

File #: 2019-085

Owner's Name: The Helio Oropeza Rev. Trust
2/3/1995

Applicant: Spottswood, et.al.

Agent: Richard McChesney

Type of Application: Admin Variance

Key: Stock Island

RE #: 00125950.000100

Additional Information added to File 2019-085

End of Additional File 2019-085

SPOTTSWOOD, SPOTTSWOOD, SPOTTSWOOD & STERLING, PLLC
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KEY WEST, FLORIDA 33040

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OF COUNSEL:

JOHN M. SPOTTSWOOD (1920 – 1975)
ROBERT A. SPOTTSWOOD (of Counsel)
WILLIAM B. SPOTTSWOOD (of Counsel)

April 30, 2019

VIA HAND DELIVERY
AND ELECTRONIC MAIL:

Emily Schemper, Sr. Director of Planning
Monroe County Planning & Environmental Resources
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050

Re: Administrative Variance Application – 6003 Peninsula Avenue, Key West,
Florida 33040

Ms. Schemper:

Please find enclosed a completed administrative variance application (“Application”) submitted on behalf of the Helio Oropeza Revocable Trust dated 2/3/1995 (the “Applicant”). The Applicant seeks to obtain minimum variances to the rear yard setback and side yard setbacks to reconstruct a warehouse on an existing concrete pad. Specifically, the Applicant seeks a rear yard setback variance of 5’4”; a primary side yard setback of 1’10”; and a secondary side yard setback of 3’2.” In support of this application, the Applicant states as follows:

1. The Applicant shall demonstrate a showing of good and sufficient cause for granting the variance:

The Applicant is proposing to reconstruct a building that was previously in existence on the site. Specifically, a building was constructed on the existing concrete pad that had the same footprint as the Applicant is proposing with this Application. The previous building was demolished by Hurricane Wilma and the Applicant was unable to reconstruct the building following the hurricane.

2. Failure to grant the variance would result in exceptional hardship to the applicant:

The concrete pad, which was the foundation of the previous building and the proposed foundation of the new building, survived Hurricane Wilma and is in good condition to be used again. It is elevated which will mitigate the likelihood of the new building flooding in future storms. A denial of the variance would require the Applicant to construct a new foundation resulting in economic waste and undue hardship to the Applicant.

3. Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

The granting of the variance will not result in increased public expenses, create a threat to the public health and safety, or create a public nuisance or cause fraud or victimization of the public. The proposed building at this site will be the home of Sub-Zero A/C and Refrigeration, Inc. ("Sub-Zero") which has provided services throughout the County since 1989. By allowing this variance, Sub-Zero will be able to continue to provide exceptional service throughout the keys which will benefit the public.

4. Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district:

This property is unique in that it is one of only a few industrial buildings in this zoning district. More so, it had peculiar circumstances in that the former building was destroyed in Hurricane Wilma and the property owner was not able to rebuild within the specified time period provided in the Monroe County Code.

5. Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code of established development patterns:

Granting of the variance will not confer any special privileges on the Applicant that are denied to other property owners in the immediate neighborhood. The two immediately adjacent properties are presumed legally non-confirming and cover the entirety of their respective parcels. The Applicant here is well within the allowed intensity and open space requirements provided by the code.

6. Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:

The variance proposed is not based on disabilities, handicaps or health of the Applicant or members of his family.

7. Granting the variance is not based on the domestic difficulties of the applicant or his family:

Granting of this variance is not based on the domestic difficulties of the Applicant or his family.

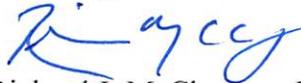
8. The variance is the minimum necessary to provide relief to the applicant:

The variance proposed is the minimum necessary to provide relief to the Applicant. The Applicant seeks to reconstruct on the existing concrete pad which was the foundation of the prior building.

In addition to the required application items, the Applicant has enclosed a notarized statement from the owner approving the submittal of this application.

Please feel free to contact me should you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "R. J. McChesney".

Richard J. McChesney, Esq.
For the Firm

cc:

Bradley Stein (via email)

Elizabeth Lustberg (via email)

Land Use District Designation(s): Mixed Use (MU)

Present Land Use of the Property: Commercial/Industrial

Proposed Land Use of the Property: Commercial/Industrial

Total Land Area: 6,000 square feet

Pursuant to Section 102-186(b) of the Monroe County Land Development Code (LDC), the Director of Planning & Environmental Resources is authorized to grant the following variances:

- (1) Reduction of front or rear yard non-shoreline setback requirements, as provided in LDC Chapter 131, by up to ten (10) feet; and reduction of non-shoreline side yard setback requirements, as provided in LDC Chapter 131, by up to five (5) feet;
- (2) Reduction in the off-street parking requirements in LDC Chapter 114, Article III, by no more than 20%;
- (3) Reduction in the bufferyard width requirements for Class C, D, E, and F district boundaries, major streets, and scenic corridors in LDC Chapter 114, Article III, by no more than 10%;
- (4) Reduction in the total area of landscaping required for off-street parking and loading in LDC Chapter 114, Article III, by no more than 10%; and
- (5) Reduction in the loading/unloading space dimensional requirements in LDC Chapter 114, Article III.

Provide the standards required by the land development regulations: Rear yard setback: 10 ft, Secondary side yard setback: 5 ft, Primary side yard: 10 ft
(i.e., front yard setback of 25 feet, 100 off-street parking spaces, etc.)

Provide requested variance: Rear yard setback: 5'4", Secondary side yard: 3'2", Primary side yard: 1'10"
(i.e., reduction of 5ft for a front yard setback of 20 feet; reduction to 90 off-street parking spaces, etc.)

All of the following standards must be met in order to receive variance approval. Please describe how each standard will be met (as it relates to the property):

1. The applicant shall demonstrate a showing of good and sufficient cause for granting the variance:

Please see attached letter.

2. Failure to grant the variance would result in exceptional hardship to the applicant:

Please see attached letter.

Exceptional hardship means a burden on a property owner that substantially differs in kind or magnitude from the burden imposed on other similarly situated property owners in the same land use district as a result of adoption of the regulations.

3. Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

Please see attached letter.

4. Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district:

Please see attached letter.

5. Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns:

Please see attached letter.

6. Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:

Please see attached letter.

7. Granting the variance is not based on the domestic difficulties of the applicant or his family:

Please see attached letter.

8. The variance is the minimum necessary to provide relief to the applicant:

Please see attached letter.

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Complete administrative variance application (unaltered and unbound)
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed)
- Current Property Record Card(s) from the Monroe County Property Appraiser
- Location map
- Photograph(s) of site from adjacent roadway(s)
- Boundary Survey, prepared by a Florida registered surveyor-three (3) sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat)
- Site Plan, prepared by a Florida registered architect, engineer or landscape architect- three (3) sets (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following:
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water line
 - Land use district of site and any adjacent land use districts
 - Locations and dimensions of all existing and proposed structures and drives
 - Type of ground cover (i.e. concrete, asphalt, grass, rock)
 - Adjacent roadways
 - Setbacks as required by the land development regulations
 - Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones
- Typed name and address mailing labels of all property owners within a 600-foot radius of the property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600-foot radius, each unit owner must be included.

If applicable, the following items must be included in order to have a complete application submission:

- Notarized Agent Authorization Letter

Is there a pending code enforcement proceeding involving all or a portion of this property?

Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

If for any reason the administrative variance application requires review and consideration by the Monroe County Planning Commission, additional fees, mailing labels and copies of all plans shall be required prior to item being scheduled for commission review.

* * * * *

Pursuant to LDC Section 102-186 (i), the applicant shall post the property of the proposed variance with a waterproof sign at least four (4) square feet in front surface area, which is so lettered as to be easily visible from all public streets and public ways abutting the property. The property shall remain posted for no less than thirty (30) calendar days beginning within five (5) working days of the date that the application is deemed to be in compliance by the Planning Director. For your convenience, the Department will provide you with a sample of the sign.

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: Richard J. McChesney Date: 4/24/19

STATE OF Florida

COUNTY OF Monroe

Sworn to and subscribed before me this 23rd day of April, 2019.

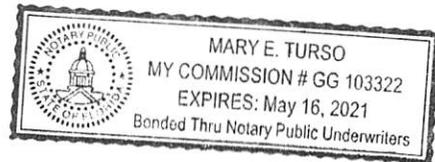
RICHARD J. MCCHESENEY

by _____, who is personally known to me OR produced

(PRINT NAME OF PERSON MAKING STATEMENT)

_____ as identification.
(TYPE OF ID PRODUCED)

Mary E. Turso
Signature of Notary Public, State of Florida
MARY E. TURSO



Print, Type or Stamp Commissioned Name of Notary Public
My commission expires:

Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, Florida 33050

Property Record Card

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00125950-000100
 Account# 8987287
 Property ID 8987287
 Millage Group 110A
 Location Address 6003 PENINSULA Ave, STOCK ISLAND
 Legal Description BK 45 LT 50 STOCK ISLAND MALONEY SUB PB1-55 A1-229 OR542-809 OR645-200 OR702-563/70 OR828-612 OR1163-941 OR2685-57/58 OR2819-1809/10
 (Note: Not to be used on legal documents.)
 Neighborhood 10060
 Property Class LIGHT MANUFACTURING (4100)
 Subdivision
 Sec/Twp/Rng 35/67/25
 Affordable No
 Housing



Owner

OROPEZA HELIO REVOCABLE TRUST 2/3, 1995
 224 Key Haven Rd
 Key West FL 33040

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$0	\$0	\$0	\$19,108
+ Market Misc Value	\$4,306	\$4,306	\$4,306	\$3,752
+ Market Land Value	\$191,160	\$187,920	\$188,325	\$188,325
= Just Market Value	\$195,466	\$192,226	\$192,631	\$211,185
= Total Assessed Value	\$195,466	\$192,226	\$192,631	\$211,185
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$195,466	\$192,226	\$192,631	\$211,185

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	6,000.00	Square Foot	0	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CH LINK FENCE	1991	1992	1	300 SF	1
ASPHALT PAVING	1991	1992	1	5000 SF	1

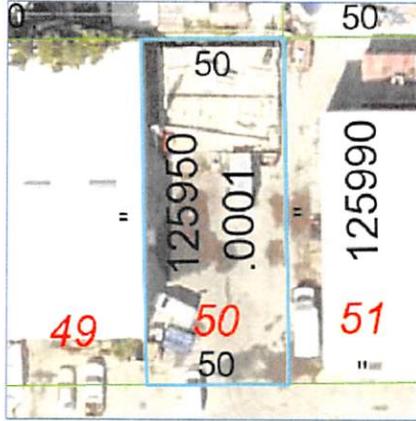
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
1/5/2016	\$100	Quit Claim Deed	2094916	2819	1809	11 - Unqualified	Improved
1/15/2014	\$0	Quit Claim Deed		2685	57	11 - Unqualified	Improved

Photos



Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Exemptions, Permits, Sketches (click to enlarge).

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the



Last Data Upload: 3/26/2019, 3:09:25 AM

Version 2.2.7

Proof of Ownership

Prepared by and return to:
Gregory S. Oropeza, Esq.
Smith | Oropeza | Hawks, P.L.
138-142 Simonton Street
Key West, Florida 33040

Doc# 2094916
Bk# 2819 Pg# 1809

Parcel ID No. 00125950-000100

[Space Above This Line For Recording Data]

\$ 10.00

Quit Claim Deed

This Quit Claim Deed made this 5th day of January, 2016, between Helio Oropeza and Carleen Oropeza, husband and wife, grantor, and Helio Oropeza Revocable Trust dated February 3, 1995 (the "Trust"), whose post office address is 224 Key Haven Road, Key West, Florida 33040 of the County of Monroe, State of Florida, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in Monroe County, Florida to-wit:

Lot 50, Block 45 of GEO. L. MCDONALD'S PLAT OF STOCK ISLAND according to the plat thereof, as recorded in Plat Book 1 at Page 55 of the Public Records of Monroe County, Florida.

a/k/a 6003 Peninsular Avenue South, Key West, Florida 33040

Grantor warrants that at the time of this conveyance, the subject property is not either of the Grantor's or any of their spouse's (if any) homestead within the meaning set forth in the Constitution of the State of Florida, nor is it contiguous to or a part of homestead property.

Subject to taxes for 2015 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: Tiffany Garcia

[Signature]
Witness Name: Julie Powell

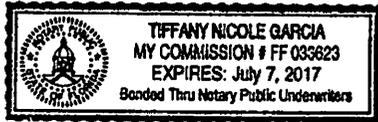
[Signature]
Helio Oropeza

[Signature]
Carleen Oropeza

STATE OF FLORIDA }
COUNTY OF MONROE }

The foregoing instrument was acknowledged before me this 5th day of January, 2016 by Helio Oropeza and Carleen Oropeza, who are personally known to me or have produced a driver's license as identification.

[Notary Seal]



Tiffany Nicole Garcia
Notary Public
Printed Name: Tiffany Garcia
My Commission Expires: _____

MONROE COUNTY
OFFICIAL RECORDS

Agent Authorization Form

AGENT AUTHORIZATION FORM

Date of Authorization: 3 / 27 / 2019
Month Day Year

I hereby authorize Richard McChesney be listed as authorized agent
(Print Name of Agent)

representing the Helio Oropeza Revocable Trust dated 2/3/1995 for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of Administrative Variance
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

50 45 Stock Island Maloney Subdivision Stock Island
Lot Block Subdivision Key (Island)
00125950-000100 8987287

Real Estate (RE) Number Alternate Key Number
6003 Peninsula Avenue, Stock Island, FL 33040 6

Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Authorized Agent Contact Information:

500 Fleming Street, Key West, FL 33040

Mailing Address (Street, City, State and Zip Code)

(305) 294-9556 richard@spottswoodlaw.com

Work Phone Home Phone Cell Phone Email Address

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Handwritten Signature]

Printed Name of Property Owner: Helio Oropeza

STATE OF Florida COUNTY OF Monroe

Sworn to and subscribed before me this 27 day of MARCH, 2019

by Helio Oropeza (Print Name of Person Making Statement), who is personally known to me OR produced

as identification.

