feet; thence along the arc of said curve, being concave to the north-west and having a central angle of 86 degrees 21 minutes 48 seconds, for a distance of 37.68 feet to a Point of Tangency; thence continue in a northwesterly direction along the prolongation of said tangent for a distance of 29.98 feet to the Point of Curvature of a circular curve, having a radius of 25 feet; thence run along the arc of said curve, concave to the northeast, having a central angle of 87 degrees 33 minutes 01 seconds for a distance of 38.20 feet to a Point of Reverse Curvature on the southeasterly right of way line of the Overseas Highway; thence run northeasterly along the arc of a circular curve having a radius of 1960.08 feet, being concave to the northwest, having a central angle of 2 degrees 37 minutes 29 seconds for a distance of 89.79 feet to the Point of Beginning.

The above descriptions were provided by Client in the form of Commitment Form #CF-1287185, Schedule A.

- LEGEND:**
- R/W Centerline, Right of way line
 - PI, PC, PRC, PT Point of Intersection, Curvature, Reverse Curvature, Tangency
 - R, L, T Central Angle, Radius, Arc Length, Tangent Length
 - SIF Set 1/2" Iron Rod with plastic cap LS 5263
 - FIP, FIP Found Iron Rod, Found Iron Pipe, diameter and identification noted
 - Fa, Fra Found
 - CLF, Fnc Chainlink Fence, Fence
 - CONC, CB, CBS Concrete, Concrete Block, Concrete Block & Stucco
 - PCC, PUB Point of Commencement, Beginning
 - PL Point on Line
 - Not Identification not visible
 - PB, B, OR, PG, Plat Book, Deed Book, Official Record Book, Page Number
 - B, B, C, M Values as Plotted, Described, Calculated, Measured
 - LS 5263 Florida Board of Surveyors Certificate No. 5263 or others as noted
 - Desc Description
 - X 4.2 Spot elevation
 - EL Elev Elevation
 - NGVD National Geodetic Vertical Datum of 1929
- SOME OR ALL OF THE ABOVE MAY APPEAR HEREON.

Client: Key Lime Products	Key Largo	Monroe County, Florida
Drawn by: DHB	Fieldbook 284	Scale: 1" = 20'
Section 27	Township 62 South, Range 38 East	Surveyed: 2-24-04
Computer: techr8	Directory: dwg	Rev: Descr
Dwg No. 23824		Unless it bears the embossed seal and the original signature in red ink of a Florida Professional Surveyor and Mapper, David H. Barrow, LS 5263, this sketch is for information only and is not valid.
David H. Barrow, LS 5263		Barrow Surveying and Mapping, LB 6591
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