(Type of ID Produced)
Signature of Notary Public [Handwritten Signature]



Print, Type or Stamp Commissioned Name of Notary Public

My commission expires:

List of
Surrounding
Neighbors

RECHAR	NAME	ADD1	ADD2	CITY	STATE	ZIP
00127471-000267	1018 TRUMAN LLC	PO BOX 856		POWDER SPRINGS	GA	30127
00133760-000138	337 MONTAUK HIGHWAY REALTY EXCHANGE CORP	PO Box 35		Sag Harbor	NY	11963
00127440-001200	AMBUSH HOOK LINE AND SINKER LLC	5600 Penneck Point Rd		Jupiter	FL	33458
00127420-000628	APPELLIS MICHEL	1414 NEWTON ST		KEY WEST	FL	33040
00127471-000104	ASPINWALL FAMILY TR AG 5/18/2011	316 NAUTILUS CT		FORT MYERS	FL	33908
00127471-000177	ASPINWALL GARY	5823 RIVERSIDE LN		FORT MYERS	FL	33919
00127420-000685	BACKWALL PARTNERS LLC	3605 S BEACH DR		TAMPA	FL	33629
00126200-001000	BACLE PETER L	15 AMARYLLIS DR		KEY WEST	FL	33040
00125880-000000	BACLE PETER M	15 Amaryllis Dr		Key West	FL	33040
00127471-000159	BAILEY PROPERTIES LLC	5601 2ND ST W		LEHIGH ACRES	FL	33971
00127420-000683	BAMPARTNERS LP	PO BOX 287		SOUTHFIELD	MI	48037
00126200-000400	BARBER BERENICE	6900 MALONEY AVE UNIT 4		KEY WEST	FL	33040
00127420-000669	BARRETT PAUL L/E	PO BOX 5888		KEY WEST	FL	33045
00133760-000133	BARRETT PAULETTE	6800 Maloney Ave Lot 35		Key West	FL	33040
00127440-001600	BARTON DONALD J JR	1502 UNITED ST		KEY WEST	FL	33040
00126200-000300	BEAM DAVID J	6900 Maloney Ave Unit 3		Key West	FL	33040
00127440-000500	BENEDETTO GEORGE M	4421 JEFFERSON HWY		JEFFERSON	LA	70121
00127420-000674	BENNETT GLENN	350 Park Dr		Moorestown	NJ	08057
00127420-000640	BIRMINGHAM IRONWORKS INC	9107 CHERRY RD		VERMILION	OH	44089
00133760-000137	BITTNER BEVERLY A	6800 Maloney Ave Lot 39		Key West	FL	33040
00126200-001400	BLANCO LIANA M	6900 MALONEY AVE UNIT 14		KEY WEST	FL	33040
00127440-001000	BLUEWATER INVESTMENT LP	142 JOHN F KENNEDY DR		LAKE WORTH	FL	33462
00127440-002800	BORROR DAVID S	4280 HAYDEN RUN RD		DUBLIN	OH	43017
00125890-000000	BOWEN ALFRED	815 Peacock		Key West	FL	33040
00133760-000150	BREINES STEVEN	165 HORTON ST		BRONX	NY	10464
00133760-000145	BUTLER CHUCK	6800 Maloney Ave Lot 47		Key West	FL	33040
00127420-000692	C SERVICE LLC	3410 Ridgewood Rd		Atlanta	GA	30327
00127420-000693	CALYPSO WATER SPORTS AND CHARTERS INC	257 ATLANTIC BLVD		KEY LARGO	FL	33037
00127420-000675	CARDENAS ROBERT H	809 Fleming St		Key West	FL	33040
00126200-001300	CASTRO RICARDO F	6900 MALONEY AVE UNIT 13		KEY WEST	FL	33040
00127420-000659	CAYO HUESO INVESTMENTS LNC	6511 MALONEY AVE LOT 6		KEY WEST	FL	33040
00127440-003100	CHEYENNE HOLDINGS LIMITED PARTNERSHIP	2201 4TH ST N STE 201		SAINT PETERSBURG	FL	33704
00127471-000248	COBO FMC LLC	1101 JOHNSON ST		KEY WEST	FL	33040
00133760-000140	COLE ANTHONY	3250 Riverside Dr		North Tazewell	VA	24630
00133760-000141	COLE WILLIAM AND ELLEN	6800 MALONEY AVE LOT 43		KEY WEST	FL	33040
00127420-000688	COLLINS J FRED	63 DOLPHIN COVE QUAY		STAMFORD	CT	06902
00127420-000603	CONKLIN REID	3314 NORTHSIDE DR APT 135		KEY WEST	FL	33040
00133760-000129	CONROY BRENDA KAY	6800 MALONEY AVE LOT 31		KEY WEST	FL	33040
00127471-000130	COOPER PETE AND DIANE	1108 TRUMAN AVE		KEY WEST	FL	33040
00127471-000264	CORBITT JOHN D	142 John F Kennedy Dr		Atlantis	FL	33462
00127420-000623	COTTIS JOHN DEC TRUST 5/28/2008	17258 DOLPHIN ST		SUGARLOAF SHORES	FL	33042
00126200-000600	COVENEY MARY PRISCILLA	6900 Maloney Ave Unit 6		Key West	FL	33040
00127420-000670	CROWE TIMOTHY J AND DEBORAH R	1707 PATRICIA ST		KEY WEST	FL	33040
00126200-000900	CUMALO PETR	6900 Maloney Ave Unit 9		Key West	FL	33040
00127420-000676	CVS OF SE MISSOURI PROFIT SHARING PLAN	662 PALOMA CIRCLE		MESQUITE	NV	89027
00127420-000645	DBGB REVOCABLE LIVING TRUST 7/10/2000	C/O BERRYHILL DONALD J AND GLENNA TRUSTEES	26 Hina St	Hilo	HI	96720
00127471-000119	DELPHFISHING MEDIA INC	183 VENETIAN WAY		SUMMERLAND KEY	FL	33042
00127420-000678	DEMAURO ROBERT AND KIMBERLY CURRY (H/W)	17195 KINGFISH LN W		SUMMERLAND KEY	FL	33042
00133760-000136	DEPIERRO RICHARD	PO BOX 35		SAG HARBOR	NY	11963
00127420-000680	DOLPHIN WATCH I LLC	3618 EL CENTRO ST		ST PETE BEACH	FL	33706
00127420-000687	DUKE JOHN O REVOCABLE TRUST 10/11/2013	28555 JOLLY ROGER DR		SUMMERLAND KEY	FL	33042
00133760-000139	EDEN HARRY MICHAEL	1015 Fleming St		Key West	FL	33040
00127471-000216	EG ENTERPRISES LLC	6758 DANAH CT		FORT MYERS	FL	33908
00127440-001500	F DEPOT INC	4705 NW 132ND ST		OPA LOCKA	FL	33054
00127471-000265	FINSTROM JON K	3949 Evans Ave		Fort Myers	FL	33901
00127440-002400	FLEMING ENTERPRISES LLC	16101 LA GRANDE DR		LITTLE ROCK	AR	72223
00133760-000142	FLENARD DIANA L	6800 MALONEY AVE LOT 44		KEY WEST	FL	33040
00127420-000707	FOLEY WALTER AND KAY TRUST 4/16/07	875 W Loop 304		Crockett	TX	75835

00126200-001500	FOURNIER ROXANN	6900 Maloney Ave Unit 15	Key West	FL	33040
00127440-002300	FOWLER CHARLES	7251 NW 6TH ST	PLANTATION	FL	33317
00127471-000183	FOWLER MILLARD LEON AND CONNIE L	1716 SOUTH ST	KEY WEST	FL	33040
00127420-000667	FREE SALLY A	115 SW 58TH ST	CAPE CORAL	FL	33914
00133760-000148	FREEMAN DONALD C	1603 Strawberry Rd	Saint Albans	WV	25177
00127420-000627	GARDNER JENNIE S REV TR 10/26/2010	201 13TH ST NE APT B	WASHINGTON	DC	20002
00127420-000635	GAYNOR RICHARD G	2320 DRUSILLA LN	BATON ROUGE	LA	70809
00133760-000132	GORDON LYNN J	PO BOX 6241	OCEAN VIEW	HI	96737
00133760-000128	HARBOR BEACH LLC	5620 MALONEY AVE	KEY WEST	FL	33040
00127420-000673	HARLOW JAMES MYRON DECLARATION TRUST 12/7/2001	16657 HOLLY LN	SUMMERLAND KEY	FL	33042
00127471-000260	HAYMAKER JAMES	326 WHITEHEAD ST	KEY WEST	FL	33040
00127471-000171	HEITLER ROBERT H AND JANE A	1694 COTTONWOOD CREEK PL	LAKE MARY	FL	32746
00127420-000613	HENDERSON ROBIN M	PO BOX 2515	KEY WEST	FL	33045
00127471-000178	HILDEBRANDT FREDERICK	1901 S Roosevelt Blvd	Key West	FL	33040
00127471-000268	HOLMES PETER F	12 WILDWOOD LN	SCARBOROUGH	ME	04074
00127440-001100	HOWARD DAVID B	2525 N LAKE LEELANAU DR	LAKE LEELANAU	MI	49653
00127471-000204	HUNKER WAYDE	7 PARK MEADOWS DR	FAIRFIELD	OH	45014
00127471-000292	HURST BASIL J	246 McCausley Rd	Hubert	NC	28539
00127477-000120	HURST BASIL J	5960 PENINSULAR AVE UNIT 208	KEY WEST	FL	33040
00127440-001900	JACKSON ROBERT C AND ANGELA G	14091 SCIO CHURCH RD	CHELSEA	MI	48118
00133760-000144	JONES JOHN B	6800 Maloney Ave Lot 46	Key West	FL	33040
00127471-000294	JONES LLC	1023 Johnson St	Key West	FL	33040
00133760-000180	KERSHAW ABRAHAM AND CAROL L JOINT TRUST 10/23/2012	31W660 STEARNS RD	ELGIN	IL	60120
00126210-000000	KEY WEST 2016 LLC	120 Vantis Dr	Allso Viejo	CA	92656
00127474-000128	KEY WEST 80 LLC	26640 Edgewood Rd	Excelsior	MN	55331
00127475-000132	KEY WEST MARINA INVESTMENTS LLC	3949 EVANS AVE STE 102	FORT MYERS	FL	33901
00127477-000121	KEY WEST MARINA INVESTMENTS LLC	6000 PENINSULAR AVE	KEY WEST	FL	33040
00127420-000647	KEYSTER LLC	12003 NW 112TH AVE	ALACHUA	FL	32615
00127420-000617	LAMILA LIMITED LIABILITY PARTNERSHIP	PO Box 274	Bat Cave	NC	28710
00133760-000147	LANG RICHARD A	92 HARTFORD PIKE	NORTH SCITUATE	RI	02857
00126200-000100	LAYNE JUDITH	6900 MALONEY AVE UNIT 1	KEY WEST	FL	33040
00127420-000630	LEE JAMES A	PO BOX 1022	ANOKA	MN	55303
00123680-000000	LEJEUNE AIRPORT PARK SUITES, INC	7685 NW 12th St	Miami	FL	33126
00133760-000149	LEWIS MARK AND BETH	2075 WOOD ROAD	LEBANON	OH	45036
00126200-000800	LOCKWOOD BUDDIE A	6900 MALONEY AVE UNIT 8	KEY WEST	FL	33040
00127471-000129	LOOSE SCOTT C AND JAMIE A	48 CANNON ROYAL DR	KEY WEST	FL	33040
00127420-000650	LOW KEY CHARTER SERVICES INC	6800 MALONEY AVE LOT 47	KEY WEST	FL	33040
00127440-000300	LUKOWSKI MICHAEL JOHN	4701 NE 40th Ter	Gainesville	FL	32609
00127440-000100	LUKOWSKI MICHAEL JOHN AND JUDITH ANN	2200 NW 24TH ST	GAINESVILLE	FL	32605
00133760-000146	LUTZ ELIZABETH N	6800 Maloney Ave	Key West	FL	33040
00127420-000658	MAGGIO LEONA J	PO BOX 2147	KEY WEST	FL	33045
00127440-003800	MARLIN INTEGRATED CAPITAL III LLC	C/O MCCANN MICHELLE CPA	SUMMERLAND KEY	FL	33042
00127420-000681	MARY B REAL ESTATE LLC	3802 Eagle Ave	Key West	FL	33040
00127420-000648	MCCARTHY CHRISTOPHER	PO BOX 406	SANDOWN	NH	03873
00127440-001800	MCKENDRY BRIAN T REVOCABLE LIVING TRUST 3/31/2016	80 Palm Dr	Key West	FL	33040
00127420-000644	MCSWEEN MIKE AND NANCY	1422 HARMONY ST	NEW ORLEANS	LA	70115
00127420-000632	MICK CAROL L	PO BOX 763	DURHAM	NH	03824
00127440-005200	MONTAGUE JUDITH	32B 9TH AVE	KEY WEST	FL	33040
00127420-000684	MOREAN WILLIAM D LV TR DTD 4-7-81 AND REST 11-3-93	2201 4TH ST N STE 201	SAINT PETERSBURG	FL	33704
00127420-000606	MORGAN HUGH J	404 SOUTH ST	KEY WEST	FL	33040
00127420-000666	NASET PROPERTIES LLC	20717 6th Ave	Summerland Key	FL	33042
00127471-000179	NEUBERGER RENE AMEN AND RESTATE INTER VIVOS DEC TR	502 WASHINGTON AVE STE 800	TOWSON	MD	21204
00126200-001100	NGUYEN VINCENT H	3321 31st Dr	Everett	WA	98201
00126200-001200	NIX JAMES R	6900 Maloney Ave Unit 12	Key West	FL	33040
00126200-001700	NODAL NELSON H/W	6900 Maloney Ave Unit 17	Key West	FL	33040
00127420-000657	NOORDHOEK HAROLD	300 CASUARINA CONCOURSE	CORAL GABLES	FL	33143
00127420-000651	OLIVER LAWRENCE J TR DTD 05/02/95	18420 DEEP PASSAGE LN	FT MYERS BEACH	FL	33931
00125950-000100	OROPEZA HELIO REVOCABLE TRUST 2/3/1995	224 Key Haven Rd	Key West	FL	33040
00127471-000213	OYEME IV LLC	PO BOX 787	KEY WEST	FL	33041

00127420-000633	OYSTER POINT PROPERTIES LLC	105 E ST		HAMPTON	VA	23661
00127420-000677	PORTER POWELL DOUGLAS	95510 OVERSEAS HWY		KEY LARGO	FL	33037
00127420-000642	POWELL STEVE AND LETISIA	3535 17TH TER		KEY WEST	FL	33040
00127471-000296	RAISBECK DAVID W	1298 Isabel Dr		Sanibel	FL	33957
00133760-000157	RAY JEREMY	1107 Key		Key West	FL	33040
00127440-000600	REHM ALFRED F	2903 Falling Maple Dr		Wilson	NC	27896
00127420-000668	RICHARDS ALLEN DEAN JR AND SIDWELL SANDRA MAY LIV TRUST 7/18/2018	C/O RICHARDS ALLEN DEAN JR	1719 Pembroke Jones Dr	Wilmington	NC	28405
00126200-000200	RIVERO MELISSA A	6900 MALONEY AVE UNIT 2		KEY WEST	FL	33040
00127420-000629	ROGGERO HARRY J JR LIVING TRUST 10/1/2012	21 PARKER AVE		NEWPORT	RI	02840
00127420-000631	ROWLEY RICHARD D AND PATRICIA M	PO BOX 125		AUSTINBURG	OH	44010
00133760-000143	SABATIER GENEVIEVE	6800 MALONEY AVE LOT 45		KEY WEST	FL	33040
00127471-000122	SALERNO ANTHONY L	114 SINCLAIR DR		NORTON SHORES	MI	49441
00133760-000134	SAUER GEORGE M AND JANICE E TRUST AGREEMENT	1712 SE 46TH ST		CAPE CORAL	FL	33904
00133760-000135	SAWYER GREGORY M	6800 MALONEY AVE LOT 37		KEY WEST	FL	33040
00127420-000664	SCHOEPKE CRAIG A AND NANCY C	29550 WEST CAHILL CT		BIG PINE KEY	FL	33043
00126200-000500	SELLERS FREDERICK B III	6900 MALONEY AVE UNIT 5		KEY WEST	FL	33040
00127420-000682	SHATT J MURRAY AND MARY H	PO BOX 420488		SUMMERLAND KEY	FL	33042
00127420-000615	SHEFFLER BARBARA K	2510 CHAGRIN RIVER RD		CHAGRIN FALLS	OH	44022
00127420-000643	SHIELD LINDA DEC TR 7/7/97	920 VIRGINIA ST		KEY WEST	FL	33040
00127420-000646	SIMONDS ROBERT BRADLEY	17131 SEA GRAPE LN		SUGARLOAF KEY	FL	33042
00133760-000158	SIMS ROBERT JAMES AND NANCY W	7760 SW 167TH TER		PALMETTO BAY	FL	33157
00127420-000637	SMITH KEITH MD PROFITSHARING PLAN 1/1/1987	PO Box 1267		Sumas	WA	98295
00127471-000101	SPANISH FLY ENTERPRISES INC	1009 NILES RD		SUMMERLAND KEY	FL	33042
00127477-000124	SPIROS JAMES D TRUST 2/22/2013	27 E Liberty Ln		Danville	IL	61832
00127420-000665	STARK JOHN TRUST AGREEMENT 12/15/1995	5940 Fall River Dr		New Port Richey	FL	34655
00127440-001400	SUNSET INVESTORS LLC	4400 PAPA JOE HENDRICK BLVD		CHARLOTTE	NC	28262
00127477-000117	THE 3 G'S KEYS LLC	8541 BELLE MEADE DR		FORT MYERS	FL	33908
00127420-000604	THOMAS TOM AND LUCILLE G	2864 COCO LAKES DR		NAPLES	FL	34105
00126200-000000	TORTUGA WEST HOMEOWNERS ASSOC	201 Front St		Key West	FL	33040
00126200-001600	TORTUGA WEST HOUSING LLC	201 FRONT ST STE 107		KEY WEST	FL	33040
00126200-001800	TORTUGA WEST HOUSING LLC	210 FRONT ST STE 107		KEY WEST	FL	33040
00127471-000118	TOWER EQUITIES RE INC	PO Box 415730		Miami Beach	FL	33141
00127460-000000	UNITED STATES OF AMERICA	C/O FEDERAL AVIATION ADMINISTRATION - US DEPT OF TRANSPORTATION	800 Independence SW Ave	Washington	DC	20591
00133760-000130	VEACH LINDA AND CHARLES M	6800 MALONEY AVE LOT 32		KEY WEST	FL	33040
00127420-000690	WALLY WORLD PROPERTIES LLC	727 Washington St		Key West	FL	33040
00127420-000671	WALTERS CHARLES D AND STEPHANIE	525 DU PONT LN		KEY WEST	FL	33040
00125950-000000	WELLS KENNETH G	311 Caloosa Estates Dr		Labelle	FL	33935
00127440-000200	WHITEHEAD BRIAN J	49 SUNSET KEY DR		KEY WEST	FL	33040
00127420-000622	WILKES GEORGE A REVOCABLE TRUST 10/27/2004	143 RAINBOW DR #4350		LIVINGSTON	TX	77399
00133760-000131	WOLFE MICHALINE G	6800 MALONEY AVE LOT 33		KEY WEST	FL	33040
00126200-000700	WOLZ ROBERT J	PO BOX 1411		KEY WEST	FL	33041
TOTAL 158 x \$3.00 = \$474.00						

Location Map



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Photographs

Google Maps 5970 Peninsular Ave



Image capture: Jul 2018 © 2019 Google

Stock Island, Florida

Google

Street View - Jul 2018

Google Maps 6003 Peninsular Ave



Image capture: Jul 2018 © 2019 Google

Stock Island, Florida

Google

Street View - Jul 2018

Boundary Survey

Boundary Survey Report of Lot 50, Block 45,
Stock Island, Florida

NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 6003 Peninsular Ave., Stock Island, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. All concrete and bricking is not shown.
9. Date of field work: February 10, 2016.
10. Ownership of fences is undeterminable, unless otherwise noted.
11. The Survey Report is not full and complete without the attached Survey Map.
12. Elevations are shown in parenthesis and refer to Mean Sea Level N.G.V.D. 1929 Datum.
13. Flood Insurance Rate Map Zone: AE (EL 9); Community # 121529; Panel 1528; Suffix K; Dated 2-18-05.
14. Benchmark utilized: C 271

BOUNDARY SURVEY OF: Lot 50, Block 45, Stock Island, as shown recorded in Plat Book 1, Page 55, of the Public Records of Monroe County, Florida.

BOUNDARY SURVEY FOR: Helip & Carleen Oropeza;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

February 12, 2016

Sheet Two of Two Sheets

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Site Plan

CONSTRUCTION PLANS FOR 6003 PENINSULAR AVE



SITE LOCATION

LOCATION MAP:

**PROJECT LOCATION:
6003 PENINSULAR AVE
KEY WEST, FL 33040**

**OWNER:
TODD OROPEZA
224 KEY HAVEN RD
KEY WEST, FL. 33040**

REV:	DESCRIPTION:	BY:	DATE:
STATUS:		FINAL	



ARTIBUS DESIGN
3706 N. ROOSEVELT BLVD
SUITE I-208
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: **TODD OROPEZA**
224 KEY HAVEN RD
KEY WEST, FL 33040

PROJECT: **6003 PENINSULAR AVE**

SITE: **6003 PENINSULAR AVE
KEY WEST, FL 33040**

TITLE: **COVER**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	04/29/19	BDB	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1602-06	G-100	1	

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

GENERAL REQUIREMENTS:

1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. THE ENGINEER IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MEANS AND ESTABLISH METHODS OF THE CONSTRUCTION TO MEET REQUIREMENTS OF ALL APPLICABLE CODES, INDUSTRY STANDARDS AND REQUIREMENTS OF THESE PLANS.
3. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
4. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA:

1. APPLICABLE BUILDING CODE: FBC 6TH EDITION (2017)
 - 1A. HARC - HISTORIC ARCHITECTURAL GUIDELINES
2. APPLICABLE DESIGN LOADS: PER ASCI/SEI 7-10
 FLOOR LIVE LOAD: 100 PSF
 ROOF LIVE LOAD: 20 PSF (300 LB CONC.)
 BASIC WIND SPEED: 180 MPH
 EXPOSURE: C
 STRUCTURAL CATEGORY: II
 ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION
 FLOOD ZONE: AE 9

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 0.6

SOILS AND FOUNDATIONS:

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 3,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT.

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

AUGERCAST PILES

1. AUGERCAST PILES SHALL BE 16" DIAMETER WITH MINIMUM EMBEDMENT OF 3FT INTO THE CAP ROCK UNLESS OTHERWISE SHOWN ON THE PLANS.
2. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. REINFORCEMENT SHALL BE FOUR (4) #5 REBAR VERTICALLY WITH #3 STIRRUPS AT 12" O.C. CONTRACTOR SHALL USE PLASTIC CHAIRS OR CENTRALIZERS TO PROVIDE A 3" COVER ON ALL SIDES OF THE REINFORCEMENT.

CONCRETE:

1. APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY.

THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME.

MINIMUM SAMPLING FREQUENCY:

- A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX;
- B) EVERY 50 CUBIC YARDS;
- C) EVERY 2000 SQ.FT. OF SLAB AREA.

ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS.

LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED&SEALED REPORT RESULTS TO THE ENGINEER.

7. CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT:

1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 * ADD ALTERNATE REINFORCEMENT OPTION: ASTM A1035 GRADE 100 (MMFX2) AS CORROSION RESISTANT ALTERNATIVE FOR ALL REINFORCEMENT.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

ALUMINUM COMPONENTS:

1. TYPE 6061-T6 ALUMINUM.
2. MIG WELD ALL JOINTS W/ CONTINUOUS 1/8" WELD. USE 5356 FILLER WIRE ALLOY.
3. ALL ALUMINUM IN CONTACT WITH CONCRETE, PT WOOD, DISSIMILAR METALS AND OTHER CORROSIVE MATERIALS SHALL COATED WITH COAL-TAR EPOXY OR PROTECTED BY OTHER ENGINEER APPROVED METHOD.

HARDWARE:

1. HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER:

1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE SOUTHER PINE NO2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWWPA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 6TH EDITION (2017). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
6. SHEATHING SHALL BE 5/8" PT CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 8D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 2005 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
3. STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING:

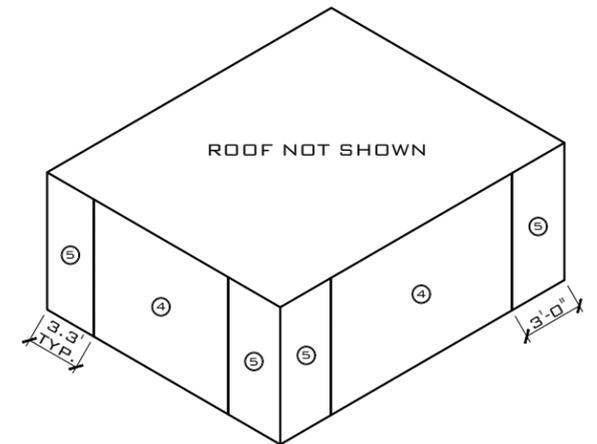
1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10) EXPOSED STEEL:
2. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
3. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
4. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
5. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.
6. COLORS SHALL MATCH EXISTING OR TO BE SELECTED BY THE OWNER.
7. 2 COATS OF "SUMTER COATINGS" UNIVERSAL PRIMER (6.0 MILS DFT) OR APPROVED EQUAL.

REINFORCED MASONRY (CMU):

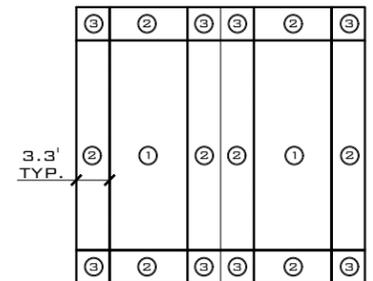
1. ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
2. INSTALL ALL BLOCKS IN RUNNING BOND.
3. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'M) BE 2000 PSI.
4. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
5. FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
6. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

WINDOWS & DOORS:

1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)



WALLS WIND PRESSURES DIAGRAM
SCALE: NTS



ROOF WIND PRESSURES DIAGRAM
SCALE: NTS

ENCLOSED - BUILDING					
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)					
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT2	MAX P, PSF	MIN P, PSF
ZONE 1	1	1	1	+30.51	-48.46
ZONE 2	1	1	1	+30.51	-84.36
ZONE 3	1	1	1	+30.51	-124.75
ZONE 4	1	1	1	+52.95	-57.44
ZONE 5	1	1	1	+52.95	-70.90

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			



ARTIBUS DESIGN
 3706 N. ROOSEVELT BLVD
 SUITE 1-208
 KEY WEST, FL 33040
 (305) 304-3512
 WWW.ARTIBUSDESIGN.COM
 CA # 30835

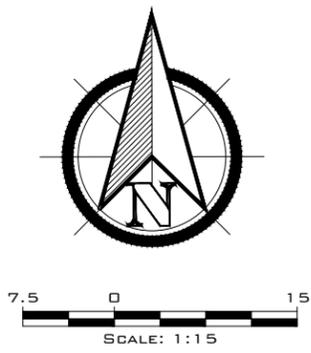
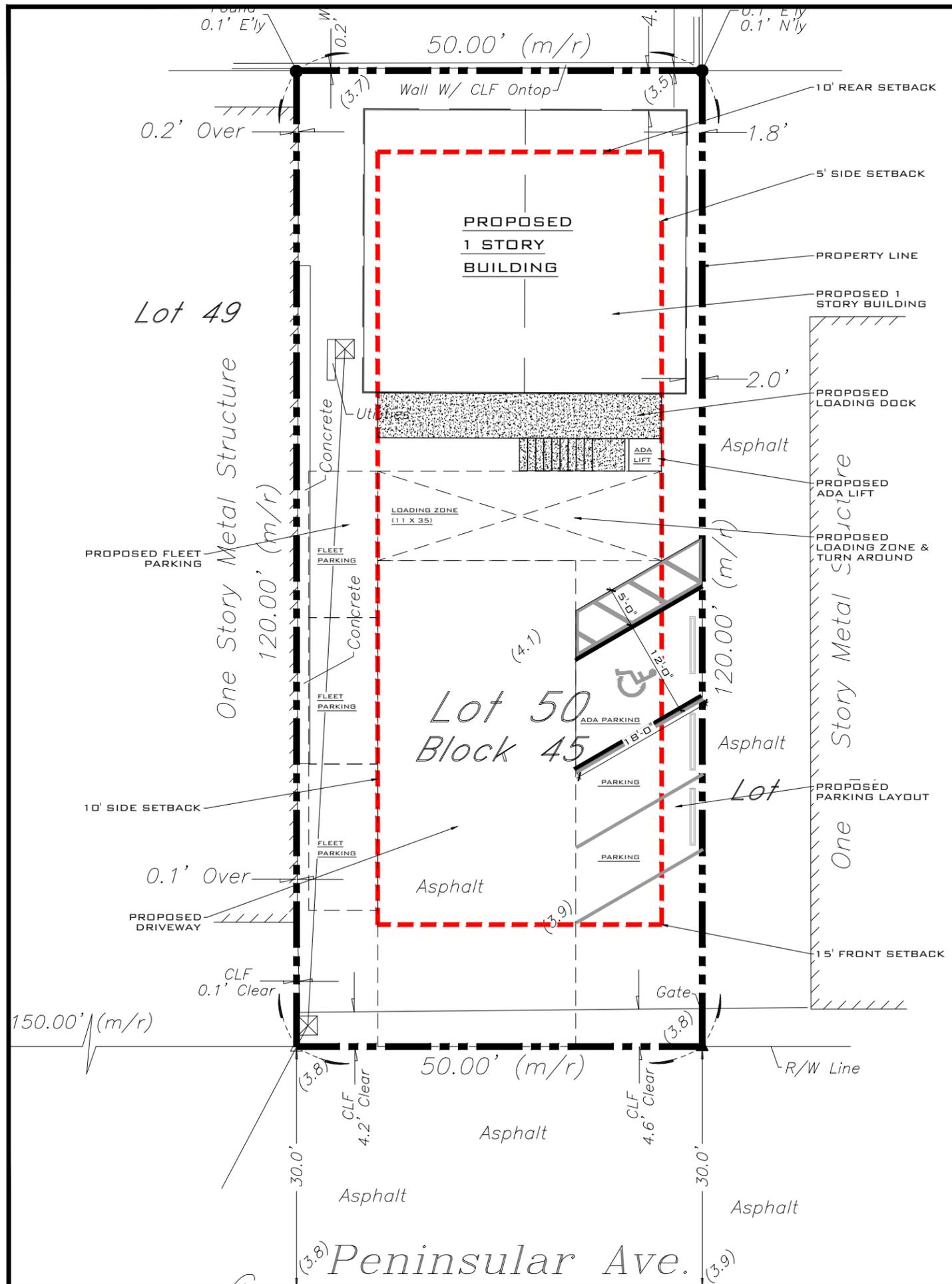
CLIENT: TODD DROPEZA
 224 KEY HAVEN RD
 KEY WEST, FL 33040

PROJECT: 6003 PENINSULAR AVE

SITE: 6003 PENINSULAR AVE
 KEY WEST, FL 33040

TITLE: NOTES

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	04/29/19	BDB	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1602-06	G-101	1	



SITE DATA:

TOTAL SITE AREA:	±6,000.00 SQ.FT
LAND USE:	MU
FLOOD ZONE:	AE9
PROPERTY INTENSITY:	
ALLOWED	0.40
EXISTING	(.4 X 6000 = 2400 SQ. FT.)
PROPOSED	0.00
	0.27 (±1,400.00 SQ.FT.)

OPEN SPACE MINIMUM:

REQUIRED	0.20	(1,200.00 SQ.FT)
EXISTING	0.00	(±0,000.00 SQ.FT.)
PROPOSED	0.00	(±0,000.00 SQ.FT.)

SETBACKS:

FRONT:	
REQUIRED	15 FT
EXISTING	±80'-3" (TO CONC. PAD)
PROPOSED	±70'-9" (TO STAIRS)

SIDE:	
REQUIRED	5 FT
EXISTING	±1'-10" (TO CONC. PAD)
PROPOSED	±1'-10" (TO NEW BLDG.)

SIDE:	
REQUIRED	10 FT
EXISTING	±8'-2" (TO CONC. PAD)
PROPOSED	±8'-2" (TO NEW BLDG.)

REAR:	
REQUIRED	10 FT
EXISTING	±4'-8" (TO CONC. PAD.)
PROPOSED	±4'-8" (TO NEW BLDG.)

MAXIMUM HEIGHT:

EXISTING	N/A
PROPOSED	±20'-9"

PARKING:

REQUIRED	3
EXISTING	0
PROPOSED	3

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		



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 (305) 304-3512
 WWW.ARTIBUSDESIGN.COM
 CA # 30835

CLIENT: TODD DROPEZA
 224 KEY HAVEN RD
 KEY WEST, FL 33040

PROJECT: 6003 PENINSULAR AVE

SITE: 6003 PENINSULAR AVE
 KEY WEST, FL 33040

TITLE: PROPOSED SITE

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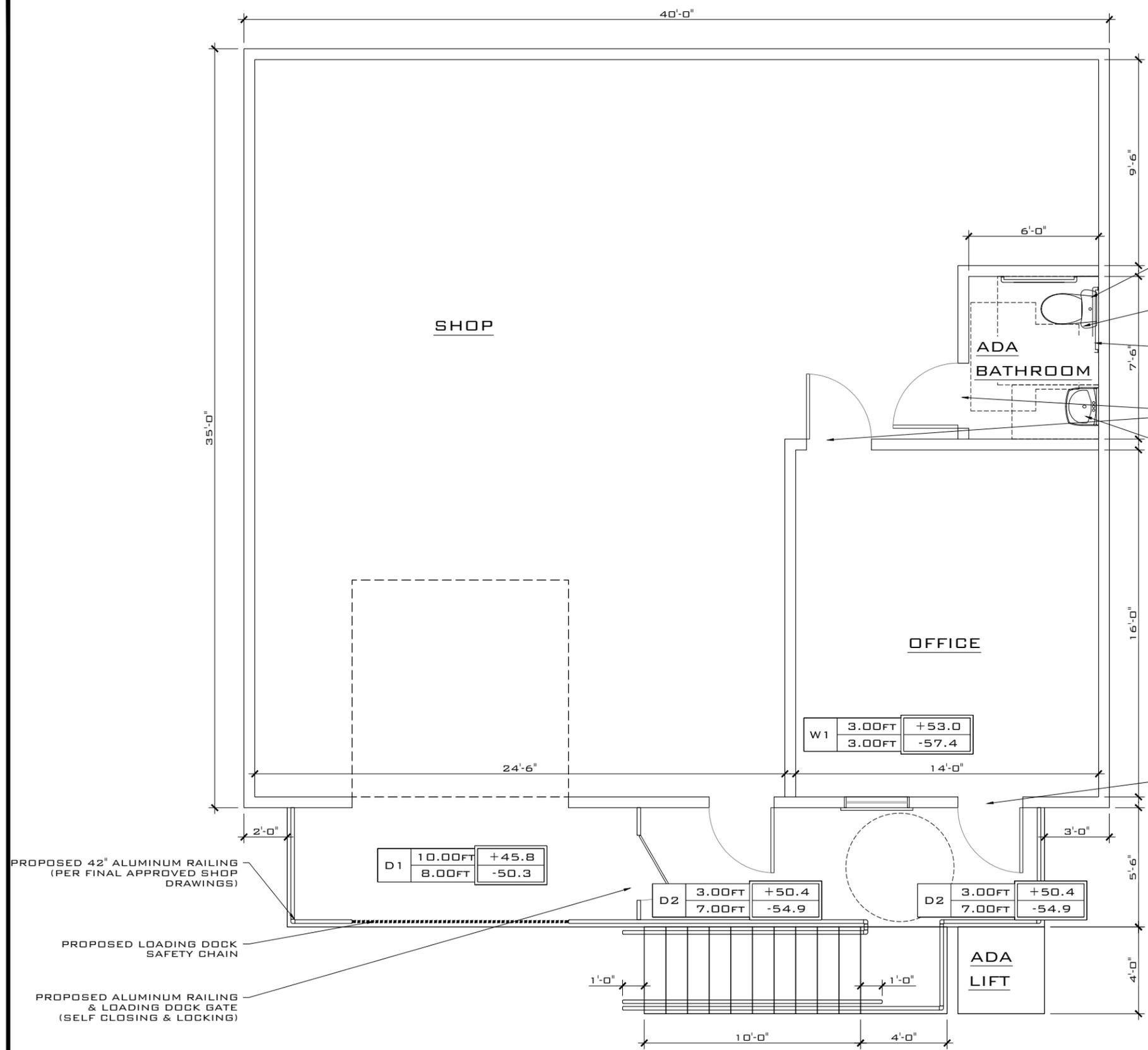
SIGNATURE: _____

DATE: _____

SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480

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AS SHOWN	06/08/17	BDB	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1602-06	C-101	1	

SITE PLAN
 SCALE: 1" = 15'



- ADA COMPLIANT TOILET
KOHLER K-3493
WITH "LUSTRA" ELONGATED
OPEN-FRONT TOILET SEAT K-4664
(OR APPROVED EQUAL)
- LOCATION OF FLUSH
CONTROLS
- ADA COMPLIANT STAINLESS
GRAB BARS (1-1/4" MIN. 2" DIA. MAX)
INSTALLED 33"-36" ABOVE FLOOR
- PROPOSED SOLID CORE WOOD DOOR
(3'-0" WIDE X 6'-8" TALL)
- ADA COMPLIANT SINK
WALL-MOUNT
KOHLER K-2032
(OR APPROVED EQUAL)
W/ COMPLIANT MIRROR ABOVE

W1	3.00FT	+53.0
	3.00FT	-57.4

D1	10.00FT	+45.8
	8.00FT	-50.3

D2	3.00FT	+50.4
	7.00FT	-54.9

D2	3.00FT	+50.4
	7.00FT	-54.9

PROPOSED 42" ALUMINUM RAILING
(PER FINAL APPROVED SHOP
DRAWINGS)

PROPOSED LOADING DOCK
SAFETY CHAIN

PROPOSED ALUMINUM RAILING
& LOADING DOCK GATE
(SELF CLOSING & LOCKING)

PROPOSED ADA DOOR W/
ACCESSIBLE THRESHOLD
(ALUMINUM SINGLE LIGHT W/
FROSTED IMPACT RATED GLASS)

PROPOSED PLAN
SCALE: 3/16" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		



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CLIENT: **TODD DROPEZA**
224 KEY HAVEN RD
KEY WEST, FL 33040

PROJECT: **6003 PENINSULAR AVE**

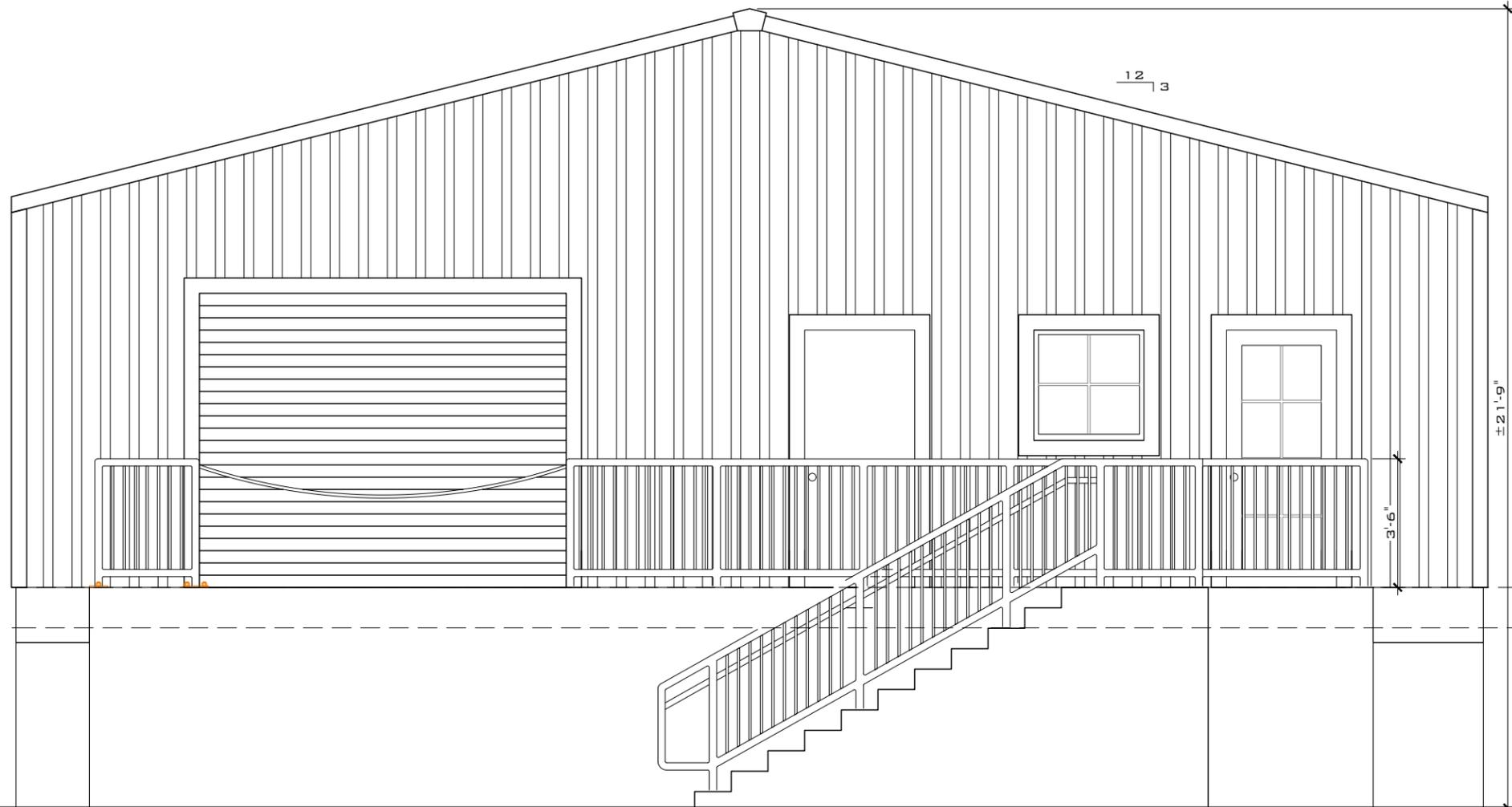
SITE: **6003 PENINSULAR AVE
KEY WEST, FL 33040**

TITLE: **PROPOSED PLAN**

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DATE:
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PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

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PROJECT NO:	DRAWING NO:	REVISION:	
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FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
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PROJECT: **6003 PENINSULAR AVE**

SITE: **6003 PENINSULAR AVE**
KEY WEST, FL 33040

TITLE: **FRONT ELEVATION**

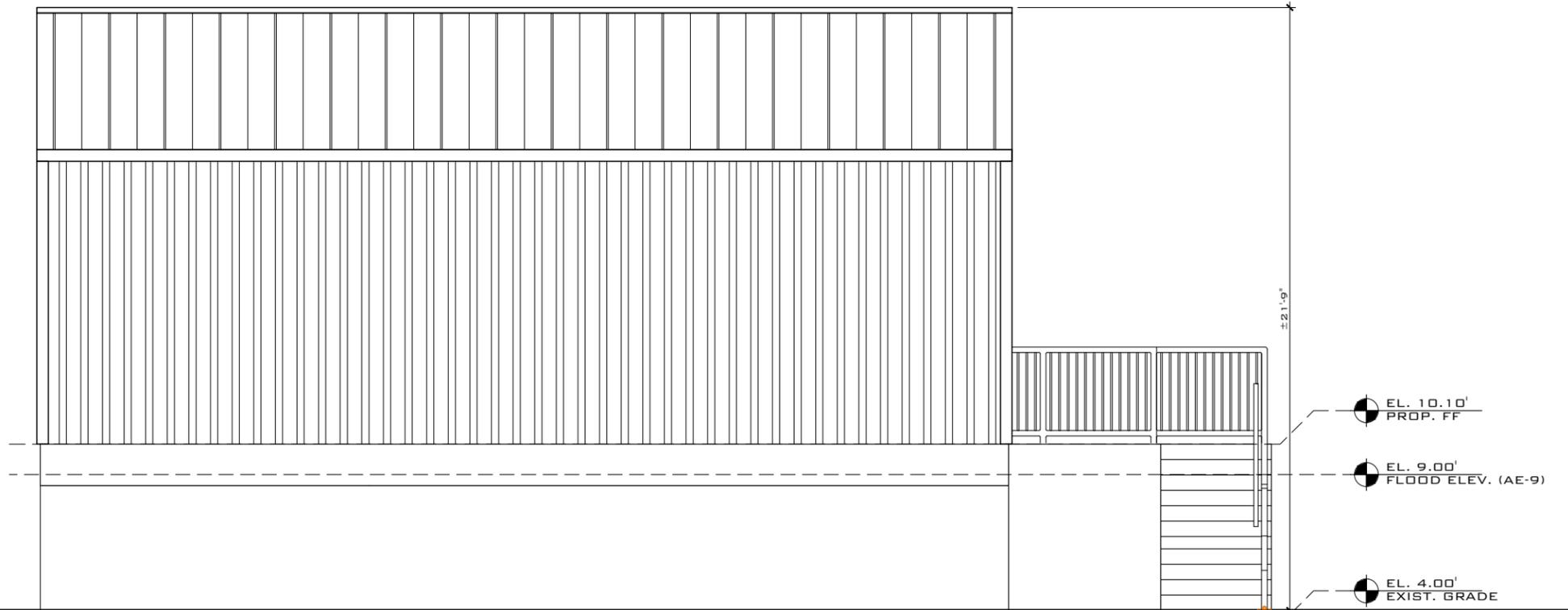
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AS SHOWN	04/29/19	BDB	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1602-06	A-102	1	

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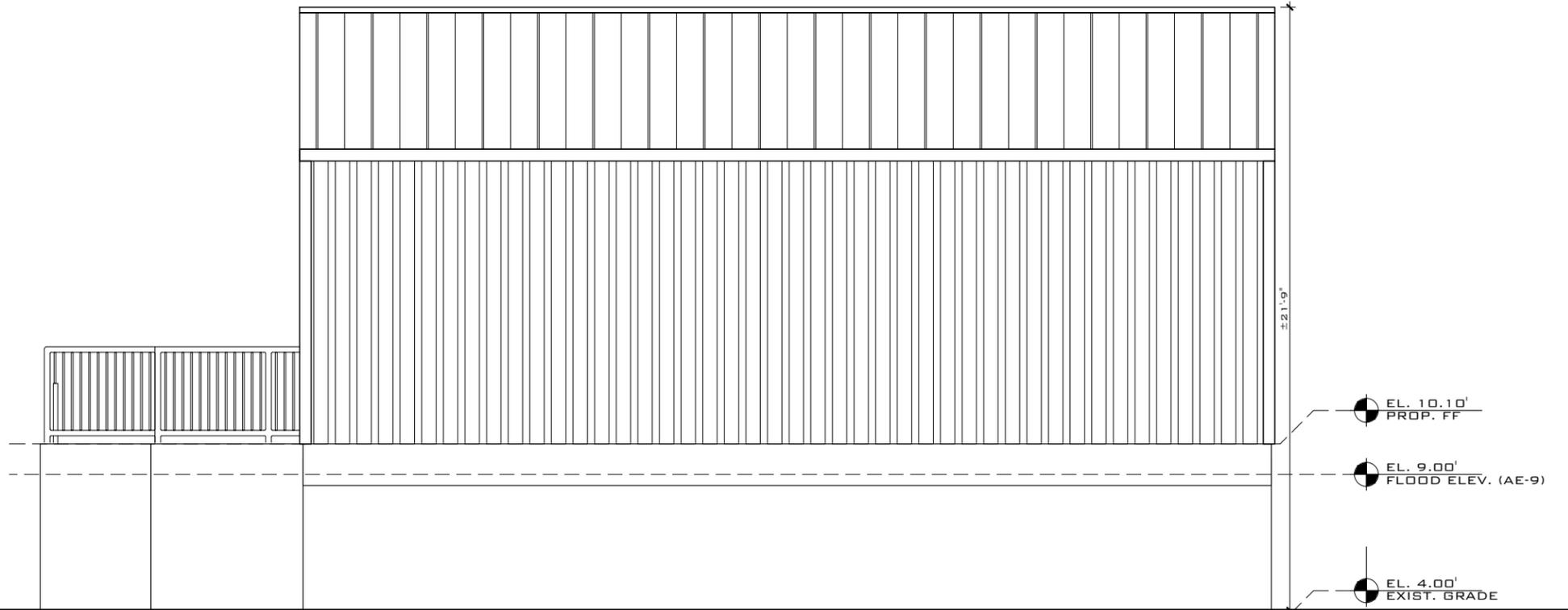
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LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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DATE: _____

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STATE OF FLORIDA
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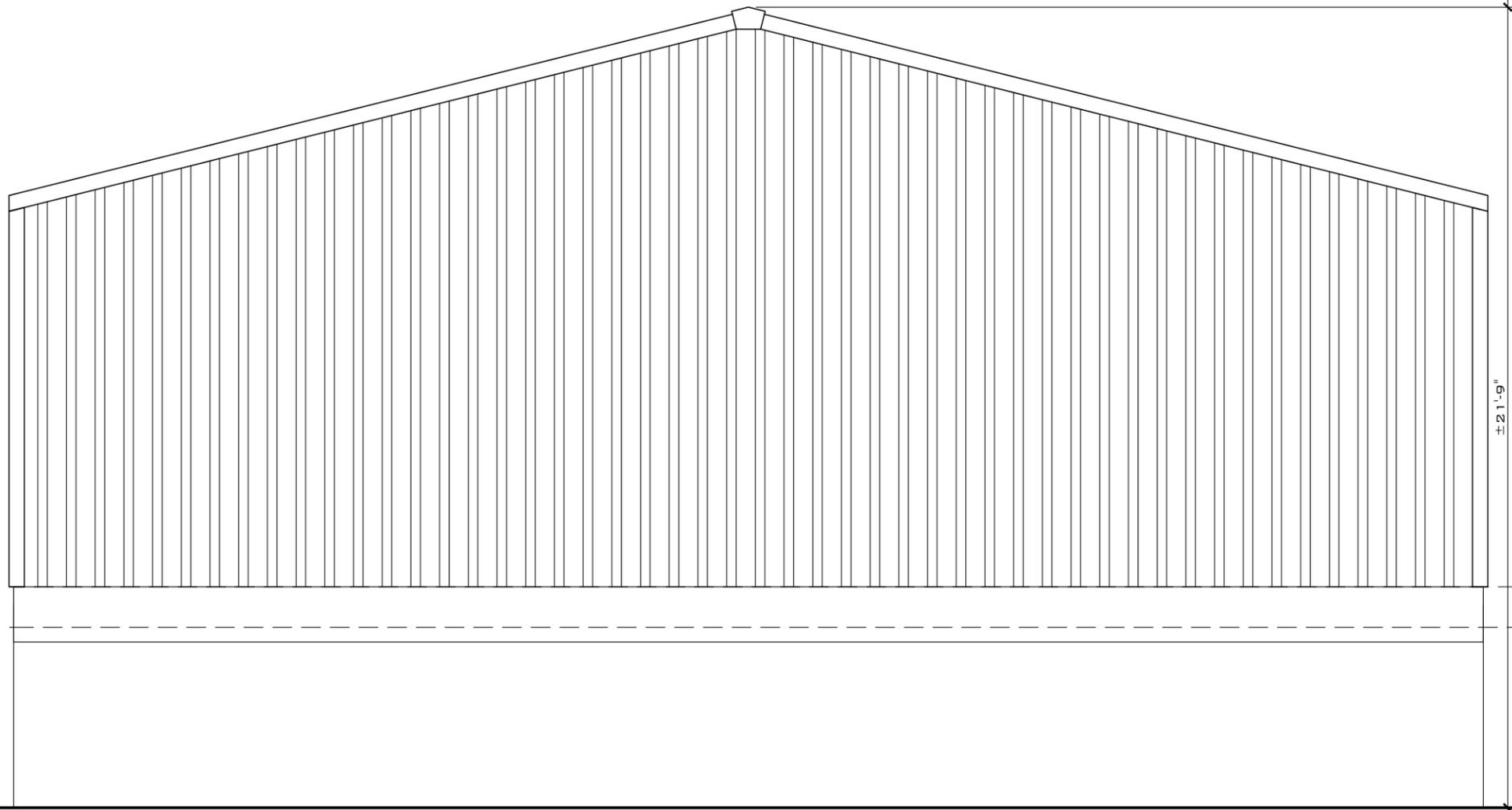
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PROJECT: **6003 PENINSULAR AVE**

SITE: **6003 PENINSULAR AVE
KEY WEST, FL 33040**

TITLE: **SIDE ELEVATIONS**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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PROJECT NO:	DRAWING NO:	REVISION:	
1602-06	A-103	1	



REAR ELEVATION
SCALE: 1/4" = 1'-0"

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224 KEY HAVEN RD
KEY WEST, FL 33040

PROJECT: **6003 PENINSULAR AVE**

SITE: **6003 PENINSULAR AVE
KEY WEST, FL 33040**

TITLE: **REAR ELEVATION**

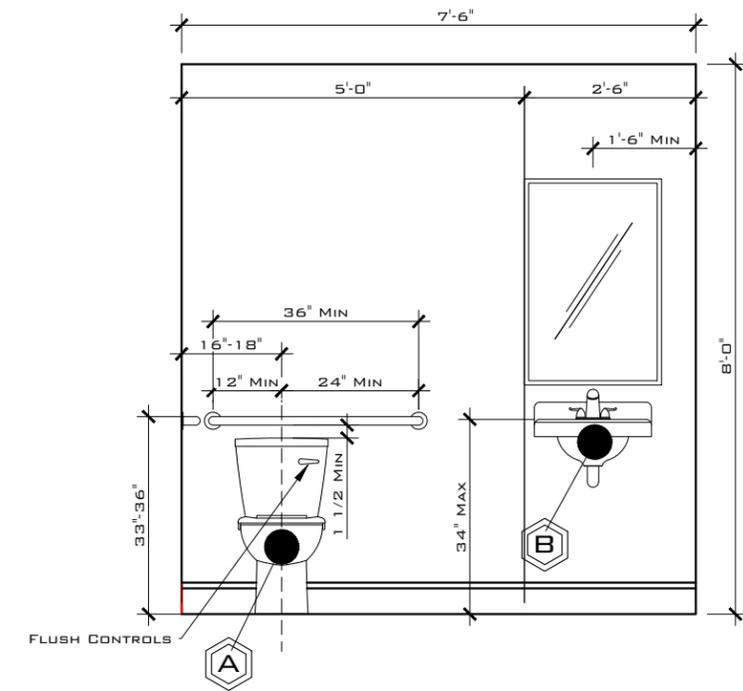
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AS SHOWN	04/29/19	BDB	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
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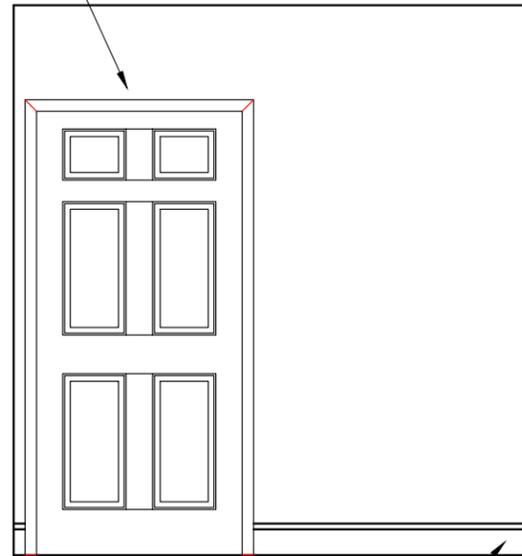
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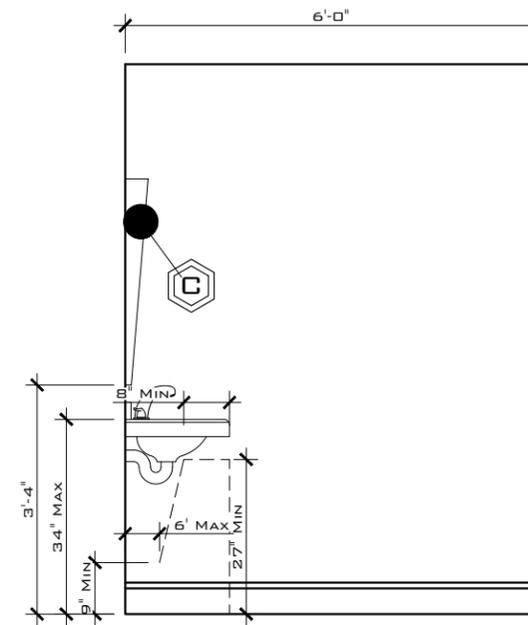
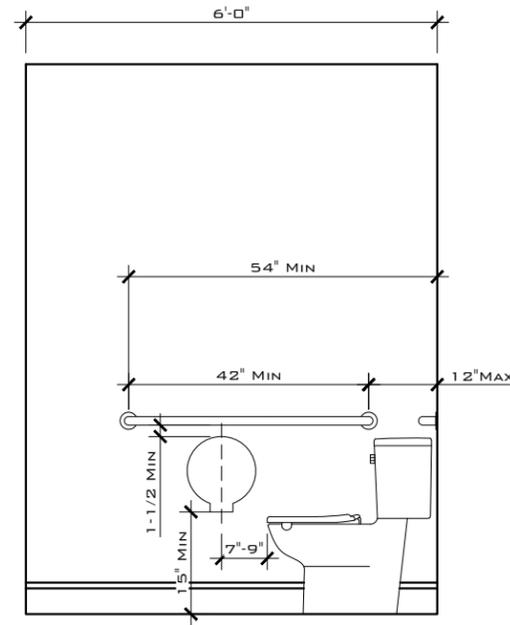
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STATE OF FLORIDA
LICENSE NO 71480



ALL WALLS PAINT
(PER OWNERS CHOICE)



PROPOSED TRIM TO MATCH THE EXISTING



LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED ADA WATER CLOSET BRAND: KOHLER MODEL # K-11451-0
	PROPOSED ADA SINK BRAND: AMERICAN STANDARD MODEL # D356.041.020
	PROPOSED ADA MIRROR HARNEY HARDWARE PRODUCT # 19074

NOTES: THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT AS SHOWN OR ENGINEER APPROVED EQUAL

PROPOSED BATHROOM ELEVATIONS

SCALE: NTS

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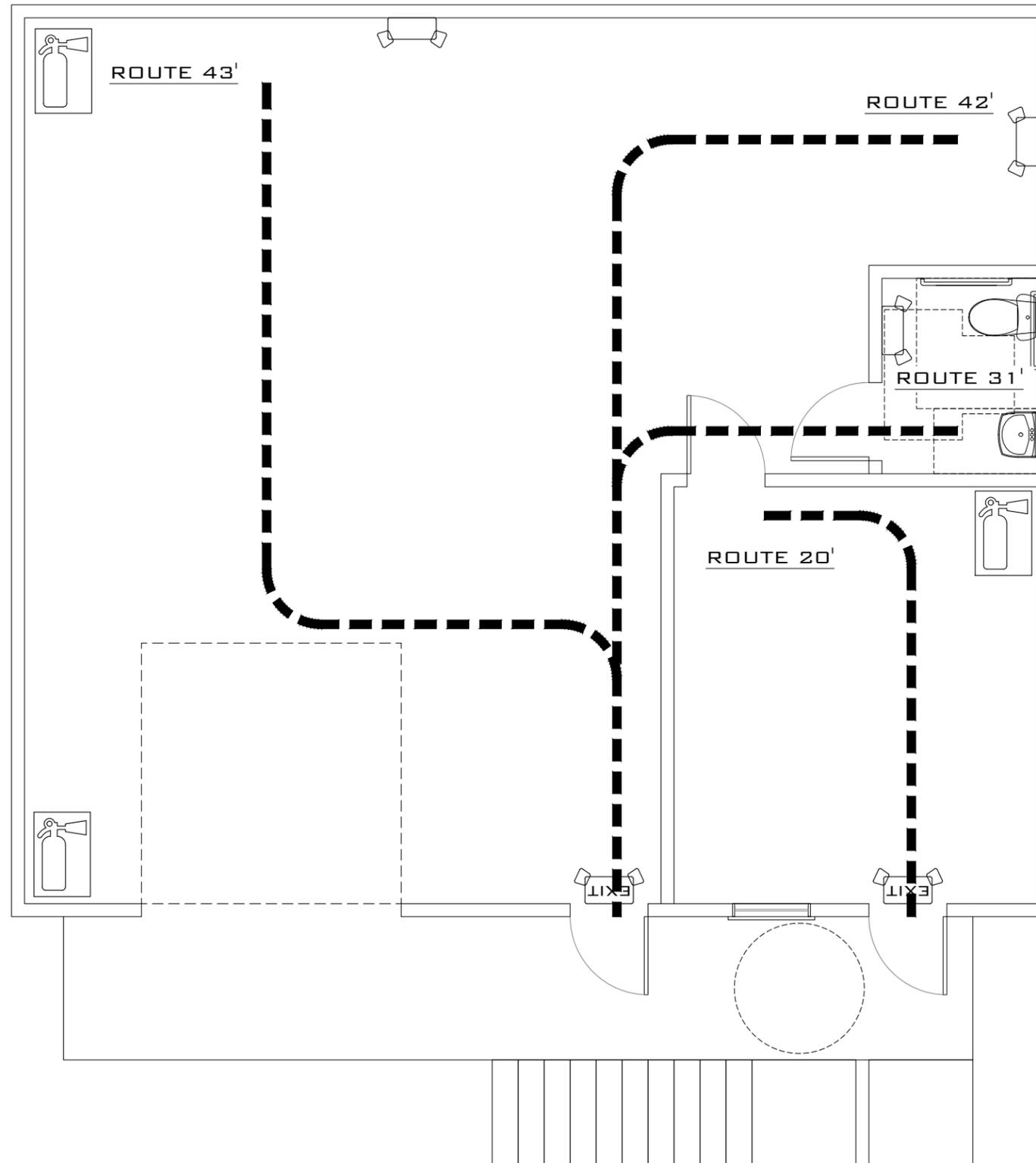
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PROJECT: 6003 PENINSULAR AVE

SITE: 6003 PENINSULAR AVE
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TITLE: ADA ELEVATIONS

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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PROJECT NO:	DRAWING NO:	REVISION:	
1602-06	A-105	1	



LIFE SAFETY PLAN
SCALE: 3/16" = 1'-0"

APPLICABLE BUILDING CODE:
FBC BUILDING 6TH EDITION 2017

OCCUPANCY:
GROUP S-1
MAXIMUM EMERGENCY EGRESS TRAVEL DISTANCE
FBC TABLE 1016.2, OCCUPANCY S, WITHOUT SPRINKLER SYSTEM: 200 FT

MAXIMUM ROUTE: ±43 FT

CONSTRUCTION TYPE: TYPE V - B

ITEM	FBC TABLE 503	PROPOSED
CONSTRUCTION TYPE	TYPE V - B	TYPE V - B
MAX HEIGHT (FEET)	40'-0"	20'-3"
OCCUPANCY	GROUP S-1	GROUP S-1
MAX STORIES	1	1
MAX AREA	9,000 SF	±1,637 SF

OCCUPANCY LOAD: PER TABLE 1004.1.2 FBC

AREA	LOAD (PER 1004.1.2)	REQ. EGRESS (PER 1005.3.2)
GROSS 1,400 SF	MAX 14	14 X (0.20) = 2.8" WIDTH

FBC TABLE 906.3(1)
FIRE EXTINGUISHERS CLASS: 2-A
MAXIMUM FLOOR AREA PER EXTINGUISHER: 3,000 SF
MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER: 75 FT

SYMBOL LEGEND

	EMERGENCY LIGHTS ON BATTERY BACKUP		EMERGENCY EXIT SIGN WITH LIGHTS ON BATTERY BACKUP
	CLASS 2-A FIRE EXTINGUISHERS (2) TOTAL		

REV:	DESCRIPTION:	BY:	DATE:
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PROJECT: 6003 PENINSULAR AVE

SITE: 6003 PENINSULAR AVE
KEY WEST, FL 33040

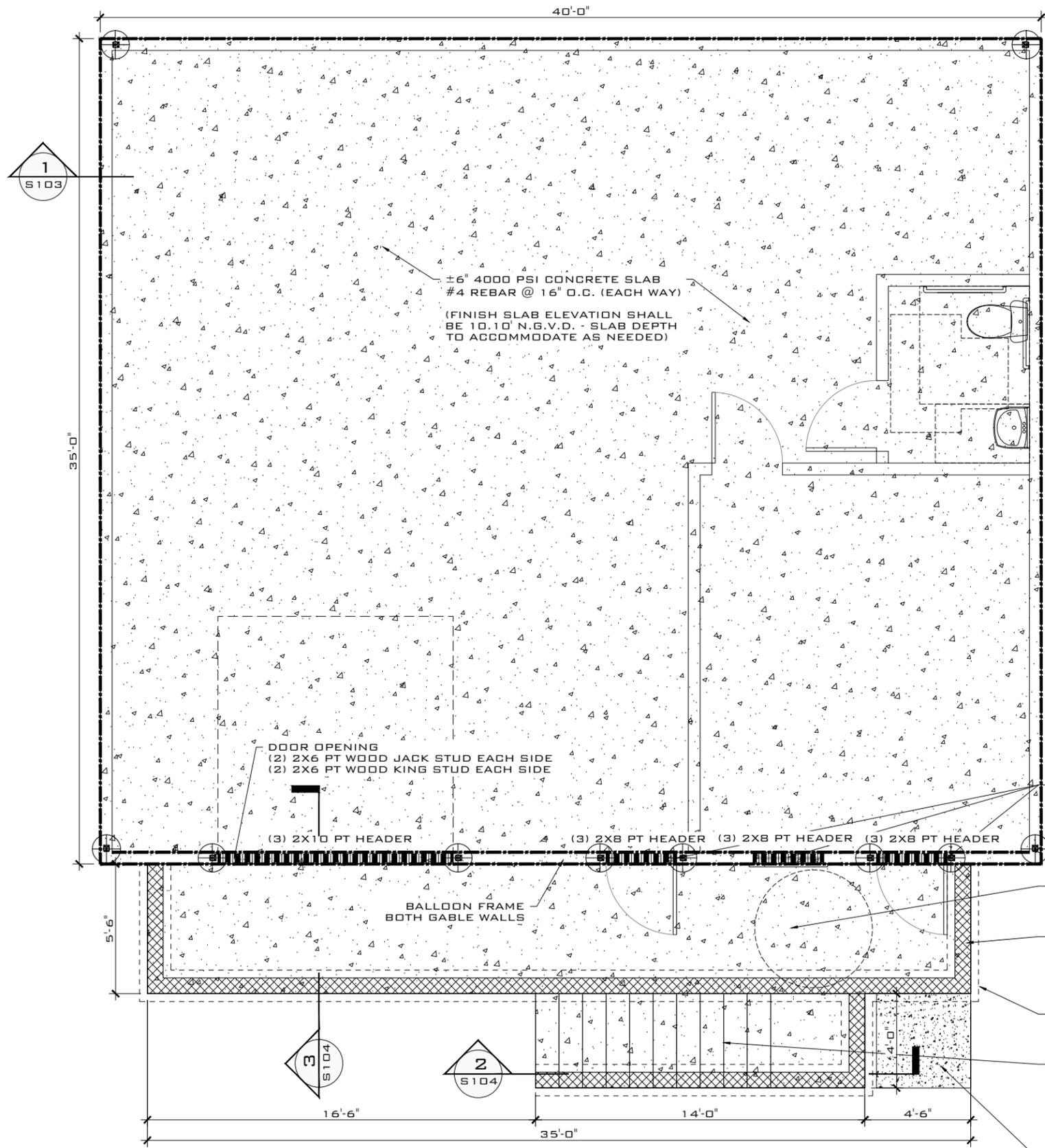
TITLE: LIFE SAFETY PLAN

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SIGNATURE:
DATE:

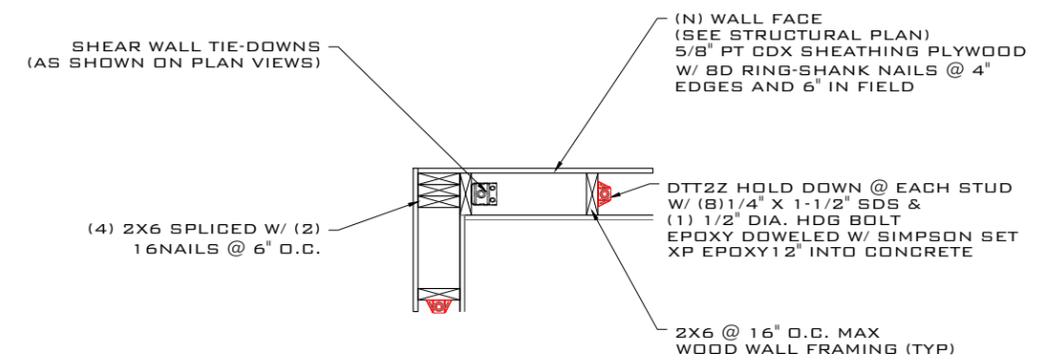
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STATE OF FLORIDA
LICENSE NO 71480

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AS SHOWN	04/29/19	BDB	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1602-06	LS-101	1	



STRUCTURAL PLAN
SCALE: 3/16" = 1'-0"

SHEAR WALLS LEGEND	
SYMBOL	DESCRIPTION
	ONE WALL FACE - 5/8" PT CDX SHEATHING PLYWOOD W/ BD RING-SHANK NAILS @ 4" EDGES AND 6" IN FIELD 2X6 WALL FRAMING @ 16" O.C. MAX 2X6 WALL BLOCKING @ 48" O.C. MAX
	BOTH WALL FACE - 5/8" PT CDX SHEATHING PLYWOOD W/ BD RING-SHANK NAILS @ 4" EDGES AND 6" IN FIELD 2X6 WALL FRAMING @ 16" O.C. MAX 2X6 WALL BLOCKING @ 48" O.C. MAX
	HDU5-SDS2.5 (Z) SIMPSON TIE-DOWN W/ 1/4 SDS 1/4"x2-1/2" W/ 5/8" DIA. HDG ANCHOR BOLT EPOXY DOWELED W/ SIMPSON SET XP EPOXY 16" INTO CONCRETE



TYP. CORNER FRAMING DETAIL
SCALE: 1/2" = 1'-0"

DOOR & WINDOW OPENING
(1) 2X6 PT WOOD JACK STUD EACH SIDE
(2) 2X6 PT WOOD KING STUD EACH SIDE

6" 4000 PSI CONCRETE SLAB
#4 REBAR @ 16" O.C. (EACH WAY)

8" CMU WALL, 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
#5 REBAR @ 24" O.C. MAX., ALL CORNERS AND OPENINGS, ALL CELLS FULLY GROUTED 4000 PSI.

12"X16" SPREAD FOOTER W/
(3) #5 REBAR (CONTINUOUSLY) & #5 REBAR @ 16" O.C.

STAIRS
COORDINATE DIMENSIONS OF RISERS WITH FINAL GRADE ELEVATIONS
MAXIMUM RISER HEIGHT SHALL BE 7"
MINIMUM RISER HEIGHT SHALL BE 4"
ALL TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE

ADA LIFT SLAB
8" 4000 PSI CONCRETE SLAB
#4 REBAR @ 16" O.C. (EACH WAY)
12"X8" THICKENED EDGE W/
(2) #4 REBAR BOTTOM (3" COVER)

REV:	DESCRIPTION:	BY:	DATE:
STATUS:	FINAL		



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PROJECT: 6003 PENINSULAR AVE

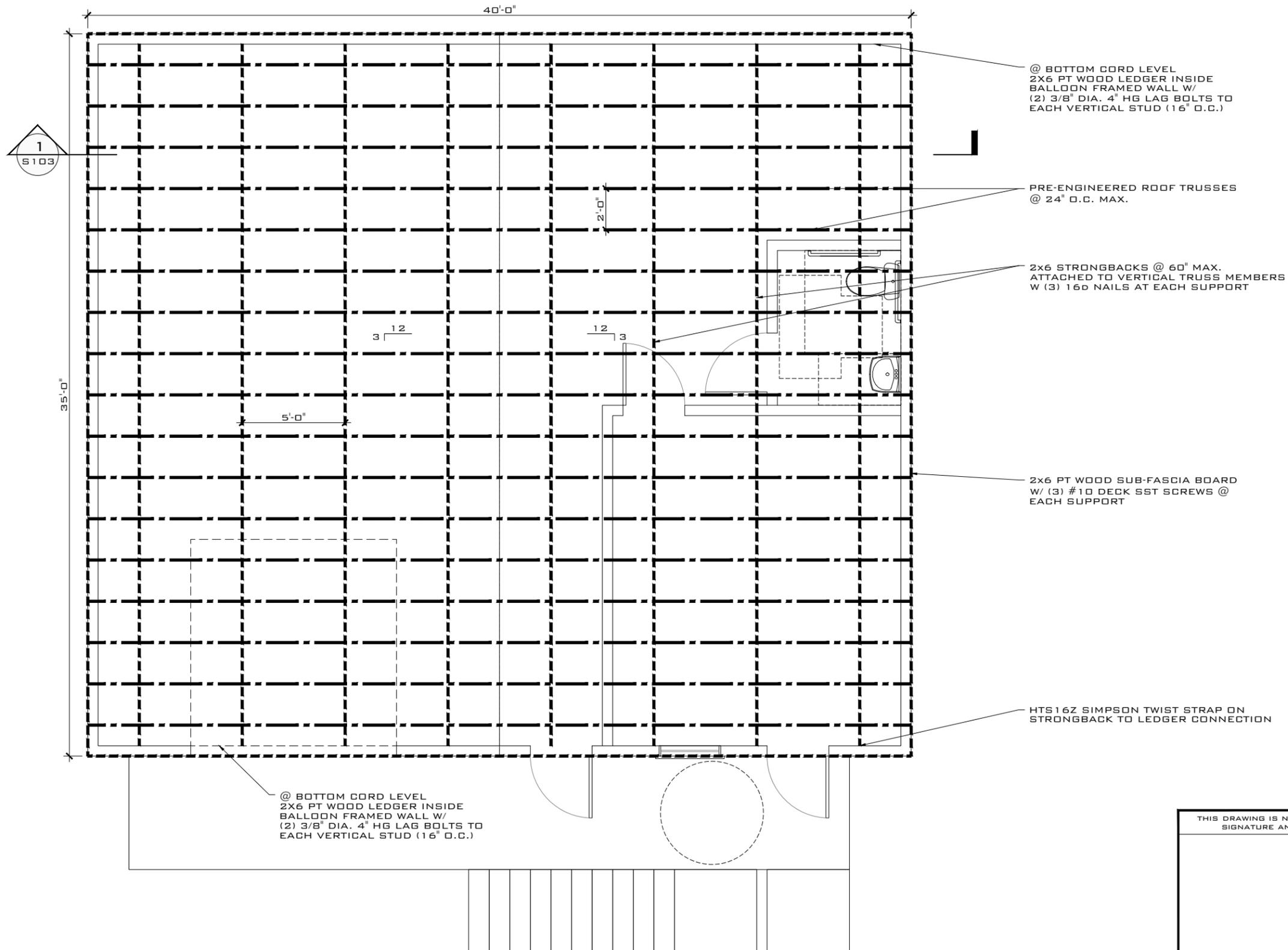
SITE: 6003 PENINSULAR AVE
KEY WEST, FL 33040

TITLE: STRUCTURAL PLAN

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SIGNATURE:
DATE: SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

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ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"

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PROJECT: **6003 PENINSULAR AVE**

SITE: **6003 PENINSULAR AVE
KEY WEST, FL 33040**

TITLE: **ROOF FRAMING PLAN**

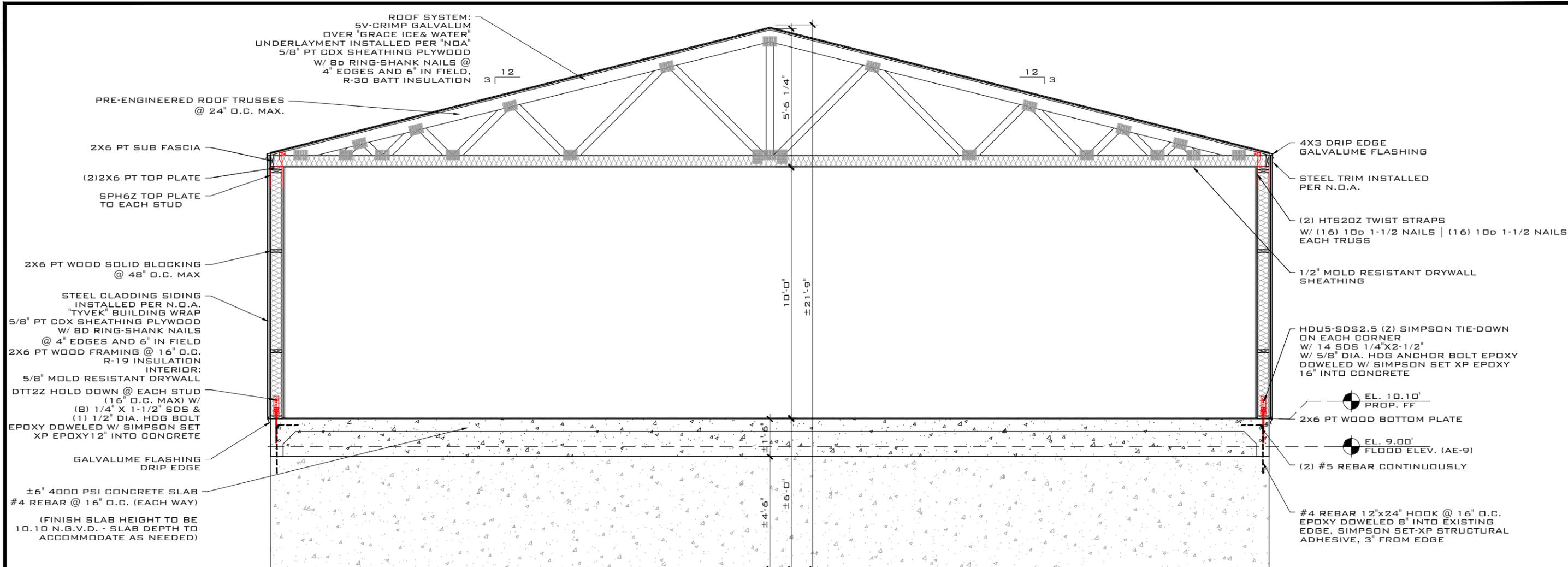
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DATE:

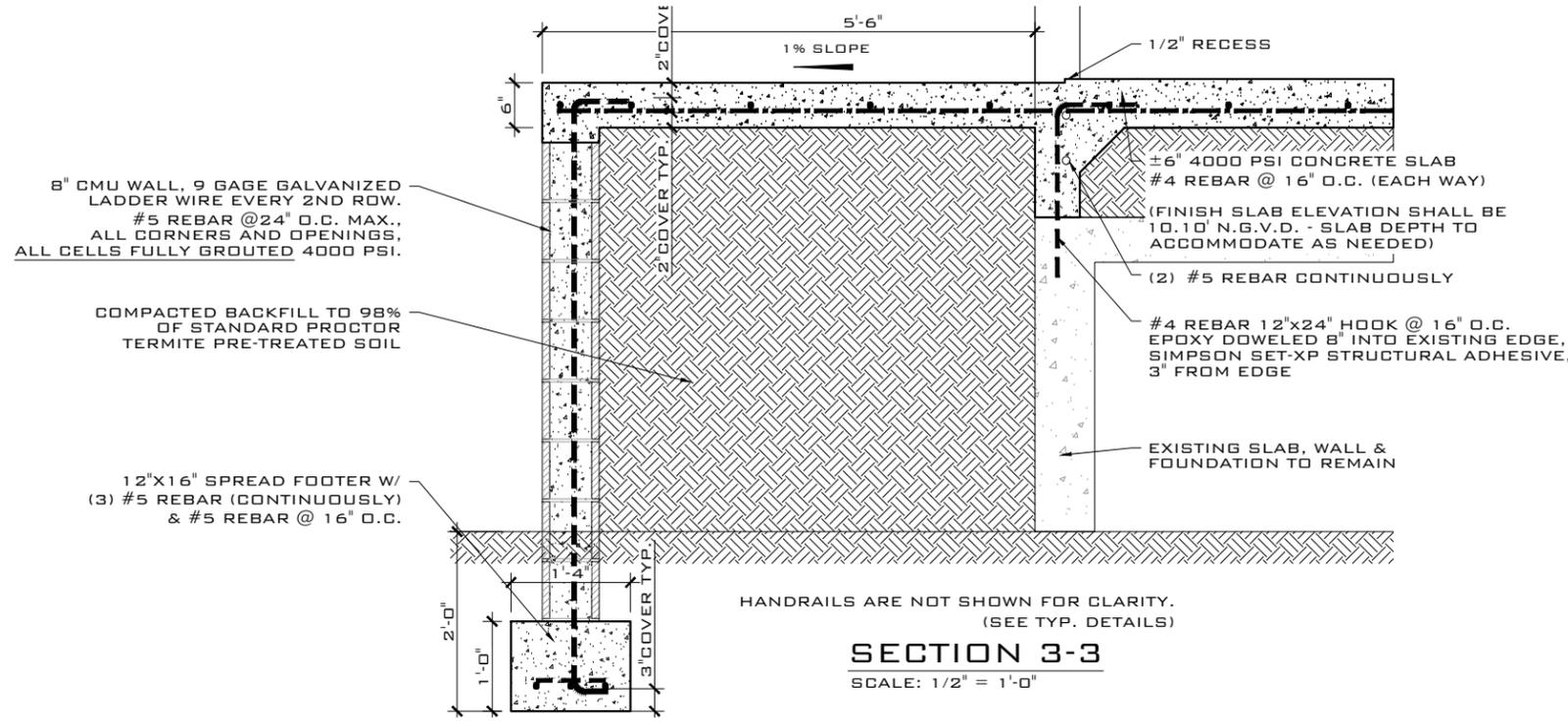
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STATE OF FLORIDA
LICENSE NO 71480

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1602-06	S-102	1	



SECTION 1-1

SCALE: 1/4" = 1'-0"



SECTION 3-3

SCALE: 1/2" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
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CLIENT: **TODD DROPEZA**
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PROJECT: **6003 PENINSULAR AVE**

SITE: **6003 PENINSULAR AVE**
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TITLE: **SECTIONS**

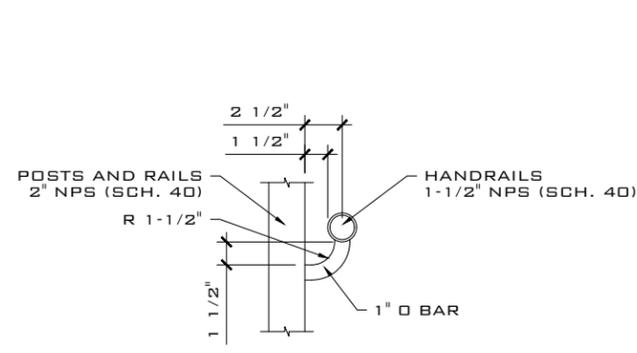
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AS SHOWN	04/29/19	BDB	SAM
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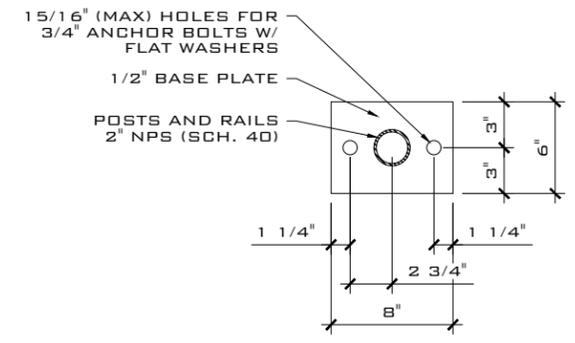
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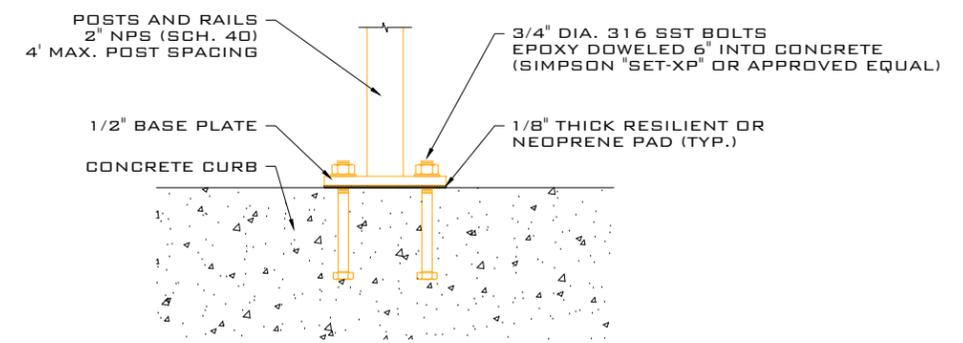
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 STATE OF FLORIDA
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HANDRAIL SECTION
SCALE: NTS



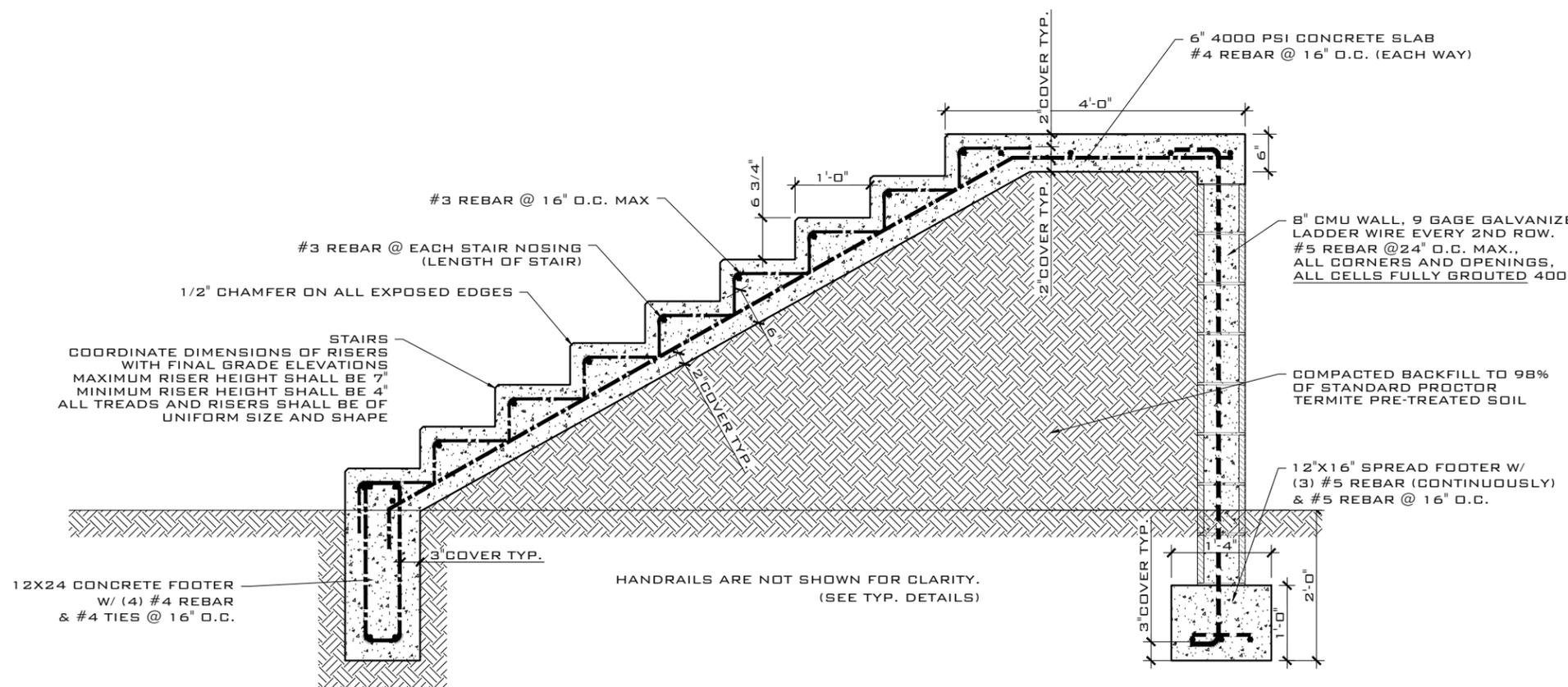
BASE PLATE DETAIL
SCALE: NTS



BASE PLATE SECTION
SCALE: NTS

RAILING NOTES:

1. ALL RAILINGS, POSTS AND HANDRAILS SHALL BE STRUCTURAL TUBE, PIPE AND BAR IN ACCORDANCE WITH ASTM B221 OR ASTM B429, ALLOY 6061-T6.
2. ALL WELDED SURFACES SHALL BE SMOOTH TO MATCH THE REST OF RAILING.
3. ALL WELDING SHALL BE IN ACCORDANCE WITH AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE (ALUMINUM) ANSI/AWS D1.2 (CURRENT EDITION). FILLER METAL SHALL BE EITHER ER5183, ER5356 OR ER5556.
4. SEE FDOT DESIGN STANDARDS 2016 INDEX 870 FOR ADDITIONAL DETAILS.
5. ADD ALTERNATE OPTION 1: ALL RAILING SHALL BE ASSEMBLED COMPONENT SYSTEM "SIMPLIFIED BUILDING" (www.simplifiedbuilding.com) OR ENGINEER APPROVED EQUAL.
6. ADD ALTERNATE OPTION 2: ALL RAILING SHALL POWDER COATED WHITE.



SECTION 2-2
SCALE: 1/2" = 1'-0"

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DATE: _____

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STATE OF FLORIDA
LICENSE NO 71480

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CA # 30835

CLIENT: **TODD DROPEZA**
224 KEY HAVEN RD
KEY WEST, FL 33040

PROJECT: **6003 PENINSULAR AVE**

SITE: **6003 PENINSULAR AVE
KEY WEST, FL 33040**

TITLE: **SECTION**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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PROJECT NO:	DRAWING NO:	REVISION:	
1602-06	S-104	1	

ELECTRIC CALCULATIONS & PANEL SCHEDULE 6003 PENINSULAR

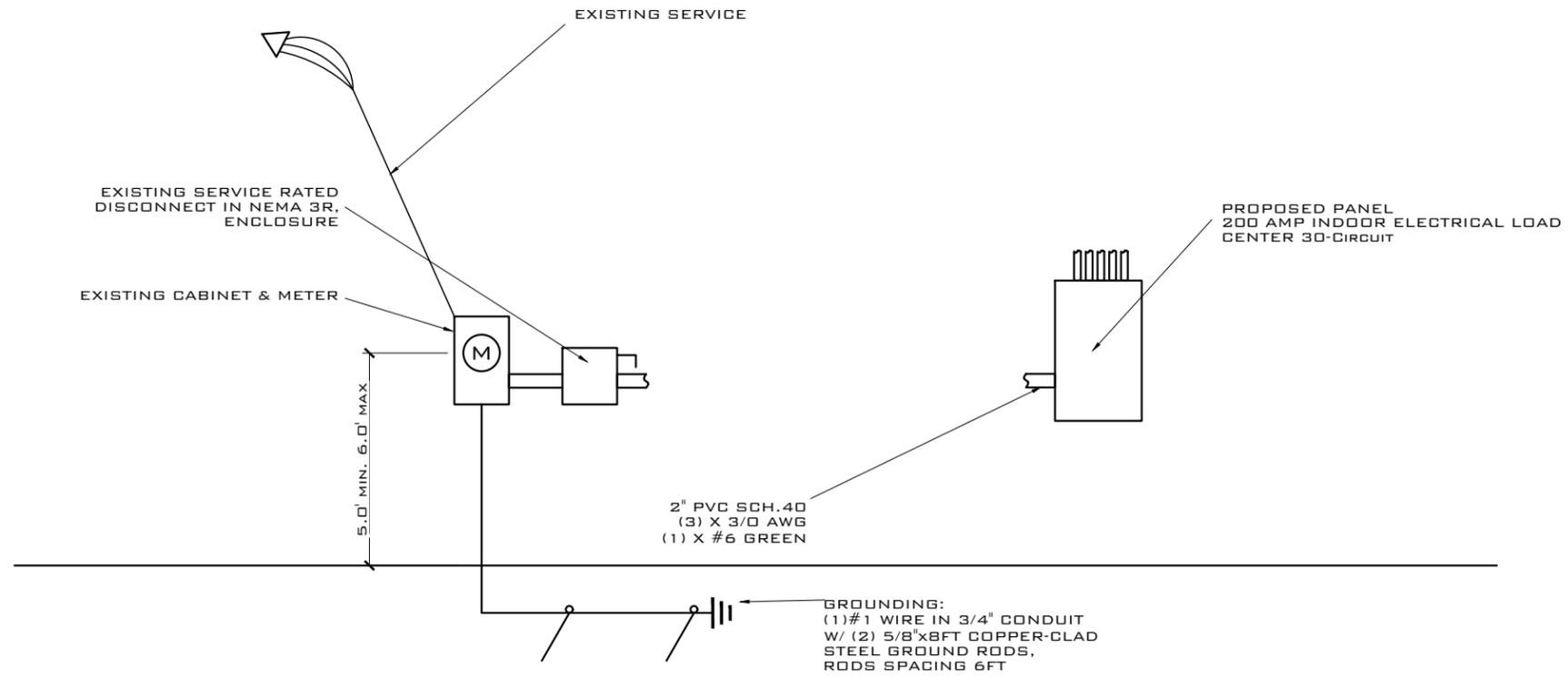
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1.0	12	1	20	SHOP #1 LIGHT	01	02	SHOP #2 LIGHT	20	1	12	1.0	
1.0	12	1	20	SHOP #3 LIGHT	03	04	SHOP #1 REC	20	1	12	1.0	
1.0	12	1	20	SHOP #2 REC	05	06	SHOP #3 REC	20	1	12	1.0	
-	-	-	-	SPACE	07	08	SPACE	-	-	-	-	
-	-	-	-	SPACE	09	10	SPACE	-	-	-	-	
10.0*	6	2	55*	A.C. AIR HANDLER	11	12	A.C. COMPRESSOR	50*	2	8	6*	
↓	↓	↓	↓	↓	13	14	↓	↓	↓	↓	↓	
1.0	12	1	20	OFFICE LIGHT	15	16	OFFICE REC	20	1	12	1.0	
1.5	12	1	20	BATHROOM LIGHT & REC	17	18	TANKLESS WATER HEATER ECO8	40*	2	8	4.0	
-	-	-	-	SPACE	19	20	↓	↓	↓	↓	↓	
-	-	-	-	SPACE	21	22	SPACE	-	-	-	-	
-	-	-	-	SPACE	23	24	SPACE	-	-	-	-	
-	-	-	-	SPACE	25	26	SPACE	-	-	-	-	
-	-	-	-	SPACE	27	28	SPACE	-	-	-	-	
-	-	-	-	SPACE	29	30	SPACE	-	-	-	-	
15.5	SUBTOTAL				SUBTOTAL				14			
				TOTAL				29.5				
				FIRST 10 KVA @ 100% DEMAND				10.0				
				9.5 KVA @ 40% DEMAND				3.8				
				DEMAND				13.8				
				A/C DEMAND				10.0				
				TOTAL DEMAND				23.8				

NOTES: ALL WIRING SHALL BE SINGLE PHASE T.H.W. COPPER IN E.M.T. OR CONDUIT.
 * ALL BREAKER SIZES SHALL BE COORDINATED WITH FINAL EQUIPMENT REQUIREMENTS.

23.8 KVA * 1000 / 240V = 99.12 AMPS
 USE 30 CIRCUIT 200 AMP PANEL

NOTES:

1. ALL WORK SHALL BE PER NATIONAL ELECTRIC CODE, FBC 6TH EDITION (2017), LOCAL POWER COMPANY RULES AND ANY OTHER APPLICABLE STANDARDS.
2. DRAWINGS SHOWN ARE DIAGRAMMATIC IN NATURE AND WILL NOT SHOW ALL FITTINGS, BENDS AND ACCESSORIES REQUIRED FOR THE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR EVALUATING FIELD CONDITIONS PRIOR COMMENCING THE WORK.
3. CONTRACTOR SHALL VERIFY AND TEST GROUNDING AND INSURE IT COMPLIES WITH LATEST NEC.
4. ELECTRICAL CONDUIT SHALL BE BEDDED IN COMPACTED CLEAN PEA-ROCK 6" ALL SIDES MINIMUM.
5. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR TEST.
6. ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED PER NEC.
7. ALL HARDWARE AND EQUIPMENT SHALL BE UL LABELED AND UV RATED FOR EXTERIOR USE.
8. CONTRACTOR SHALL NOT CUT ANY STRUCTURAL MEMBERS WITHOUT PRIOR APPROVAL BY THE ENGINEER.
9. MINIMUM WIRE SIZES SHALL BE #12 THHN/THWN UNLESS OTHERWISE IS SPECIFIED.
10. ALL CONDUCTORS SHALL BE COPPER RUN IN GALVANIZED METALLIC CONDUITS UNLESS OTHERWISE IS SPECIFIED.
11. ALL PULL AND JUNCTION BOXES SHALL BE ACCESSIBLE AT ALL TIMES.
12. ALL CONDUCTORS SHALL BE RAN WITHOUT SPLICES.
13. ALL FIXTURES SHALL BE SUPPORTED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND PER NEC.
14. SMOKE DETECTORS SHALL BE HARDWIRED AND HAVE BATTERY BACK-UP. INTERCONNECTION OF THE DETECTORS SHALL ALLOW ALL TO SOUND AT ONCE.
15. ALL BREAKERS SHALL BE COMBINATION AFCI UNLESS OTHERWISE IS PERMITTED BY THE LATEST NEC.
16. ALL RECEPTACLES IN BATHROOMS, KITCHEN AND GARAGE SHALL BE GROUND FAULT CIRCUIT INTERRUPTED TYPE (GFCI).
17. ALL OUTDOOR RECEPTACLES SHALL BE WATER AND TAMPERPROOF GFCI TYPE.
18. BRANCH CIRCUITS SHALL BE PROPERLY BALANCED.
19. ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES TO ELIMINATE CONFLICTS AND PROVIDE FUNCTIONAL SYSTEM.
20. FOUNDATION REINFORCEMENT SHALL BE BONDED WITH GROUNDING PER NEC.
21. ALL ELECTRICAL EQUIPMENT SHALL BE LOCATED ABOVE BASE FLOOD ELEVATION.
22. STYLES OF ALL ELECTRICAL FIXTURES, OUTLETS, SWITCHES SHALL BE REVIEWED AND APPROVED BY THE OWNER PRIOR ANY PURCHASING OR INSTALLATION.



ELECTRICAL RISER DIAGRAM NOTES

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STATUS:	FINAL		



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PROJECT: 6003 PENINSULAR AVE

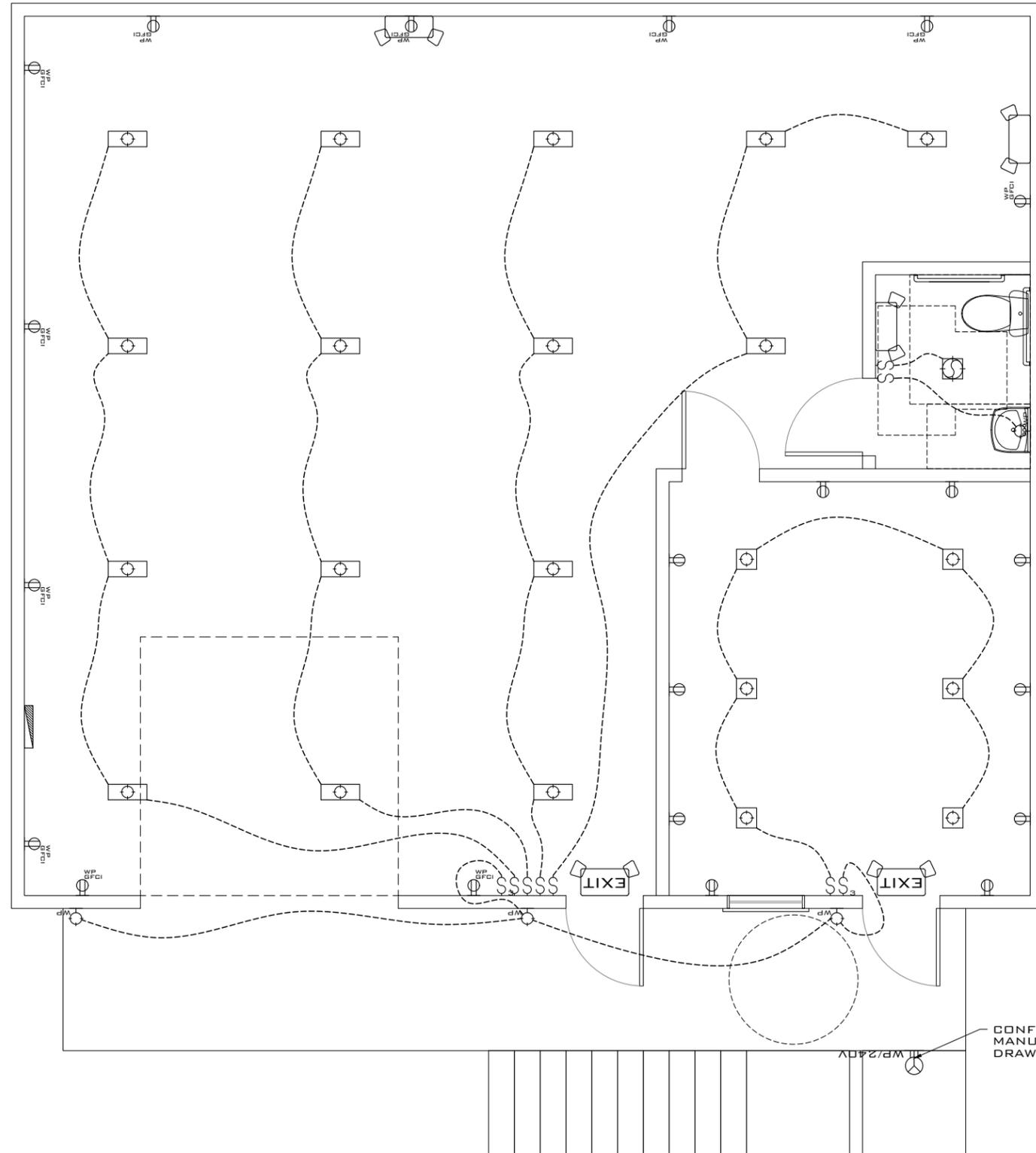
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TITLE: ELECTRIC NOTES

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 DATE:
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480

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AS SHOWN	04/29/19	BDB	SAM
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ELECTRIC PLAN
SCALE: 3/16" = 1'-0"

CONFIRM W/
MANUFACTURER
DRAWINGS

ELECTRICAL SYMBOL LEGEND

	20A/120V DUPLEX RECEPTACLE W/ GROUNDING		PHOTOCELL		CEILING FAN
	20A/120V SINGLE RECEPTACLE W/ GROUNDING		RECESSED LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		CEILING FAN W/LIGHT
	20A/120V SPLIT WIRED DUPLEX RECEPTACLE W/ GROUNDING		CEILING MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		POWER PANEL, SWITCHBOARD
	20A/120V GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET		WALL MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		CEILING MOUNT FLUORESCENT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	20A/120V GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET W/ WATERPROOF COVER		WALL MOUNT LIGHT FIXTURE WATERPROOFED, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		EMERGENCY LIGHT FIXTURE, RECHARGEABLE BATTERY TYPE
	20A/120V FLOOR DUPLEX RECEPTACLE W/ GROUNDING		CEILING MOUNT EXIT SIGN		WALL MOUNT FLUORESCENT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	SPECIAL PURPOSE OUTLET, SUBSCRIPT FOR IDENTIFICATION		WALL MOUNT EXIT SIGN		EXHAUST FAN
	SINGLE POLE SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		TWO SIDE EXIT SIGN		EXHAUST FAN W/ LIGHT
	2-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		SERVICE RATED NON-FUSIBLE DISCONNECT SWITCH		GENERATOR
	3-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		TV CABLE OUTLET		CARBON MONOXIDE DETECTOR
	4-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		TELEPHONE OUTLET		POWER COMPANY METER
	DIMMER SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		TELEPHONE/DATA OUTLET		UTILITY POLE
	TIMER SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		WATER HEATER		STAIR LIGHT W/ DUSK TO DAWN SENSOR
	JUNCTION BOX, WALL MOUNT		TANKLESS WATER HEATER		
	JUNCTION BOX, CEILING MOUNT				
	DOOR BELL				
	PHOTOCELL				
	RECESSED LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION				
	CEILING MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION				
	WALL MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION				
	WALL MOUNT LIGHT FIXTURE WATERPROOFED, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION				
	EMERGENCY LIGHT FIXTURE, RECHARGEABLE BATTERY TYPE				
	CEILING MOUNT EXIT SIGN				
	WALL MOUNT EXIT SIGN				
	TWO SIDE EXIT SIGN				
	EXHAUST FAN				
	EXHAUST FAN W/ LIGHT				
	SERVICE RATED NON-FUSIBLE DISCONNECT SWITCH				
	GENERATOR				
	TV CABLE OUTLET				
	TELEPHONE OUTLET				
	TELEPHONE/DATA OUTLET				
	WATER HEATER				
	TANKLESS WATER HEATER				

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PROJECT: **6003 PENINSULAR AVE**

SITE: **6003 PENINSULAR AVE**
KEY WEST, FL 33040

TITLE: **ELECTRIC PLAN**

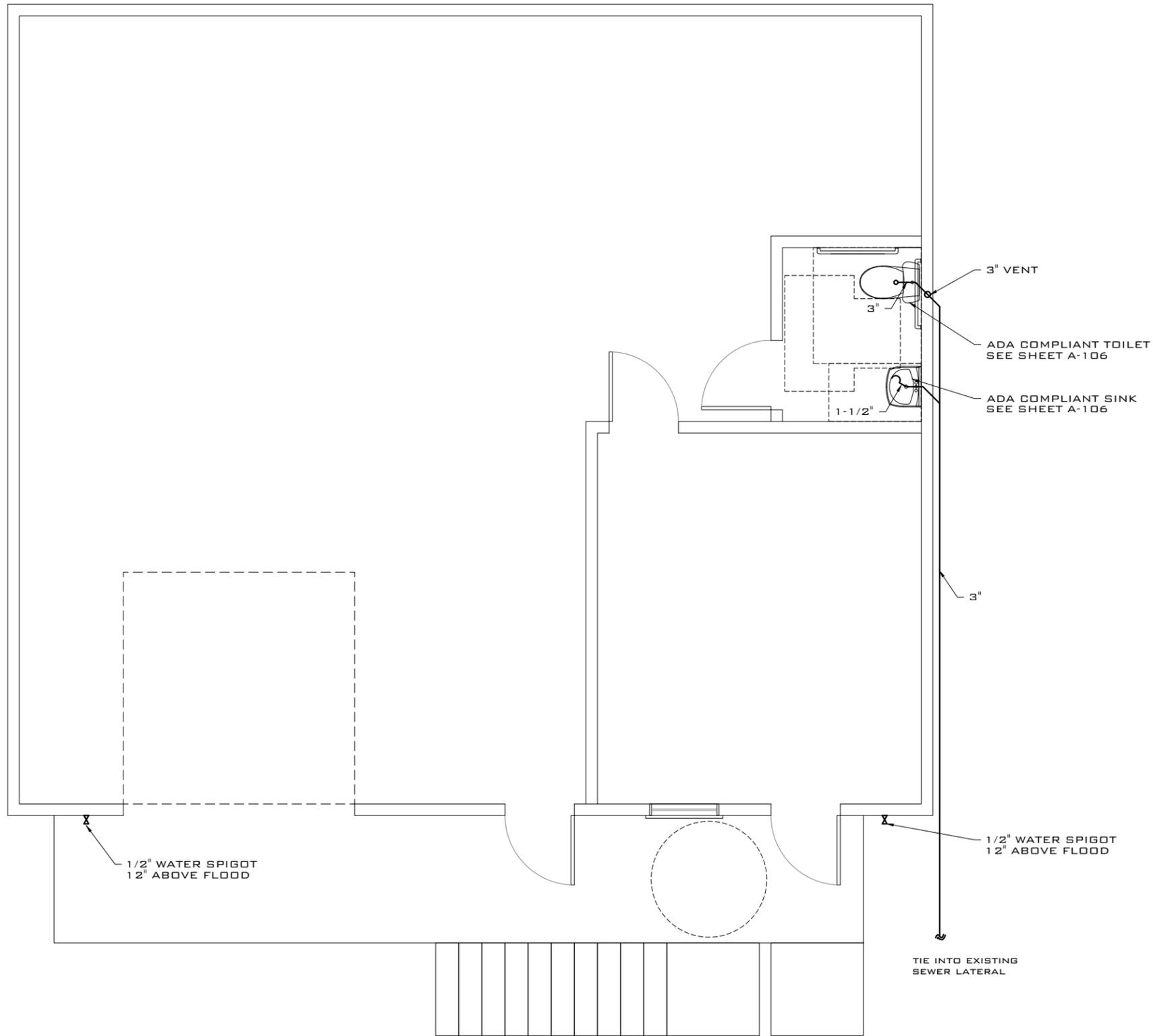
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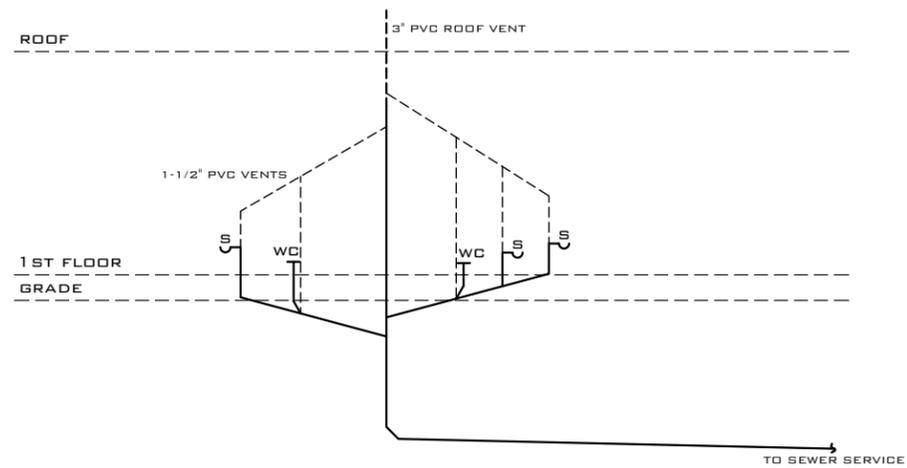
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SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

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PLUMBING PLAN
SCALE: 3/16" = 1'-0"



**TYPICAL PLUMBING RISER
DIAGRAM**
SCALE: NTS

- NOTES:**
1. ALL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH FBC 6TH EDITION (2017) PLUMBING AND LOCAL STANDARDS.
 2. ALL SANITARY SEWER PIPING SHALL BE SCH 40 PVC.
 3. ALL INTERIOR WATER SUPPLY PIPING SHALL BE CPVC.
 4. PLUMBING CONTRACTORS SCOPE OF WORK INCLUDES ALL MATERIALS, VALVES, FITTINGS, VENTS ETC. REQUIRED FOR A COMPLETE AND OPERATIONS SYSTEM.
 5. ALL PLUMBING FIXTURES SHALL BE APPROVED BY OWNER PRIOR PURCHASING AND INSTALLATION.

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TITLE: **PLUMBING PLAN**

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